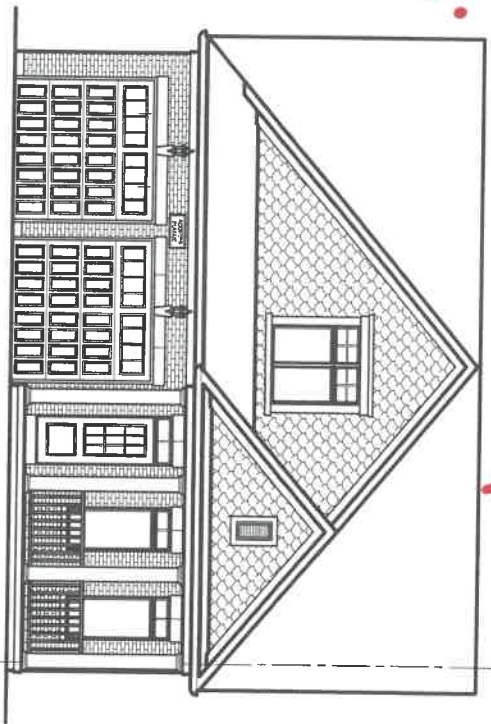


SITE 4.

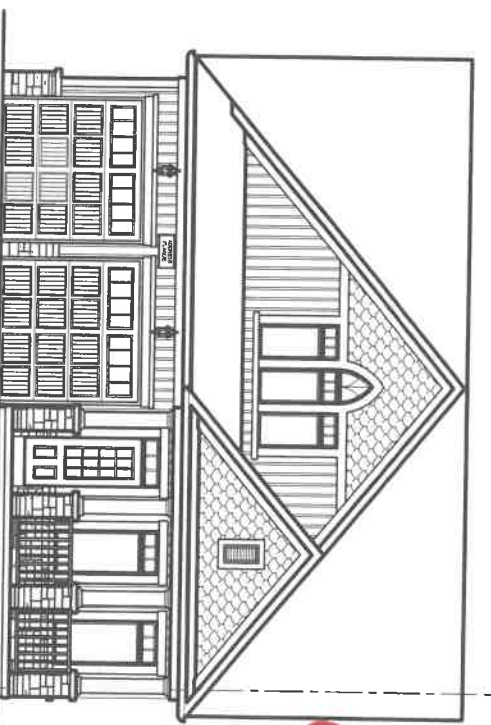
3pc

134-4

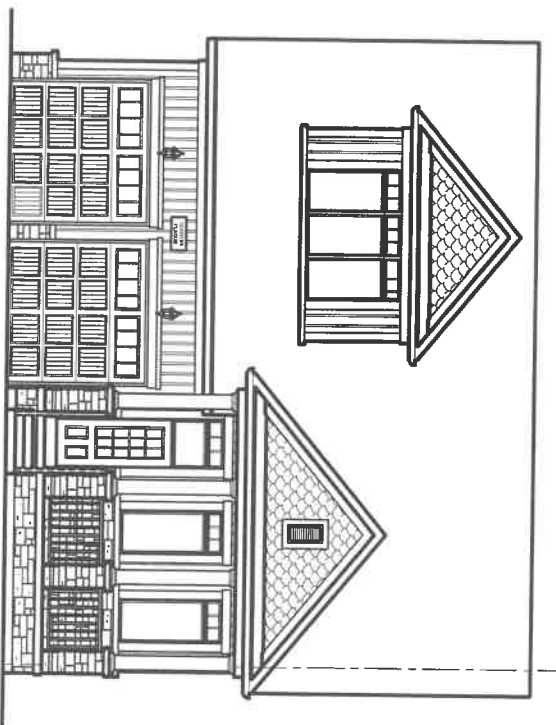
Elev A
Corner



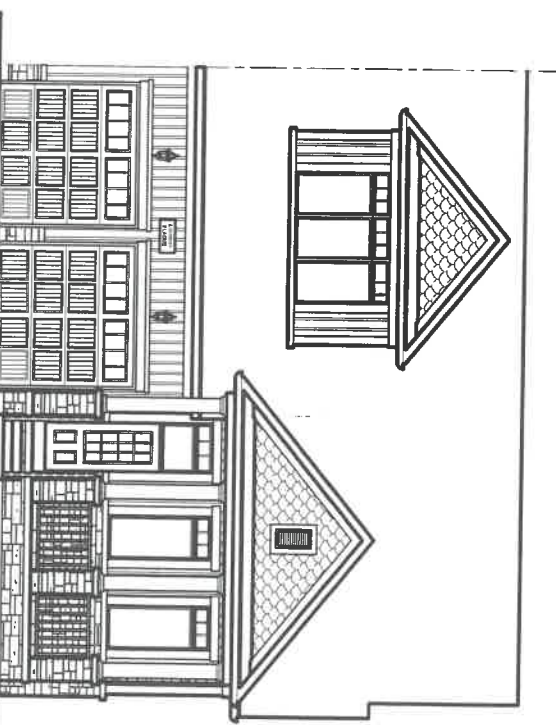
FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'D'



FRONT ELEVATION 'D' CORNER UPGRADE

Drawing List:

TH-1 - NON LOFT

- A0 TITLE SHEET
A1 BASEMENT FLOOR ELEV. 'A', 'B'
A2 GROUND FLOOR ELEV. 'A'
A3 PARTIAL GROUND FLOOR ELEV. 'B'
A4 FRONT ELEVATION 'A'
A5 ROOF PLAN ELEV. 'A'
A6 LEFT SIDE ELEVATION 'A'
A7 REAR ELEVATION 'A' & 'B'
A8 FRONT ELEVATION 'B'
A9 ROOF PLAN ELEV. 'B'
A10 LEFT SIDE ELEVATION 'B'
A11 BASEMENT FLOOR ELEV. 'D'
A12 GROUND FLOOR ELEV. 'D'
A13 ROOF PLAN ELEV. 'D'
A14 LEFT SIDE ELEVATION 'D'
A15 REAR ELEVATION 'D'
A16 BASEMENT FLOOR PLAN ELEV. 'D' CORNER UPGRADE
A17 GROUND FLOOR PLAN ELEV. 'D' CORNER UPGRADE
A18 FRONT ELEVATION ELEV. 'D' CORNER UPGRADE
A19 RIGHT SIDE ELEVATION ELEV. 'D' CORNER UPGRADE
A18 REAR ELEVATION ELEV. 'D' CORNER UPGRADE
A19 BASEMENT FLOOR ELEV. 'A', 'B' LOOK OUT CONDITION
A20 GROUND FLOOR ELEV. 'A' & 'B' LOOK OUT CONDITION
A20 REAR ELEVATION 'A' & 'B' LOOK OUT CONDITION
A21 BASEMENT FLOOR ELEV. 'A', 'B'
A22 GROUND FLOOR ELEV. 'A', 'B'
A23 PARTIAL GROUND FLOOR ELEV. 'B'
A24 FRONT ELEVATION 'A'
A25 ROOF PLAN ELEV. 'A'
A26 REAR ELEVATION 'A' & 'B'
A26 FRONT ELEVATION 'B'
A27 ROOF PLAN ELEV. 'B'
A27 BASEMENT FLOOR - INTERIOR END ELEV. 'A'
A28 OPT. GROUND FLOOR - INTERIOR END ELEV. 'A'
A29 FRONT ELEVATION - INTERIOR END ELEVATION 'A'
A29 ROOF PLAN ELEV. 'A'
A30 RIGHT SIDE ELEVATION - INTERIOR END ELEVATION 'A'
A31 REAR ELEVATION - INTERIOR END ELEVATION 'A'
A32 BASEMENT FLOOR ELEV. 'A' & 'B' CORNER UPGRADE
A33 GROUND FLOOR ELEV. 'A' CORNER UPGRADE
A34 GROUND FLOOR ELEV. 'B' CORNER UPGRADE
A35 FRONT ELEVATION 'A' CORNER UPGRADE
A36 ROOF PLAN ELEV. 'A' CORNER UPGRADE
A37 RIGHT SIDE ELEVATION 'A' CORNER UPGRADE
A37 REAR ELEVATION 'A' CORNER UPGRADE
A38 FRONT ELEVATION 'A' CORNER UPGRADE
A38 ROOF PLAN ELEV. 'B' CORNER UPGRADE
A39 RIGHT SIDE ELEVATION 'B' CORNER UPGRADE
A40 REAR ELEVATION 'B' CORNER UPGRADE
A41 FRONT ELEVATION 'A' MODIFIED CORNER UPGRADE
A41 ROOF PLAN ELEV. 'A' MODIFIED CORNER UPGRADE
A42 RIGHT SIDE ELEVATION 'A' MODIFIED CORNER UPGRADE
A42 ROOF PLAN ELEV. 'A' MODIFIED CORNER UPGRADE
D1 CONSTRUCTION NOTES
D2 CONSTRUCTION NOTES
D3 CONSTRUCTION NOTES

#	revisions	date	dwn	chk
1	ISSUED FOR PERMIT	26/JAN/2022	HZ	CR

client

Zancor Homes

Wasaga Townhomes

location

Wasaga Beach

marketing name

#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	2017/05/12	VIA	NC
2	REVISED PER CLIENT COMMENTS	2017/06/16	SP	NC
3	REVISED PER FLOOR/PLANS COORD	2017/07/06	HAZ	NC
4	REVISED AS PER ENG COMMENTS	2017/07/13	HAZ	NC

Areas:

	ELEVATION 'A'	ELEVATION 'A' CORNER UPGRADE	ELEVATION 'B'	ELEVATION 'B' CORNER UPGRADE	ELEVATION 'D'	ELEVATION 'D' CORNER UPGRADE
BASEMENT FLOOR	SF	SM	SF	SM	SF	SM
GROUND FLOOR	304.3	28.5	316.7	29.4	306.3	28.5
BASEMENT FLOOR PLAN	1021.3	94.9	1031.7	95.8	1041.5	94.9
CIRCULAR FLOOR PLAN	1327.6	123.3	1346.47	126.3	1327.6	123.3
TOTAL AREA (m ²)	1327.6	123.3	1346.47	126.3	1327.6	123.3
COVERED AREA (m ²)	1516.7	141.1	1571.4	141.3	1571.4	141.3
COVERED AREA (m ²)	1431.6	133.0	1431.6	133.0	1431.6	133.0

APPLICANTS COPY
TOWN OF WASAGA BEACH
BUILDING & PLUMBING DEPT.
Reviewed By [Signature]
FOR THE CHIEF BUILDING OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE
DATE Feb 14/20
BUILDING PERMIT # _____

Zancor Homes

Wasaga Townhomes

PN design
Imagine • Inspire • Create



model
TH-1-NON LOFT

scale
3/16" = 1'0"

page

A0

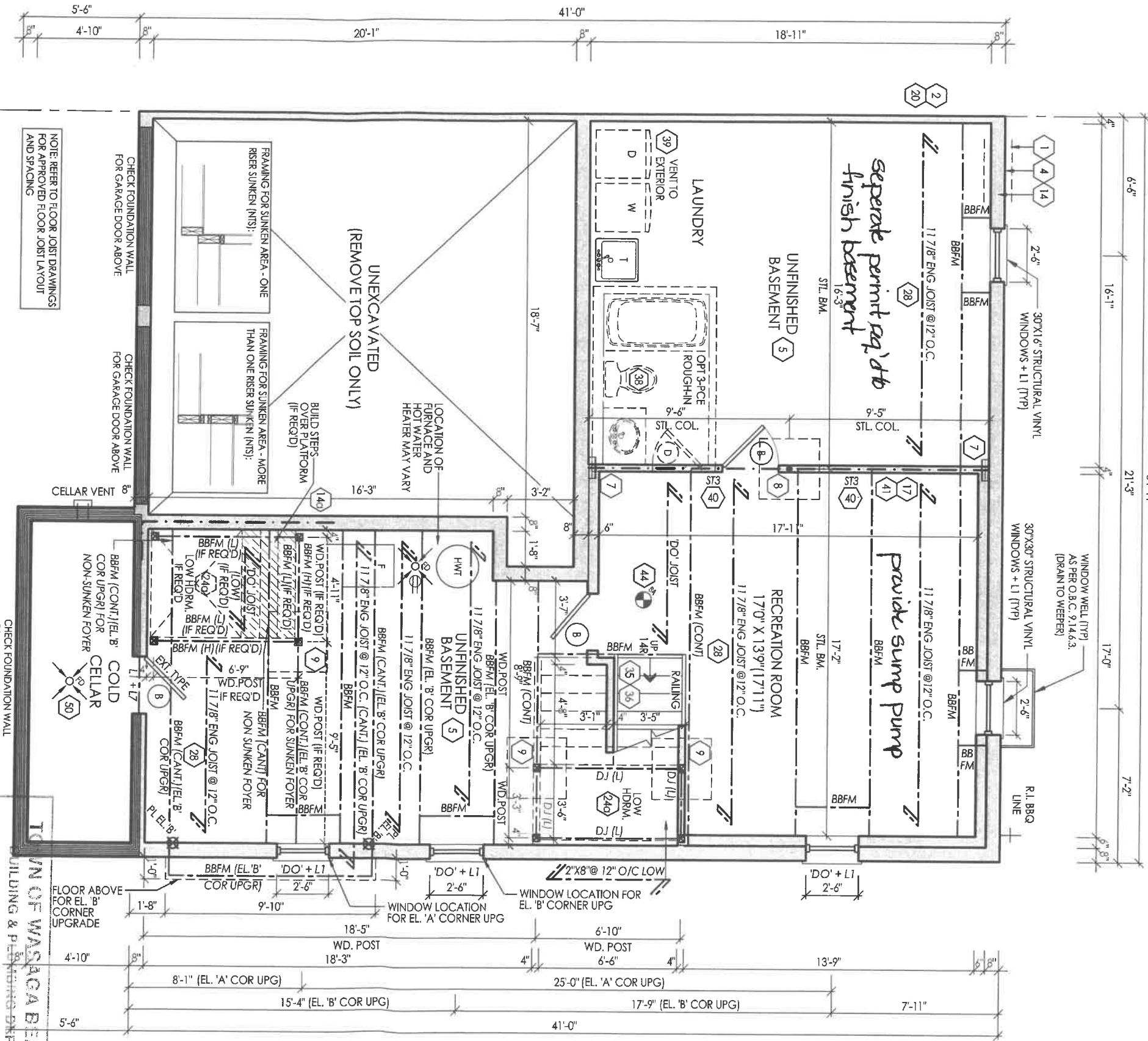
project #
16058

I, NELSON CUNHA DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **PN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21032
FIRM BCIN: 26995

SIGNATURE: _____

Refer to floor design for joist/beam sizes, spacing and direction



BASEMENT FLOOR ELEV. 'A' & 'B'
CORNER UPGRADE

*waterline to be 3/4" from main to farthest bathroom group

I, ARTHUR PU YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JAN-30-2020
SIGNATURE:

client				location			
Zancor Homes				Wasaga Beach			
project				marketing name			
Wasaga Townhomes							
#	revisions	date	dwn	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	6 DEC 19	HZ	AL			
2	REVISED PER FLOOR COORDINATION	JAN 13 2020	HZ	CR			
3	ISSUED FOR PERMIT	28 JAN 2020	HZ	CR			

model
TH-1-NON LOFT

scale
3/16" = 1'0"

project #
16058

Reviewed By

FOR THE CHIEF BUILDING OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE

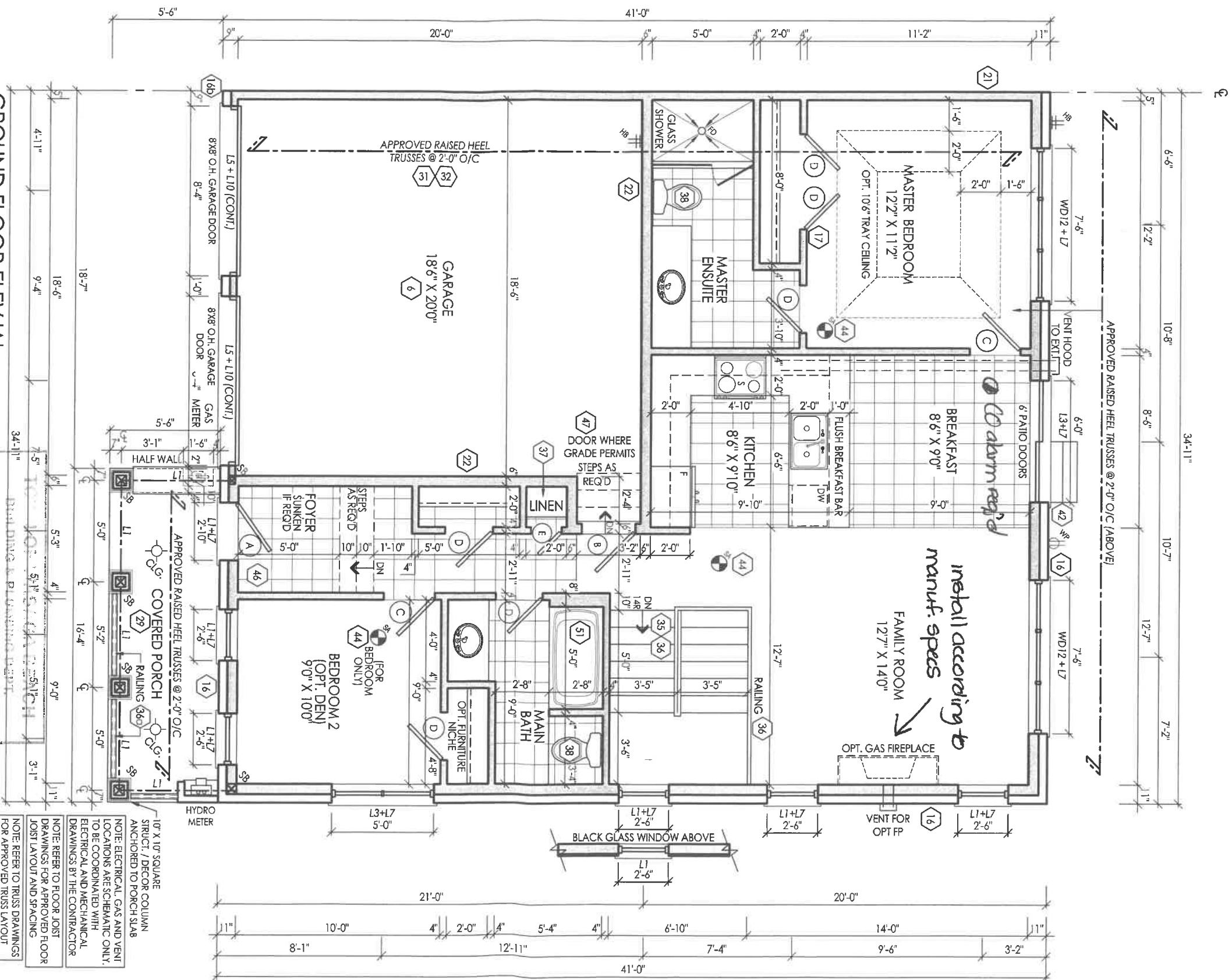
DATE Feb 14/20

BUILDING PERMIT # _____

REGISTERED PROFESSIONAL ENGINEER
STRUCTURE ONLY
RAYUBEKIAN
JAN-30-2020
ONTARIO
INDEPENDENT ASSOCIATION OF ENGINEERS

page
A32

www.rndesign.com
Tel: 905-738-3177
www.therplusgroup.ca



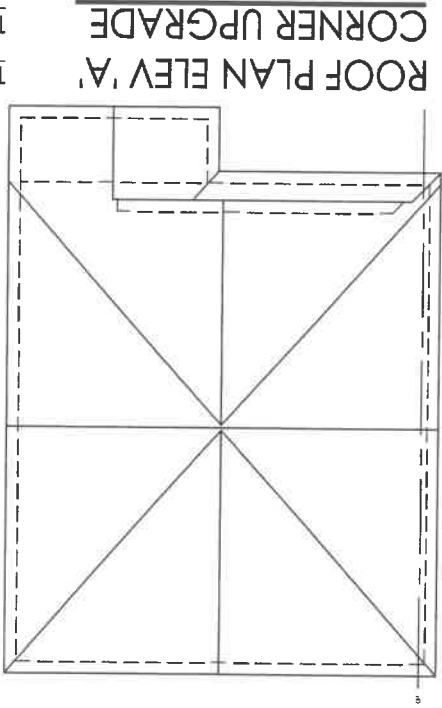
GROUND FLOOR ELEV 'A'
CORNER UPGRADE

Reviewed By *[Signature]*
FOR THE OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE
DATE *Feb 14/20*
BUILDING PERMIT #



I, ARIAN PUI YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **AN DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE, I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
FIRM BCIN: 41290
DATE: 28/9/20
SIGNATURE: *[Signature]*
JAN-30-2020

client		location							
Zancor Homes		Wasaga Beach							
project		marketing name							
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6/28/19	HZ	AL					
2	REVISED PER TRUSS COORDINATION - BLOCK 134 & 144	JAN-13-2020	HZ	CR					
3	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	28-JAN-20	HZ	CR					

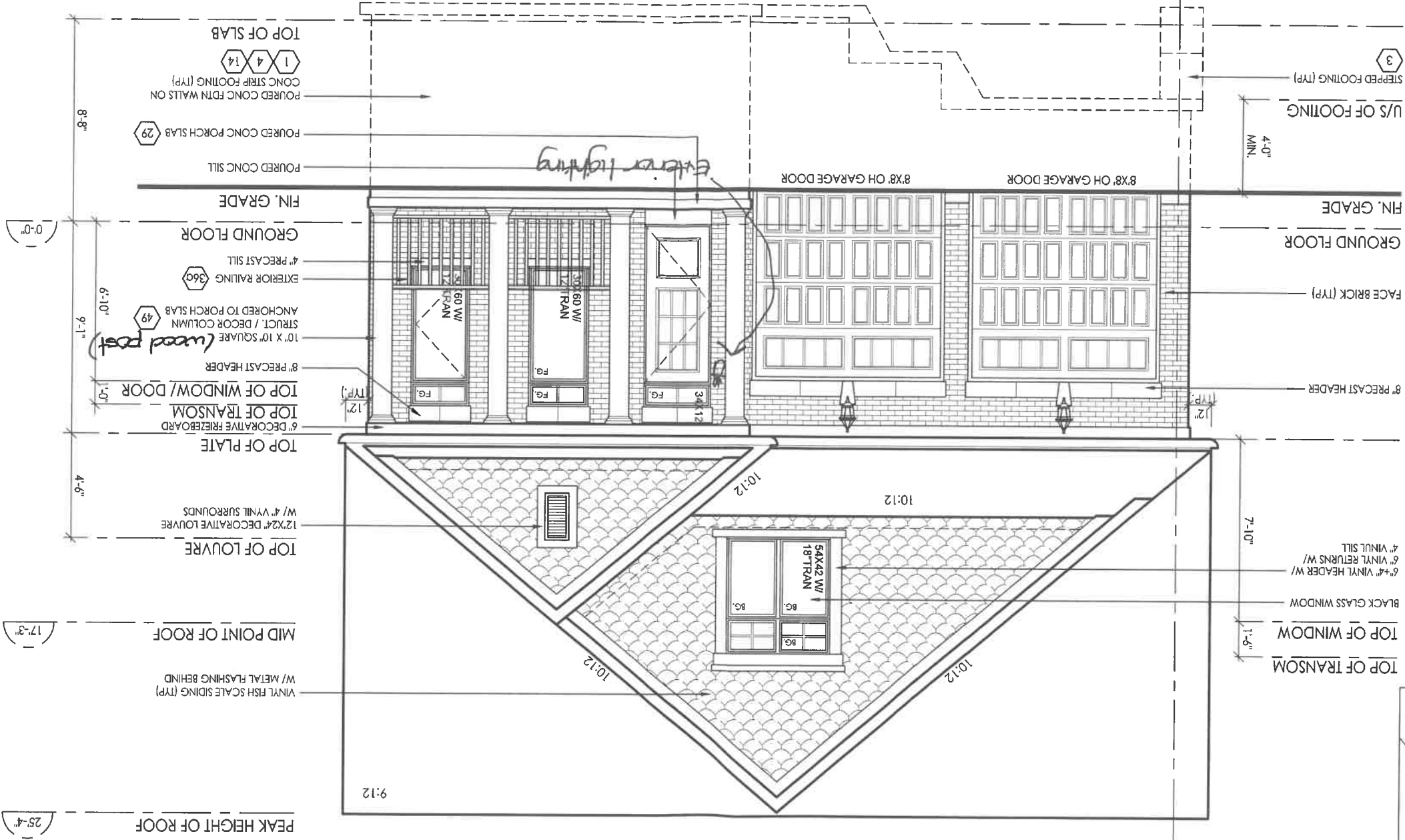
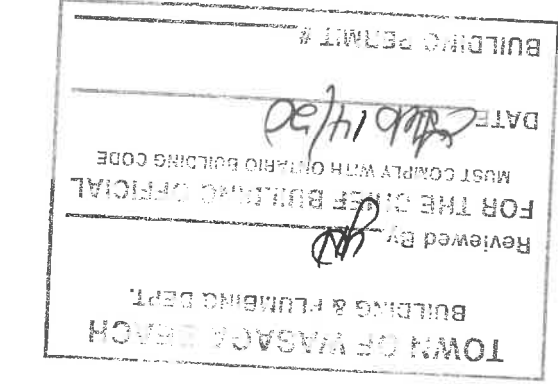


NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

NOTE: REFER TO TRUSS LAYOUT FOR APPROVED TRUSS LAYOUT

NOTE: REFER TO STREET GRADING CONDITIONS FOR APPROVED MINOR CHANGES DUE TO GRADING CONDITIONS

GROSS GLAZING AREA-ELEV A CORNER UPGRADE					
TOTAL PERIPHERAL WALL AREA	1421.54	SF	132.07	m ²	
FRONT GLAZING AREA	52.19	SF	4.85	m ²	
LEFT SIDE GLAZING AREA	0.00	SF	0.00	m ²	
RIGHT SIDE GLAZING AREA	81.67	SF	7.59	m ²	
REAR GLAZING AREA	146.58	SF	13.62	m ²	
TOTAL GLAZING AREA	280.44	SF	26.05	m ²	
TOTAL GLAZING PERCENTAGE	19.73	%			



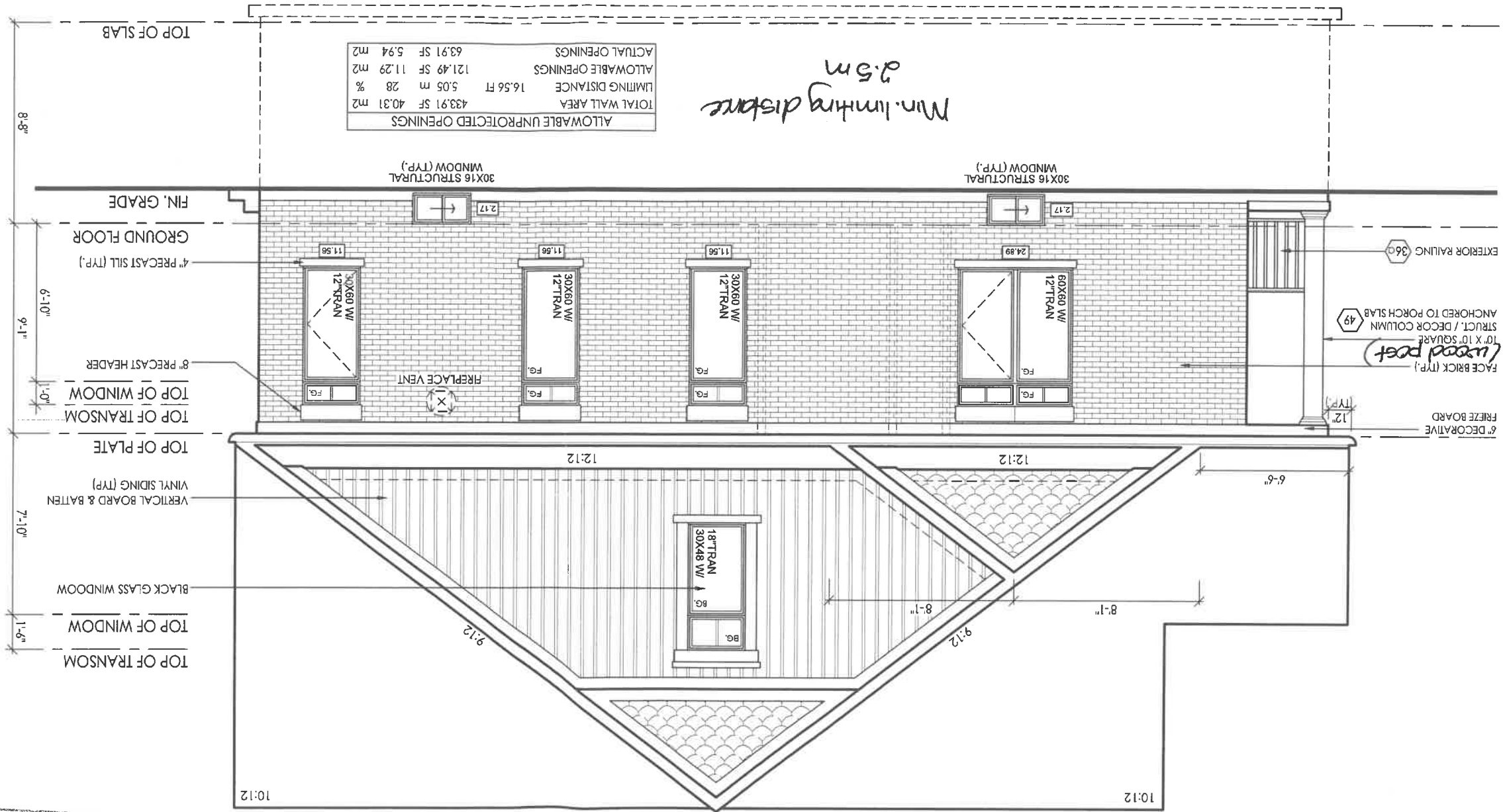
I, ARTHUR PU YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RND DESIGN LTD.** UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JAN-30-2020

SIGNATURE: [Signature]

client		location							
Zancor Homes		Wasaga Beach							
project		marketing name							
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6DEC-19	HZ	AL					
2	ISSUED FOR PERMIT	28JAN-20	CR	CR					

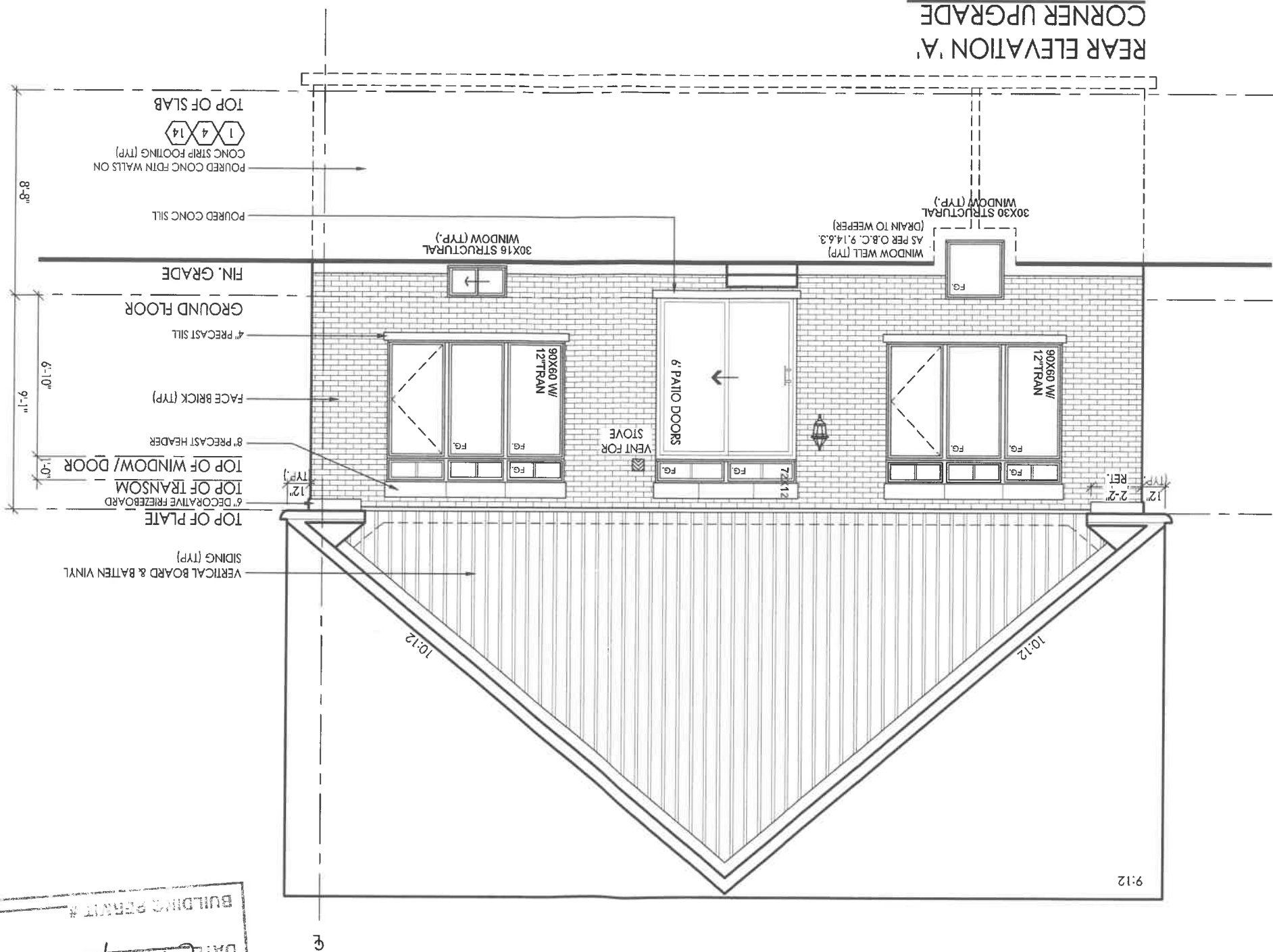
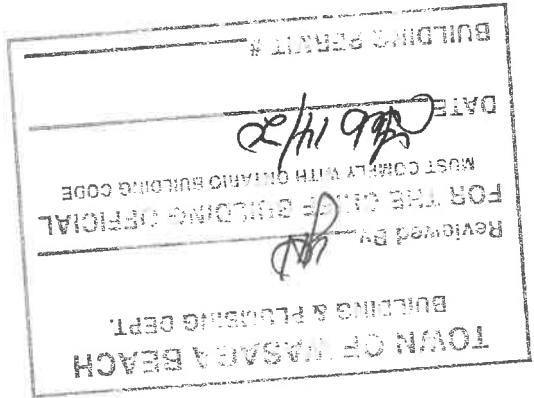
RIGHT SIDE ELEVATION 'A'
CORNER UPGRADE



TOWN OF WASAGA BEACH
BUILDING & PLANNING DEPT.
Reviewed By: [Signature]
FOR THE CHIEF BUILDING OFFICIAL
MUST COMPLY WITH ONTARIO BUILDING CODE
DATE: Feb 14/20
BUILDING PERMIT #

I, ARTHUR PU YAN, LAWYER, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF **IN DESIGN LTD.** UNDER DIVISION C, PART 3
SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JAN-30-2020
SIGNATURE: [Signature]

client				location			
Zancor Homes				Wasaga Beach			
project				marketing name			
Wasaga Townhomes							
#	revisions	date	own	chk	#	revisions	date
1	ISSUED FOR CLIENT REVIEW	6 DEC 19	HZ	AL			
2	ISSUED FOR PERMIT	28 JAN 20	CR	CR			



I, ARTHUR PUJ VAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C PART 3 SUBSECTION 3.2.2 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES:
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JAN-30-2020
SIGNATURE: _____

client				location					
Zancor Homes				Wasaga Beach					
project				marketing name					
Wasaga Townhomes									
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	6DEC19	HZ	AL					
2	ISSUED FOR PERMIT	28JAN20	CR	CR					