

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement and any provisions in the subdivision agreement. The Architect is not responsible for any errors or omissions in the grading plan or for any damage to existing or proposed site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

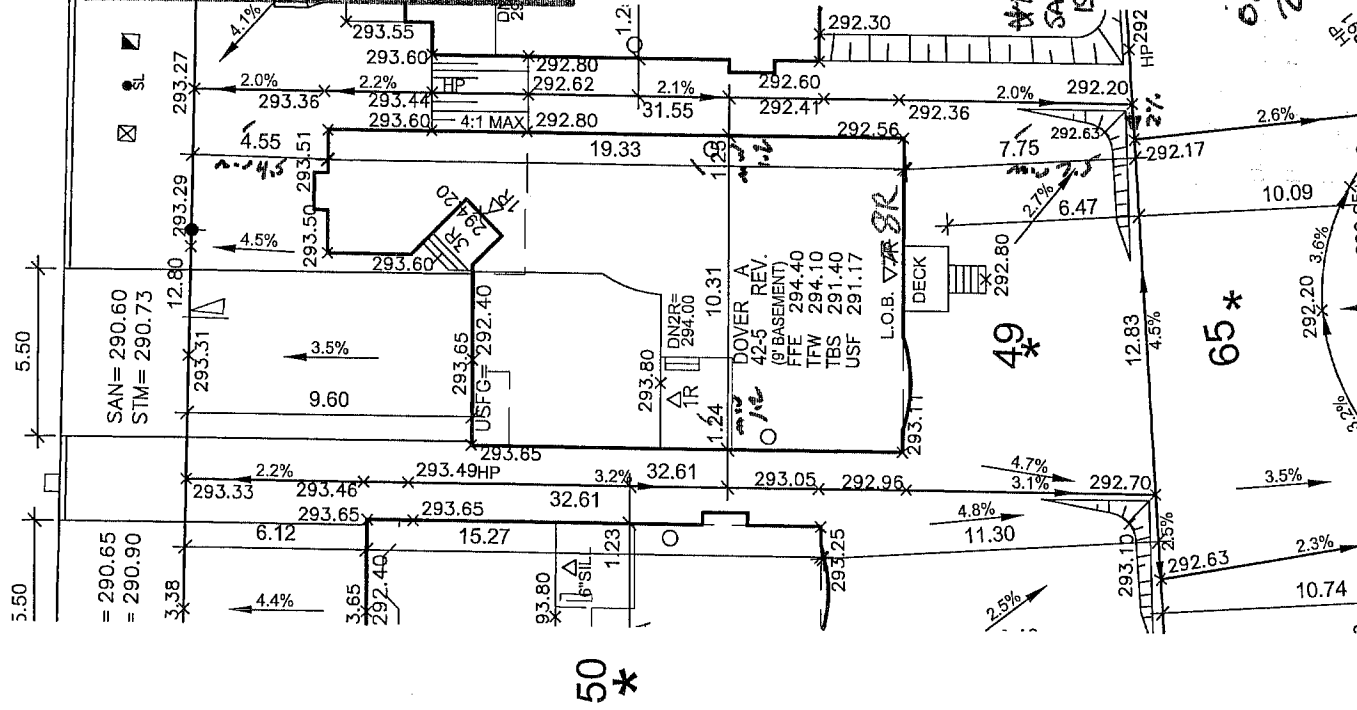
SEP 10 2012

John G. Williams Limited, ALCU

LOT GRADING NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
- 4) Footings must be 125 mm below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers, bell pedestals, etc.) by a minimum of 3.0m no deflection in driveway.
- 7) All above and below ground services shall be installed in accordance with the applicable codes and meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicant's expense.
- 8) SWALES:
 - i) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 - ii) Swales must be 1.0 m from lot line to higher property.
 - iii) Swales must be 250 mm wide.
 - iv) Maximum depth of rear yard swale to be 300 mm.
 - v) Maximum depth of side yard swale to be 750 mm.
 - vi) Maximum depth of side yard swale to be 450 mm.
- 9) Eave downspouts must discharge onto splash-pads. Connections to weeping tiles or sewers are not permitted.
- 10) Eave downspouts must be 150 mm above finished grade.
- 11) Maximum 3% slope if < 1M high.
- 12) Maximum 4% slope if > 1M high.
- 13) Maximum 1.5m wide.
- 14) Maximum 1.5m high.
- 15) Where rear lot catchbasins are provided, house footing adjacent to the RLOS lead must be lower than the lead.

ROBERT BERRY CRESCENT



NOTES:

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.

APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) 49 and hereby certify that:

1. The proposed grading and appurtenant drainage works comply with sound engineer principles.
2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.

VALDOR ENGINEERING INC.

Date:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT

ZANCOR HOMES

PROJECT/LOCATION

VALLEY KING

KING CITY, ONTARIO

DRAWING

SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No.

65M-4342

ZONE

R4

LOT NUMBER

49

LOT AREA(m)²

N/A

BLDG AREA(m)²

N/A

LOT COVERAGE(%)

N/A

No. OF STOREYS

2

MEAN HEIGHT(m)

9.18

PEAK HEIGHT(m)

N/A

DECK LINE(m)

N/A

LEGEND

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION WALL

TOP OF BASEMENT SLAB

UNDER SIDE FOOTING

UNDER SIDE FOOTING @ REAR

UNDER SIDE FOOTING @ GARAGE

TOP OF ENGINEERED FILL

NUMBER OF RISERS TO GRADE

WALKOUT DECK

LOOKOUT BASEMENT

WALK OUT BASEMENT

REVERSE PLAN

STANDARD PLAN

DOOR

WINDOW

BELL PEDISTAL

CABLE PEDISTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

WATER VALVE

WATER CONNECTION

SEWER CONNECTIONS

2 LOTS

SEWER CONNECTIONS

1 LOT

AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

SWALE DIRECTION

CHAINLINK FENCE

PRIVACY FENCE

SOUND BARRIER

FOOTING TO BE EXTENDED

TO 1.25 (MIN) BELOW GRADE

This plan has been reviewed with respect to general conformance with the overall lot grading plan only and our approval on this plan is for no other purpose.

We accept no responsibility for the accuracy of elevations and dimensions provided by others.

- ☐ REVIEWED WITHOUT CHANGES
- ☒ REVIEWED AS NOTED IN RED
- ☐ REQUIRES RE-SUBMISSION

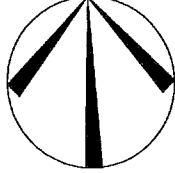
Reviewed by *[Signature]* Date *OCT 11/12*

R. J. Burnside & Associates Limited

48 *

NOTE:
SANITARY SERVICE
IS FLAT (2% MIN.)

OCT 3/12
2012/10/08



AN design
Imagine • Inspire • Create
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DWG@ANDESIGN.COM

DRAWN BY

NC

SCALE

1:250

PROJECT No.

11072

LOT NUMBER

49