

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

AUG 07 2012

John G. Williams Limited, Architects

LOT GRADING NOTES:

- LOT GRADING NOTES:**
- 1) All dimensions and grade elevations are expressed in SI units.
 - 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
 - 3) Underside of footing shoring is taken from architectural plans and may not represent actual footing depth.
 - 4) Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
 - 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade
 - 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 3.0m no deflection in driveway alignment is permitted to achieve the clearance.
 - 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
 - 8) **SWALES:**
 - I) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 - II) Swales must be 1.0 m from lot line to better property.
 - III) Minimum swale depth to be 250mm.
 - IV) Maximum swale side slope to be 3H:1V.
 - V) Maximum depth of rear yard swale to be 750 mm.
 - VI) Maximum depth of side yard swale to be 450 mm.
 - 9) Eave downspouts must discharge onto splash-pads. Connections to weeping tiles or sewers are not permitted.
 - 10) **EMBANKMENTS:**
 - Maximum 3H: 1V slope if < 1M high.
 - Maximum 4H: 1V slope if > 1M high.
 - Terraces minimum 1.5m wide.
 - 11) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %
 - 12) If a driveway is to be provided, house footing adjacent to the RUPC lead must be lower than the lead.

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT

ZANCOR HOMES

PROJECT/LOCATION

KING NORTH- PHASE 2
KING CITY, ONTARIO

DRAWING

SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No.	65M-4277
ZONE	R4
LOT NUMBER	LOT 54
LOT AREA(m) ²	N/A
BLDG AREA(m) ²	N/A
LOT COVERAGE(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	8.41
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
△	DOOR
○	WINDOW
⊠	BELL PEDISTAL
⊞	CABLE PEDISTAL
□	CATCH BASIN
▢	DBL. CATCH BASIN
✱	ENGINEERED FILL
⊕	HYDRO CONNECTION
⊙	FIRE HYDRANT
⦿	STREET LIGHT
⊞	MAIL BOX
⊞	TRANSFORMER
⊞	WATER VALVE
⊞	WATER CONNECTION
▽	SEWER CONNECTIONS 2 LOTS
▽	SEWER CONNECTIONS 1 LOT
AC	AIR CONDITIONING
⊞	DOWN SPOUT TO SPLASH PAD
→	SWALE DIRECTION
—	CHAINLINK FENCE
—	PRIVACY FENCE
—	SOUND BARRIER
—	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

ISSUED OR REVISION COMMENTS

[illegible]

NOTES:

~~BUILDING ON ENGINEERED FILL, BUILDER TO CONSTRCT FOOTING
AS PER RECOMMENDATION FROM THE GEOTECHNICAL ENGINEER~~

NOTES:

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.

GRADING CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVEWAY, INCLUDING STREET CATCH BASIN.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. THE PROPOSED WATER SERVICE VALVE BOX IS LOCATED IN THE GRASSED PORTION OF THE FRONT YARD.

EMC GROUP LTD.

DATE 8

I, **NELSON CUNHA** DECLARE THAT
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY
FOR THE DESIGN WORK ON BEHALF OF RN DESIGN
LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING
CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED,
IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN	21032
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FIRM BCIN 26995

JUL 29 2013

DATE _____ SIGNATURE _____

DRAWN BY

NC

SCALE

PROJECT No. _____

12022

LOT NUMBER

LOT 54



BN design

Imagine • Inspire • Create

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