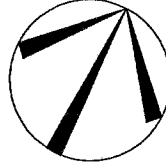


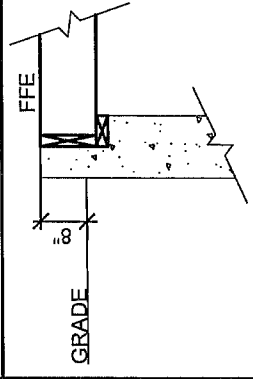
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WHITRY.

$3x = 7.42 \times 0.95$
 $= 7.05$

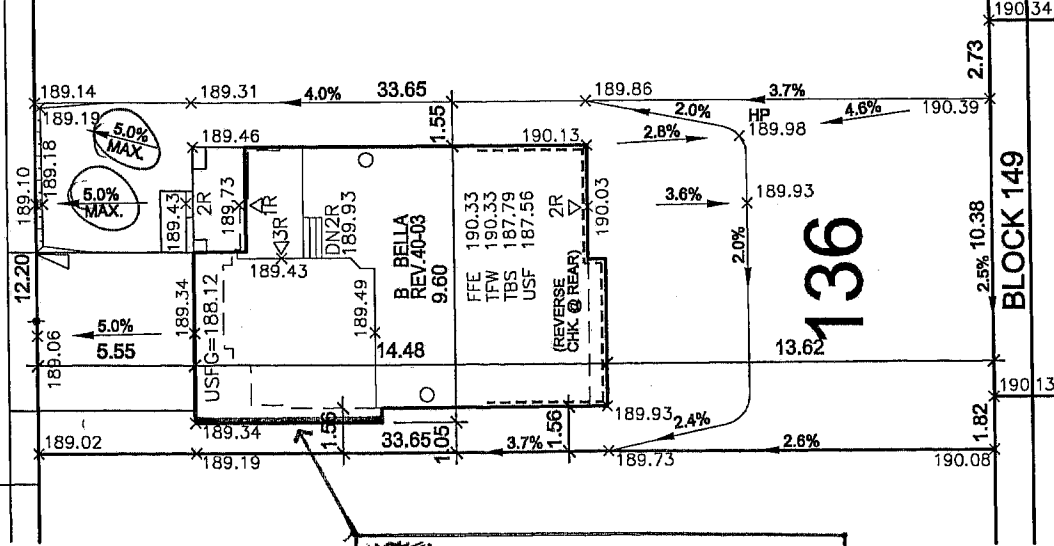


REVERSE CHECK DETAIL



WYCOMBE STREET

	SAN = 186.24	☒
	STM = 186.66	☒



NOTE:
PROVIDE MINIMUM 45 MINUTE
FIRE-RESISTANCE RATING TO
THE EXPOSED BUILDING FACE
AS REQUIRED BY OBC 9.10.1.5.(2)(b)

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SEP 19 2012

**TOWN OF WHITEY
BUILDING & BY-LAW SERVICES**

LOT GRADING PLANS APPROVED
SUBJECT TO REVISIONS NOTED

[illegible]

ENGINEERING DEPARTMENT
TOWNSEND WHITBY

QUALIFIED DESIGNER BCIN	30840
FIRM BCIN	26995

26995

DATE _____ SIGNATURE _____

DATE _____ SIGNATURE _____

DRAWN BY

SCALE

PROJECT No. 09014

LOT NUMBER

13



PN design
Imagine • Inspire • Create
TEL (905) 738-3177
FAX (905) 738-6449
NICK@PNDESIGN.COM

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

ZANCOR HOMES

PROJECT/LOCATION
OLDE WINCHESTER
BROOKLIN, ONT

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No.	40M-2416
ZONE	R2B*
LOT NUMBER	136
LOT AREA(m) ²	410.49 m ²
BLDG AREA(m) ²	125.9 m ²
LOT COVERAGE(%)	30.7%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.36
PEAK HEIGHT(m)	NA
DECK LINE(m)	NA

LEGEND

- | | |
|------|--|
| FFE | FINISHED FLOOR ELEVATION |
| TFW | TOP OF FOUNDATION WALL |
| TBS | TOP OF BASEMENT SLAB |
| USF | UNDER SIDE FOOTING |
| USFR | UNDER SIDE FOOTING @ REAR |
| USFG | UNDER SIDE FOOTING @ GARAGE |
| TEF | TOP OF ENGINEERED FILL |
| R | NUMBER OF RISERS TO GRADE |
| WOD | WALKOUT DECK |
| LOB | LOOKOUT BASEMENT |
| WOB | WALK OUT BASEMENT |
| REV | REVERSE PLAN |
| STD | STANDARD PLAN |
| △ | DOOR |
| ○ | WINDOW |
| ⊗ | BELL PEDISTAL |
| ⊠ | CABLE PEDISTAL |
| □ | CATCH BASIN |
| □ | DEL. CATCH BASIN |
| * | ENGINEERED FILL |
| ⊕ | HYDRO CONNECTION |
| ⊙ | FIRE HYDRANT |
| ⦿ | STREET LIGHT |
| ⊠ | MAIL BOX |
| ⦿ | TRANSFORMER |
| ⦿ | WATER VALVE |
| ⦿ | WATER CONNECTION |
| ⦿ | SEWER CONNECTIONS
2 FEET |
| ▽ | SEWER CONNECTIONS
1 FOOT |
| ▽ | AIR CONDITIONING |
| ⦿ | DRAIN SPOUT TO SPLASH PAD |
| ⦿ | SWALE DIRECTION |
| X | CHAINLINK FENCE |
| X | PRIVACY FENCE |
| X | SOUND BARRIER |
| --- | FOOTING TO BE EXTENDED
TO 1.25' (MIN) BELOW GRADE |

[illegible]

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

30840 QUALIFIED DESIGNER BCIN

26995

DATE _____ SIGNATURE _____

DATE _____ SIGNATURE _____

DRAWN BY

SCALE

PROJECT No. 09014

LOT NUMBER

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