



CONSTRUCTION SUMMARY

Belle Aire Shores - Zancor Homes (Innisfil) Ltd.

PURCHASER: Simion Kronenfeld

TEL: RES: 416-663-2545

LOT / PHASE	HOUSE TYPE	PRINT DATE
148N / 2	FISHER (42-05) ELEVA	20-Jun-17

Ref#	Quantity - Description	Approved	Notes
3018	NO STRUCTURAL CHANGES	20Jun17	
3574	ELECTRICAL LED POTLIGHTS 6- GREAT ROOM ON SAME SWITCH KEEP STD LIGHT 4 DINING ROOM ON SAME SWITCH KEEP STD LIGHT 5-KITCHEN ON SAME SWITCH KITCHEN SHIFT STD LIGHT TO BE INSTALLED ABOVE ISLAND 5-MAIN HALLWAY ON SAME SWITCH DELETE STD LIGHT	20Jun17	
3575	SMOOTH CEILINGS MAIN FLOOR AND 2ND FLOOR	20Jun17	
3576	UPGRADE 5 INTERIOR DOORS ON MAIN FLOOR TO 8 FT	20Jun17	
3577	NOTE ALL UPGRADES ARE AS PER AGPS	20Jun17	
4073	BONUS: Granite kitchen countertops with undermount sink 3 Piece stainless steel appliances with white top loading washer and dryer Stainless steel under cabinet hood fan Extended uppers in kitchen (39-1/2") BBQ Gas line	20Jun17	
4074	BONUS: Air Conditioning (42ft and 50ft lots ONLY) 9ft main floor ceilings, 8ft ceilings on second floor 3-1/4 inch by 3/4 inch natural prefinished hardwood on main floor in non-tiled areas, excludes bedrooms Natural finished oak stairs	20Jun17	

STR/covers

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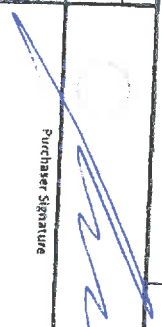

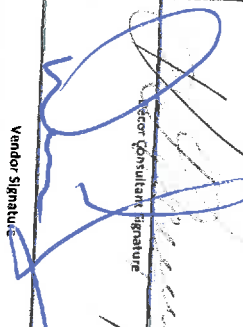
ZANCOR HOMES COLOUR CHART

CABINETRY / COUNTERTOPS						
	DOOR STYLE	HARDWARE	COUNTERTOP	EDGE		
Kitchen	SIERRA OAK ESPRESSO STAIN	H 800 BC	GALLO ORNAMENTAL LIGHT	C		
Island	SIERRA OAK ESPRESSO STAIN	H 800 BC	GALLO ORNAMENTAL LIGHT	C		
Service	NA					
Master Ensuite	CONT SLAB PVC TUXEDO	H-820 BC	PORTICO MARBLE 7735-58			
Twin Bath	CONT SLAB MDF STONE GREY	H 800 BC	ELEMENTAL CONCRETE 8830-58			
Ensuite # 4	CONT SLAB MDF STONE GREY	H 800 BC	ELEMENTAL CONCRETE 8830-58			
Ensuite ##	NA					
Powder Room	NA					
Laundry	NA					
Basement Bath	NA					
TILES						
Main Foyer	KEATON ICE 13 X 13		INSERTS	THRESHOLDS		
Basement Foyer	NA					
Powder Room	KEATON ICE 13 X 13					
Main Hall	KEATON ICE 13 X 13					
Kitchen Floor	NA					
Breakfast Floor	KEATON ICE 13 X 13					
Kitchen Bk Splash	NA					
Laundry	NEW ALBION GREY 13 X 13					
Master Ensuite Floor	LONDON BRANKO 13 X 13					
Master Ensuite Shower	MALINA ICE 8 X 10		NA	BIAN CARR		
Master Ens Tub Wall/Deck	NA					
Master Shower Floor	2 X 2 WHITE					
Master Shower Jamb	BIANCA CARRERRA					
Twin Bath Floor	NEW ALBION GREY 13 X 13					
Twin Bath Tub Wall	NEW ALBION GREY 8 X 10			BIAN CARR		
Bath Floor	NA					
Ensuite Tub Wall	NA					
Ensuite #4 Bath Floor	NEW ALBION GREY 13 X 13					
Ensuite #4 Bath Wall	NEW ALBION GREY 8 X 10		NA	BIAN CARR		
Basement Ensuite Floor	NA					
Basement Ensuite Wall	NA					
HARDWOOD / CARPET						
Living Room	NA					
Dining Room	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Family/Great Room	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Den/Study/Barbour/Library	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Kitchen *(Waiver)	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Main Foyer *(Waiver)	NA					
Swain Hall	NA					
Upper Hall	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Master Bedroom	OPENING NIGHT CARPET T-21					
Bedroom 2	OPENING NIGHT CARPET T-21					
Bedroom 3	OPENING NIGHT CARPET T-21					
Bedroom 4	OPENING NIGHT CARPET T-21					
Carpet Underpad	OPENING NIGHT CARPET T-21					
Basement Foyer	STANDARD					
FIREPLACES						
LOCATION	NA	Opt. Surround	NA	MANTLE	NA	
MIRRORS & ACCESSORIES						
Mirrors	STANDARD	Opt. Crown Moulding	PLASTER MOULDING			
Bathroom Accessories	STANDARD	location	NA			
Purchaser has reviewed the colour chart						
FOR TRADE USE						
Any upgrades in the colour chart must be accompanied with a PES. It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.			SITE & LOT		INNSIFIL 148 N	
** PAGE 1 OF 2 **			Purchaser Initial		Vendor	

JUN 0 9 2017

PAGE 1 OF 2
5/30/2017

ZANCOR HOMES COLOUR CHART

Stair Stain / Species:		STAIRS, RAILING & PICKETS & STAIR STAIN		NATURAL OAK CLEAR COAT VARNISH	
White Paint Red'd				NA	
Main to 2nd Railing Details:				STANDARD	
Main to Top of Basement doorDetails:				STANDARD	
Casting/Baseboards		TRIM		STANDARD	
Interior Doors				STANDARD	
Interior Door Hardware				STANDARD	
Exterior Door Hardware				STANDARD	
Kitchen/Breakfast		PAINT			
Living Room	WARM GREY	Master Beds		WARM GREY	
Dining Room	NA	Bedroom 2		WARM GREY	
Family/Great room	WARM GREY	Bedroom 3		WARM GREY	
Den/Study	WARM GREY	Bedroom 4		WARM GREY	
Main/Upper Hall	WARM GREY	Master Ens		WARM GREY	
Laundry	WARM GREY	Twin		WARM GREY	
Power Room	WARM GREY	Ensuite # 2		WARM GREY	
Basement	WARM GREY	Basement		WARM GREY	
PLUMBING- UPGRADES TO BE DETAILED ON PES					
Kitchen	FIXTURES	FAUCETS		NOTES	
Powder Room	STANDARD	STANDARD			
Master Ensuite	STANDARD	STANDARD			
Twin Bath	STANDARD	STANDARD			
4th Ensuite	STANDARD	STANDARD			
BASEMENT:	STANDARD	STANDARD			
Other	NA				
ZANCOR APPLIANCE REQUIREMENTS- UPGRADES TO BE DETAILED ON PES					
Appliance Package received in 'Schedule E'		YES / NO Package Name:			
GAS LINE BBQ	UPG (SEE PES)	DECLINED		NOTES	
MATERIALINE to Fridge	STANDARD				
Hood Fan Venting SIZE	NA				
ELECTRICAL for Built-in Oven	6" STANDARD				
ELECTRICAL for Built-in Micro / OTR	NA				
ELECTRICAL for Gas Stove / Cooktop	NA				
ELECTRICAL for Bar Fridge	NA				
DISCLAIMER					
All colour of all materials are as close as possible to Builders selection but not necessarily identical due to any the variances in manufacturing/manufacturers. Effect is, construction progress some items may have been pre selected or installed. In the event the Vendor's selection must be accepted by the purchaser.				INITIALS	
Buyer changes to the colour chart after signing are subject to a \$5000 administration fee plus costs.				S.K.	
Purchaser has checked and acknowledged accuracy of colour and selections before signing.				S.K.	
SITE: INHISFIL	42-05-A FISHER	LOT: 148N			
PURCHASER(S):	SIMON KRONENFELD				
HOME #/CELL #	416 633 2545				
EMAIL:					
DÉCOR NOTES		Purchaser Signature		Date	
				5.6	
		Purchaser Signature		Date	
				5.6	
		Vendor Signature		Date	
				5.6	

Any upgrades in the colour chart must be accompanied with a PES.

It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.

*** PAGE 2 OF 2 ***

JUN 09 2017

ZANCOR HOMES COLOUR CHART

CABINETRY / COUNTERTOPS						
	DOOR STYLE	HARDWARE	COUNTERTOP	EDGE		
Kitchen	SIERRA OAK ESPRESSO STAIN	H 800 BC	GIALLO ORNAMENTAL LIGHT	C		
Island	SIERRA OAK ESPRESSO STAIN	H 800 BC	GIALLO ORNAMENTAL LIGHT	C		
Servery	NA					
Master Ensuite	CONT SLAB PVC TUXEDO	H800 BC	PORTICO MARBLE 7735-58			
Twin Bath	CONT SLAB MDF STONE GREY	H 800 BC	ELEMENTAL CONCRETE 8830-58			
Ensuite # 4	CONT SLAB MDF STONE GREY	H 800 BC	ELEMENTAL CONCRETE 8830-58			
Ensuite ###	NA					
Powder Room	NA					
Laundry	NA					
Basement Bath	NA					
TILES				INSERTS	THRESHOLDS	
Main Foyer	KEATON ICE 13 X 13					
Basement Foyer	NA					
Powder Room	KEATON ICE 13 X 13					
Mud Room	KEATON ICE 13 X 13					
Main Hall	NA					
Kitchen Floor	KEATON ICE 13 X 13					
Breakfast Floor	KEATON ICE 13 X 13					
Kitchen Bk.Splash	NA					
Laundry	NEW ALBION GREY 13 X 13					
Mstr Ensuite Floor	LONDON BRANKO 13 X 13				BIAN CARR	
Mstr Ensuite Shower	MALINA ICE 8 X 10		NA			
Mstr Ens Tub Wall/Deck	NA					
Master Shower Floor	2 X 2 WHITE					
Master Shower Jamb	BIANCA CARRERA					
Twin Bath Floor	NEW ALBION GREY 13 X 13				BIAN CARR	
Twin Bath Tub Wall	NEW ALBION GREY 8 X 10					
Bath Floor	NA					
Ensuite Tub Wall	NA					
Ensuite #4 Bath Floor	NEW ALBION GREY 13 X 13				BIAN CARR	
Ensuite #4 Bath Wall	NEW ALBION GREY 8 X 10		NA			
Basement Ensuite Floor	NA					
Basement Ensuite Wall	NA					
HARDWOOD / CARPET						
Living Room	NA					
Dining Room	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Family/Great Room	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Den/Study/parlour/Library	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Kitchen *(Waiver)	NA					
Main Foyer *(Waiver)	NA					
Main Hall	VINTAGE SOLID SAWN NATURAL RED OAK 3 1/4"					
Upper Hall	OPENING NIGHT CARPET T-21					
Master Bedroom	OPENING NIGHT CARPET T-21					
Bedroom 2	OPENING NIGHT CARPET T-21					
Bedroom 3	OPENING NIGHT CARPET T-21					
Bedroom 4	OPENING NIGHT CARPET T-21					
Carpet Underpad	STANDARD					
Basement Foyer	NA					
FIREPLACES						
LOCATION	NA	Opt. Surround	NA	MANTLE	NA	
MIRRORS & ACCESSORIES		PLASTER MOULDING				
Mirrors	STANDARD	Opt. Crown Moulding	NA			
Bathroom Accessories	STANDARD	Location	NA			
Purchaser has reviewed the colour chart				SITE & LOT		
FOR TRADE USE				INNISFIL	148 N	
Any upgrades in the colour chart must be accompanied with a PES. It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.						
** PAGE 1 OF 2 **				Purchaser Initial	Vendor	

OKIGINAL

JUN 0 9 2017

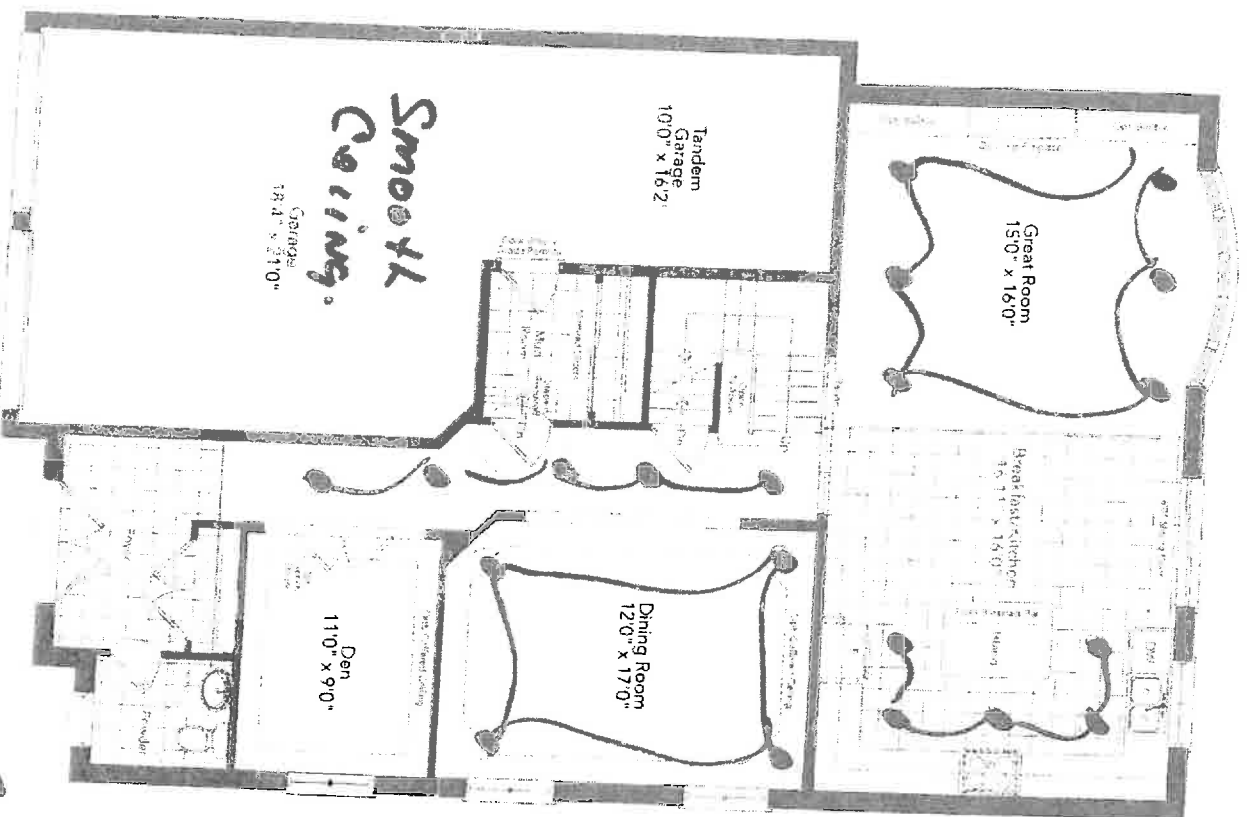
ORIGINAL

ZANCOR HOMES COLOUR CHART

STAIRS, RAILING & PICKETS & STAIR STAIN			
Stair Stain / Species:	NATURAL OAK CLEAR COAT VARNISH		
White Paint Req'd	NA		
Main to 2nd Railing Details:	STANDARD		
Main to top of Basement doorDetails:	STANDARD		
TRIM			
Casing/Baseboards	STANDARD		
Interior Doors	STANDARD		
Interior Door Hardware	STANDARD		
Exterior Door Hardware	STANDARD		
PAINT			
Kitchen/Breakfast	WARM GREY	Master Beds	WARM GREY
Living Room	NA	Bedroom 2	WARM GREY
Dining Room	WARM GREY	Bedroom 3	WARM GREY
Family/Great room	WARM GREY	Bedroom 4	WARM GREY
Den/Study	WARM GREY	Master Ens.	WARM GREY
Main/Upper Hall	WARM GREY	Twin	WARM GREY
Laundry	WARM GREY	Ensuite # 4	WARM GREY
Powder Room	WARM GREY	Basement	NA
PLUMBING- UPGRADES TO BE DETAILED ON PES			
Kitchen	FIXTURES	FAUCETS	NOTES
Powder Room	STANDARD	STANDARD	
Master Ensuite	STANDARD	STANDARD	
Twin Bath	STANDARD	STANDARD	
4th Ensuite	STANDARD	STANDARD	
BASEMENT	NA		
Other			
ZANCOR APPLIANCE REQUIREMENTS-UPGRADES TO BE DETAILED ON PES			
Appliance Package received in 'Schedule E'		YES / NO Package Name:	
	UPG (SEE PES)	DECLINED	NOTES
GAS LINE BBQ	STANDARD		
WATERLINE to Fridge	NA		
Hood Fan Venting SIZE	6" STANDARD		
ELECTRICAL for Built-in Oven	NA		
ELECTRICAL for Built-in Micro / OTR	NA		
ELECTRICAL for Gas Stove / Cooktop	NA		
ELECTRICAL for Bar Fridge	NA		
DISCLAIMER		INITIALS	
<p>Colours of all materials are as close as possible to Builders selection but not necessarily identical due to dye lot variances in manufacturing/manufacturers. Due to construction progress some items may have been pre-selected or installed. In this event the Vendor's selection must be accepted by the purchaser</p> <p>Any changes to the colour chart after signing are subject to a \$5000 administration fee plus costs</p> <p>Purchaser has checked and acknowledged accuracy of colour and selections before signing.</p>			
SITE: INNISFIL	42-05-A FISHER	LOT: 148N	
PURCHASER(S):	SIMON KRONENFIELD		
HOME #/CELL #	416 633 2545		
EMAIL:			
DÉCOR NOTES	Purchaser Signature		Date
	Purchaser Signature		Date
<p>***FOR TRADE USE***</p> <p>Any upgrades in the colour chart must be accompanied with a PES.</p> <p>It is the responsibility of <u>all Trades</u> to inform the builder of any discrepancies on sketches, PES and/or colour charts <u>PRIOR</u> to installation.</p>		<p>Décor Consultant Signature</p> <p>JUN 09 2017</p>	
<p>*** PAGE 2 OF 2 ***</p>		<p>Vendor Signature</p> <p>Date</p>	

ORIGINAL

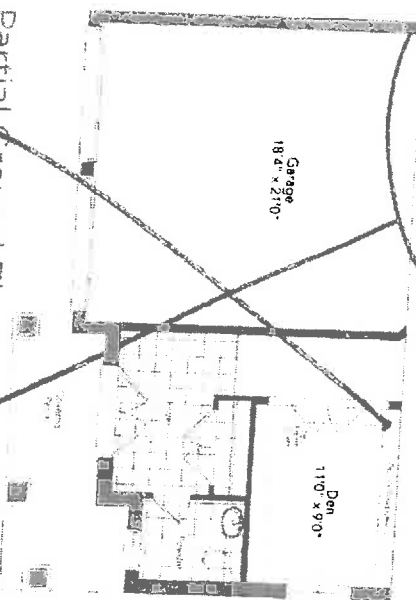
Lot
1480
may
30/17



Ground Floor
Elevation A

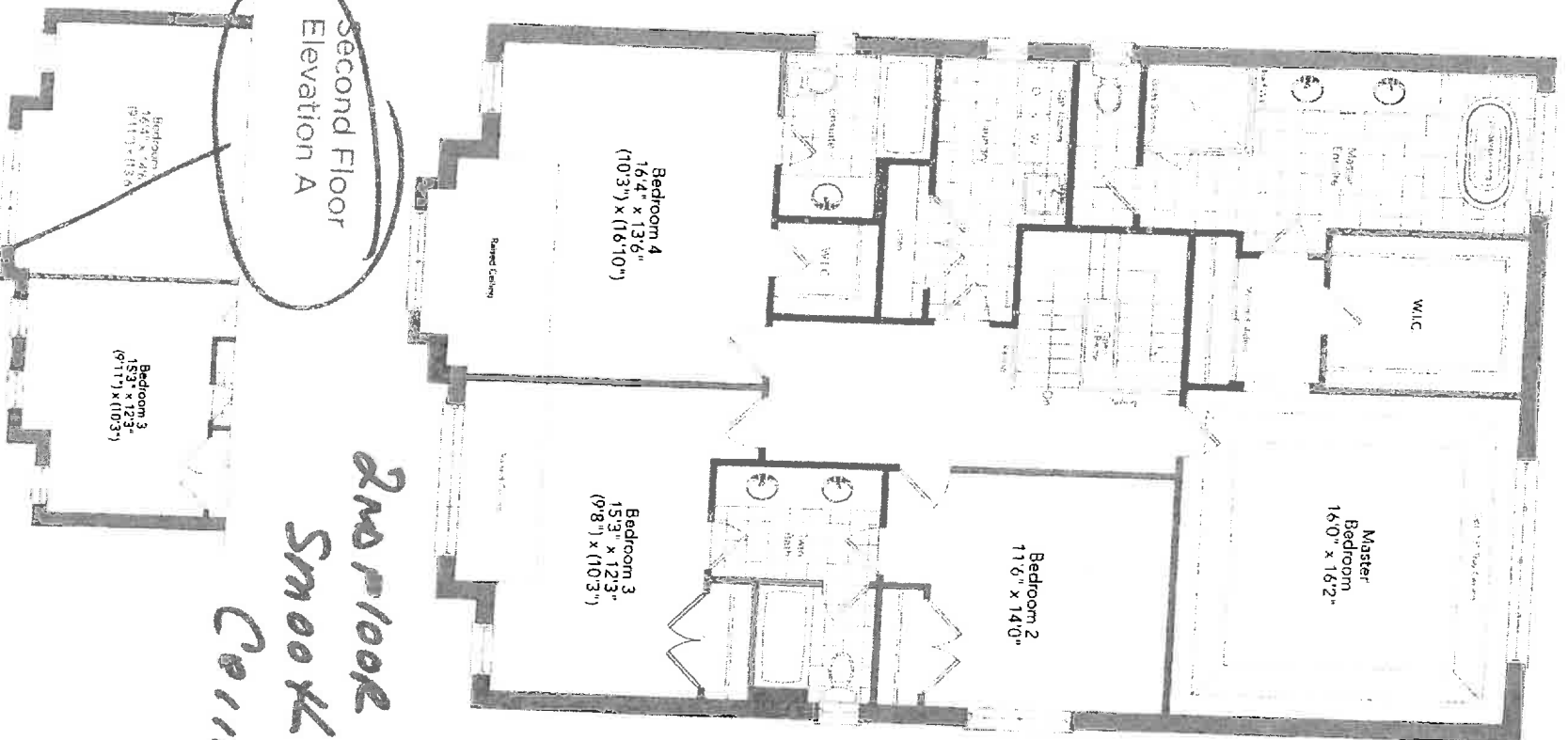
20
Potlight's

Partial Ground Floor
Elevation B



FISHER 42-05

Lot
1482
may
30/17



Partial Second Floor
Elevation B

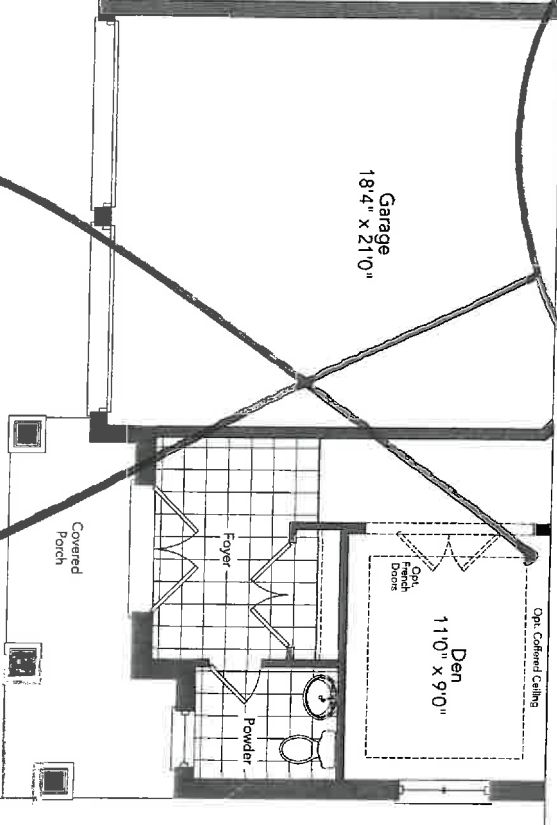
FISHER 42-05

Lot
1482
may
30/17



Smooth
Ceiling.

Ground Floor
Elevation A

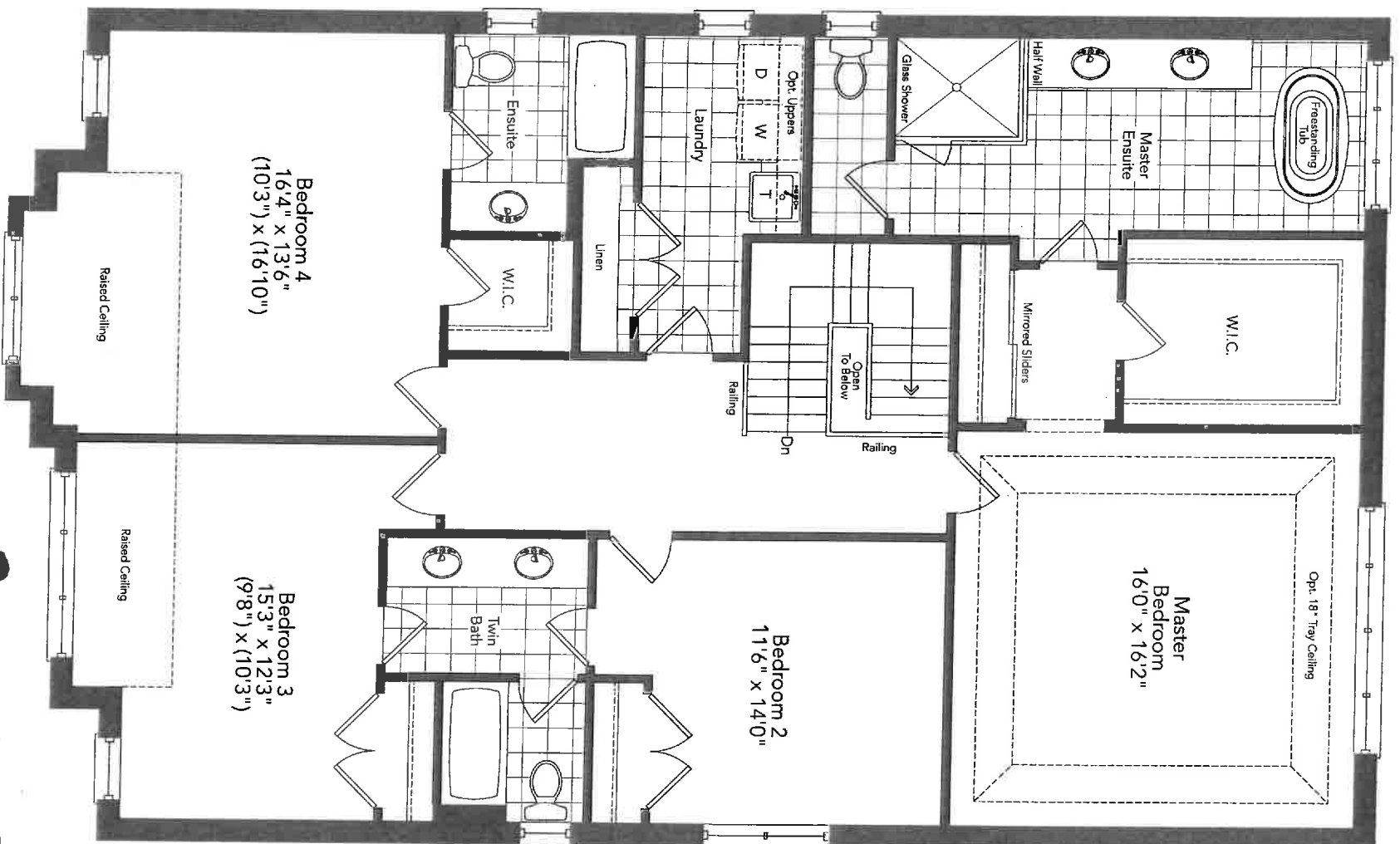


Partial Ground Floor
Elevation B

20
Potting's

FISHER 42-05

Lot
1482
may
30/17



Second Floor
Elevation A

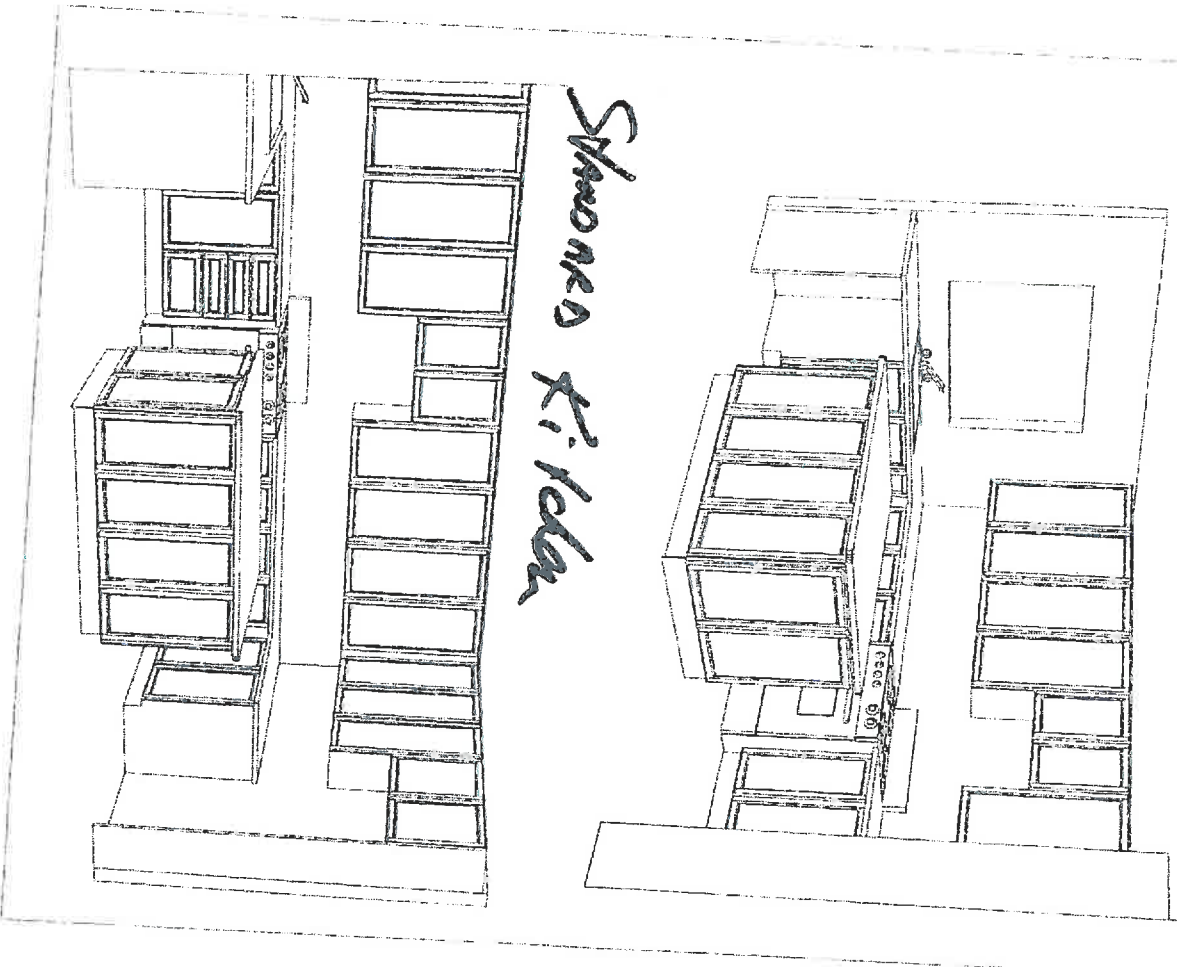
2nd Floor
Smooth
Ceiling

Partial Second Floor
Elevation B

FISHER 42-05

New Image Kitchens Inc.	
Size	42-05
Model	42-05
BELL AIR SHORES, INNISFIL	
MODEL: 42-05	

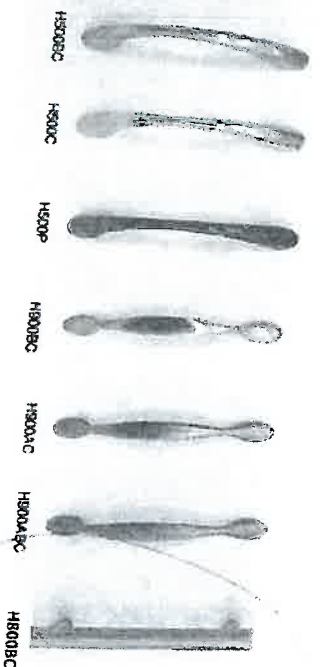
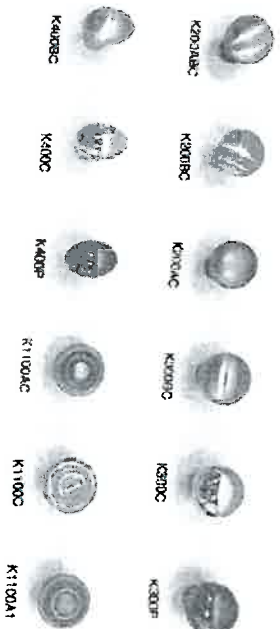
Lot 1480
May 30/17



S.K.

STANDARD CABINET HARDWARE

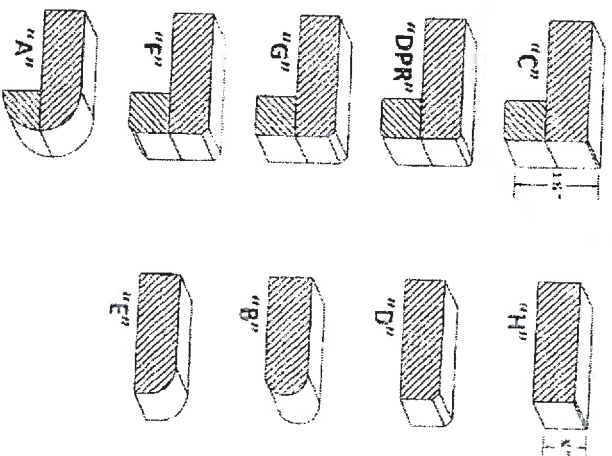
(New Image Kitchens)



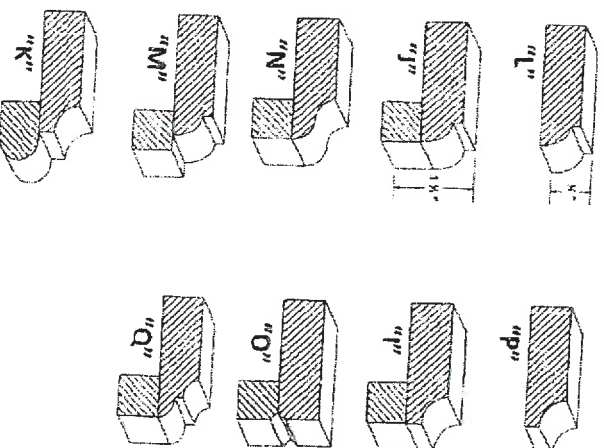
SK

ZANCOR HOMES
EDGE PROFILES (INTERSTONE / REDSTONE)

STANDARD



UPGRADES



LOT / SITE

PURCHASER SIGNATURE

ZANCOR
HOMES

INTERIOR FINISHES ACKNOWLEDGEMENT / WAIVER

Purchaser accepts and acknowledges that the Builder reserves the right to substitute materials with those of equal or better quality where the manufacture, scheduling or delivery of materials may directly impact the Builder's ability to meet its contractual obligations under the Agreement of Purchase and Sale.

PORCELAIN & NATURAL STONES: Due to the properties of natural stones including but not limited to *marble, granite, quartz*, no two pieces are exactly the same. Variations in colour, tone, granularity (pitting, fissures) and pattern are to be expected, including various lighting may affect the overall finished look. Stone should never be cleaned with lemon oil or vinegar. The purchaser acknowledges colour and product variations as well as natural imperfections that may exist with the selection of natural stone materials and shall not hold the Vendor liable for provision of same.

STONE COUNTERTOP JOINTS: Purchaser is aware that one joint will be at each corner and on either side of slide-in-range (if applicable). It will also be where the length of the counter top exceeds the length of a stone slab. Slabs are usually approximately 5' x 8'.

CERAMIC TILES: Due to manufacturing, shade (dye lots), product variations may exist that can affect the overall look of the finished product. Although every effort will be made to ensure the colours and materials selected are as close as possible to the samples, the purchaser acknowledges that the sample tiles supplied in the Design Centre may not be identical to the materials installed in the home.

STAIR STAINS: Due to the natural properties of wood, many variables can affect the overall look of the finished product. Factors including but not limited to wood type, knotting, graining, density, age, humidity, and air temperature can result in substantial variations in stain intensity. The purchaser accepts that although the Vendor will do their best to match stain the unfinished stairs as close as possible to the pre-finished floors, it is not possible to have an identical match and that there *MAY* be shade differences between the two products.

CABINETRY: Due to the natural properties of wood, slight variations apparent with cabinetry are to be expected. This includes but not limited to wood species, wood grain, colour, finish, product variations, and natural imperfections are all factors that may affect the overall look of the finished product. Such factors make exact colour matching impossible. The type and intensity of lighting in the areas of designated cabinetry placement may also highlight characteristics of cabinetry finish. All cabinets shall be finished with a white melamine interior box unless a finished interior is upgraded. Due to building specifications and/or on-site conditions, certain cabinetry upgrades may not be possible. The purchaser acknowledges that the Builder cannot guarantee the cabinetry finish or provision of certain upgrades and shall not hold the Builder liable for provision of same.

UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**

HARDWOOD / LAMINATE FLOORING: Due to the properties of wood and laminate, many variables can affect the overall look of the finished product. Variations include but not limited to wood type or laminate finish, colour/stain and wood grain are significant factors that make exact colour matching impossible. The purchaser acknowledges that the hardwood flooring is a pre-finished product in a controlled environment. Expansion, compression and cupping are characteristics of hardwood flooring once installed in the home. The purchaser acknowledges keeping with good workmanship, the Builder shall not be responsible nor held liable for minor variances or fluctuation in hardwood flooring materials.

UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**

HARDWOOD / LAMINATE WAIVER:

I/We understand hardwood flooring is classified as a porous material and as such not recommended by the Builder in certain areas. I/We understand there is a concern due to possible water and other substances being frequently splashed or spilled onto the floor and in contravention of Ontario Building Code Section 9.30.1.2(1). *Finished flooring bathrooms, kitchens, public entrance halls, laundry & general storage areas shall consist of resilient flooring, felted-synthetic-fibre floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance.*

I/We are prepared to assume full responsibility for any damage caused to the hardwood floor or subfloor due to moisture absorbency in the mentioned areas, and agree to waive any claims against the Township of residence, TARIION and/or the Builder in relation to the matter.

****SEE COLOUR CHART FOR LOCATIONS****

SITE

LOT

DATE

February 5, 2015



APPLIANCE SPEC INFORMATION SHEET

STE & LOT: _____

DATE: _____

SITTING: _____

☐ Standard

☐ Reverse

RANGE

- ☐ 30" (STD)
☐ 36"
☐ 48"
☐ GAS
☐ COOKTOP (APRON)
☐ COOKTOP (DROP IN)

☐ AMPS _____
☐ AMPS _____
☐ AMPS _____

REFRIGERATOR

- ☐ STANDARD OPENING 36" X 72"
☐ BUILT IN FRIDGE
☐ WATERLINE REQUIRED
☐ PANEELED/INTEGRATED
☐ FLUSH INSET

WALL OVENS

- ☐ 30"
☐ SINGLE
☐ DOUBLE
☐ STEAM OVEN
☐ WARMING DRAWER

☐ AMPS _____
☐ AMPS _____
☐ AMPS _____
☐ AMPS _____

MICROWAVES

- ☐ BUILT IN MICRO
☐ MICRO TRIM KIT
☐ OVER THE RANGE

☐ AMPS _____
☐ MODEL _____
☐ AMPS _____

HOOD FANS

- ☐ CHIMNEY (CENTRE VENT)
☐ UNDER CABINET
☐ FLUSH INSET

- ☐ 6 INCH (STD)
☐ 8 INCH
☐ 10 INCH

DISHWASHER

- ☐ 24" (STD SIZE)

LAUNDRY

- ☐ FRONT LOADING SIDE BY SIDE
☐ STACKABLE
☐ TOP LOAD

S.K.

Additional charges may apply for cabinetry, electrical and plumbing in order to accommodate the specs given by the homeowner.

S.K.

NOTE: It is the Purchaser's responsibility to coordinate delivery, installation and hook up of appliances and to ensure they are installed as per Manufacturers specifications after closing.

S.K.

Purchaser acknowledges responsibility for providing correct specification for such appliances. The purchaser agrees to deliver forthwith to the Builder the manufacturer's appliance specifications where the size exceeds the standard openings.

S.K.

If specs not received, the standard openings as determined by Zancor Homes will be provided. If rework/repair is required due to late specs received, additional costs will be applied.

Appliance Specs are DUE (if not received during appointment):
2 WEEKS FROM SIGNED DATE ABOVE – Specs received after this date and changes are required to

accommodate the appliances, an administration fee of minimum \$250 will apply.

*Changes must be approved by head office.

Purchaser Signature _____

Date _____

Purchaser Signature _____

Date _____