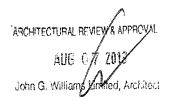
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guldelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.



- LOT GRADING NOTES: 1) All dimensions and grade ele
- The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade
- 5) Exterior cladding, furesholds, and window slis shall be a minimum of 150 mm above finished grade
 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transforbell padestals, etc.) by a minimum of 3.0m no delfection in driveway alignments is parmitted to achieve the clearance.
 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
 8) SWALES:
 8) SWALES:
 1) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 11) Swales must be 1.0 m from lot line to higher property.
 11) Minimum swale depth to be 250mm.
 17) Maximum swale side slope to be 3H/14V.
 17) Maximum depth of rear yard swale to be 450 mm.
 18) Eave demspouts must discharge onto spilsar-pads. Connections to weeping titles or sewers are not permitted.

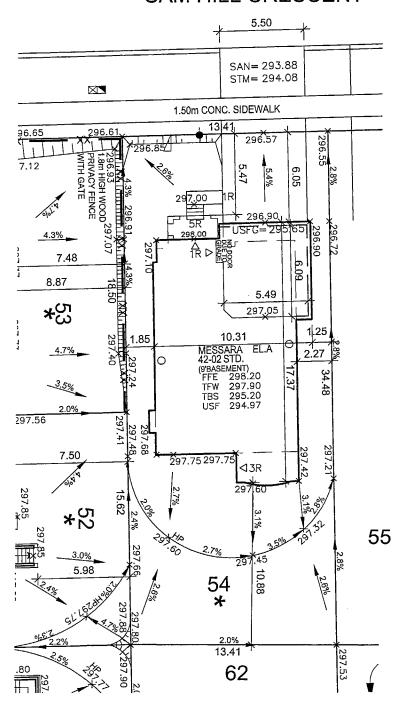
- to weeping tiles or sewers are not permitted.

 10 EMBANKENTS:
 Maximum 3H: 1V slope if < 1M high.
 Maximum 4H: 1V slope if > 1M high.
 Maximum 4H: 1V slope if > 1M high.
 Terraces minimum 1.5m wide.

 11 All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.

 12 Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

SAM HILL CRESCENT



NOTES:

BUILDING ON ENGINEERED FILL, BUILDER TO CONSTRCUT FOOTING AS PER RECOMMENDATION FROM THE GEOTECHNICAL ENGINEER

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.

GRADING CERTIFICATION:

1 HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.

2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLANS APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.

3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.

4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE, WHICH ARE NOT 1.0 METERS CLEAR FROM EDGE OF DRIVWAY, INCLUDING STREET CATCH BASIN.

5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.

6. THE PROPOSED WATER SERVICE YALVE BOX IS LOCATED IN THE GRASSED PORTION OF THE FRONT YARD. Aug 6, 2013
DATE

ZANCOR HOMES

PROJECT/LOCATION

KING NORTH- PHASE 2 KING CITY, ONTARIO

SITE GRADING PLAN

BUILDING STATIST	ics
REG. PLAN No.	65M-4277
ZONE	R4
LOT NUMBER	LOT 54
LOT AREA(m) ²	N/A
BLDG AREA(m) ²	N/A
LOT COVERAGE(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	8.41
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND				
FFE	FINISHED FLOOR ELEVATION			
TFW	TOP OF FOUNDATION WALL			
TBS	TOP OF BASEMENT SLAB			
USF	UNDER SIDE FOOTING			
USFR	UNDER SIDE FOOTING @ REAR			
USFG	UNDER SIDE FOOTING @ GARAGE			
TEF	TOP OF ENGINEERED FILL			
R	NUMBER OF RISERS TO GRADE			
WOD	WALKOUT DECK			
LOB	LOOKOUT BASEMENT			
WOB	WALK OUT BASEMENT			
REV	REVERSE PLAN			
STD	STANDARD PLAN			
Δ	DOOR			
0	WINDOW			
⊠	BELL PEDISTAL			
	CABLE PEDISTAL			
	CATCH BASIN			
	DBL, CATCH BASIN			
*	ENGINEERED FILL			
-+∱-	HYDRO CONNECTION			
Ŷ	FIRE HYDRANT			
ŠL.	STREET LIGHT			
\bowtie	MAIL BOX			
V	TRANSFORMER			
8	WATER VALVE			
•	WATER CONNECTION			
∇	SEWER CONNECTIONS 2 LOTS			
7	SEWER CONNECTIONS 1 LOT			
AC	AIR CONDITIONING			
⊕+	DOWN SPOUT TO SPLASH PAD			
→	SWALE DIRECTION			
	CHAINLINK FENCE			
	PRIVACY FENCE			
	SOUND BARRIER			
	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE			

is	ISSUED OR REVISION COMMENTS					
NO.	DESCRIPTION	DATE	DWN	CHK		
1	ISSUED FOR REVIEW	JULY 15/13	NC	NC		
2	ISSUED FOR FINAL	JULY 29/13	NC	NC		

NELSON CUNHA DECLARE THAT I, NELSON CONTA

I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY
FOR THE DESIGN WORK ON BEHALF OF RN DESIGN
LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING
CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED,
IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 26995 FIRM BCIN

SIGNATURE

JULY 29, 2013

DRAWN BY

NC

SCALE 1:250

PROJECT No. 12022

LOT NUMBER **LOT 54**



Imagine • Inspire • Create TEL.(905)738-3177 FAX.(905)738-5449 DWG@RNDESIGN.CO