

Site: WASAGA

Lot: 13

Model: VIEW (52-06) ELEV A

Purchaser: LIUDMILA TSYRUK

Purchaser: 0

Phone: 416.274.4514

Email: OLGA@AT-CA.CA



DESCRIPTION		DATE SELECTED
BONUS PACKAGE: 3 PIECE STAINLESS STEEL APPLIANCES WITH WHITE TOP LOAD WASHER & DRYER	INCLUDED IN APS	
BONUS PACKAGE: STAINLESS STEEL HOOD FAN	INCLUDED IN APS	
1 WATERLINE TO FRIDGE		24-Aug-21
2 STAIN FOR STAIRS TO MATCH HARDWOOD AS CLOSE AS POSSIBLE- 1 FLIGHT		24-Aug-21
3 HARDWOOD- FAMILY ROOM, LANDINGS, MAIN HALL, DINING ROOM, UPPER HALL- UP 2		24-Aug-21
4 COMFORT HEIGHT X 3- MASTER, SHARED AND ENSUITE		24-Aug-21
5 MASTER ENSUITE FOOR- UP 2 STACKED		24-Aug-21
6 MASTER ENSUITE SHOWER WALL- STACKED VERTICLE- UP 2		24-Aug-21
7 1 CAPPED LIGHT OVER KITCHEN ISLAND, CENTER IN ISLAND ON SEPARATE SWITCH. STD LIGHT TO REMAIN- SEE SKETCH		24-Aug-21
8 KITCHEN - INSTALL RISER AND SHAKER CROWN OVER KITCHEN & SERVERY CABINETS, INSTALL CROWN TO CEILING- SEE SKETCH		24-Aug-21
9 SMOOTH CEILINGS MAIN FLOOR- SEE SKETCH		24-Aug-21
10 SMOOTH CEILINGS- SECOND FLOOR- SEE SKETCH		24-Aug-21
11 INSULATION FOR POWDER ROOM WALLS- SEE SKETCH		24-Aug-21
12 GAS FIREPLACE- SL5F- FUSION 36" DIRECT VENT (INCLUDES STANDARD MANTLE, CERAMIC LOG SET) (IN LIEU OF ELECTRIC) TOWNSHIP PERMITTING- SEE SKECTH		24-Aug-21
13 8 FOOT HIGH SLIDING DOOR (REAR)- SEE SKETCH		24-Aug-21
14 LINSET ROUGH IN FOR FUTURE AIR CONDITIONER		24-Aug-21
15 FRIDGE ENCLOSURE- DEEP UPPER AND GABLES- SEE SKETCH		24-Aug-21
16 BANK OF DRAWERS IN MASTER AND SHARED BATH- SEE SKETCH		24-Aug-21
17 TRIM- COLONIAL- UP 1		24-Aug-21
18 HARDWOOD- BEDROOMS- MASTER, BED 2, 3, 4- UP 2		24-Aug-21

ZANCOR HOMES COLOUR CHART

ENTRANCES				
Main Foyer - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED		
Mudroom - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED		
Side Hall - FLOORING		NA		
Basement Foyer - FLOORING		NA		
KITCHEN				
Kitchen - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED		
Breakfast - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED		
Kitchen - CABINETS		EURO OLMO CARISMA		
Island - CABINETS		EURO OLMO CARISMA		
Servery - CABINETS		EURO OLMO CARISMA		
Kitchen - HANDLES/KNOBS		H800BC		
Kitchen - COUNTERTOP		P- 345- CA		
Island - COUNTERTOP		P- 345- CA		
Kitchen - BACKSPLASH		DECLINED		
Kitchen - SINK		STD		
Kitchen - FAUCET		STD		
HARDWOOD				
Family / Great Room - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Main Hall - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Dining / Living Room - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Library / Den - FLOORING		NA		
Basement Rec Room - FLOORING		NA		
STAIRS				
Railing Details - PICKETS		1 3/4" TURNED OAK		
Railing Details - POSTS		2 3/4" TURNED OAK		
Railing Details - HANDRAIL		2 1/2" OVAL OAK HANDRAIL		
Stair Stain - MAIN STAIRS		STAIN TO MATCH HARDWOOD AS CLOSE AS POSSIBLE		
Stair Stain - BASEMENT STAIRS (if applicable)		NA		
Stair Stain - SERVICE STAIRS (if applicable)		NA		
POWDER ROOM				
Powder Room - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED		
Powder Room - CABINETS		NA		
Powder Room - COUNTERTOP		NA		
Powder Room - SINK		STD		
Powder Room - FAUCET		STD		
2ND FLOOR				
Upper Hall - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Master Bedroom - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Bedroom 2 - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Bedroom 3 - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Bedroom 4 - FLOORING		NORTHERN SOLID SAWN COLLECTION PEARL WHITE OAK 5" ORACALE- UP 2		
Bedroom 5 - FLOORING		NA		
Master Ensuite - FLOORING		LAKE ICE 12 X 24- STACKED- UP 2		
Master Ensuite - SHOWER WALL		LAKE ICE 12 X 24- STACKED VERTICLE- UP 2		
Master Ensuite - SHOWER FLOOR		WHITE 2 X 2		
Master Ensuite - SHOWER JAMB		BIANCO CARRARA		
Master Ensuite - CABINETS		HIGH GLOSS EURO WHITE- COMFORT HEIGHT		
Master Ensuite - HANDLES/KNOBS		H800BC		
Master Ensuite - COUNTERTOP		DARK CASCADE 5004-38		
Master Ensuite - SINK(s)	STD	Master Ensuite - FAUCET(s)	STD	
FOR TRADE USE				
Any upgrades in the colour chart must be accompanied with a PES. It is the responsibility of all trades to inform the builder of any discrepancies on sketches, PES and/or colour charts <u>PRIOR</u> to installation.		WASAGA SHORELINE 13	XOR	VENDOR APPROVAL
PAGE 1 OF 2				

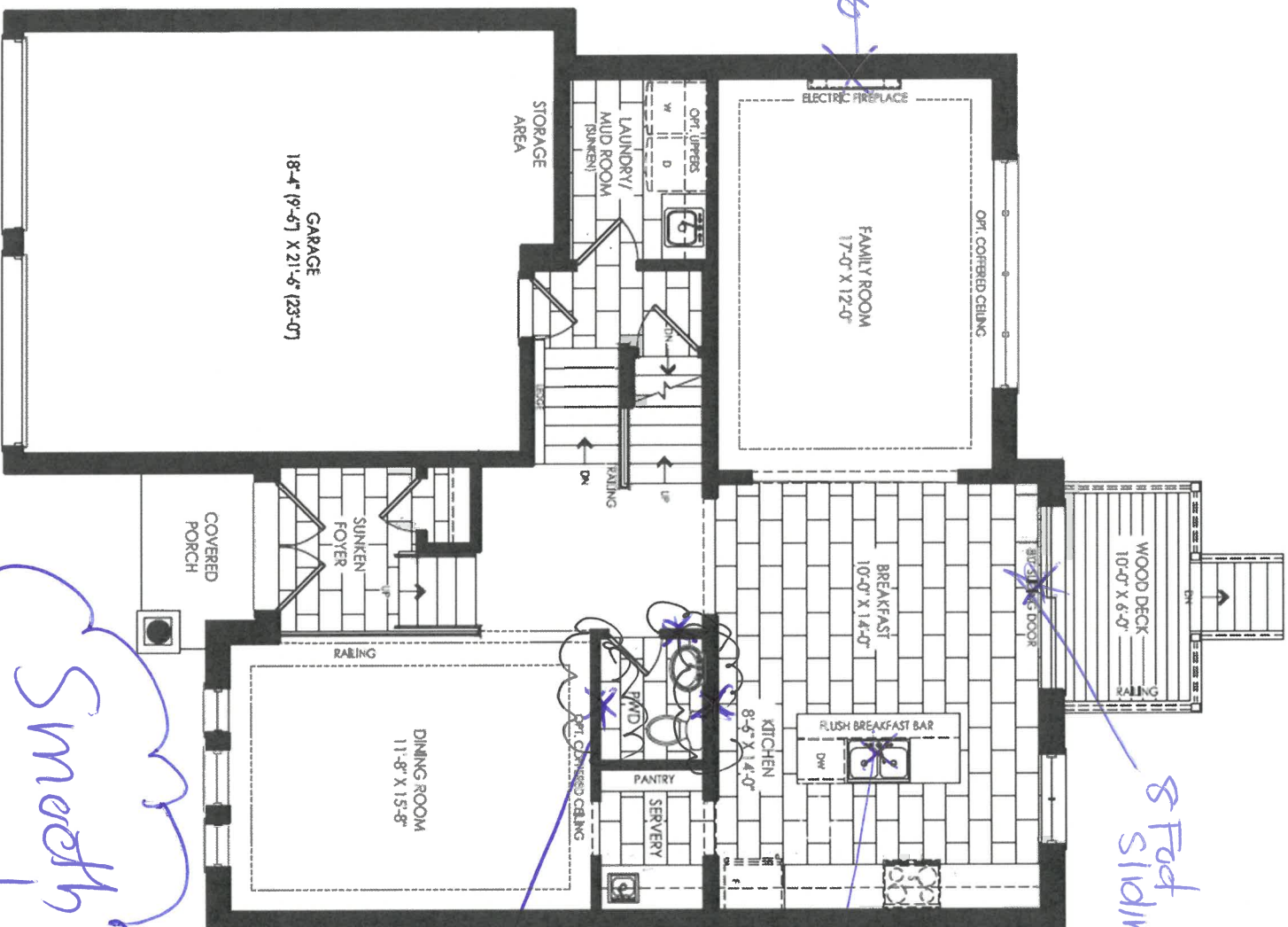
2ND FLOOR CONTINUED...									
Main Bath - FLOORING				NA					
Main Bath - TUB / SHOWER WALL				NA					
Main Bath - SHOWER FLOOR				NA					
Main Bath - SHOWER JAMB				NA					
Main Bath - CABINETS				NA					
Main Bath - HANDLES/KNOBS				NA					
Main Bath - COUNTERTOP				NA					
Main Bath - SINK(s)		NA		Main Bath - FAUCET(s)		NA			
Shared Bath- FLOORING				NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED					
Shared Bath- TUB / SHOWER WALL				NEW BYZANTINE PENTELLIC GREY 12 X 24- STACKED VERTICLE					
Shared Bath- SHOWER FLOOR				NA					
Shared Bath- SHOWER JAMB				NA					
Shared Bath- CABINETS				EURO BLACKWOOD- COMFORT HEIGHT					
Shared Bath- HANDLES/KNOBS				H800BC					
Shared Bath- COUNTERTOP				5001K-07					
Shared Bath- SINK(s)		STD		Shared Bath - FAUCET(s)				STD	
Ensuite Bath - FLOORING				NEW BYZANTINE PENTELLIC GREY 12 X 24- STACK					
Ensuite Bath - TUB / SHOWER WALL				NEW BYZANTINE PENTELLIC GREY 12 X 24- STACK VERTICLE					
Ensuite Bath - SHOWER FLOOR				NA					
Ensuite Bath - SHOWER JAMB				NA					
Ensuite Bath - CABINETS				EURO LARIC-BIANCO- COMFORT HEIGHT					
Ensuite Bath - HANDLES/KNOBS				H800BC					
Ensuite Bath - COUNTERTOP				499KK-22					
Ensuite Bath - SINK(s)		STD		Ensuite Bath - FAUCET(s)				STD	
LAUNDRY									
Laundry - FLOORING		NEW BYZANTINE PENTELLIC GREY 12 X 24- STACK		Laundry - HANDLES/KNOBS				H800BC	
Laundry - CABINETS		EURO OLMO CARISMA		Laundry - SINK				STD	
Laundry - COUNTERTOP		P-345- CA		Laundry - FAUCET				STD	
Laundry - BACKSPLASH		NA							
TRIM / PAINT									
Casing/Baseboards				STD					
Interior Doors				STD					
Interior Door Hardware				STD					
PAINT - Throughout				COOL WHITE					
FIREPLACE									
Location / Insert / Mantle				GAS FIREPLACE- SL-5F FUSION 36"					
ACCESSORIES									
Mirrors		YES		BATH ACCESSORIES				DO NOT INSTALL	
APPLIANCE REQUIREMENTS									
GAS LINE TO BBQ		STD		ELECTRICAL for Built-in Oven				DECLINED	
GAS LINE & ELECTRICAL TO STOVE		DECLINED		ELECTRICAL for Built-in Micro				DECLINED	
GAS LINE & ELECTRICAL TO DRYER		DECLINED		ELECTRICAL for Cooktop				DECLINED	
HOOD FAN VENT SIZE		6" STD		ELECTRICAL for Bar Fridge				DECLINED	
WATERLINE to Fridge		YES							
DISCLAIMER									
Any changes to the colour chart after signing are subject to a \$5000 administration fee plus costs						04			
Purchaser has checked and acknowledged accuracy of colour and selections before signing.						04			
Colours of all materials are as close as possible to Builders selection but not necessarily identical due to dye lot variances in manufacturing/manufacturers. Due to construction progress some items may have been pre-selected or installed. In this event the Vendor's selection must be accepted by the purchaser									
SITE / LOT:		WASAGA				13			
PURCHASER(S):				LIUDMILA TSYRUK					
PURCHASER(S):				0					
CONTACT:		416.274.4514		OLGA@AT-CA.CA					
FOR TRADE USE									
Any upgrades in the colour chart must be accompanied with a PES. It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.				PURCHASER SIGNATURE		SIGNATURES / DATE			
				PURCHASER SIGNATURE					
				DÉCOR CONSULTANT					
				Vendor APPROVAL					



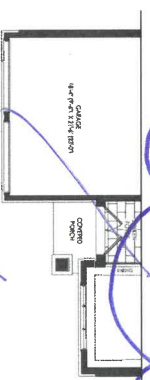
SHORELINE POINT
WASAGA BEACH

VIEW 52-06

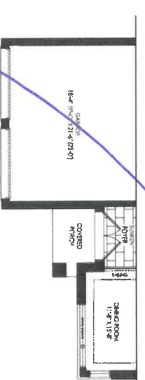
lot 13
Aug 24/21



Elevation A
Ground Floor



Elevation B
Ground Floor



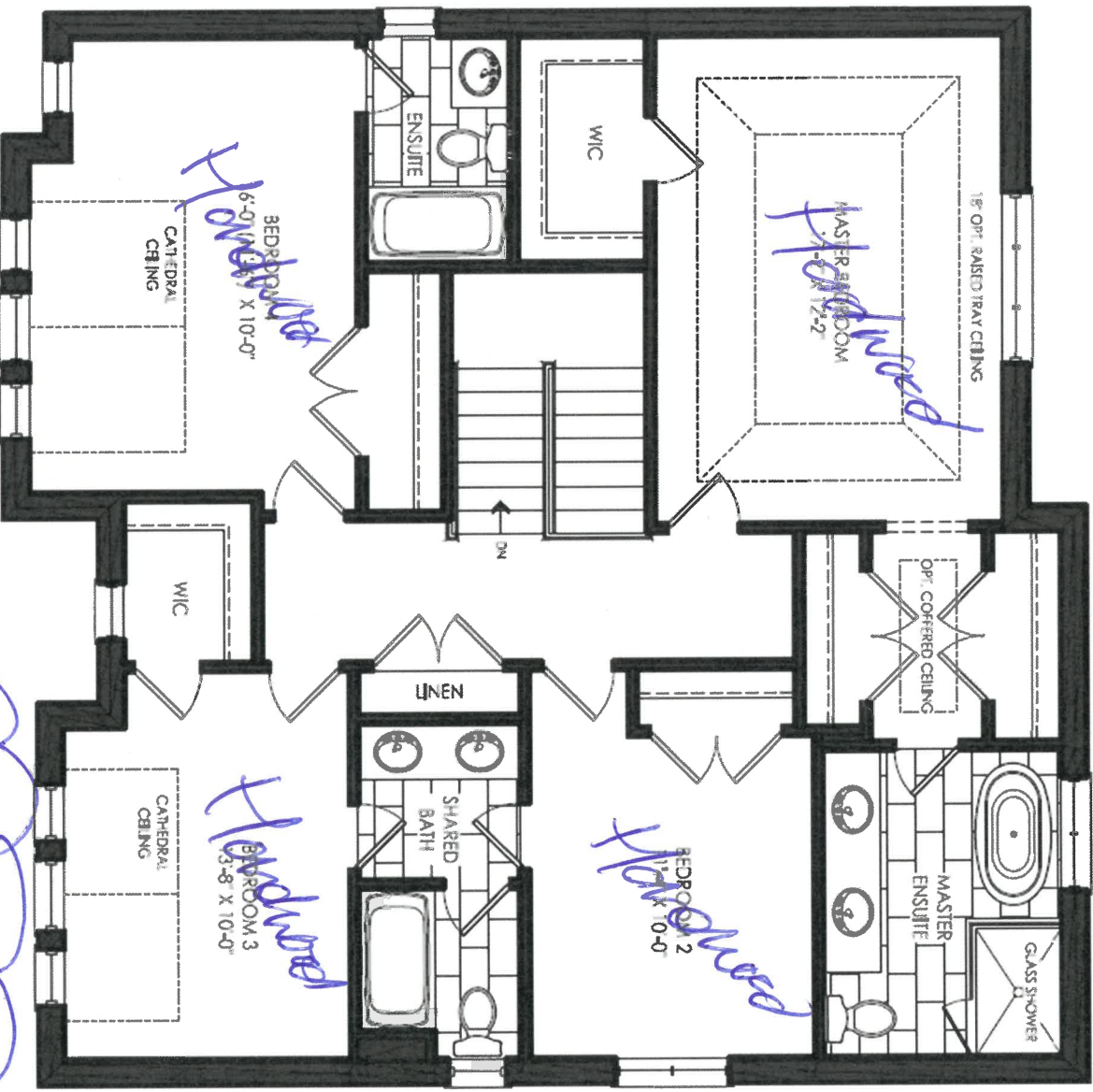
Elevation C
Ground Floor

OK

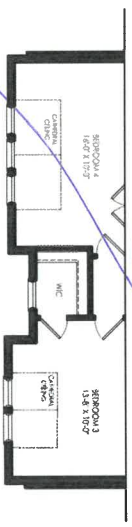
SHORELINE POINT
WASAGA BEACH

VIEW 52-06

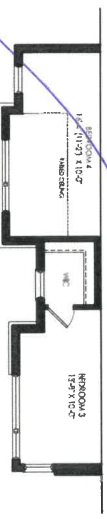
Lot 13
Aug 24/21



Elevation A
Second Floor



Elevation B
Second Floor

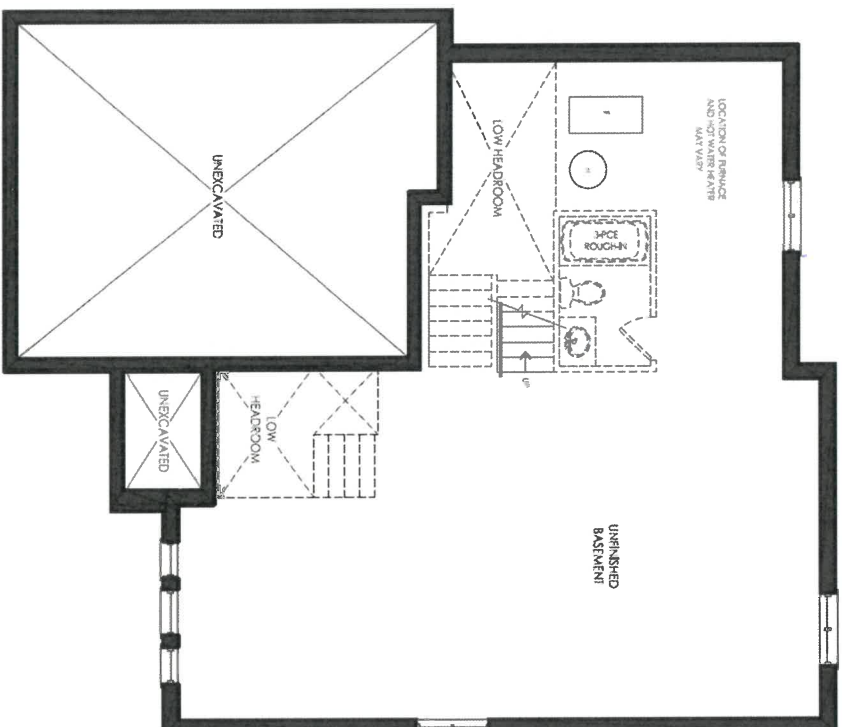


Elevation C
Second Floor

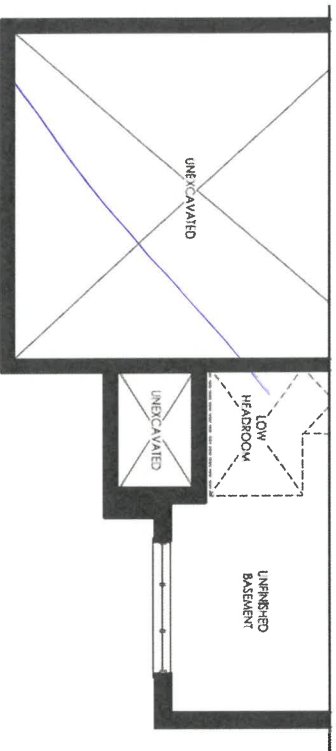
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SHORELINE POINT
WASAGA BEACH

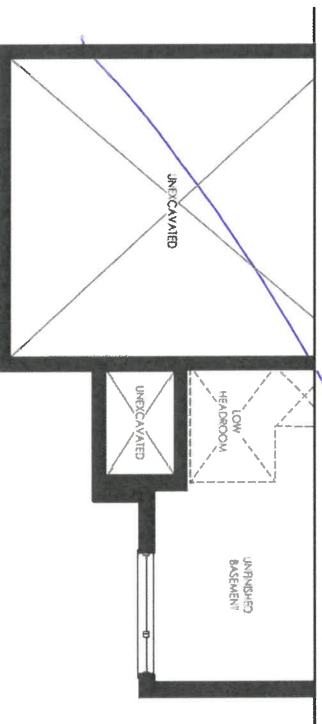
VIEW 52-06



Elevation A
Basement



Elevation B
Basement



Elevation C
Basement

10/13
Aug 24/21

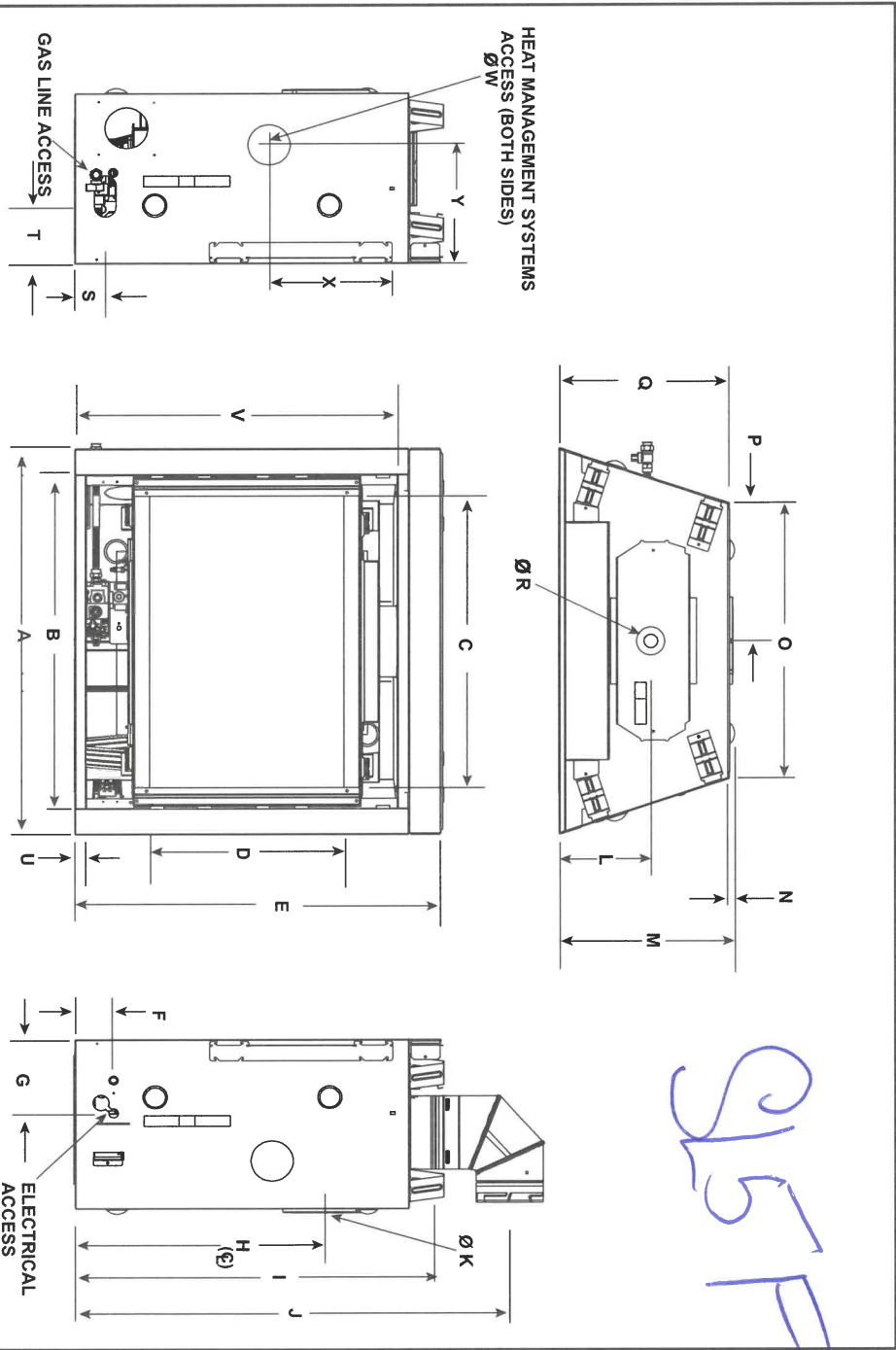
For Future
Tieset

CA

3 Framing and Clearances

A. Appliance/Decorative Barrier Front Dimension Diagrams

Dimensions are actual appliance dimensions. Use for reference only. For framing dimensions and clearances refer to Section 5.



Appliance Dimensions Table

SL-5F-I/FT			SL-7F-I/FT		
Location	Inches	Millimeters	Inches	Millimeters	
A	36	914	41	1041	
B	31-1/8	791	36-1/8	918	
C	27-3/16	691	32-1/16	814	
D	18-1/16	459	21-1/2	546	
E	34-1/16	865	37-5/8	956	
F	3-9/16	90	3-9/16	90	
G	6-7/8	175	6-7/8	175	
H	23-3/8	594	26-7/8	683	
I	34-3/8	873	37-7/8	962	
J	36-7/16	926	39-15/16	1014	
K	8	203	8	203	
L	8-13/16	224	8-13/16	224	
M	16-5/16	414	16-5/16	414	

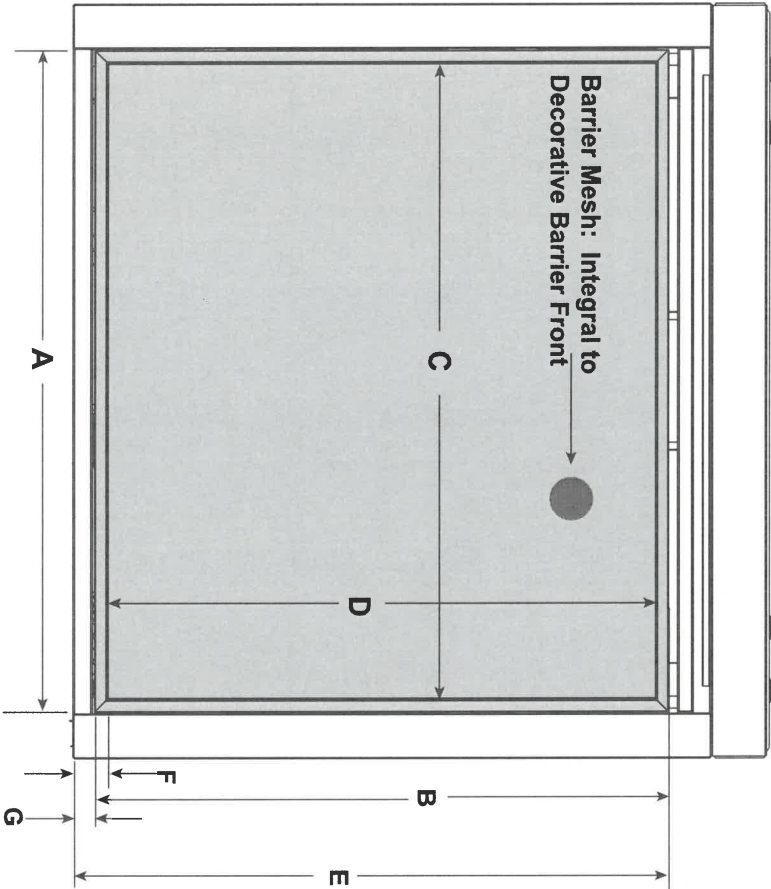
SL-5F-I/FT			SL-7F-I/FT		
Location	Inches	Millimeters	Inches	Millimeters	
N	1/2	13	1/2	13	
O	25-3/4	654	30-3/4	781	
P	12-7/8	327	15-3/8	391	
Q	15-7/8	403	15-7/8	403	
R	6-5/8	168	6-5/8	168	
S	2-3/16	56	2-3/16	56	
T	6	152	6	152	
U	1	25	1	25	
V	30-1/16	764	33-9/16	853	
W	5	127	5	127	
X	14	356	14	356	
Y	9-1/8	232	9-1/8	232	

Figure 3.1 Appliance Dimensions

FIRESCREEN DECORATIVE BARRIER FRONT

IMPORTANT! This fireplace requires an installed decorative barrier front to prevent direct contact with the hot viewing glass. DO NOT operate the fireplace with the barrier removed.
If decorative barrier front is not present, contact dealer.

Note: See Section 10 for hearth, mantel and finishing requirements.



		A	B	C	D	E	F	G
SL-5F-IFT	FS-5-BK	in.	30-5/16	27-1/4	29-1/2	25-7/8	28-3/4	2-3/16
		mm	770	692	749	657	730	56
SL-7F-IFT	FS-7-BK	in.	35-13/16	31-1/8	34-3/8	29-5/8	32-1/2	2-1/8
		mm	910	791	873	752	826	54

Figure 3.2 Decorative Barrier Front Dimensions - Firescreen

B. Appliance Location and Clearances to Combustibles

When selecting a location for the appliance it is important to consider the required clearances to walls and allow sufficient clearance for heat management systems venting. See Figure 3.4 and Figure 3.5.

NOTICE: Illustrations reflect typical installations and are FOR DESIGN PURPOSES ONLY. Illustrations/diagrams are not drawn to scale. Actual installation may vary due to individual design preference.

WARNING! Risk of Fire or Burns! Provide adequate clearance around air openings and for service access. Due to high temperatures, the appliance should be located out of traffic and away from furniture and draperies.

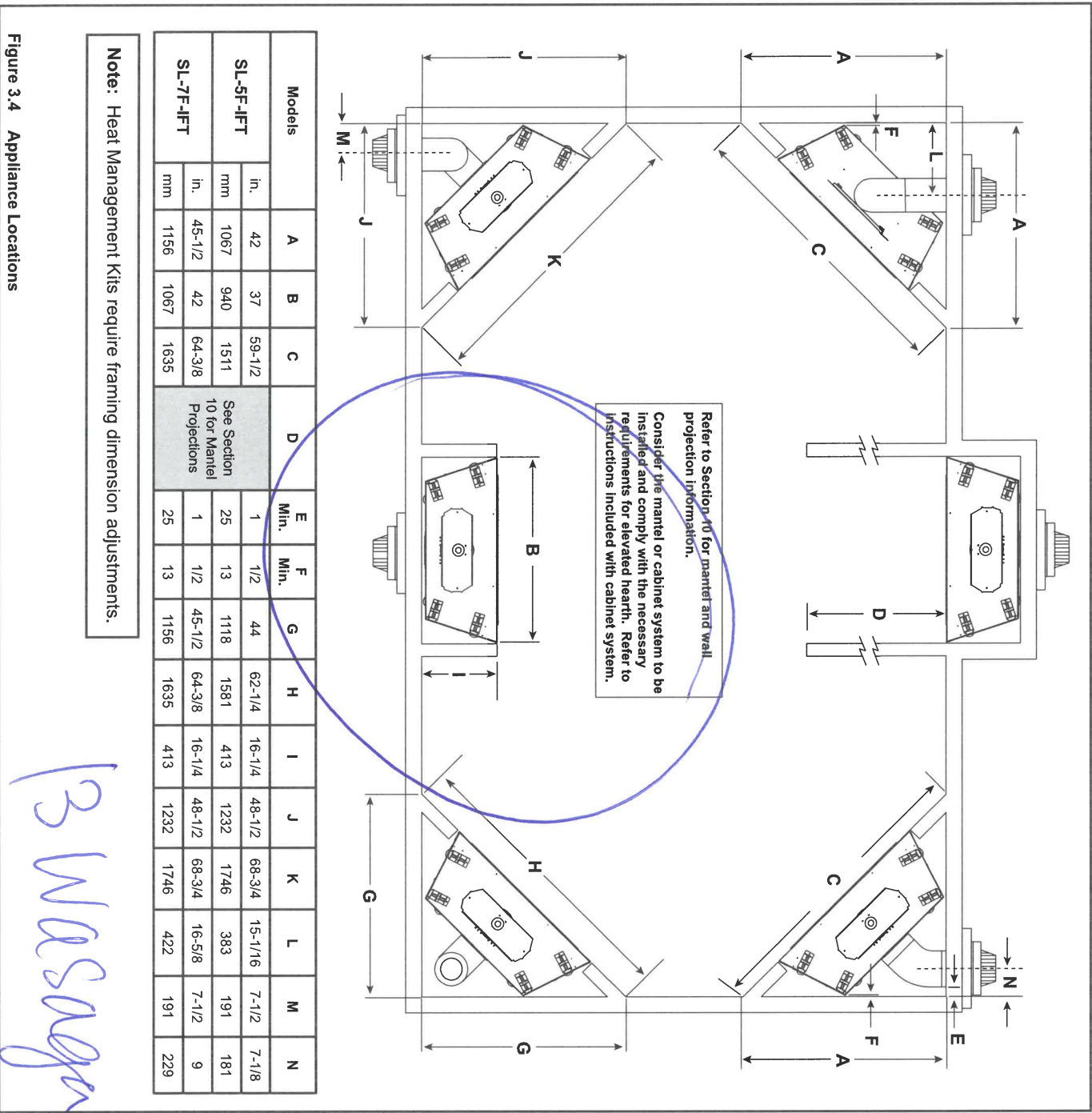
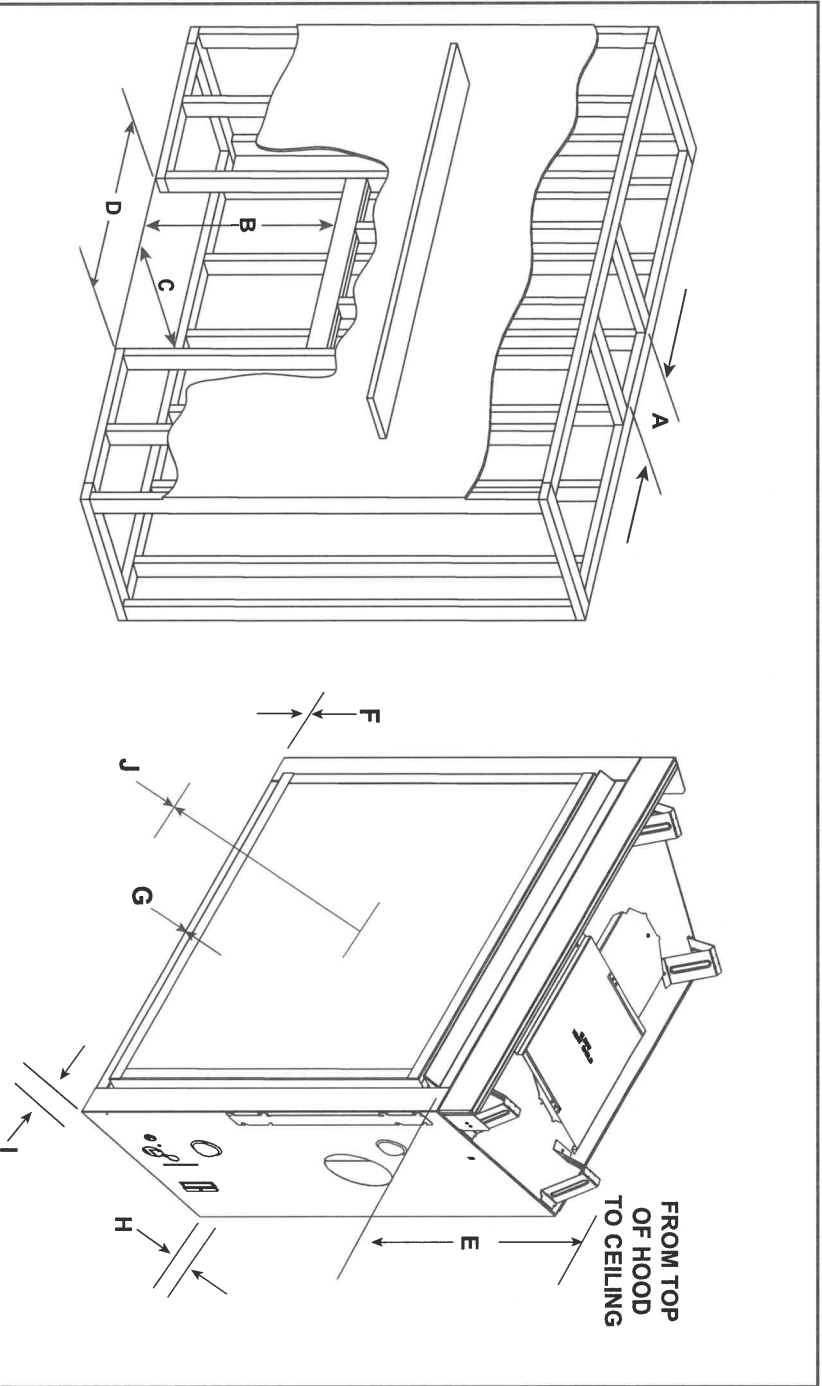


Figure 3.4 Appliance Locations



MINIMUM FRAMING DIMENSIONS*													
Models	A		B	C		D	E	F	G	H	I	J	
	DVP Pipe	SLP Pipe	Rough Opening (Height)	**DVP Pipe	SLP Pipe	Rough Opening (Width)	Clearance to Ceiling	***Combustible Floor	Minimum Hearth Required	Behind Appliance	Sides of Appliance	Front of Appliance	
	Rough Opening (Width)	Rough Opening (Width)		Rough Opening (Depth)	Rough Opening (Depth)								
SL-5F-I-FT	in.	10	8-5/8	34-3/4	16-1/4	16-1/4	37	32	0	0	1/2	1/2	36
	mm	254	219	883	413	413	940	813	0	0	13	13	914
SL-7F-I-FT	in.	10	8-5/8	38-1/4	16-1/4	16-1/4	42	32	0	0	1/2	1/2	36
	mm	254	219	972	413	413	1067	813	0	0	13	13	914

* Adjust framing dimensions for interior sheathing (such as sheetrock)
 ** Add 12 inches when rear venting with one 90° elbow.
 *** When using combustible flooring materials, such as carpeting and padding, the combustible flooring material must not extend higher than one inch from the base of the appliance when the appliance is mounted at floor level.

13 March

→ Figure 3.5 Clearances to Combustibles

C. Constructing the Appliance Chase

NOTICE: Install appliance on hard metal or wood surfaces extending full width and depth. **DO NOT** install directly on carpeting, vinyl, or any combustible material other than wood.

WARNING! Risk of Fire! Maintain specified air space clearances to appliance and vent pipe:

- *Insulation and other materials must be secured to prevent accidental contact.*
- *The chase must be properly blocked to prevent blown insulation or other combustibles from entering and making contact with fireplace or chimney.*
- *Failure to maintain airspace may cause overheating and a fire.*

A chase is a vertical box-like structure built to enclose the gas appliance and/or its vent system. In cooler climates the vent should be enclosed inside the chase.

NOTICE: Treatment of ceiling firestops and wall shield firestops and construction of the chase may vary with the type of building. These instructions are not substitutes for the requirements of local building codes. Therefore, you **MUST** check local building codes to determine the requirements to these steps.

NOTICE: Where required by code, install only sprinkler heads with a sprinkler activation temperature classified as Extra High.

- *Sprinklers inside of chase: Keep sprinkler head away from vent and chimney.*
- *Heat Management applications: Maintain 36 inches of clearance to openings from which heat is discharged such as heat zone registers, etc. Refer to Section 6.B for Heat Management options allowed for this application.*

Chases should be constructed and insulated in the same manner as the thermal envelope of the home based on the code requirements for that climate zone to prevent air leakage and draft problems. The chase is an extension of the building thermal envelope.

To further prevent drafts and air leakage, the wall shield and ceiling firestops should be sealed with caulk with a minimum of 300 °F continuous exposure rating to seal gaps. Gas line holes and other openings should be sealed with caulk with a minimum of 300 °F continuous exposure rating or stuffed with unfaced insulation. If the appliance is being installed on a cement surface, a layer of plywood may be placed underneath to prevent conducting cold up into the room.

Minimum height requirements for an exterior chase on a top-vented appliance are shown in Figure 3.6. Reference Figure 4.5 for additional clearances.

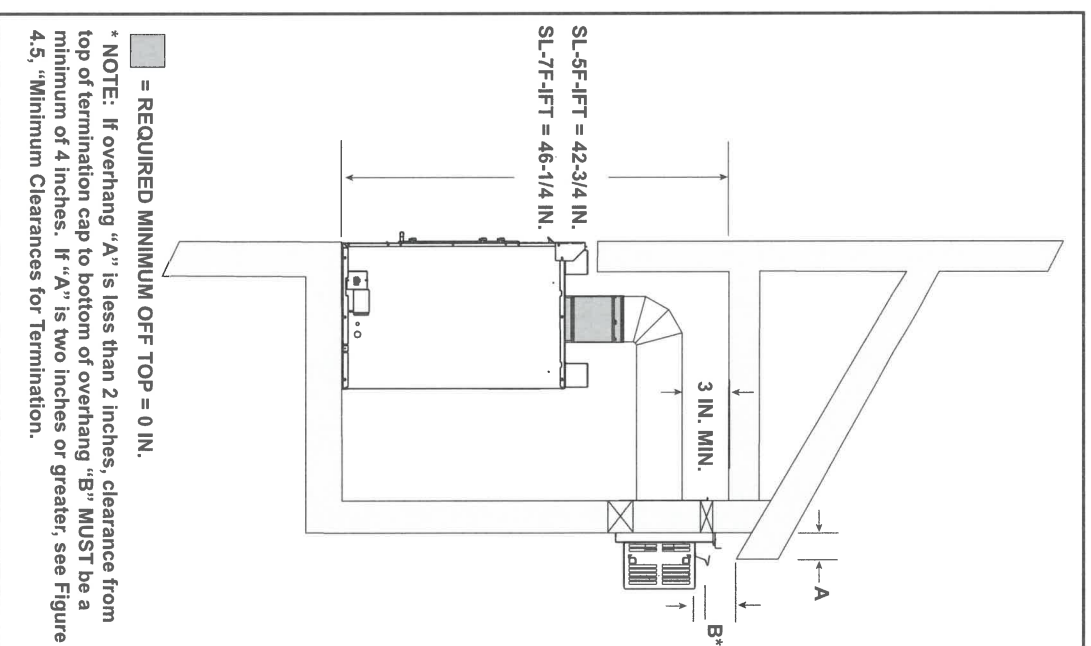


Figure 3.6 Exterior Chase - Minimum Height Requirements

12 March



DATE SUBMITTED
17 Jun 2021

CLIENT NAME: ZANCOR HOMES
SHIP TO : WASAGA BEACH
52-06

PH:
CELL:

DRAFTED BY: AHMET
COMMENT

P/O #

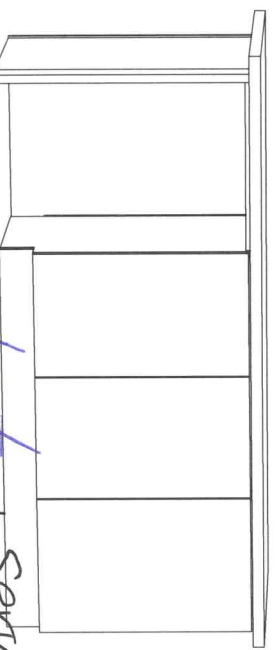
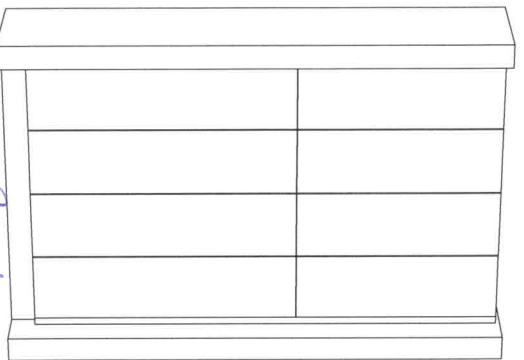
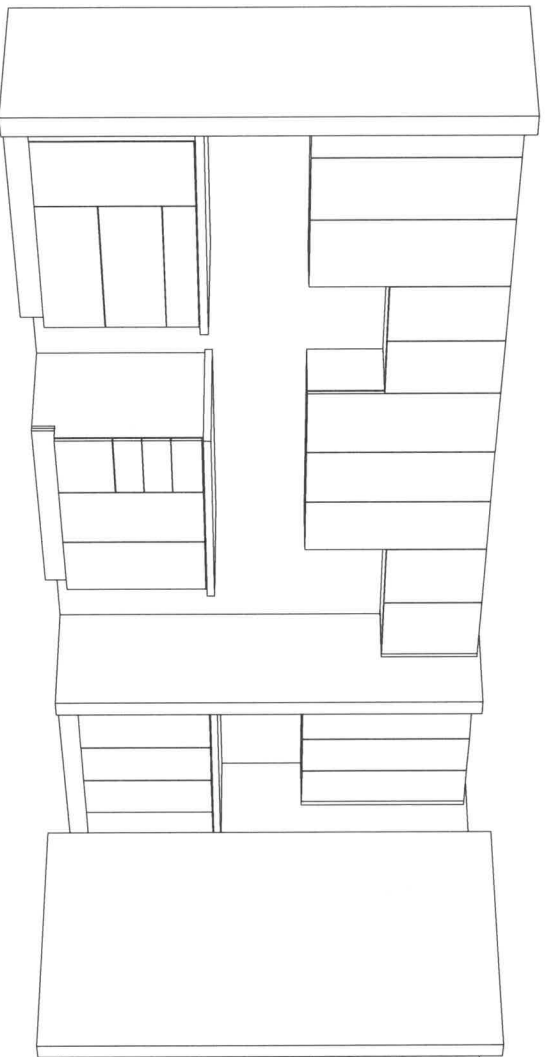
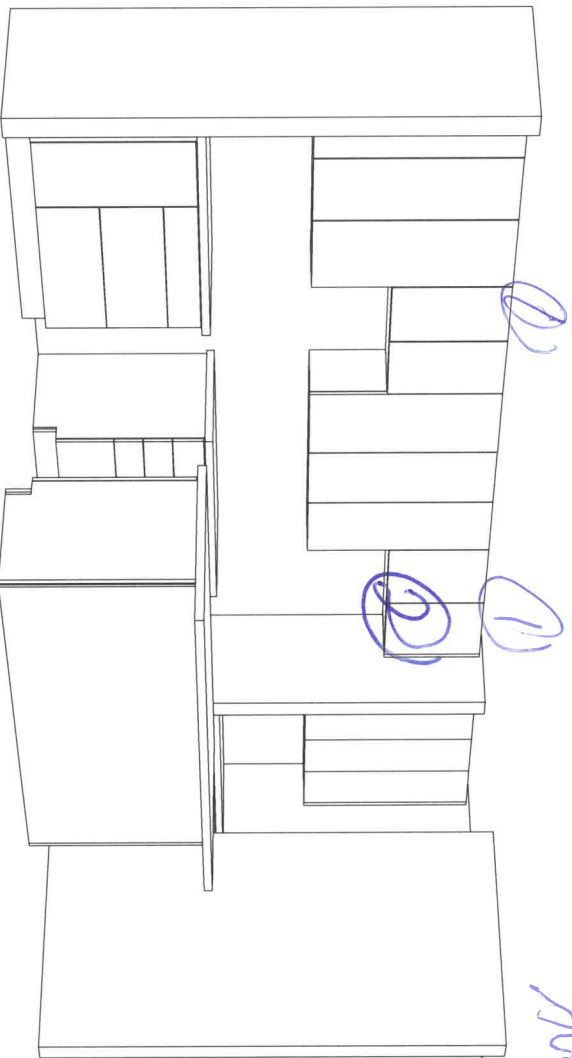
JOB NUMBER

INSTALL DATE:

PAGE

2 of 3

1st 13
Aug 24/21



① Riser + Shaker Crown over cabinets, + Serving
Install crown to ceiling
② Fridg enclosure.
@



DATE SUBMITTED
17 Jun 2021

CLIENT NAME: ZANCOR HOMES
SHIP TO : WASAGA BEACH
52-06

PH:
CELL :

DRAFTED BY: AHMET
COMMENT

P/O #

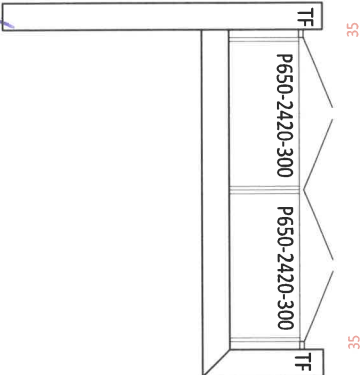
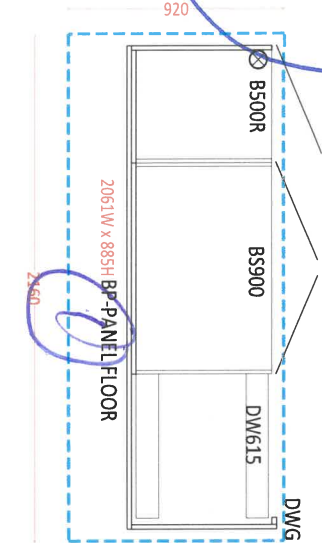
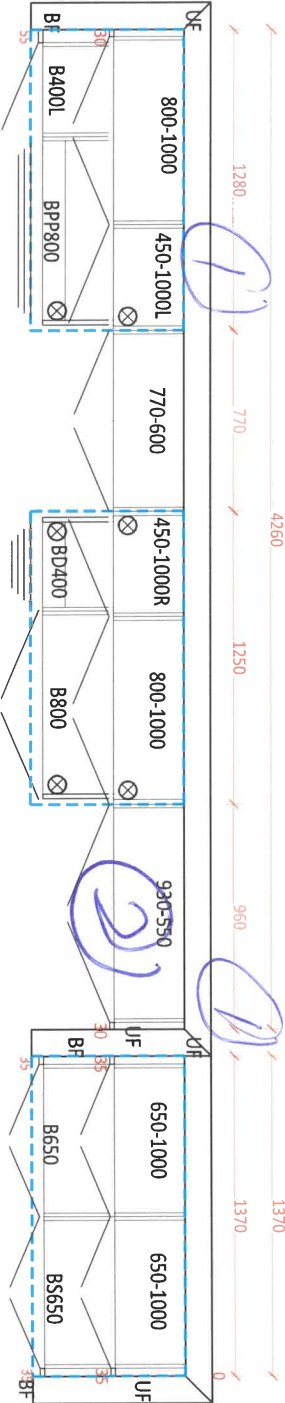
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INSTALL DATE:

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1 of 3

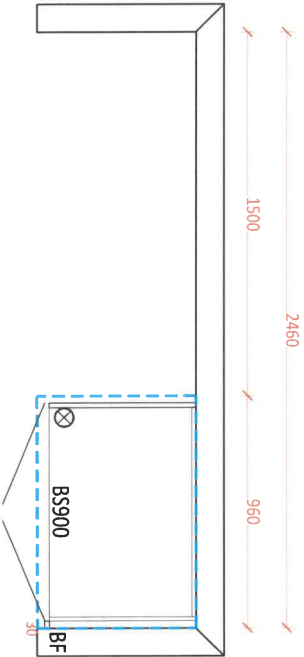
KITCHEN
EL. A&B&C

1 of 13
Aug 24/21



- ① Riser + Shaker Crown to ceiling, over cabinets
- ② Fridge enclosure.

LAUNDRY BASE
EL. A&B&C



64

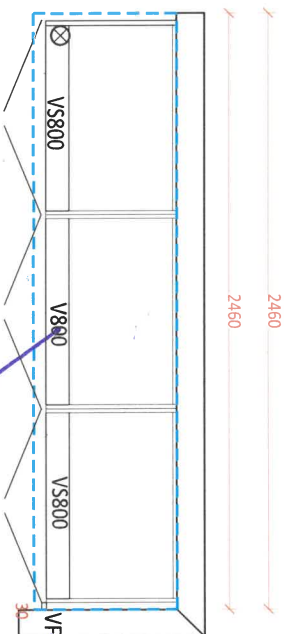


DATE SUBMITTED
17 Jun 2021

CLIENT NAME: ZANCOR HOMES
SHIP TO : WASAGA BEACH
52-06
PH:
CELL:
DRAFTED BY: AHMET
COMMENT

JOB NUMBER
INSTALL DATE:
PAGE
3 of 3
P/O #

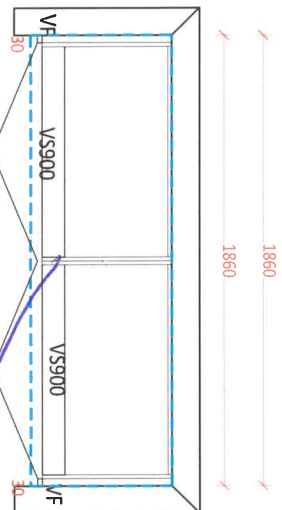
MASTER ENSUITE
EL. A&B&C



Comfort Height

Back of doors.

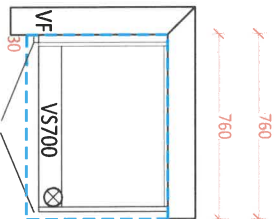
SHARED VANITY
EL. A&B&C



Comfort Height

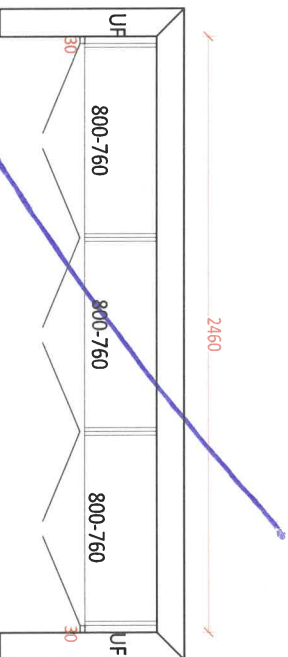
Back of doors

ENSUITE
EL. A&B&C



Comfort Height

OPT. LAUNDRY UPPERS
EL. A&B&C



OK

THE
GALLERY
BY ZANCOR

SHORELINE POINT
WASAGA BEACH

ZANCOR

APPLIANCE ACKNOWLEDGEMENT

CONTACT: Steve Miller - Appliance Canada (905) 660-2424 / smiller@appliancecanada.com

- It is the Purchaser's responsibility to coordinate delivery, installation and hook up of appliances and to ensure they are installed as per Manufacturers specifications after closing.

STANDARD APPLIANCE OPENINGS provided by Zancor:

*Standard appliance openings are approximate and the minimum required. Sizes may vary due to onsite condition and/or when modifications have been made to the cabinetry.

- Fridge Opening 36" x 74"
► Stove Opening 30"
► Hood Fan Opening 30"
► Hood Fan & Vent 6" with Under Cabinet Hood
► Dishwasher Opening 24"

Accepts Standard
Openings **Initial

SM

OPTIONAL UPGRADED APPLIANCES to be provided by Homeowner:

- ****Specs/information sheets are required and it is the responsibility of the homeowner to provide this to Zancor Homes by the due date that has been provided. If appliance specs are not submitted, Zancor Homes will not be responsible for any necessary requirements and the standard opening will be built.**

SM

- **Upgraded Appliance Specs are DUE 2 WEEKS FROM SIGNED DATE OF COLOUR CHART (if not received during appointment)**

INITIAL

- ****Specs that require changes/modifications after this date will not be accepted*****

- **NOTE: Any upgraded appliances are to be paid by the Purchaser, directly to the appliances company.**

- **Additional charges to the Purchaser may apply for cabinetry, electrical and plumbing in order to accommodate the specs given by the homeowner.**

FRIDGE UPGRADE

- ☐ Built-in
☐ Paneled **Panel to match required
☐ Integrated / Flush Inset
☒ Waterline

RANGE UPGRADE

*Larger hood fan CFM might be required, which need a larger vent

- ☐ 36" **Hood fan opening must be the same size or larger (8" vent might be required)
☐ 48" **Hood Fan opening must be the same size or larger (8" or 10" vent required)
☐ Gas Range **gas line and electrical required & sold separately
☐ Induction **electrical required & sold separately
☐ Cooktop (Apron Front) **Countertop Cut-out required & sold separately
☐ Cooktop (Drop-in) **countertop Cut-out required & sold separately

HOOD FAN & VENT UPGRADE

- ☐ 8 Inch **Required for 600 CFM
☐ 10 Inch
☐ Chimney Hood Fan **Vent must be centred
☐ Insert / Liner

WALL OVEN/MICRO UPGRADE

- **Electrical required
- ☐ Single Wall Oven **electrical required & sold separately
☐ Double Wall Oven **electrical required & sold separately
☐ Steam Oven **electrical required & sold separately
☒ Warming Drawer **electrical required & sold separately
☐ Over Then Range Microwave (OTR)
☐ Built-In Microwave **Trim Kit required **electrical required & sold separately

DATE Aug 24/21

WASAGA SHORLINE

13

SITE

LOT

** Any upgrades checked in this appliance form must be accompanied with specs provided by the Purchaser.

**It is the responsibility of the trade to inform the Builder of any discrepancies with specs, sketches, extras and/or colour chart PRIOR to production/installation.

ZANCOR

221 North Rivermede Road, Concord, Ontario L4K 3N7 * T: (905) 738.7010 F: (905) 738.5948

INTERIOR FINISHES ACKNOWLEDGEMENT / WAIVER

Purchaser accepts and acknowledges that the Builder reserves the right to substitute materials with those of equal or better quality where the manufacture, scheduling or delivery of materials may directly impact the Builder's ability to meet its' contractual obligations under the Agreement of Purchase and Sale.

CA

UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**

CA

PORCELAIN & NATURAL STONES: Due to the properties of natural stones including but not limited to **marble, granite, quartz**, no two pieces are exactly the same. Variations in colour, tone, granularity (pitting, fissures) and pattern are to be expected, including various lighting may affect the overall finished look. Stone tops are sealed at time of installation and should never be cleaned with lemon oil or vinegar. Stones are porous materials, therefore any spilled substance require immediate attention. Stone countertops require regular seal re-application as part of home maintenance. Purchaser acknowledges colour and product variations as well as natural imperfections may exist with the selection of natural stone materials and shall not hold the Vendor liable for provision of same.

CA

STONE COUNTERTOP JOINTS: Purchaser is aware that one joint will be at each corner and on either side of slide-in-range (if applicable). It will also be where the length of the counter top exceeds the length of a stone slab. Slabs are usually approximately 5'x 8'.

CA

CERAMIC TILES: Due to manufacturing, shade (dye lots), product variations may exist that can affect the overall look of the finished product. Although every effort will be made to ensure the colours and materials selected are as close as possible to the samples, the purchaser acknowledges that the sample tiles supplied in the Design Centre may not be identical to the materials installed in the home.

CA

STAIR STAINS: Due to the natural properties of wood, many variables can affect the overall look of the finished product. Factors including but not limited to wood type, knotting, graining, density, age, humidity, and air temperature can result in substantial variations in stain intensity. The purchaser accepts that although the Vendor will do their best to match stain the unfinished stairs as close as possible to the pre-finished floors, it is not possible to have an identical match and that there MAY be shade differences between the two products.

CA

CABINETRY: Due to the natural properties of wood, slight variations apparent with cabinetry are to be expected. This includes but not limited to wood species, wood grain, colour, finish, product variations, and natural imperfections are all factors that may affect the overall look of the finished product. Such factors make exact colour matching impossible. The type and intensity of lighting in the areas of designated cabinetry placement may also highlight characteristics of cabinetry finish. All cabinets shall be finished with a white melamine interior box unless a finished interior is upgraded. Due to building specifications and/or on-site conditions, certain cabinetry upgrades may not be possible. The purchaser acknowledges that the Builder cannot guarantee the cabinetry finish or provision of certain upgrades and shall not hold the Builder liable for provision of same.

CA

UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**

CA

HARDWOOD / LAMINATE FLOORING: Due to the properties of wood and laminate, many variables can affect the overall look of the finished product. Variations include but not limited to wood type or laminate finish, colour/stain and wood grain are significant factors that make exact colour matching impossible. The purchaser acknowledges that the hardwood flooring is a pre-finished product in a controlled environment. Expansion, compression and cupping are characteristics of hardwood flooring once installed in the home. The purchaser acknowledges these may become apparent over time and despite the Builders' efforts to install the hardwood flooring materials in keeping with good workmanship, the Builder shall not be responsible nor held liable for minor variances of fluctuation in hardwood flooring materials.

CA

HARDWOOD / LAMINATE WAIVER:

I/We understand hardwood flooring is classified as a porous material and as such not recommended by the Builder in certain areas. I/We understand there is a concern due to possible water and other substances being frequently splashed or spilled onto the floor and in contravention of Ontario Building Code Section 9.30.1.2(1).

"Finished flooring bathrooms, kitchens, public entrance halls, laundry & general storage areas shall consist of resilient flooring, felted-synthetic-fibre floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance."

CA

I/We are prepared to assume full responsibility for any damage caused to the hardwood floor or subfloor due to moisture absorbency in the mentioned areas, and agree to waive any claims against the Township of residence, TARIION and/or the Builder in relation to the matter. ****SEE COLOUR CHART FOR LOCATIONS****

CA

DATE Aug 24/21

SITE WASAGA SHORELINE

LOT 13

G A L L E R Y
BY ZANCOR

SHORELINE POINT
WASAGA BEACH

ZANCOR

HOME AUTOMATION (Cable, CAT5/6, Telephone)

INCLUDED IN SCHEDULE "A" IN AGREEMENT OF PURCHASE AND SALE:

- Rough-in for Central Vacuum system piped to garage
- Rough-in for Telephone (2) locations
- Rough-in for Cable TV (2) locations
- Rough-in for Cat-6 Network (3) locations

CONTACT:

I/we the Homeowner(s) have chosen to contact the Home Automation Company to select the locations of the rough-ins for Cable, CAT5, Telephone as included in our Agreement of Purchase Sale.

I/we the Homeowner(s) will contact the trade within 4 weeks of the date of this release to select locations of the standard rough-ins review other optional products for purchase.

Trade: Smart-Tech Home Automation
Phone: (905) 761-6469
Email: kris@smart-tech.ca
Rep: Kris
Location: 200 Millway Avenue, Unit 8
Concord, Ont L4K 5K8

ACKNOWLEDGEMENT:

I/We the homeowner(s) acknowledge that if I/We the homeowners decide to not contact Smart-Tech, locations of the standard rough-ins will be installed as per Vendors discretion.

KA
Homeowner(s) Initial

WASAGA SHORELINE

DATE Aug 24/21

SITE

LOT

13