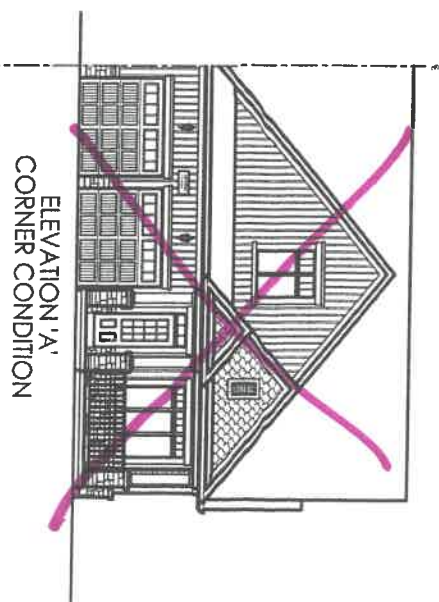
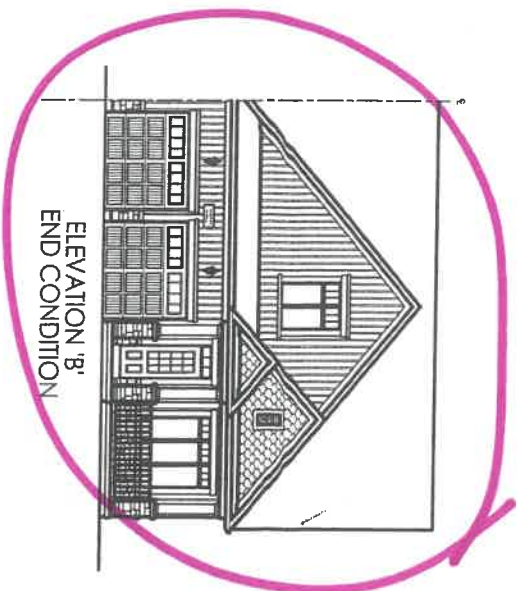
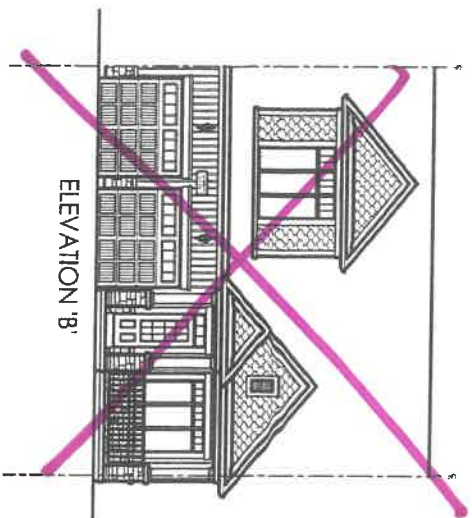
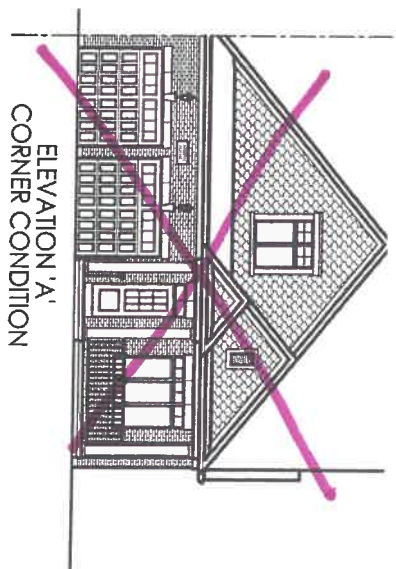
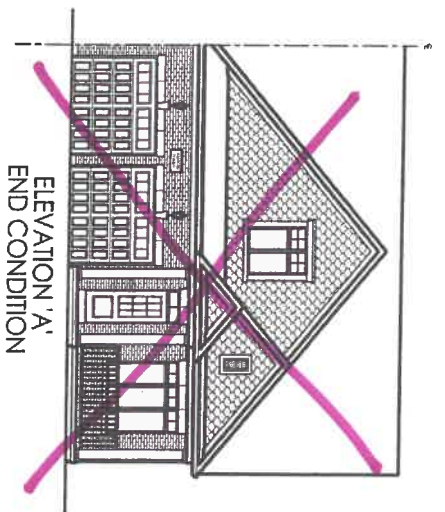
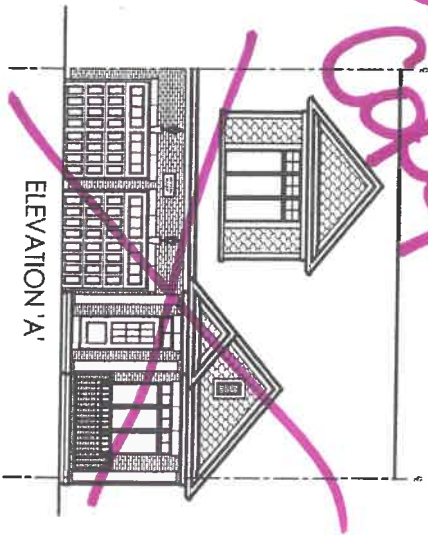




Drawing List:

TH-2 - NON-LOFT

Areas:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A' & 'B'
- A2 GROUND FLOOR ELEV 'A'
- A3 PARTIAL GROUND FLOOR ELEV 'B'
- A4 PARTIAL OPT. GROUND FLOOR ELEV 'A' & 'B'
- A5 FRONT ELEVATION 'A'
- A6 REAR ELEVATION 'A' & 'B'
- A7 FRONT ELEVATION 'B'
- A8 PART. BASEMENT FLOOR ELEV 'A' & 'B' WOD CONDITION
- A9 REAR ELEVATION 'A' & 'B' WOD CONDITION
- A10 END CONDITION BASEMENT FLOOR ELEV 'A' & 'B'
- A11 END CONDITION GROUND FLOOR ELEV 'A'
- A12 END CONDITION PARTIAL OPT. GROUND FLOOR ELEV 'B'
- A13 END CONDITION FRONT ELEVATION 'A'
- A14 END CONDITION RIGHT SIDE ELEVATION 'A'
- A15 END CONDITION REAR ELEVATION 'A' & 'B'
- A16 END CONDITION FRONT ELEVATION 'B'
- A17 CORNER UPGRADE BASEMENT FLOOR ELEV 'A' & 'B'
- A18 CORNER UPGRADE GROUND FLOOR ELEV 'A'
- A19 CORNER UPGRADE GROUND FLOOR ELEV 'B'
- A20 CORNER UPGRADE PART. OPT. GROUND FLOOR ELEV 'A' & 'B'
- A21 CORNER UPGRADE PART. OPT. GROUND FLOOR ELEV 'A' & 'B'
- A22 CORNER UPGRADE FRONT ELEVATION 'A'
- A23 CORNER UPGRADE RIGHT SIDE ELEVATION 'A'
- A24 CORNER UPGRADE REAR ELEVATION 'A'
- A25 CORNER UPGRADE REAR ELEVATION 'B'
- A26 CORNER UPGRADE RIGHT SIDE ELEVATION 'B'
- A27 PART. BASEMENT FLOOR ELEV 'A' & 'B' LOOK OUT CONDITION 'A'
- A28 PART. GROUND FLOOR ELEV 'A' & 'B' LOOK OUT CONDITION 'A'
- A29 REAR ELEVATION 'A' & 'B' L.O.B. CONDITION
- A30 GROUND FLOOR ELEV 'A' & 'B' LOOK OUT END CONDITION
- A31 END CONDITION REAR ELEVATION 'A' & 'B' L.O.B. CONDITION
- A32 CORNER UPGRADE BASEMENT FLOOR ELEV 'A' & 'B' LOOK OUT CONDITION
- A33 CORNER UPGRADE GROUND FLOOR ELEV 'A' & 'B' LOOK OUT CONDITION
- A34 CORNER UPGRADE REAR ELEVATION 'A' L.O.B. CONDITION
- D1 CORNER UPGRADE REAR ELEVATION 'B' L.O.B. CONDITION
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4-D11 CONSTRUCTION DETAILS

APPLICANT'S COPY

TOWN OF WASAGA BEACH
BUILDING & PLUMBING DEPT.

Reviewed By: *[Signature]*

DATE: *Aug 15/17*

BUILDING PERMIT # _____

		ELEVATION 'A'		ELEVATION 'B'	
		SF	SM	SF	SM
BASEMENT FLOOR	(1)	335.6	31.2	335.6	31.2
GROUND FLOOR	(2)	1258.1	116.9	1258.1	116.9
GROUND FLOOR OTB	(3)	(5.4)	(0.5)	(5.4)	(0.5)
TOTAL AREA (1)		1588.3	147.6	1588.3	147.6
CORNER UPGRADE BASEMENT FLOOR	(1)	335.6	31.2	335.6	31.2
CORNER UPGRADE GROUND FLOOR	(1)	1325.0	123.1	1325.1	123.1
CORNER UPGRADE GROUND FLOOR OTB	(1)	(5.4)	(0.5)	(5.4)	(0.5)
TOTAL AREA (1)		1655.2	153.8	1655.3	153.8
END CONDITION BASEMENT FLOOR	(2)	335.6	31.2	335.6	31.2
END CONDITION GROUND FLOOR	(2)	1306.8	121.4	1261.5	242.8
END CONDITION GROUND FLOOR OTB	(2)	(5.4)	(0.5)	(5.4)	(0.5)
TOTAL AREA (2)		1637.0	152.1	2943.7	273.5
COVERAGE INC PORCH (STD)	(3)	1731.4	160.8	1731.4	160.8
COVERAGE NOT INC PORCH (STD)	(3)	1650.6	153.3	1650.6	153.3
COVERAGE INC PORCH (END)	(1)	1784.9	165.8	1784.9	165.8
COVERAGE NOT INC PORCH (END)	(1)	1699.3	157.9	1699.3	157.9
COVERAGE INC PORCH (UPG)	(2)	1803.2	167.5	1803.2	167.5
COVERAGE NOT INC PORCH (UPG)	(2)	1717.6	159.6	1717.6	159.6

INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:

Electrical Safety Authority
1-877-ESA-SAFE
OR VISIT
WWW.ESA-SAFE.COM

Zancor Homes

Wasaga Townhomes

Any proposed changes to the reviewed permit drawings or documents must be approved by the Building Department prior to making the changes.

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RM DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

SIGNATURE:

client

Zancor Homes

Wasaga Townhomes

location

Wasaga Beach

marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	MAY/21/17	CG	INC	5.	ISSUED FOR FINAL	2017/07/13	HAZ	INC
2.	REVISED PER CLIENT COMMENTS	JUN/14/17	SP	NC					
3.	REVISED PER FLOOR/TRUSS COORD	2017/07/06	HAZ	NC					
4.	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC					

RM design
Imagine • Inspire • Create

model
TH-2-NON-LOFT

scale
3/16" = 1'0"

project #
16058

page

A0

[illegible]

END CONDITION
BASEMENT FLOOR ELEV 'A' & 'B'

client

Wasaga Beach

marketing name

model
TH-2-NON-LOFT
scale
3/16" = 1'0"

project #
16058

QUALIFIED DESIGNER BCIN: 21032
 FIRM BCIN: 26795
 DATE: July 13, 2017
 SIGNATURE: 

ଅନ୍ତିମ

A9



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY DESIGN LTD./UNDER DIVISION C/PART-3 SUBSECTION-2.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:
SIGNATURE:

21032
28995
SEPTEMBER 19, 2017

END CONDITION GROUND FLOOR ELEV. 'A'

client
Zancor Homes

project
Wasaga Townhomes

location
Wasaga Beach

marketing name

FIN design
Imagine - Inspire - Create

model
TH-2-NON-LOFT

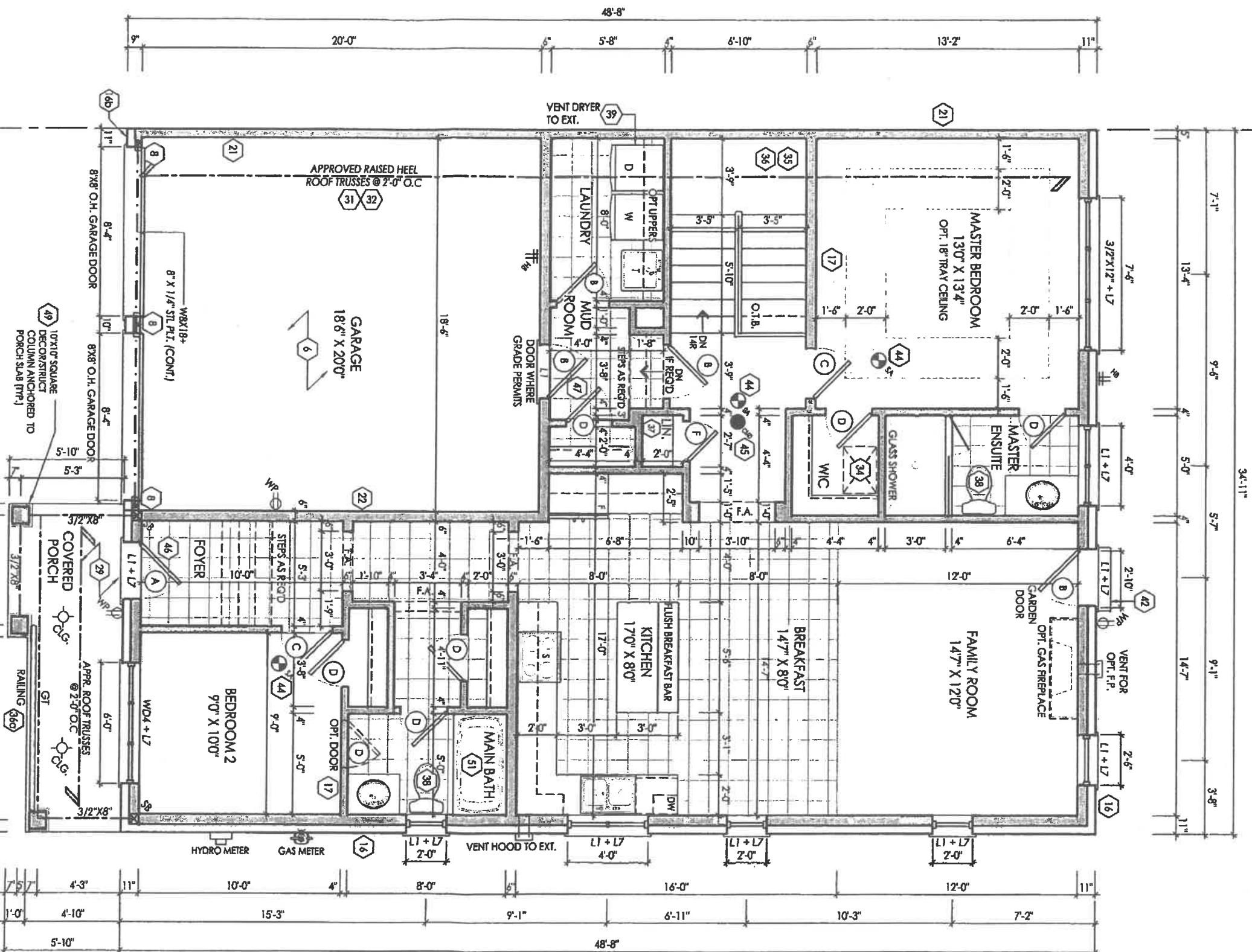
scale
3/16" = 1'0"

project #
16058

page

A10

#	revisions	date	dwg	chk	#	revisions	date	dwg	chk
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2	REVISED PER CLIENT COMMENTS	20/11/17	3P	INC	6	RE-ISSUED FOR FINAL	20/11/17	SI	INC
3	REVISED PER FLOOR/TRUSS COORD	20/11/17	HAZ	INC					
4	REVISED AS PER ENG COMMENTS	20/11/17	HAZ	INC					



NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY, TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.
NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR LAYOUT AND SPACING.
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT.
NOTE: CONC FRONT PORCH POURED PRIOR TO BRICK.

[illegible]

NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY, TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR.

NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING

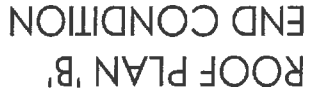
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: CONDO FRONT PORCH POURED PRIOR TO BRICK

[illegible]

client		location							
Zancor Homes		Wasaga Beach							
Project		marketing name							
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	10/14/17	CG	MC	5	ISSUED FOR FINAL	2017/07/13	MC	MC
2	REVISED PER CLIENT COMMENTS	10/14/17	SP	MC	6	RE-ISSUED FOR FINAL	2017/07/13	SP	MC
3	REVISED PER FLOOR/PLANS COORD	2017/08	MC	MC					
4	REVISED AS PER BING COMMENTS	2017/07/13	MC	MC					

model	TH-2-NON-LOFT
scale	3/16" = 1'0"
project #	16058



NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

GROSS GLAZING AREA - EL. 'B'			INTERIOR END CONDITION		
TOTAL PERIPHERAL WALL AREA	1517.90	SF	141.01	SF	
FRONT GLAZING AREA	36	SF	3.34	SF	
LEFT SIDE GLAZING AREA	0.0	SF	0.00	SF	
RIGHT SIDE GLAZING AREA	44.66	SF	4.15	SF	
REAR GLAZING AREA	94.28	SF	8.76	SF	
TOTAL GLAZING AREA	174.94	SF	16.25	SF	
TOTAL GLAZING PERCENTAGE	11.53	%			

PEAK

8-12

BUILDING FORM #

DATE *10/15/17*

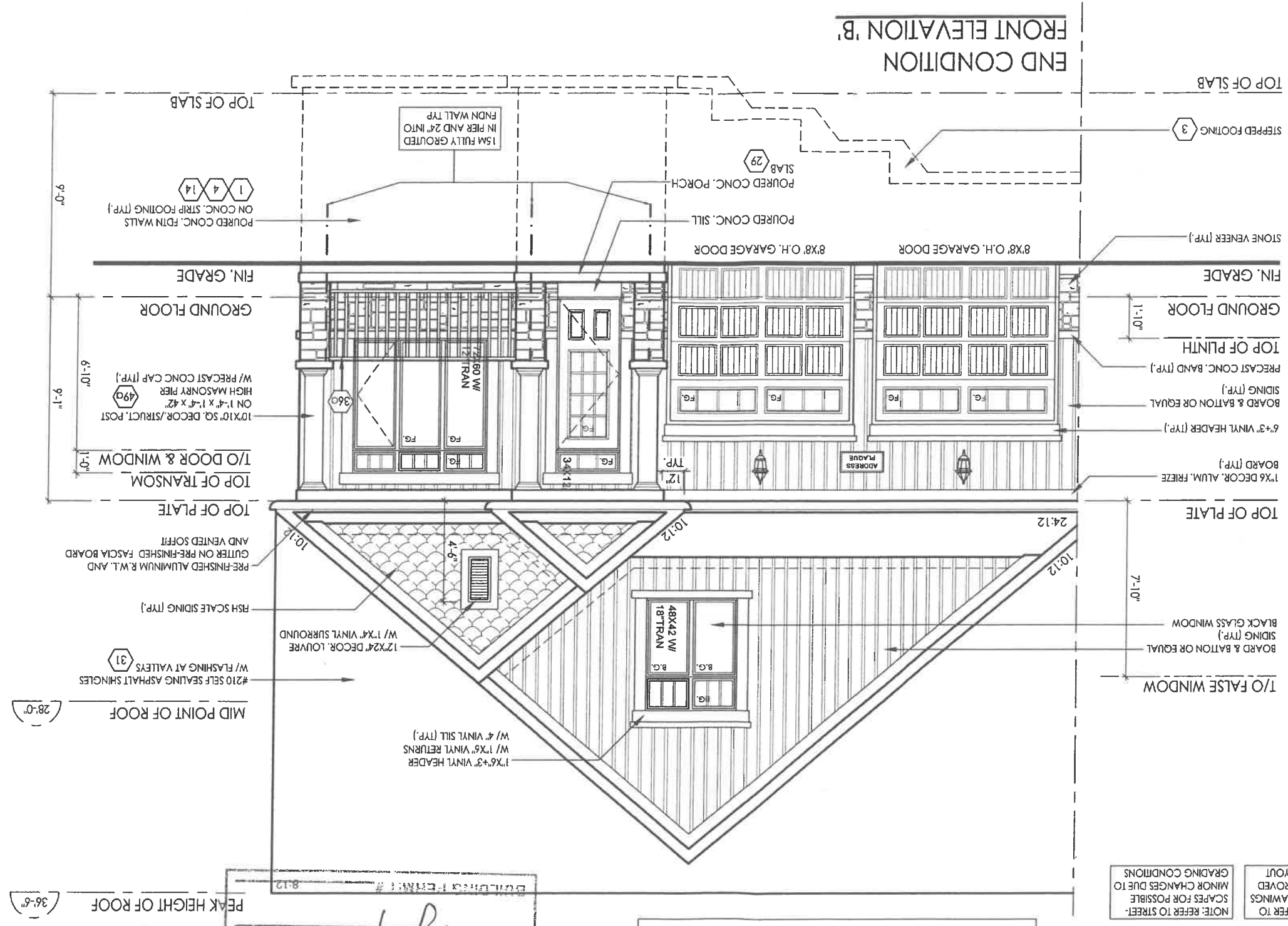
MUST COMPLY WITH CNTARIO BUILDING CODE

FOR THE CHIEF BUILDING OFFICIAL

Reviewed By *[Signature]*

BUILDING & PLUMBING DEPT.

TOWN OF WASAGA BEACH



I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
FIRM BCIN:

Date: 21/03/26995
July 13, 2017

SIGNATURE: 

DocId:32912626 DocTitle:Formulario de Registro e Qualificação do Profissional - RQFP - 2017 - Versão 1.0 - 14/03/2017 - Página 3 de 3

client		location							
Zancor Homes		Wasaga Beach							
project		marketing name							
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	04/15/17	CG	NC	5.	ISSUED FOR FINAL	20/07/13	HAZ	NC
2	REVISED PER CLIENT COMMENTS	04/16/17	SP	NC					
3.	REVISED PER FLOOR/TRUSS COORD	20/07/06	HAZ	NC					
4.	REVISED AS PER ENG COMMENTS	20/07/13	HAZ	NC					

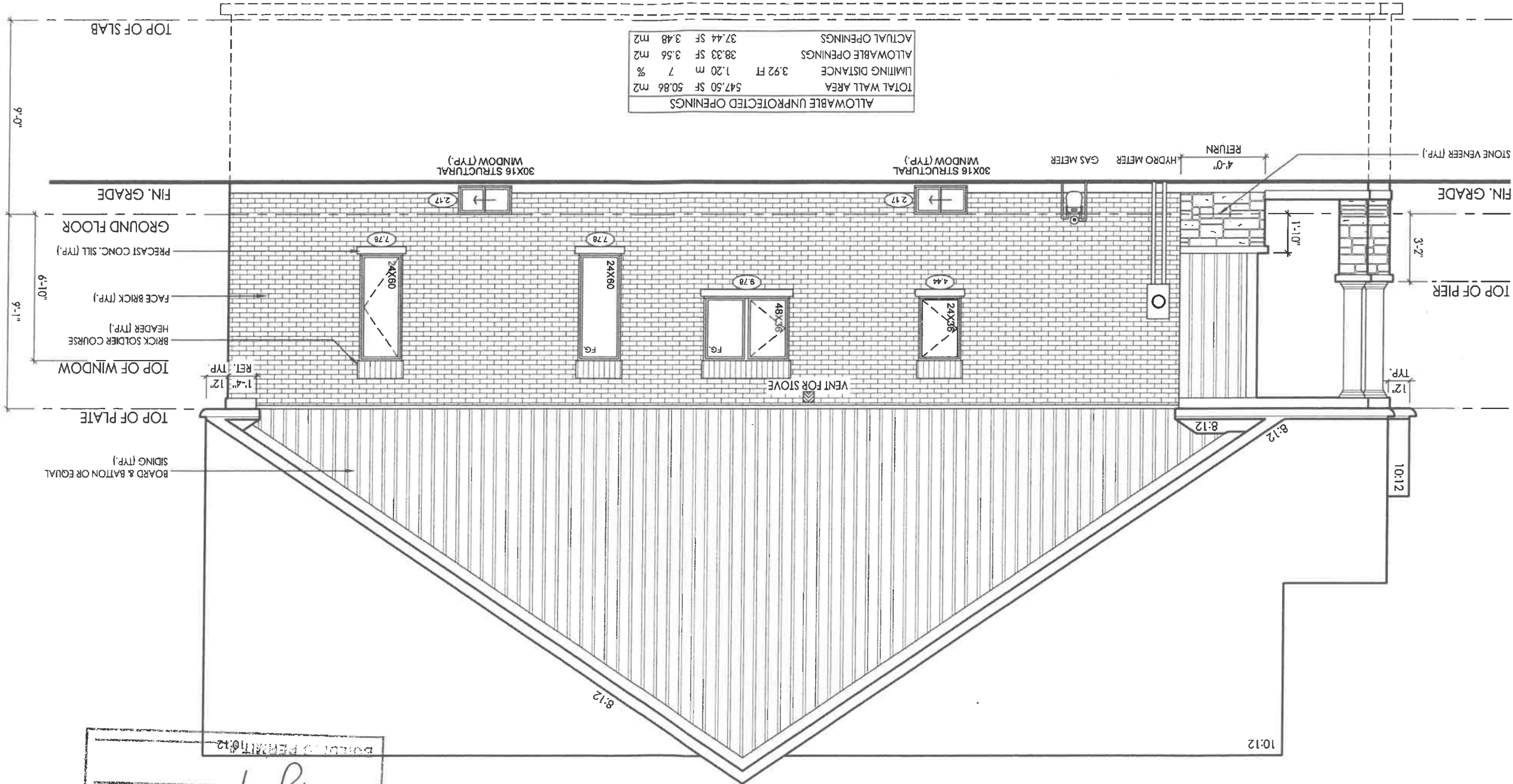
model
TH-2-NON-LOFT

scale
3/16" = 1'0"

project #
18058

page
A15

END CONDITION
RIGHT SIDE ELEVATION 'B'



ALLOWABLE UNPROTECTED OPENINGS			
TOTAL WALL AREA	547.50 SF	50.86 m2	
LIMITING DISTANCE	3.92 FT	1.20 m	7 %
ALLOWABLE OPENINGS	38.33 SF	3.56 m2	
ACTUAL OPENINGS	37.44 SF	3.48 m2	

TOWN OF WASAGA BEACH
BUILDING & PLUMBING DEPT.
Reviewed By: [Signature]
DATE: 08/15/17
MUST COMPLY WITH ONTARIO BUILDING CODE
BUILDING PERMIT 0812

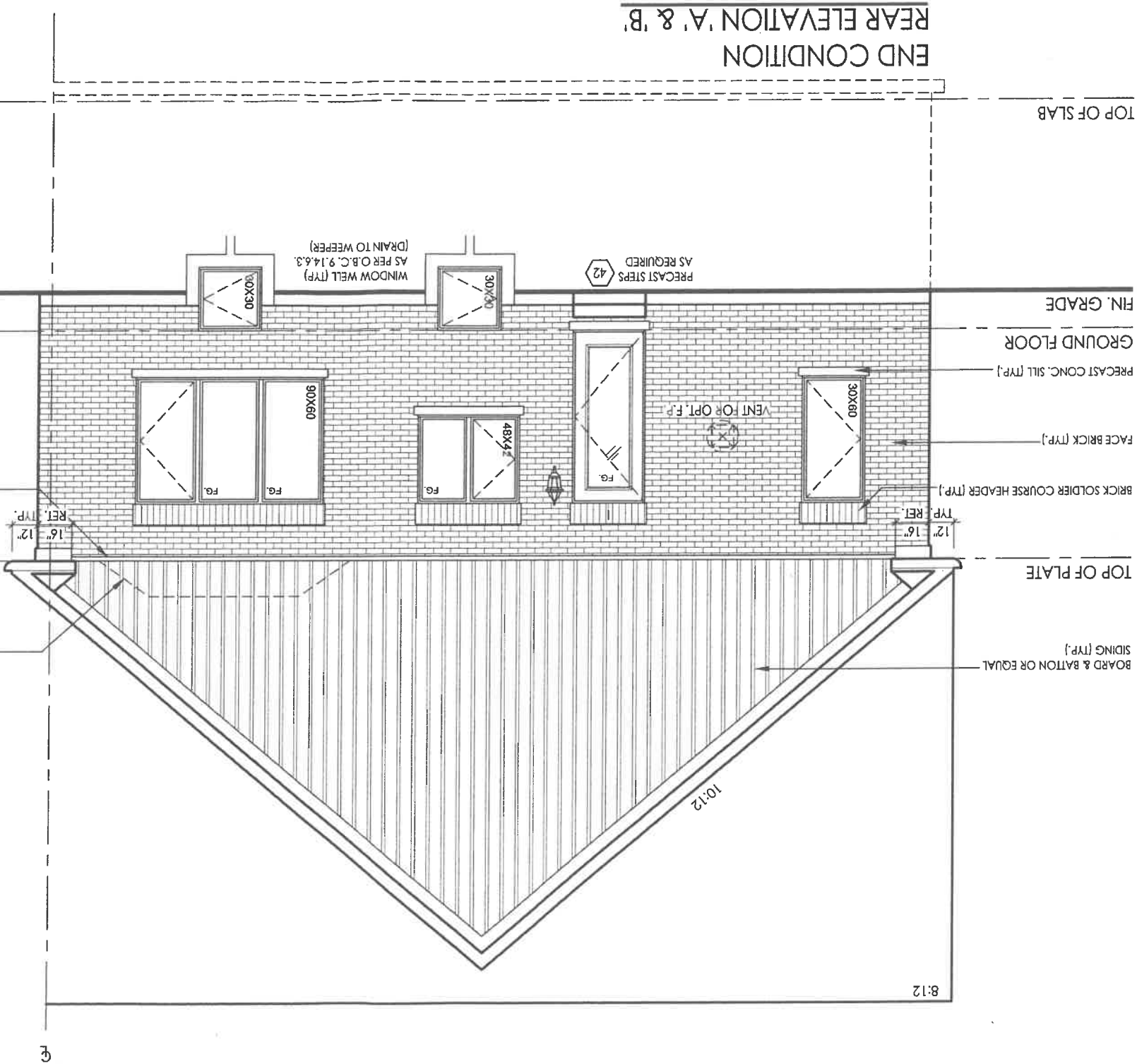
I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FIN DESIGN LTD UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

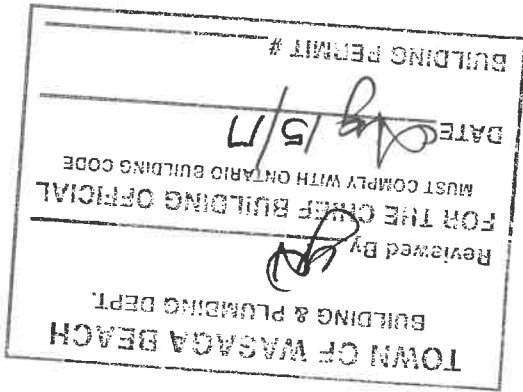
SIGNATURE: [Signature]

client					location										
Zancor Homes					Wasaga Beach										
project					marketing name										
Wasaga Townhomes															
#	revisions			date		dwn	chk	#	revisions		date		dwn	chk	
1.	ISSUED FOR CLIENT REVIEW			4/4/15,17		CG	NC	5.	ISSUED FOR FINAL			2017/07/13		HAZ	NC
2	REVISED PER CLIENT COMMENTS			JUN-14-17		SP	NC								
3.	REVISED PER FLOOR/TRUSS COORD			2017/07/04		HAZ	NC								
4.	REVISED AS PER ENG COMMENTS			2017/07/13		HAZ	NC								





END CONDITION
REAR ELEVATION 'A' & 'B'



client					location				
Zancor Homes					Wasaga Beach				
project					marking name				
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1.	ISSUED FOR CLIENT REVIEW	4/4/17	CG	NC	5.	ISSUED FOR FINAL	2017/07/13	HAZ	NC
2	REVISED PER CLIENT COMMENTS	4/4/17	SP	NC					
3.	REVISED PER FLOOR/TRUSS COORD	2017/06/14	HAZ	NC					
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC					

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **PN DESIGN LTD** UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995
DATE: July 13, 2017

SIGNATURE: [Signature]