





**ZANCOR
HOMES**

Purchaser:

THOMAS

Res. No: 9) 303-9469 Bus. No:

Subdivision:

Lot No.

90

House Type

House Type *Colonial*

Elevation 11000

Date Required

Date Ordered

Bus. No.:

Subdivision: Hyatt

Lot No.	House Type	Elevation	Date Required	Date Ordered
90	Colonial	"B"		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
(19)	In original plan there should be (2) 1/2 pillars on either side of curved opening leading from Lobby columns square Dining room 1/2 walls with 1/2 columns as shown (different than original agreement) columns square		
(20)	Added on Amend.		
	SUB-TOTAL		
	HST		
	TOTAL AMOUNT ▶		

Conditions:

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6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$5000.

BUILDER:

2

HOME OWNER:

HOME OWNER:

DATE:

Sept 23, 2012

DATE: 8/2/21



ROYAL COLLECTION

AT KEELE & KING

BALMORAL

ELEVATION A - 3420 SQ. FT.

ELEVATION B - 3398 SQ. FT.

(17)

DOUBLE
DOOR TO
TAKING
WOODING

LINE OF FOUNDATION WALL FOR
OPTIONAL LOGGIA ABOVE

(14)

ENLARGE WINDOWS

(3) 24"H X 30"W

UNFINISHED
BASEMENT

FOR OPTIONAL PORCH ABOVE

LOCATION OF FURNACE
AND HOT WATER HEATER
MAY VARY

F H

3 PC
TUBS IN
BATH

UNEXCAVATED

FINISHED
AREA

COLD
CELLAR

(WHERE GRADE PERMITS)

BASEMENT
ELEVATION A

Lot 90
C-Dev-B

F (H)

UNEXCAVATED

UNFINISHED
BASEMENT

FINISHED
AREA

COLD
CELLAR

(WHERE GRADE PERMITS)

BASEMENT PARTIAL
ELEVATION B

2

ZANCOR
HOMES

FC



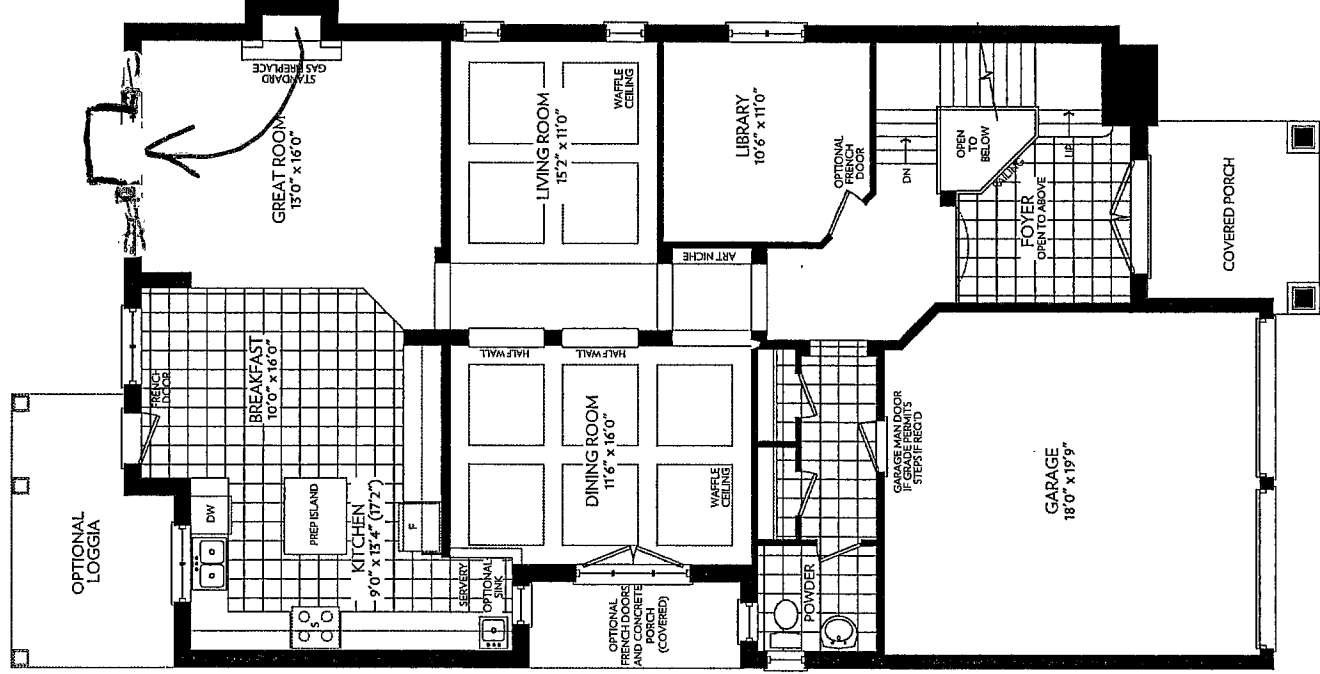
ROYAL COLLECTION

AT KEELE & KING

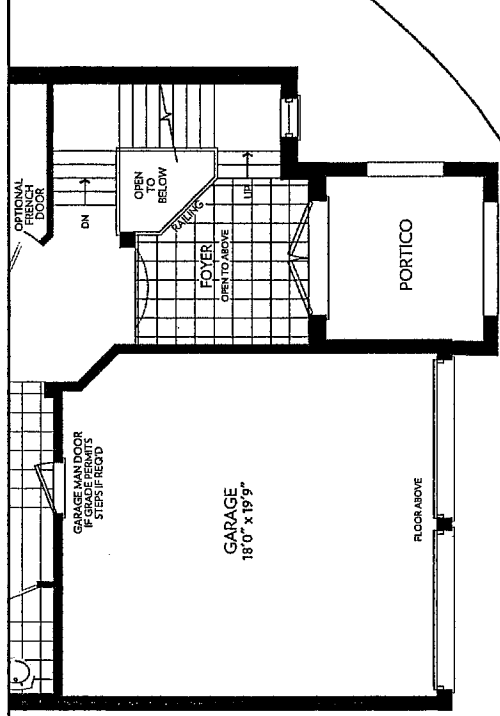
BALMORAL

ELEVATION A - 3420 SQ. FT.

ELEVATION B - 3398 SQ. FT.



GROUND FLOOR
ELEVATION A



GROUND FLOOR PARTIAL
ELEVATION B

ZANCOR HOMES

the HALL OF RECORDS
STANDS OPEN

2

AREA & SITE PLAN HOMES FEATURES & FINISHES VIDEO REGISTER CONTACT

Kitchen & Island - To BE DONE WITH QTK
open library wall & ~~AND PAID AT CLOSERS.~~

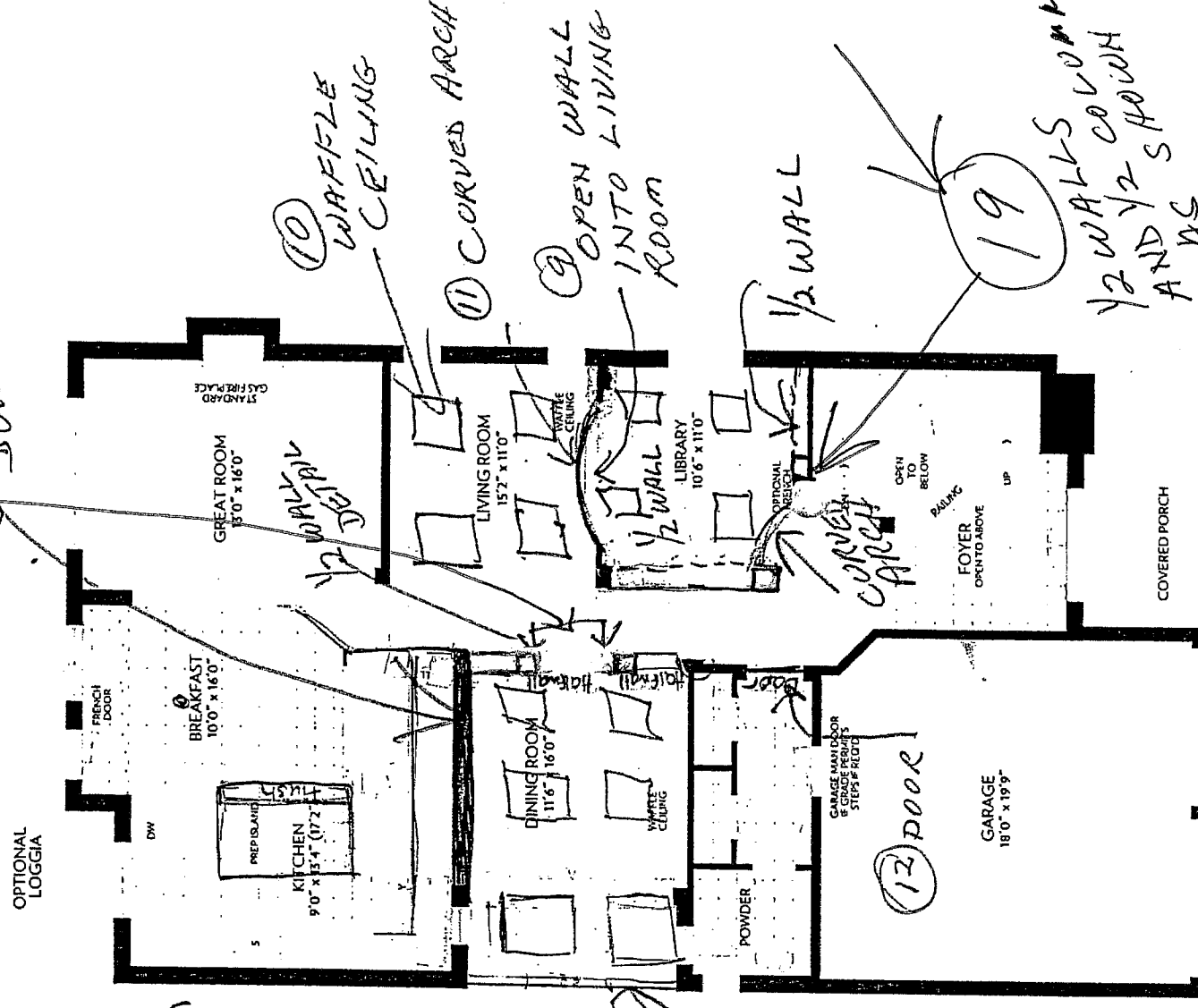
DMO & DMOH

TO FOLLOW)

CELLING

SQUARE

Page 1 of 2





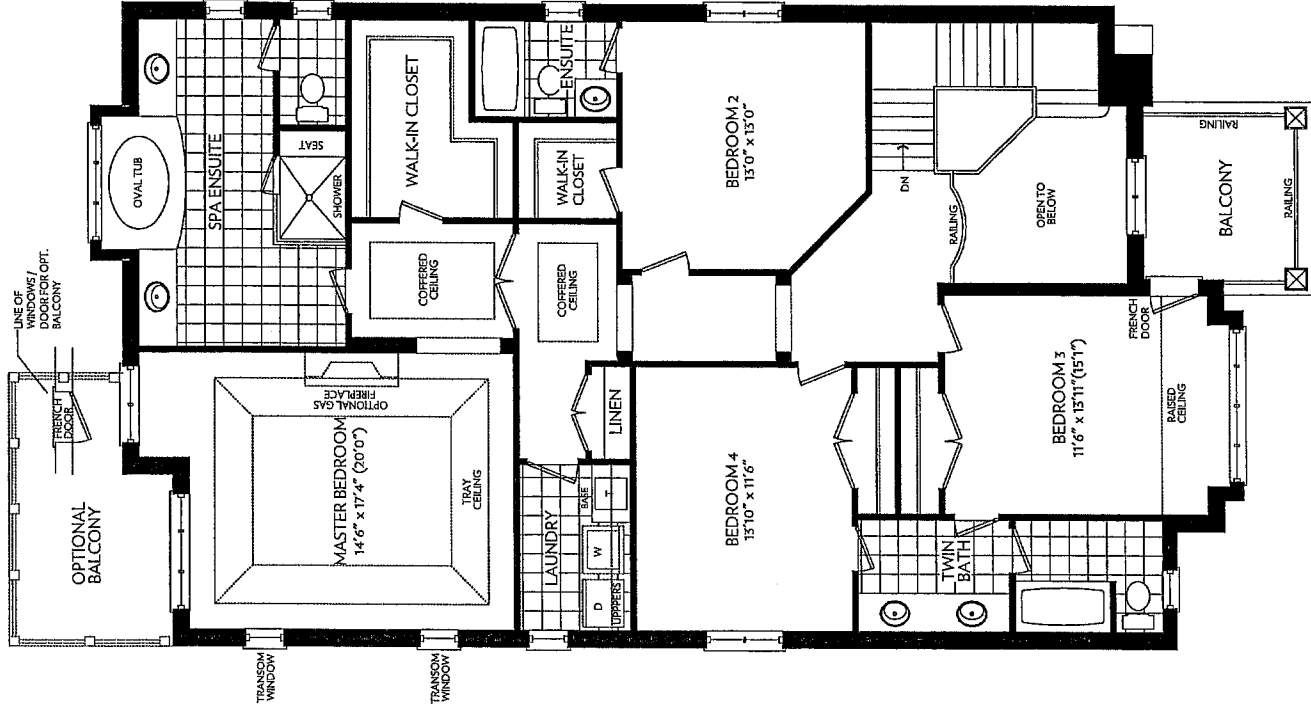
ROYAL COLLECTION

AT KEELE & KING

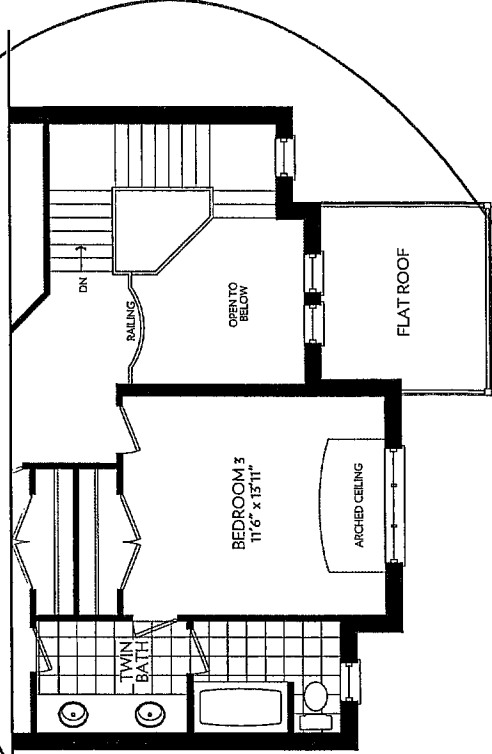
BALMORAL

ELEVATION A - 3420 SQ. FT.

ELEVATION B - 3398 SQ. FT.



SECOND FLOOR
ELEVATION A



SECOND FLOOR PARTIAL
ELEVATION B

ZANCOR
HOMES



ROYAL
COLLECTION
AT KEELE & KING

Lot 90
Elev: "B"

1/2

Z

ZANCOR
HOMES

1/2



BALMORAL
ELEVATION B - 3398 SQ. FT.



STRUCTURAL REQUIREMENTS*

Purchaser(s): R. Mansueti & J. Spans
Subdivision: Royal Palatium

ZANCOR
HOMES

Lot No.	House Type	Elevation	Date
<u>90</u>	<u>Balmoral</u>	<u>"B"</u>	

STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	☒ Y ☐ N		<u>RA</u>
• Additional Basement Windows	☐ Y ☒ N		<u>RA</u>
• Upgraded Windows	☐ Y ☒ N		<u>RA</u>
• 9' Basement	☒ Y ☐ N	<u>Included</u>	<u>RA</u>
• 10' Main Floor	☒ Y ☐ N	<u>Included</u>	<u>RA</u>
• 9' 2nd Floor	☒ Y ☐ N	<u>Included</u>	<u>RA</u>
• Extra Window or Door Changes	☐ Y ☒ N		<u>RA</u>
• Upgraded Window Grills	☐ Y ☒ N		<u>RA</u>
• Optional Loggia	☐ Y ☒ N		<u>RA</u>
• Optional Balcony	☐ Y ☒ N		<u>RA</u>
• Skylights (Location subject to trusses, engineering and architectural control)	☐ Y ☒ N		<u>RA</u>
• Brick Colour & Exterior Package	☒ Y ☐ N	Pkg # <u>7</u>	<u>RA</u>
• Additional Fireplaces	☒ Y ☐ N		<u>RA</u>
• Gas/Electric	☐ Y ☒ N		<u>RA</u>
• Stair Upgrades (Maple)	☐ Y ☒ N		<u>RA</u>
• Open Stairs to Basement	☒ Y ☐ N	<u>AS PER PLAN</u>	<u>RA</u>
• Open Riser Staircase	☐ Y ☒ N		<u>RA</u>
• Hot Water Tank Information/Upgrades	☐ Y ☒ N		<u>RA</u>
• Appliance Specification required from purchaser for time of kitchen selection	☒ Y ☐ N	Date of Appointment: _____	<u>RA</u>
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	☒ Y ☐ N	Date of Appointment: _____	<u>RA</u>
• Is water line for fridge required?	☐ Y ☒ N		<u>RA</u>
• Is gas line for stove required?	☒ Y ☐ N		<u>RA</u>
• Are smooth ceilings required?	☒ Y ☐ N	<u>Included</u>	<u>RA</u>
• Plumbing Changes	☐ Y ☒ N		<u>RA</u>
• Bathtubs - Changes to Style/Size/Location	☐ Y ☒ N		<u>RA</u>
• Frameless Glass Shower	☒ Y ☐ N	<u>Onsite</u>	<u>RA</u>
• Mirrors, Towel Racks to be installed?	☒ Y ☐ N	<u>NO MIRRORS</u>	<u>RA</u>
• Ensure Purchaser is aware of all ceiling designs in each room:		<u>as per plan</u>	<u>RA</u>
• Cathedral Ceilings	☐ Y ☒ N		<u>RA</u>
• Coffered Ceilings	☒ Y ☐ N		<u>RA</u>
• High Ceilings	☐ Y ☒ N		<u>RA</u>
• Water Heater/Furnace Upgrades	☐ Y ☒ N		<u>RA</u>
• Energy Star Upgrades / Increase Insulation	☐ Y ☒ N		<u>RA</u>
• Noise Insulation	☐ Y ☒ N		<u>RA</u>
• Plywood Subfloors	☒ Y ☐ N	<u>Included</u>	<u>RA</u>
• Upgrade to 200 amp electrical service	☒ Y ☐ N	<u>Included</u>	<u>RA</u>

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

FC



BRICK SELECTION REQUEST*

To be completed at time of Structurals

LOT #: 90
IN THE CITY OF: King
MODEL TYPE: Balmoral ELEVATION: "B"

BETWEEN:
Jamcar Jones as VENDOR
AND
Ross Magafano & L. Spano as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 7
SECOND CHOICE: 3
THIRD CHOICE: 1

Dated at King this 14 day of Aug 2013
(Day) (Month) (Year)

[Signature] Witness
[Signature] Witness

[Signature] Purchaser
[Signature] Purchaser



NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT

Royal Collection

LOT No.

901

PLAN No.

HOMEOWNER(S)

R. Maggafano & L. Spano

CIVIC ADDRESS

NOTE

If built in appliances are selected the following information must be submitted with your final design selections. Appliance specifications must clearly be legible for the following:

- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – *Discuss Counter Depth Fridge with Designer* recommended, If purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than Sept. 10/12.

If not received the standard openings as determined by Zancor Homes will be provided.

Acknowledged and agreed this

14 day of Aug, 2013

Purchaser's Signature

Date

August 18th/2012.

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications



ZANCOR
HOMES

SCHEDULE "E"

PURCHASER'S EXTRAS

Vendor Zancor Homes (KC) Ltd.		Purchaser(s) ROCCO MAZZAFERRO LETIZIA M. SPANO Telephone Number: 647-282-9027	
Lot Number 90	House Type -Balmoral (42-08) Elev B	Reg. Plan #	Closing Date As Per Agreement Date Ordered 25-Apr-2012

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRA'S:

DESCRIPTION

1. 9 ft. basements, 10 ft. main floor (with 8 ft. hollow core doors, taller windows and taller arches) and 9 ft. second floors
2. 1ST UPGRADE 3 1/4 INCH X 3/4 INCH OAK STAINED HARDWOOD TO APPLICABLE AREAS (EXCEPT TILED AREAS)
3. STAIN STAIRCASE FROM FIRST TO SECOND FLOOR
4. WALK OUT BASEMENT WITH 5 FT. X 7 FT DECK OFF REAR (NO STAIRS)
5. FRIDGIDAIRE GALAXY APPLIANCE PACKAGE.
6. MOVE FURNACE AND HOT WATER TANK OVER AS SHOWN.
7. MOVE KITCHEN WALL DOWN AS SHOWN.
8. RAUGHTEN WALL IN DINING ROOM AND MAKE 6 PANEL WAFFLE CEILING.
9. OPEN LIBRARY WALL INTO LIVING ROOM WITH HALF WALLS AND WAFFLE CEILINGS.
10. WAFFLE CEILING IN LIVING ROOM.
11. CURVED ARCH FROM LIBRARY.
12. DOOR INTO HALL CLOSET AREA.
13. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.

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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

Vendor

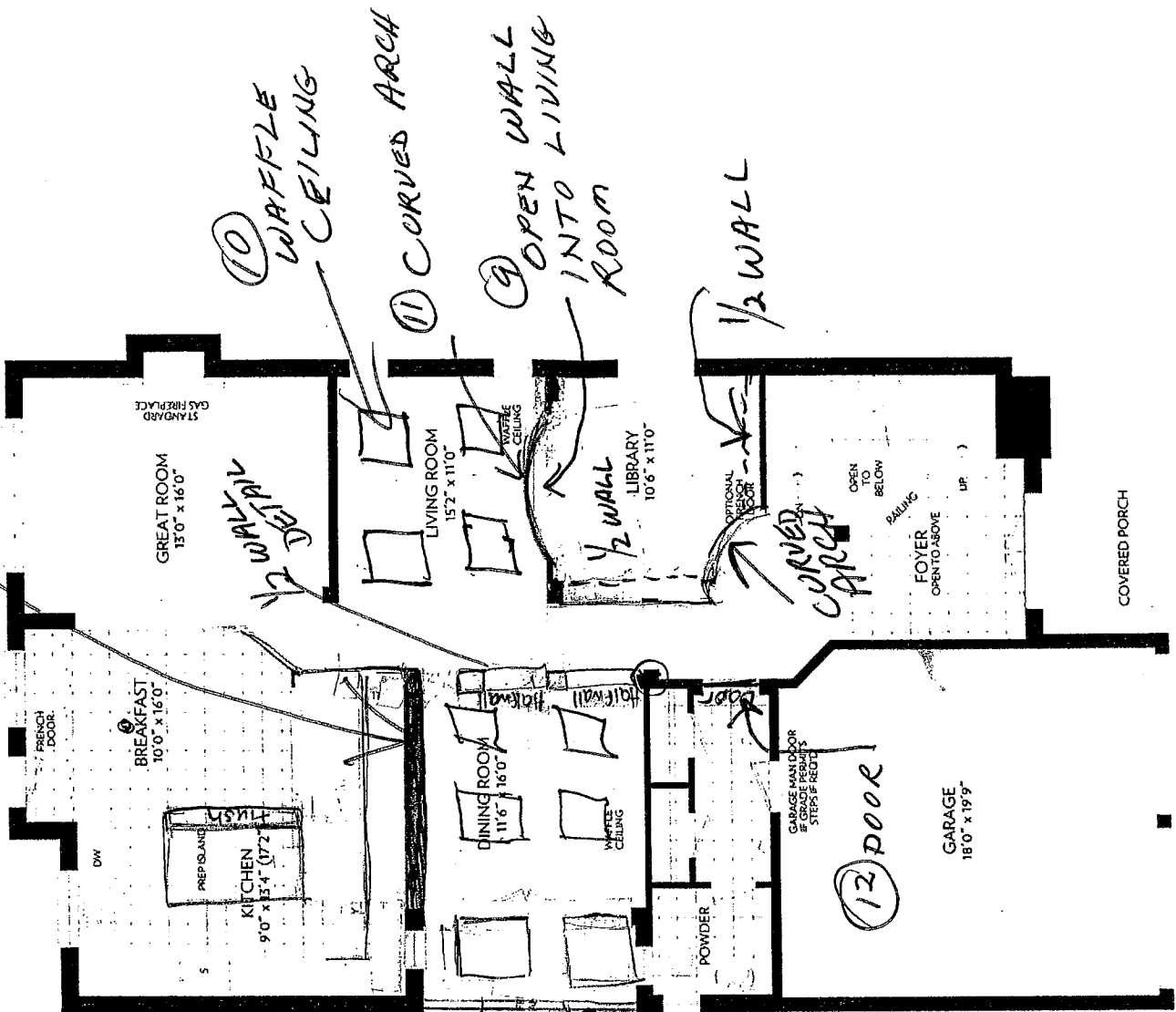
Purchaser: ROCCO MAZZAFERRO

Purchaser: LETIZIA M. SPANO

TO BE DONE WITH QTK

- ☐ Kitchen & island
- ☐ open library wall & possibly continue w/ rafter or arch
- ☐ potlights in hallway, kitchen & family room
- ☐ no mirrors or towel bars or toilet paper holders or lights on top of mirrors
- ☐ appliances?
- ☐ take out niche
- ☐ Door closing
- ☐ MOVE FURNACE OVER TO LEFT WALL (SKETCH TO FOLLOW)
- ☐ STRAIGHTEN WALL AND PUT 6 PANEL WAFLE CEILING

MOVE KITCHEN WALL DOWN



GROUND FLOOR ELEVATION A

F.C

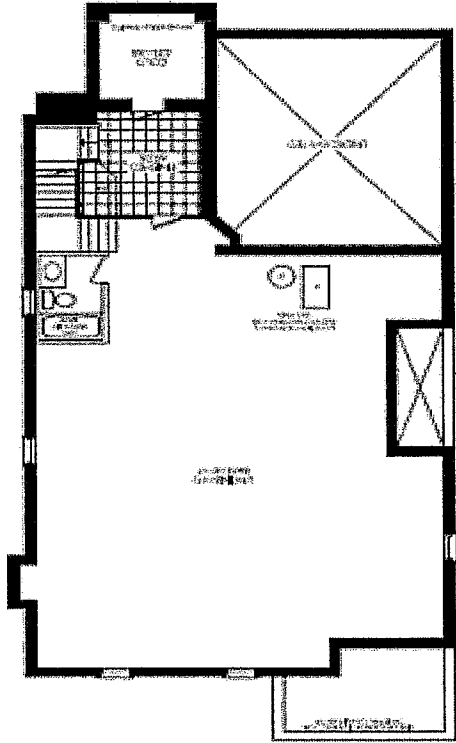
Lot #90

Dr.

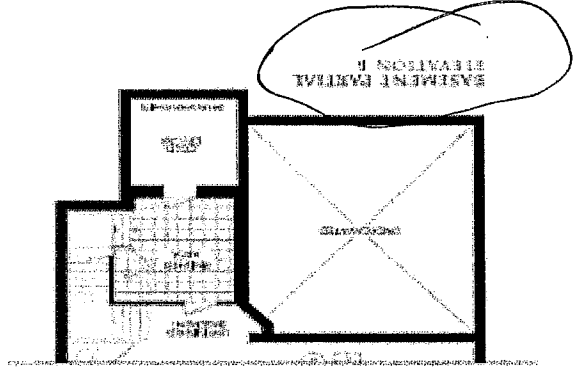
SCHEDULE "FLP"

FLOOR PLAN

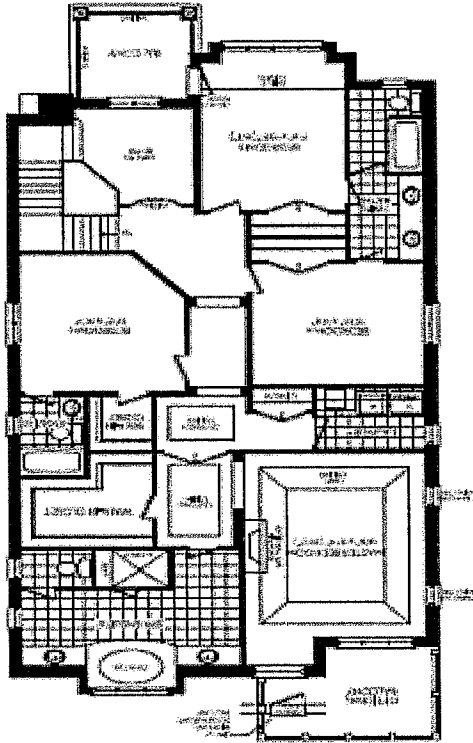
BALMORAL



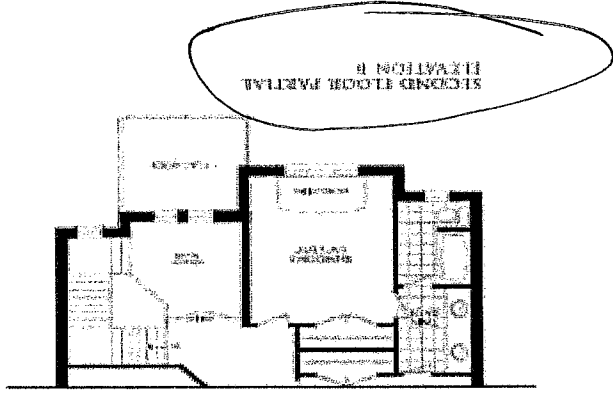
FIRST FLOOR



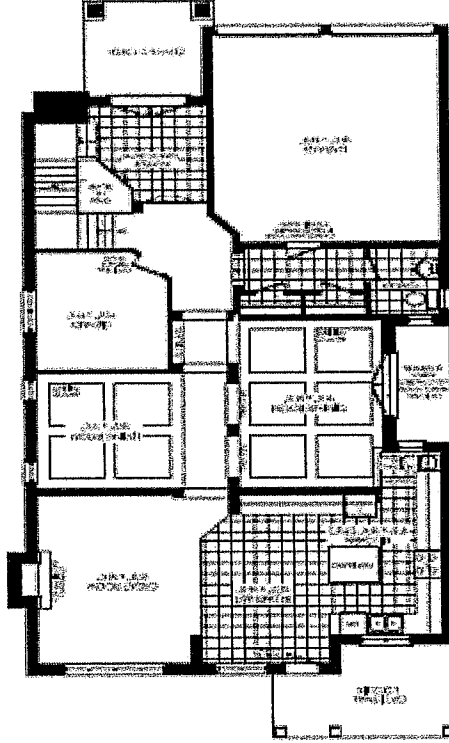
SECOND FLOOR



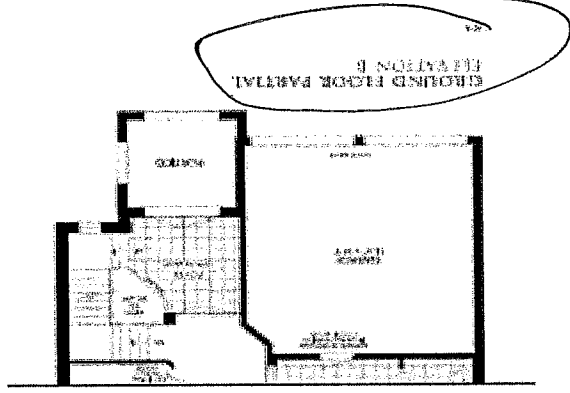
THIRD FLOOR



FOURTH FLOOR



FIFTH FLOOR



F.C.

Vendor's Initials

M

Purchaser's Initials

J

Purchaser's Initials