

ANGUS SOUTH

Item #	Construction Details ANGUS SOUTH: LOT 123R Model Type & Elevation : 30-02 IRIS ELEVATION B Purchasers Names : AMANDA BARTELLA		
		Date	Note
Included	Rough-in for 3 Piece in basement		Bonus Package
Included	3 piece stainless steel kitchen appliances with white top loading washer and dryer		Bonus Package
Included	Chimney Hood Fan		Bonus Package
Included	Natural finish laminate flooring on main floor in non tiled areas as per plan		Bonus Package
Included	9' main floor ceilings, 8 ft ceilings on second and basement		Bonus Package
Included	Carpet Grade Stairs with Oak pickets		Bonus Package
Included	Glass shower in Master Ensuite as per plan SEE ITEM #1	-	Bonus Package
Included	USB Outlets (1) Kitchen and (1) Master Bedroom		Bonus Package
1/	MASTER ENSUITE - FRAMELESS GLASS SHOWER IN LIEU OF STD FRAMED	23-Dec-16	COLOURS
2/	KITCHEN - NIK 1 CABINETRY	23-Dec-16	COLOURS
3/	MASER ENSUITE - NIK 1 CABINETRY	23-Dec-16	COLOURS
4/	MAIN BATH - NIK 1 CABINETRY	23-Dec-16	COLOURS
5/	UPPER HALL - LEXINGTON (STD COLOUR) 2ND FLOOR HALLWAY		

ZANCOR HOMES COLOUR CHART

CABINETRY / COUNTERTOPS						
	DOOR STYLE	HARDWARE	COUNTERTOP	EDGE		
Kitchen	UPG. NIK1 - 400 SERIES PVC WHITE	H800BC	STD. #6698-46 PALOMA POLAR			
Island	UPG. NIK1 - 400 SERIES PVC WHITE	H800BC	STD. #6698-46 PALOMA POLAR			
Master Ensuite	UPG. NIK1 - 400 SERIES PVC WHITE	H600BC	STD. #P-344LM INUKSHUK GREY			
Main	UPG. NIK1 - 400 SERIES PVC WHITE	H600BC	STD. #4925K-07 CALCUTTA MARBLE			
Powder Room	N/A					
TILES				INSERTS	THRESHOLDS	
Main Foyer	STD. BELLINA GREY (13X13)					
Powder Room	STD. BELLINA GREY (13X13)					
Main Hall	N/A					
Kitchen Floor	STD. BELLINA GREY (13X13)					
Breakfast Floor	STD. BELLINA GREY (13X13)					
Kitchen Bk.Splash						
Mstr Ensuite Floor	STD. BELLINA GREY (13X13)			BIANCO CARRERA		
Mstr Ensuite Shower	STD. BELLINA GREY (8X10)					
Master Shower Floor	STD. WHITE (2X2)					
Master Shower Lamb	STD. BIANCO CARRERA					
Main Bath Floor	STD. CINQ GREY (13X13)			BIANCO CARRERA		
Main Bath Tub Wall	STD. CINQ WHITE (8X10)					
HARDWOOD / CARPET						
GREAT ROOM	STD. TORLYS LEXINGTON BUTTER RUM OAK #TL-21007					
Kitchen *(Waiver)		N/A				
Main Foyer *(Waiver)		N/A				
Main Hall	STD. TORLYS LEXINGTON BUTTER RUM OAK #TL-21007					
Upper Hall	UPG. TORLYS LEXINGTON BUTTER RUM OAK #TL-21007					
Master Bedroom	CARPET - STD. PERFORMA III #4576 PEARL WHITE					
Bedroom 2	CARPET - STD. PERFORMA III #4576 PEARL WHITE					
Bedroom 3	CARPET - STD. PERFORMA III #4576 PEARL WHITE					
Carpet Underpad	STANDARD					
FIREPLACES						
LOCATION	N/A	Opt. Surround	N/A	MANTLE	N/A	
MIRRORS & ACCESSORIES			PLASTER MOULDING			
Mirrors	STANDARD	Opt. Crown Moulding		N/A		
Bathroom Accessories	STANDARD	Location		N/A		
Purchaser has reviewed the colour chart					SITE & LOT	
FOR TRADE USE					ANGUS SOUTH	123R
Any upgrades in the colour chart must be accompanied with a PES. It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.						
** PAGE 1 OF 2 **			Purchaser Initial	Vendor		

Dec 29/16

ZANCOR HOMES COLOUR CHART

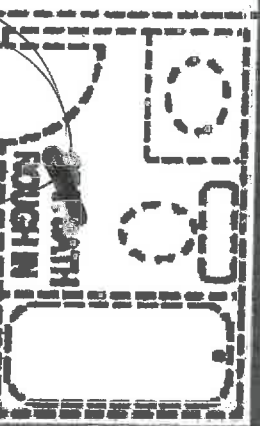
STAIRS, RAILING & PICKETS & STAIR STAIN			
Stair Stain / Species:	STANDARD - NATURAL <i>CLEAR COAT</i>		
White Paint Req'd	N/A		
Main to 2nd Railing Details:	STD OAK RAIL & PICKETS - NATURAL CLEAR COAT		
TRIM			
Casing/Baseboards	STANDARD		
Interior Doors	STANDARD		
Interior Door Hardware	STANDARD		
Exterior Door Hardware	STANDARD		
PAINT			
Kitchen/Breakfast	WARM GREY	Master Beds	WARM GREY
		Bedroom 2	WARM GREY
		Bedroom 3	WARM GREY
GREAT ROOM	WARM GREY	Master Ens.	WARM GREY
Main/Upper Hall	WARM GREY	Main	WARM GREY
Powder Room	WARM GREY		
PLUMBING- UPGRADES TO BE DETAILED ON PES			
FIXTURES	FAUCETS	NOTES	
Kitchen	STANDARD		
Powder Room	STANDARD		
Master Ensuite	STANDARD		
Main/Twin	STANDARD		
ZANCOR APPLIANCE REQUIREMENTS-UPGRADES TO BE DETAILED ON PES			
Appliance Package received in 'Schedule E'	YES	Package Name: 3 PIECE STAINLESS (COAST APPLIANCES)	
	UPG (SEE PES)	DECLINED	NOTES
GAS LINE	STD - BBQ		
WATERLINE to Fridge		X	
Hood Fan Venting SIZE	STD - 6"		
ELECTRICAL for Built-in Oven		X	
ELECTRICAL for Built-in Micro / OTR		X	
ELECTRICAL for Gas Stove / Cooktop		X	
ELECTRICAL for Bar Fridge		X	
DISCLAIMER		INITIALS	
Colours of all materials are as close as possible to Builders selection but not necessarily identical due to dye lot variances in manufacturing/manufacturers. Due to construction progress some items may have been pre-selected or installed. In this event the Vendor's selection must be accepted by the purchaser			
Any changes to the colour chart after signing are subject to a \$5000 administration fee plus costs			
Purchaser has checked and acknowledged accuracy of colour and selections before signing.			
SITE:	ANGUS SOUTH	LOT: 123R	
PURCHASER(S):	AMANDA BARTELLA		
HOME #/CELL #	905.859.9131		
EMAIL:	amanda.giordano@hotmail.com		
DÉCOR NOTES			
FOR TRADE USE			
Any upgrades in the colour chart must be accompanied with a PES.			
It is the responsibility of all Trades to inform the builder of any discrepancies on sketches, PES and/or colour charts PRIOR to installation.			
*** PAGE 2 OF 2 ***		DÉcor Consultant Signature Date <i>CORA</i> <i>Dec 20/16</i>	
		Vendor Signature Date <i>[Signature]</i> <i>Dec 23/16</i>	

IRIS 3002

FDL WALL FOR OPT.
GAS FIREPLACE

SP.

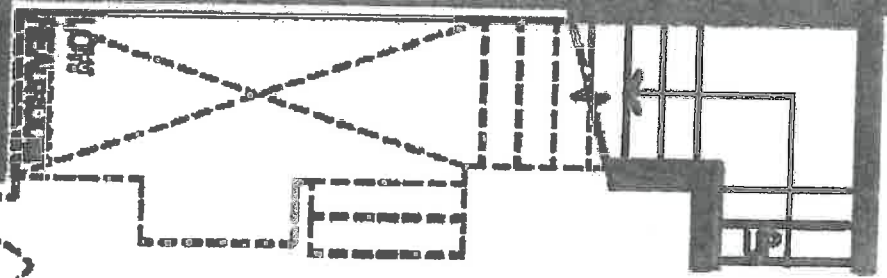
UNFINISHED
BASEMENT



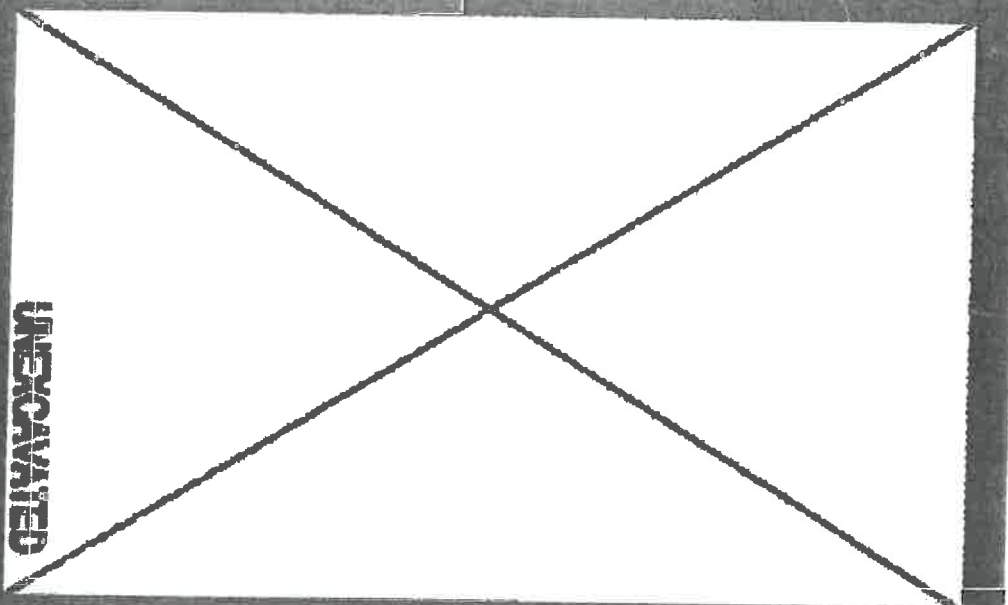
Standard



LOCATION
MAY VARY



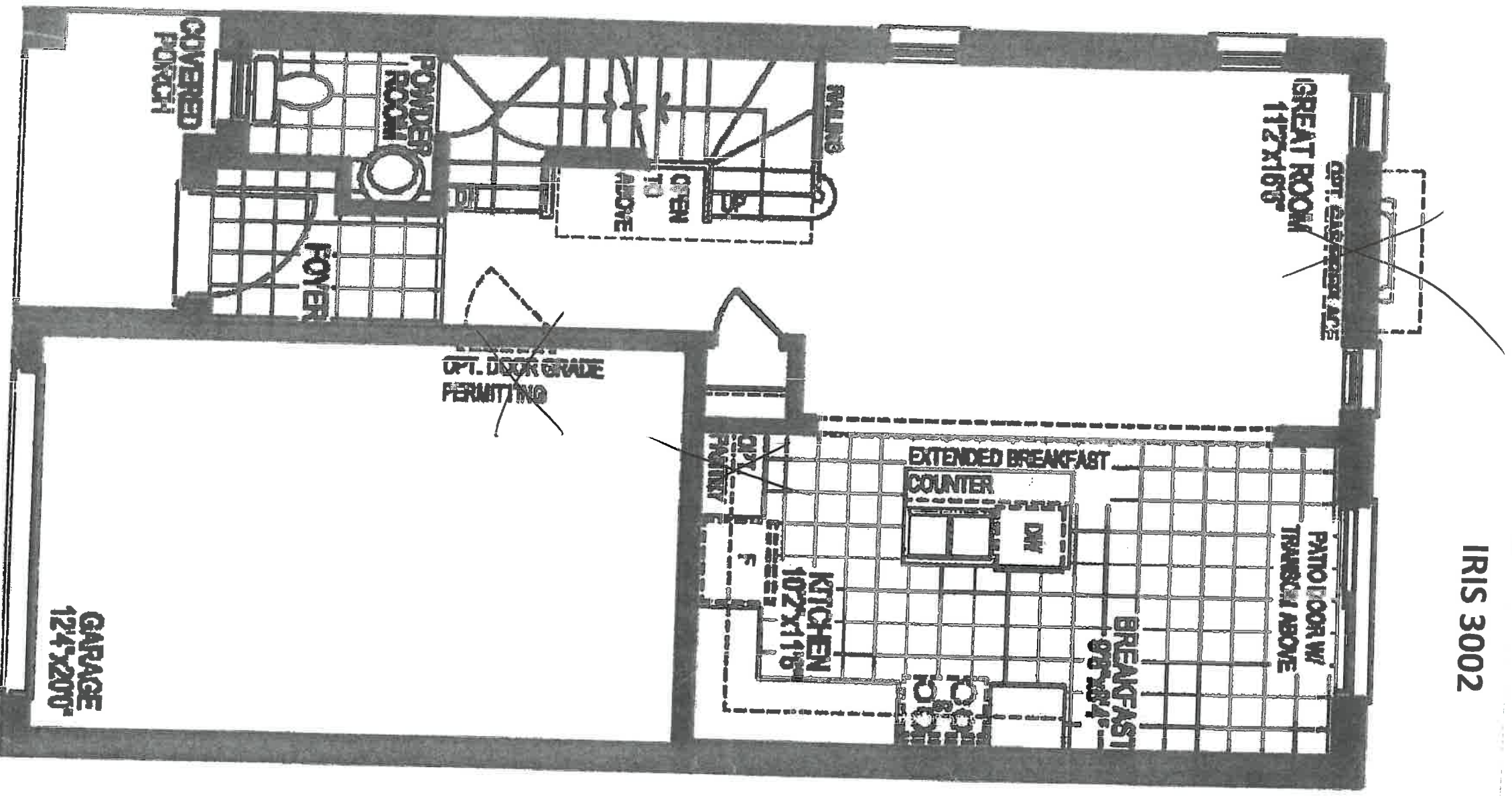
UNEXCAVATED
OPT. DOLD
CELLAR



BASEMENT PLAN, ET. 'A'

1 of 123R
ANGLUS SOUTH
NOV 29/16

IRIS 3002



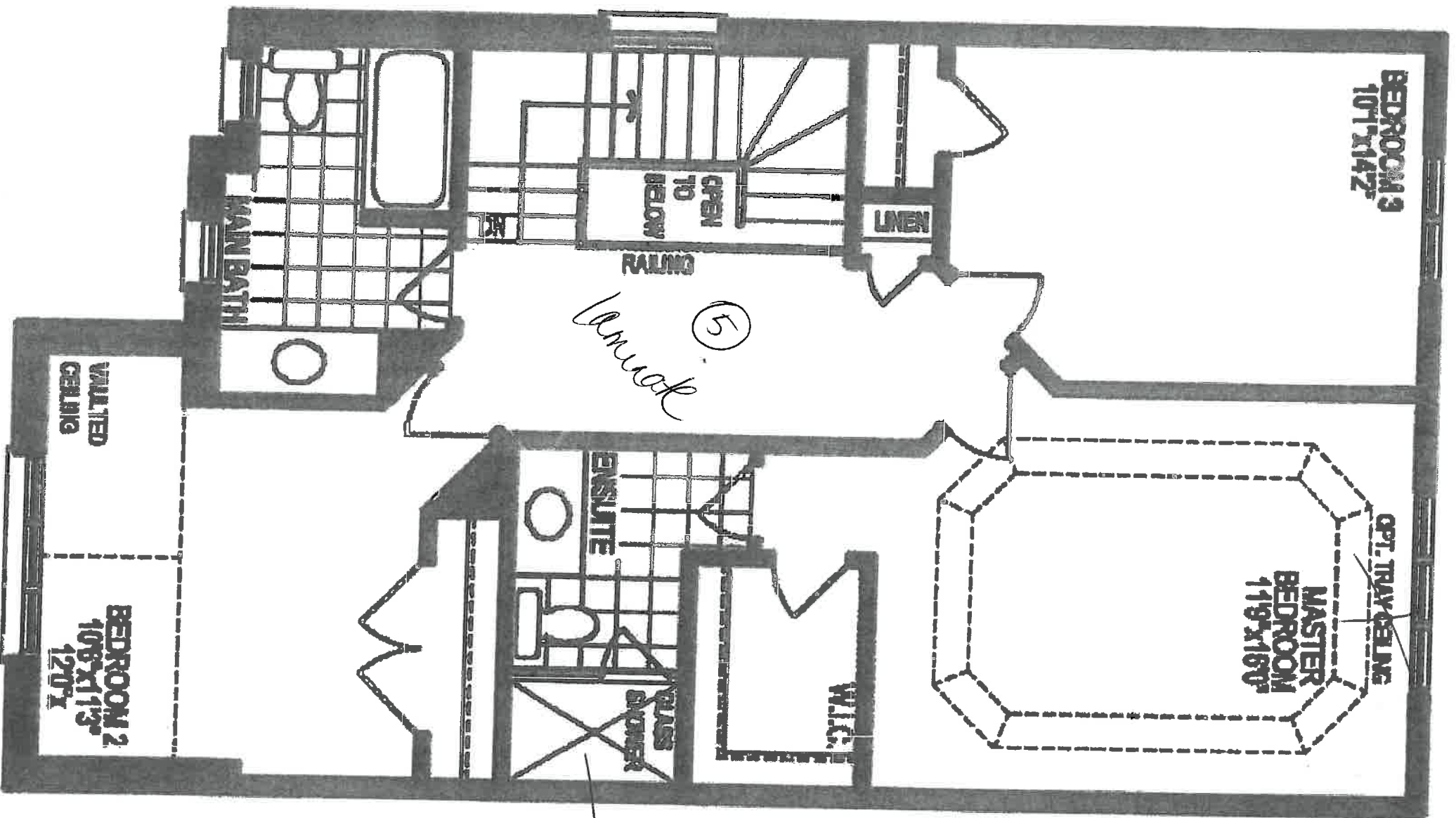
GROUND FLOOR PLAN, ELEV 'B'

ELEV 'B'

Aggravation

1st #123R
ANGUS SMITH
N029116

IRIS 3002



SECOND FLOOR PLAN, E.L. 1/4

ELBY 'B'

See other plan

Fireplace

①

ENSUITE

GLASS

DOOR

LINEN

OPEN
TO
BELOW

RAILING

Unmarked

⑤

OPT. TRAY CEILING

MASTER
BEDROOM
11'9" x 16'0"

VAULTED
CEILING

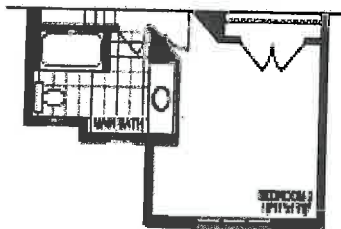
BEDROOM 2
10'6" x 11'3"
12'0" x

①

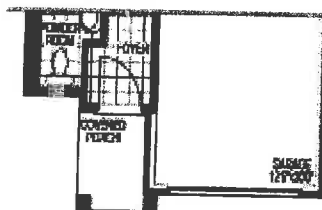
1st #123R
ANGUS SOUTH
NUN 28116

SCHEDULE "B"

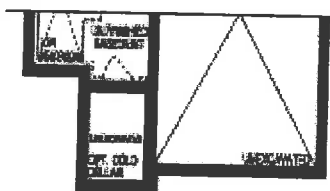
FLOOR PLAN



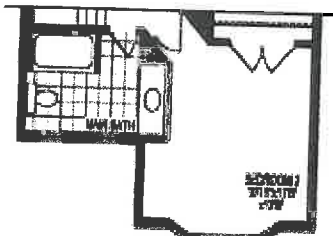
PART. SECOND FLOOR PLAN, EL. C



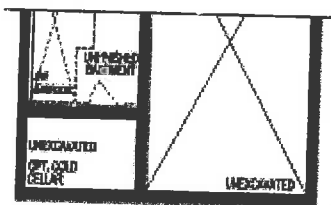
PART. GROUND FLOOR PLAN, EL. C



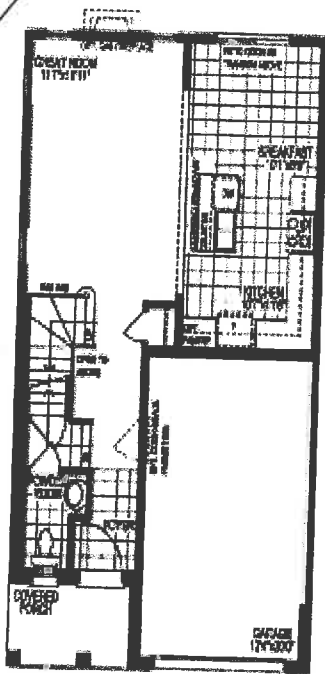
PART. BASEMENT PLAN, EL. C



PART. SECOND FLOOR PLAN, EL. B



PART. BASEMENT PLAN, EL. B



GROUND FLOOR PLAN, EL. B

Elev. "B."

THE IRIS

(Unit 3002)

1560 sq. ft. Elev. A	1565 sq. ft. Elev. B	1550 sq. ft. Elev. C
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Prices and specifications are subject to change without notice. The patterns may vary. Window sizes and location may vary. Location of furnace and water tank are approximate. Steps may be required at front entrance, rear entrance and garage main door entrance due to grade. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. Floor dimensions may change with style changes. See Sales representation for Style B and/or C. All renderings are artist's concept. E & OE 2022

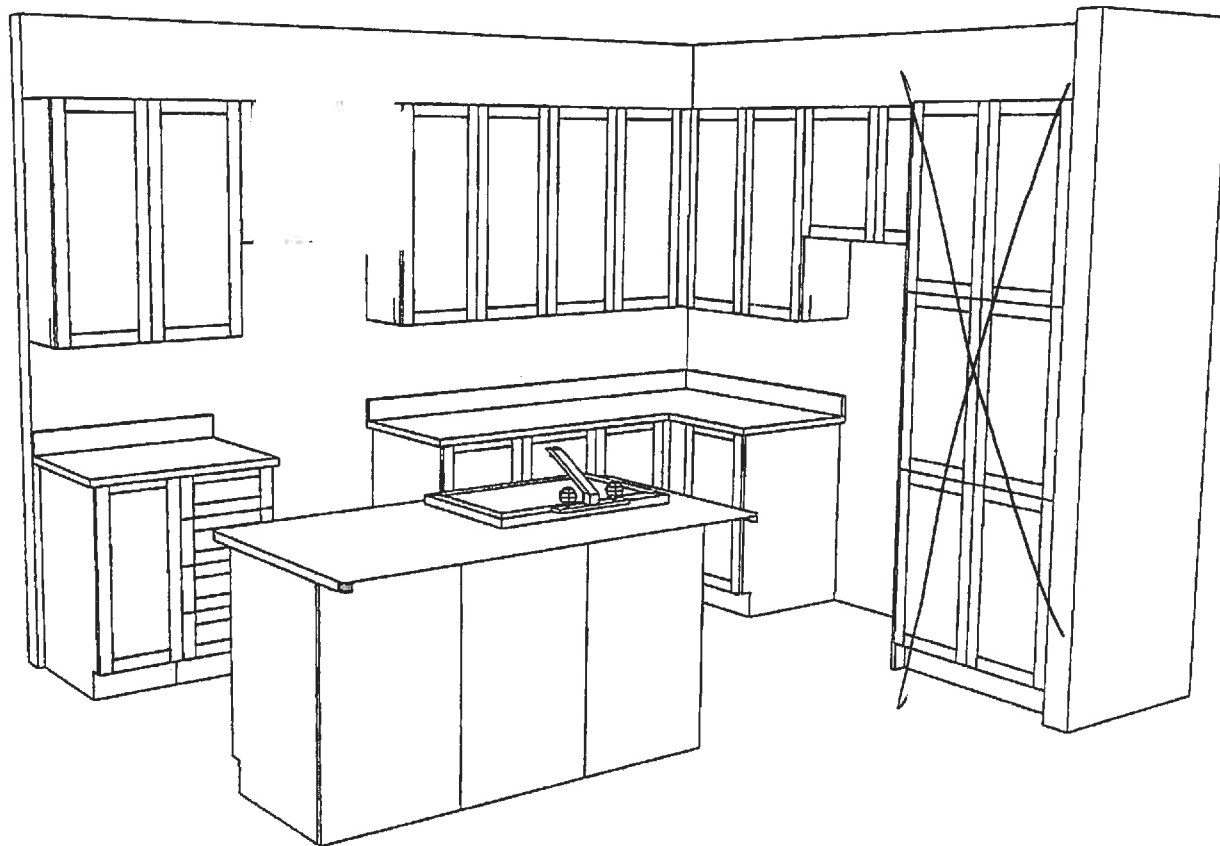


Vendor's Initials

Purchaser's Initials

3002

Lot #123R
Angus Smith
Nov 18/16



Standard
Layout



2

+ upgrade 1 cabinets



APPLIANCE SPEC INFORMATION SHEET

STE & LOT:

Angus South - 123R

DATE: Nov 18/16

SITING:

☐ Standard

☐ Reverse

RANGE

- ☒ 30" (STD)
- ☐ 36"
- ☐ 48"
- ☐ GAS
- ☐ COOKTOP (APRON)
- ☐ COOKTOP (DROPIN)

REFRIGERATOR

- ☒ STANDARD OPENING 36" X 72"
- ☐ BUILT IN FRIDGE
- ☐ WATERLINE REQUIRED
- ☐ PANELLED/INTEGRATED
- ☐ FLUSH INSET

WALL OVENS

- ☐ 30"
- ☐ SINGLE
- ☐ DOUBLE
- ☐ STEAM OVEN
- ☐ WARMING DRAWER

MICROWAVES

- ☐ BUILT IN MICRO
- ☐ MICRO TRIM KIT
- ☐ OVER THE RANGE
- ☐ AMPS
- ☐ MODEL
- ☐ AMPS

HOOD FANS

- ☒ CHIMNEY (CENTRE VENT)
- ☐ UNDER CABINET
- ☐ FLUSH INSET
- ☐ 6 INCH (STD)
- ☐ 8 INCH
- ☐ 10 INCH

DISHWASHER

- ☒ 24" (STD SIZE)

LAUNDRY

- ☒ FRONT LOADING SIDE BY SIDE
- ☐ STACKABLE

Additional charges may apply for cabinetry, electrical and plumbing in order to accommodate the specs given by the homeowner.

NOTE: It is the Purchaser's responsibility to coordinate delivery, installation and hook up of appliances and to ensure they are installed as per Manufacturers specifications after closing.

Purchaser acknowledges responsibility for providing correct specification for such appliances. The purchaser agrees to deliver forthwith to the Builder the manufacturer's appliance specifications where the size exceeds the standard openings.

If specs not received, the standard openings as determined by Zancor Homes will be provided. If rework/repair is required due to late specs received, additional costs will be applied.

Appliance Specs not received, DUE BY:

Appliance Specs RECEIVED

Purchaser Signature

[Signature]

Date

Dec 20/2016

Purchaser Signature

Date

INTERIOR FINISHES ACKNOWLEDGEMENT / WAIVER

Purchaser accepts and acknowledges that the Builder reserves the right to substitute materials with those of equal or better quality where the manufacture, scheduling or delivery of materials may directly impact the Builder's ability to meet its' contractual obligations under the Agreement of Purchase and Sale.

PORCELAIN & NATURAL STONES: Due to the properties of natural stones including but not limited to **marble, granite, quartz**, no two pieces are exactly the same. Variations in colour, tone, granularity (pitting, fissures) and pattern are to be expected, including various lighting may affect the overall finished look. Stone should never be cleaned with lemon oil or vinegar. The purchaser acknowledges colour and product variations as well as natural imperfections that may exist with the selection of natural stone materials and shall not hold the Vendor liable for provision of same.



STONE COUNTERTOP JOINTS: Purchaser is aware that one joint will be at each corner and on either side of slide-in-range (if applicable). It will also be where the length of the counter top exceeds the length of a stone slab. Slabs are usually approximately 5'x 8'.



CERAMIC TILES: Due to manufacturing, shade (dye lots), product variations may exist that can affect the overall look of the finished product. Although every effort will be made to ensure the colours and materials selected are as close as possible to the samples, the purchaser acknowledges that the sample tiles supplied in the Design Centre may not be identical to the materials installed in the home.



STAIR STAINS: Due to the natural properties of wood, many variables can affect the overall look of the finished product. Factors including but not limited to wood type, knotting, graining, density, age, humidity, and air temperature can result in substantial variations in stain intensity. The purchaser accepts that although the Vendor will do their best to match stain the unfinished stairs as close as possible to the pre-finished floors, it is not possible to have an identical match and that there MAY be shade differences between the two products.



CABINETRY: Due to the natural properties of wood, slight variations apparent with cabinetry are to be expected. This includes but not limited to wood species, wood grain, colour, finish, product variations, and natural imperfections are all factors that may affect the overall look of the finished product. Such factors make exact colour matching impossible. The type and intensity of lighting in the areas of designated cabinetry placement may also highlight characteristics of cabinetry finish. All cabinets shall be finished with a white melamine interior box unless a finished interior is upgraded. Due to building specifications and/or on-site conditions, certain cabinetry upgrades may not be possible. The purchaser acknowledges that the Builder cannot guarantee the cabinetry finish or provision of certain upgrades and shall not hold the Builder liable for provision of same.



UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**



HARDWOOD / LAMINATE FLOORING: Due to the properties of wood and laminate, many variables can affect the overall look of the finished product. Variations include but not limited to wood type or laminate finish, colour/stain and wood grain are significant factors that make exact colour matching impossible. The purchaser acknowledges that the hardwood flooring is a pre-finished product in a controlled environment. Expansion, compression and cupping are characteristics of hardwood flooring once installed in the home. The purchaser acknowledges these may become apparent over time and despite the Builders' efforts to install the hardwood flooring materials in keeping with good workmanship, the Builder shall not be responsible nor held liable for minor variances of fluctuation in hardwood flooring materials.



UPGRADES/EXTRAS: All upgrades and additional selections indicated on the colour chart must be accompanied by an upgrades/extras sheet (PES) and full payment otherwise the selection will be invalid. All colour charts and upgrades/extras will not proceed until verified and signed by an authorized signing officer at the Vendor's head office. **CHANGES WILL NOT BE PERMITTED UPON COMPLETION AND SUBMISSION OF THE COLOUR CHART.**



HARDWOOD / LAMINATE WAIVER:

I/We understand hardwood flooring is classified as a porous material and as such not recommended by the Builder in certain areas. I/We understand there is a concern due to possible water and other substances being frequently splashed or spilled onto the floor and in contravention of Ontario Building Code Section 9.30.1.2(1).

"Finished flooring bathrooms, kitchens, public entrance halls, laundry & general storage areas shall consist of resilient flooring, felted-synthetic-fibre floor coverings, concrete, terrazzo, ceramic tile, mastic or other types of flooring providing similar degrees of water resistance."

I/We are prepared to assume full responsibility for any damage caused to the hardwood floor or subfloor due to moisture absorbency in the mentioned areas, and agree to waive any claims against the Township of residence, TARIION and/or the Builder in relation to the matter. ****SEE COLOUR CHART FOR LOCATIONS****



Angus Smith
SITE

123R
LOT

Nov 18/16
DATE