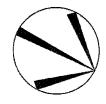
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

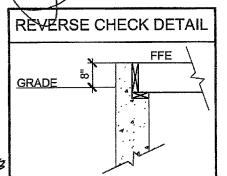
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WHITBY.

Member of the Sprnas Group Inc.
10 Scotle Str., Unit 41
Whitby, Ordino L1N 8Y7
Phone: (\$45) 432-7878
LOT GRADING REVIEWED MAY 2\8 2013

ASSOCIATES

SERNAS

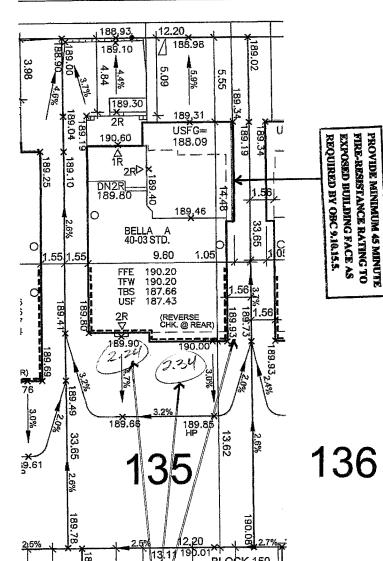




BH-24-6" -7.52+0.9d = 8.46

WYCOMBE STREET

П \$ \$ SAN= 186.15 STM= 186.51



134

USE SK-1 DETAIL FOR FOUNDATION WALLS ON THIS LOT (SEE ATTACHED)

BLOCK 150

13.11

LOT GRADING PLANS APPROVED SUBJECT TO REVISION'S NOTED

JUL 0 3 2013

ENGINEERING DEPARTMENT Flow L Plen 2.54 TOWNER WHITBY

ZANCOR HOMES

PROJECT/LOCATION **OLDE WINCHESTER** BROOKLIN, ONT

DRAWING

SITE GRADING PLAN

BUILDING STATISTICS 40M-2416 REG. PLAN No. R2B* LOT NUMBER 410.49 m2 LOT AREA(m)2 126.99 m2 BLDG AREA(m)² 30.9% LOT COVERAGE(%) No. OF STOREYS -8-46 MEAN HEIGHT(m) NA PEAK HEIGHT(m) NA DECK LINE(m)

LEGEND			
FFE	FINISHED FLOOR ELEVATION		
TFW	TOP OF FOUNDATION WALL		
TBS	TOP OF BASEMENT SLAB		
USF	UNDER SIDE FOOTING		
USFR	UNDER SIDE FOOTING @ REAR		
USFG	UNDER SIDE FOOTING @ GARAGE		
TEF	TOP OF ENGINEERED FILL		
R	NUMBER OF RISERS TO GRADE		
WOD	WALKOUT DECK		
LOB	LOOKOUT BASEMENT		
WOB	WALK OUT BASEMENT		
REV	REVERSE PLAN		
STD	STANDARD PLAN		
Δ	DOOR		
<u> </u>	WINDOW		
Ø	BELL PEDISTAL		
	CABLE PEDISTAL		
	CATCH BASIN		
\Box	DBL, CATCH BASIN		
*	ENGINEERED FILL		
	HYDRO CONNECTION		
Ŷ	FIRE HYDRANT		
SL.	STREET LIGHT		
	MAIL BOX		
	TRANSFORMER		
€	WATER VALVE		
•	WATER CONNECTION		
∇	SEWER CONNECTIONS 2 LOTS		
7	SEWER CONNECTIONS 1 LOT		
AC	AIR CONDITIONING		
⊕+	DOWN SPOUT TO SPLASH PAD		
-	SWALE DIRECTION		
x	- CHAINLINK FENCE		
—— xx——	PRIVACY FENCE		
xxx	- SOUND BARRIER		
l	FOOTING TO BE EXTENDED		
	TO 1.25 (MIN) BELOW GRADE		

COLUMN TO SERVICE	SUED OR REVISION			
NO.	DESCRIPTION	DATE	מאם	CHI
1	ISSUED FOR REVIEW	MAY 21/13	ĘS	ES
2	ISSUED FOR FINAL	MAY 27/13	ES	ЯH
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I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 30840

MAY 27, 2013 DATE

SIGNATU

DRAWN BY

1:250

PROJECT No. 09014

LOT NUMBER 135

