

LOT GRADING PLANS APPROVED
SUBJECT TO REVISIONS NOTED

ENGINEERING DEPARTMENT
TOWN OF WHITBY

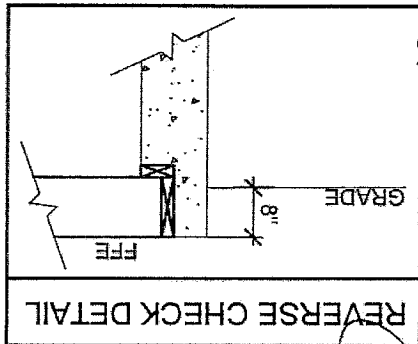
MAY 13 2013

ENGINEERING DEPARTMENT
TOWN OF WHITBY

SERNAS ASSOCIATES
Member of the Sernas Group Inc.
115 Scotland St. Unit 41
Whitby, ON M1A 1N8
Phone: (905) 432-7878
LOT GRADING REVIEWED
APR 17 2013

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WHITBY.

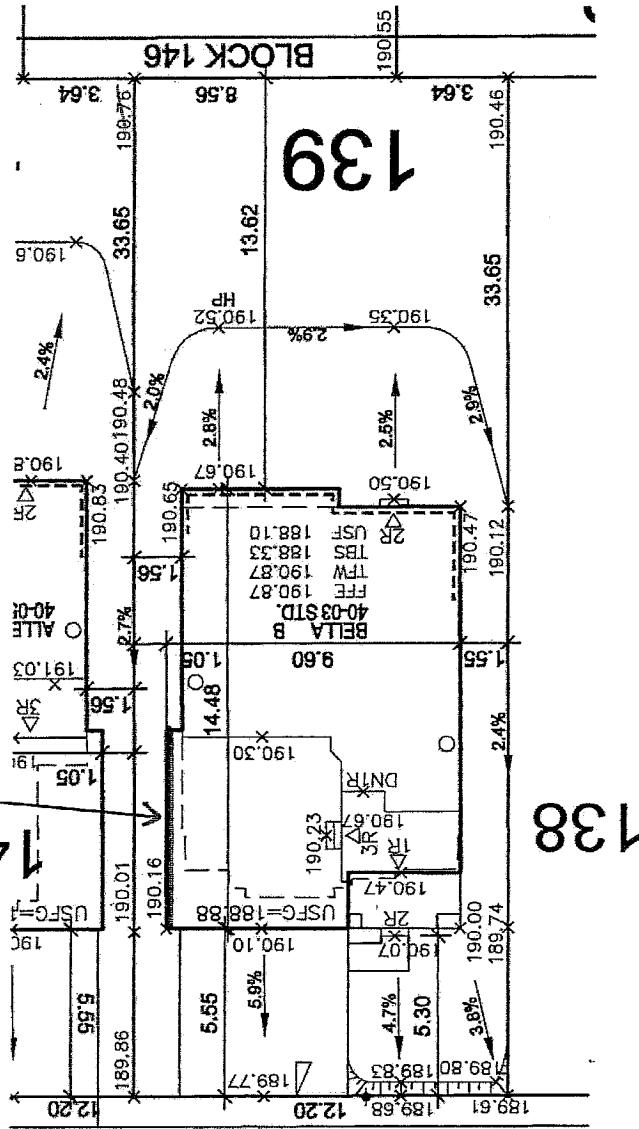
ARCHITECTURAL REVIEW & APPROVAL
APR 19 2013
John G. Williams Limited, Architect



$$24' - 24' - 4' = 9' 4\"/>$$

WYCOMBE STREET

5.5	5.50	1.50m CONC. SIDEWALK
SL		
SAN = 1	SAN = 186.91	STM = 187.30
STM = 1		



NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	APR. 08/13	BJ	ES
2	REVISED AS PER ENG. COMMENTS	APR. 11/13	BJ	ES
3	ISSUED FOR FINAL	APR. 16/13	BJ	ES

ISSUED OR REVISION COMMENTS

QUALIFIED DESIGNER B.O.M. 30840

FIRM B.O.M. 26995

SIGNATURE

DATE

LEGEND
FFE FINISHED FLOOR ELEVATION
TFW TOP OF FOUNDATION WALL
TBS TOP OF BASEMENT SLAB
USF UNDER SIDE FOOTING
USFR UNDER SIDE FOOTING @ REAR
USFG UNDER SIDE FOOTING @ GARAGE
TEF TOP OF ENGINEERED FILL
R NUMBER OF RISERS TO GRADE
WOD WALKOUT DECK
LOB LOOKOUT BASEMENT
WOB WALK OUT BASEMENT
STD STANDARD PLAN
REV REVERSE PLAN
DOOR
WINDOW
BELT PEDISTAL
CABLE PEDISTAL
CATCH BASIN
DBL. CATCH BASIN
ENGINEERED FILL
HYDRO CONNECTION
FIRE HYDRANT
STREET LIGHT
MAIL BOX
TRANSFORMER
WATER VALVE
WATER CONNECTION
SEWER CONNECTIONS
SEWER CONNECTIONS
1 LOT
2 LOTS
AIR CONDITIONING
DOWN SPOUT TO SPLASH PAD
SWALE DIRECTION
CHAINLINK FENCE
XX PRIVACY FENCE
XXX SOUND BARRIER
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

BUILDING STATISTICS
REG. PLAN NO. 40M-2416
ZONE R2B*
LOT NUMBER 139
LOT AREA (m ²) 410.49 m ²
BLDG AREA (m ²) 125.88 m ²
LOT COVERAGE (%) 30.66%
NO. OF STOREYS 2
MEAN HEIGHT (m) 8.21
PEAK HEIGHT (m) NA
DECK LINE (m) NA

DRAWING
SITE GRADING PLAN
CLIENT
ZANCOR HOMES
PROJECT/LOCATION
OLDE WINCHESTER BROOKLIN, ONT
NOTES:
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF N/A.
DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

139
LOT NUMBER
09014
PROJECT No.
1:250
SCALE
BJ
DRAWN BY

FN design
imagine • inspire • create
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