It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

NOV 1 1 2013

John G. Williams Limited, Architec

LOT GRADING NOTES:

- The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- Underside of footing shown is taken from architectural plans and may not represent actual footing depth.

- All Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.

 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transfo bell pedestals, etc.) by a minimum of 3.0m no delfection in driveway alignments is permitted to achieve the clearance.
- анушитель в регтите о астиече the clearance.

 7) Any above ground utilities not meeting the above noted minim clearances from proposed driveway are to be relocated at the applicants expense.

107.5.0m LONG INFILTRATION TRENCH 294.15 1.5m HIGH CHAIN LINK FENCE 4.70% UPGRALE EXPLOSED ELEVATION(S) (See Approved Streetscape / Unit Working D 8.44 8 9 2.86 294.75 DECK 29 294.70 296.40A 35.92 UPGRADE EXPLISED ELEVATION(S) 10.31 15.27 SORRIA 42-01 STD (9'BASEMENT) FFE TFW 296.60 296.30 293.60 293.37 2.28 뀻 0 29<u>5</u>. 6.02 USFG= 295.65 1 4R 1R 295.60 6.44 5.5% 6 295.28 SAN= 292.48 STM= 293.08 SAN= 292.41 STM= 293.01

TATTON COURT

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.

GRADING CERTIFICATION

- I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY
- CERTIFY THAT:
- JEHTHEY THAT: THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL.

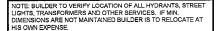
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL
NOT ADVERSELY AFFECT ADJACENT LANDS.

3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.

4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR
FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.

5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.

6. THE PROPOSED WATER SERVICE VALVE BOX IS LOCATED IN THE GRASSED PORTION OF THE FRONT YARD. EMC GROUP LTD.



ZANCOR HOMES

PROJECT/LOCATION KING NORTH- PHASE 2 KING CITY, ONTARIO

SITE GRADING PLAN

BUILDING STATISTICS			
REG. PLAN No.	65M-4277		
ZONE	R4		
LOT NUMBER	LOT 8		
LOT AREA(m) ²	N/A		
BLDG AREA(m) ²	N/A		
LOT COVERAGE(%)	N/A		
No. OF STOREYS	2		
MEAN HEIGHT(m)	8.15		
PEAK HEIGHT(m)	N/A		
DECK LINE(m)	0		

	LEGEND
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
Δ	DOOR
0	WINDOW
\boxtimes	BELL PEDISTAL
	CABLE PEDISTAL
	CATCH BASIN
	DBL, CATCH BASIN
*	ENGINEERED FILL
-∳-	HYDRO CONNECTION
φ.	FIRE HYDRANT
ŝĹ	STREET LIGHT
\triangleright	MAIL BOX
lacksquare	TRANSFORMER
0	WATER VALVE
+	WATER CONNECTION
∇	SEWER CONNECTIONS 2 LOTS
7	SEWER CONNECTIONS 1 LOT
AC	AIR CONDITIONING
••	DOWN SPOUT TO SPLASH PAD
	SWALE DIRECTION
 -	CHAINLINK FENCE
	PRIVACY FENCE
	SOUND BARRIER
	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

15	ISSUED OR REVISION COMMENTS						
NO.	DESCRIPTION	DATE	DWN	снк			
1	ISSUED FOR REVIEW	SEPT 06/13	NC	NC			
2	ISSUED FOR FINAL	NOV 04/13	NC	NC			
		<u> </u>					

, NELSON CUNHA DECLARE THAT I, NELSON CONTACTION DECLARE: INAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 21032 26995 NOV. 04, 2013

DRAWN BY NC SCALE 1:250

DATE

PROJECT No. 12022

LOT NUMBER LOT 8

