

STRUCTURAL REQUIREMENTS*

ZANCOR HOMES

Purchaser(s): *P. Pomeroy & A. Strimatos*
 Subdivision: *Royal Collection*

Lot No. *65* House Type *Woodsfield* Elevation *A.* Date

STRUCTURAL ITEMS	YES/NO <small>Please Circle One</small>	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	Y (N)		<i>[Signature]</i>
• Additional Basement Windows	Y (N)		<i>[Signature]</i>
• Upgraded Windows	Y (N)		<i>[Signature]</i>
• 9' Basement	Y (N)		<i>[Signature]</i>
• 10' Main Floor	Y (N)		<i>[Signature]</i>
• 9' 2nd Floor	Y (N)		<i>[Signature]</i>
• Increase Height of Doors	Y (N)		<i>[Signature]</i>
• Upgrade to Solid Core Interior Doors	Y (N)		<i>[Signature]</i>
• Extra Window or Door Changes	Y (N)		<i>[Signature]</i>
• Upgraded Window Grills	Y (N)		<i>[Signature]</i>
• Optional Loggia	Y (N)		<i>[Signature]</i>
• Optional Balcony	Y (N)		<i>[Signature]</i>
• Skylights <small>(Location subject to trusses, engineering and architectural control)</small>	Y (N)		<i>[Signature]</i>
• Brick Colour & Exterior Package	Y (N)	Pkg # <u>1</u>	<i>[Signature]</i>
• Additional Fireplaces	Y (N)		<i>[Signature]</i>
• Gas/Electric	Y (N)		<i>[Signature]</i>
• Stair Upgrades (Maple)	Y (N)		<i>[Signature]</i>
• Open Stairs to Basement	Y (N)		<i>[Signature]</i>
• Open Riser Staircase	Y (N)		<i>[Signature]</i>
• Hot Water Tank Information/Upgrades	Y (N)		<i>[Signature]</i>
• Appliance Specification required from purchaser for time of kitchen selection	Y (N)	Date of Appointment:	<i>[Signature]</i>
<small>(for Structural/Layout Changes)</small>			
• Appointment with Kitchen manufacturer completed?	Y (N)	Date of Appointment:	<i>[Signature]</i>
• Is water line for fridge required?	Y (N)		<i>[Signature]</i>
• Is gas line for stove required?	Y (N)		<i>[Signature]</i>
• Are smooth ceilings required?	Y (N)	<i>Included</i>	<i>[Signature]</i>
• Plumbing Changes	Y (N)		<i>[Signature]</i>
• Bathtubs - Changes to Style/Size/Location	Y (N)		<i>[Signature]</i>
• Frameless Glass Shower	Y (N)	<i>Granite</i>	<i>[Signature]</i>
• Mirrors, Towel Racks to be installed?	Y (N)		<i>[Signature]</i>
• Ensure Purchaser is aware of all ceiling designs in each room:		<i>see per plan</i>	<i>[Signature]</i>
• Cathedral Ceilings	Y (N)		<i>[Signature]</i>
• Coffered Ceilings	Y (N)		<i>[Signature]</i>
• High Ceilings	Y (N)		<i>[Signature]</i>
• Water Heater/Furnace Upgrades	Y (N)		<i>[Signature]</i>
• Energy Star Upgrades / Increase Insulation	Y (N)		<i>[Signature]</i>
• Noise Insulation	Y (N)		<i>[Signature]</i>
• Plywood Subfloors	Y (N)	<i>Included</i>	<i>[Signature]</i>
• Upgrade to 200 amp electrical service	Y (N)	<i>Included</i>	<i>[Signature]</i>

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.



ZANCOR
HOMES



ROYAL COLLECTION
General Information

John G5

- ☞ Prices do not include HST
- ☞ Deposit structure: Extras can be added to the purchase price by way of amendment to a maximum of 75% of the extra - \$10,000 minimum.
- ☞ E. & O.E. Applicable
- ☞ Prices are subject to change without notice
- ☞ Builder reserves the right to make substitutions to equal or greater value if a product is discontinued or when a supplier is changed.
- ☞ All upgrades must be on Zancor Homes upgrade sheets. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- ☞ Extras will not be implemented until approved by Head Office.
- ☞ An Optional Upgrade Order Form must be submitted to Head Office for all items. Please attach any illustrations for such requests. The request will be estimated and presented to the Home Owner. Home Owner must submit written acceptance of such estimate within 14 days. The same request at a later date may be subject to a price increase.
- ☞ All upgrade pricing include credits for standard features
- ☞ Exterior colour packages have been architecturally selected and controlled. No substitution or additions are permitted.
- ☞ All extras must be paid for prior to commencement of work
- ☞ Structural / Plan changes: will be considered on an individual purchaser basis
Any changes of this nature are subject to architectural control and will potentially delay the closing date. The Purchaser will be required to sign an amendment to acknowledge delay.
- ☞ Changes made after the structural appointment or colour chart have been completed are discouraged and will be subject to a minimum administrative/processing fee of \$5,000.
If a change is absolutely necessary and is still possible, subject to construction schedule, a price will be quoted, subject to receiving the request in writing. Deletions to colour charts and extras will not be allowed. Requests of this nature are to be discussed and reviewed with the Site Super and Zancor Head Office. Approval must be obtained in writing before quoting purchaser and must be finalized within 48 hours of approval.
- ☞ If for some reason, a purchaser requested extra is not completed by the Vendor after the paperwork has been completed and payment for the item has been received by the builder, the purchaser will be credited the Vendor's cost of the particular item and the Vendor is not liable for any further cost
- ☞ Minimum charge per upgrade for processing \$250.00

HOME OWNER:

HOME OWNER:

DATE:

Aug. 27/12.





**ZANCOR
HOMES**

**FINAL STRUCTURAL REQUEST
ACKNOWLEDGMENT**

LOT No.

65

PLAN No.

HOMEOWNER(S)

P. Gomez & A. Frustaglio

CIVIC ADDRESS

FINAL STRUCTURALS COMPLETED ON

Aug. 27/12.

I, A. Frustaglio, the purchaser for the above-mentioned property, hereby acknowledge that once my final structural appointment has been completed and signed off, that no further changes, requests or deletions for structural changes will be accommodated.

I understand that a "structural change" refers to, but is not limited to, all the items as they are listed on the *Structural Requirements* checklist which has been reviewed and explained to me by Zancor's Structural Consultant.

If construction on the above noted property has not commenced and Zancor accommodates a request for a structural change I requested have after my final structural appointment has been completed, I fully acknowledge that there will be a minimum administration fee of \$5,000 in addition to the cost of the requested change and that I must sign off on the Purchaser Request for Extras within 48 hours of receiving the quoted price from Zancor.

I acknowledge the facts as explained to me and agree to waive any claims against the vendor or trades in relation to this particular matter.

I read and understand the above terms and conditions.

Dated at King, this 27 day of Aug, 2012.

Purchaser

Witness

Purchaser

Witness


ZANCOR
HOMES

NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT

Royal Collection

LOT No.

65

PLAN No.

HOMEOWNER(S)

P. Pomeroy & A. Prustajic

CIVIC ADDRESS

NOTE

If built in appliances are selected the following information must be submitted with your final design selections.

Appliance specifications must clearly be legible for the following:

- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – *Discuss Counter Depth Fridge with Designer* recommended, If purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than Sept. 15/12

If not received the standard openings as determined by Zancor Homes will be provided.

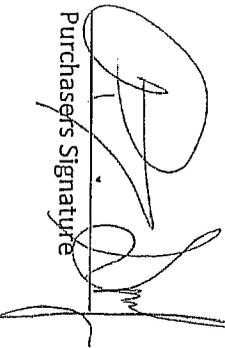
Acknowledged and agreed this

27

day of

Aug, 2012

Purchaser's Signature



Date

Aug. 27/12.

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications



ROYAL COLLECTION

AT KEELE & KING ↔

HATFIELD
ELEVATION A - 2574 SQ. FT.

Lot 65

Elev A

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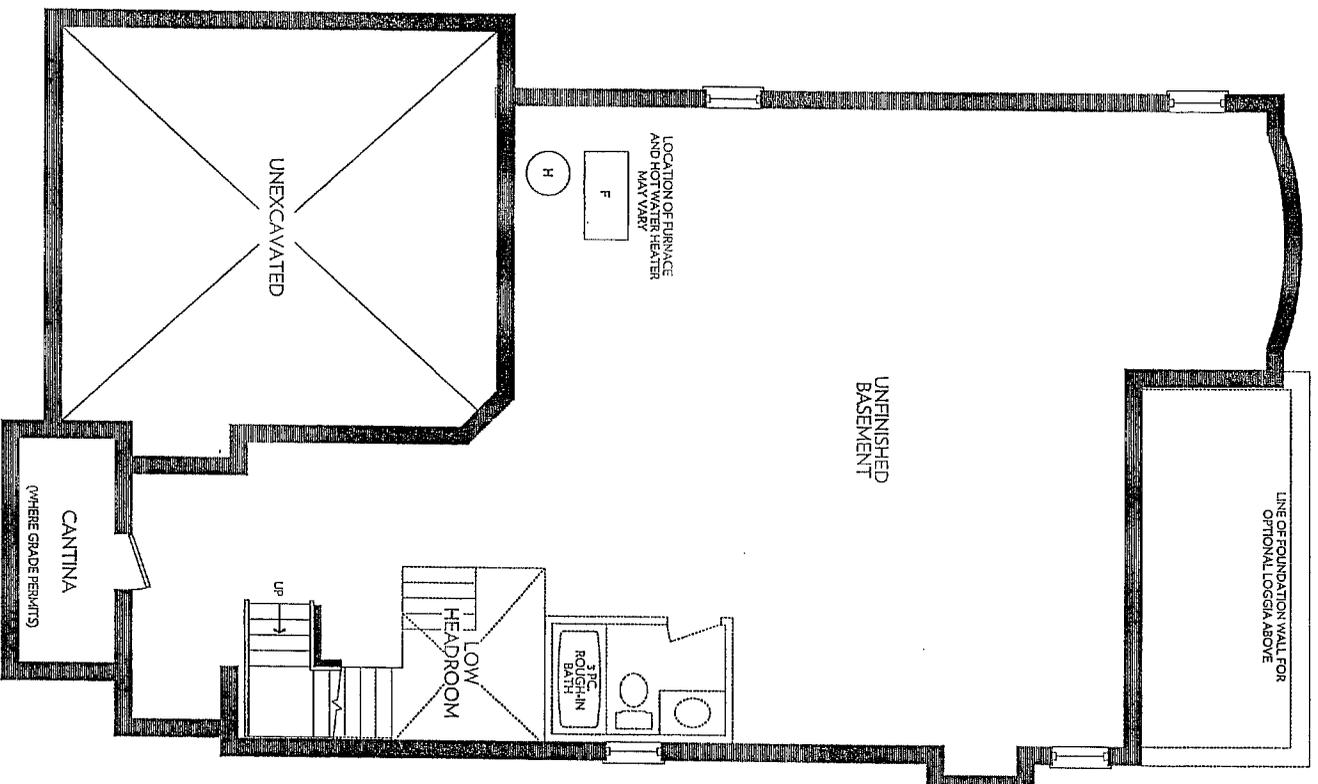
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ZANCOR
HOMES



ROYAL COLLECTION

AT KEELE & KING

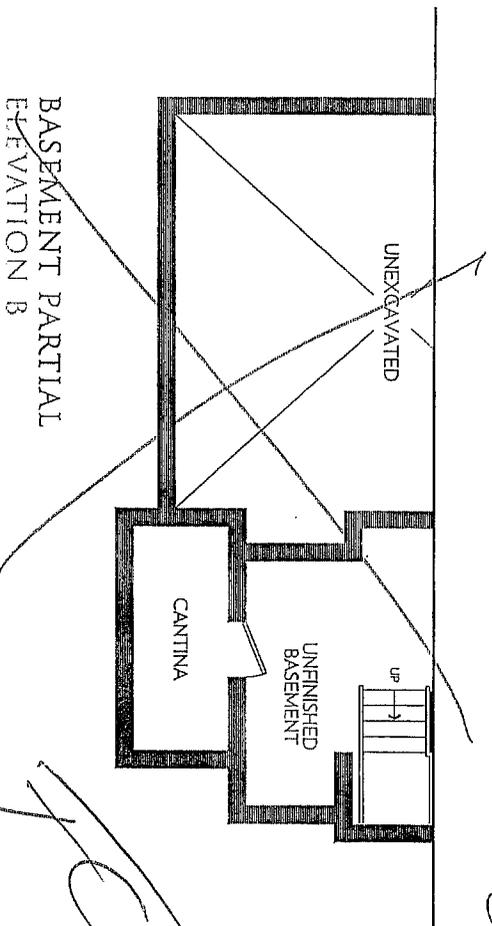
HATFIELD
ELEVATION A - 2574 SQ. FT.
ELEVATION B - 2627 SQ. FT.



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BASEMENT ELEVATION A

*Sheet 405
E. Par-H*



BASEMENT PARTIAL ELEVATION B

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ZANCOR HOMES

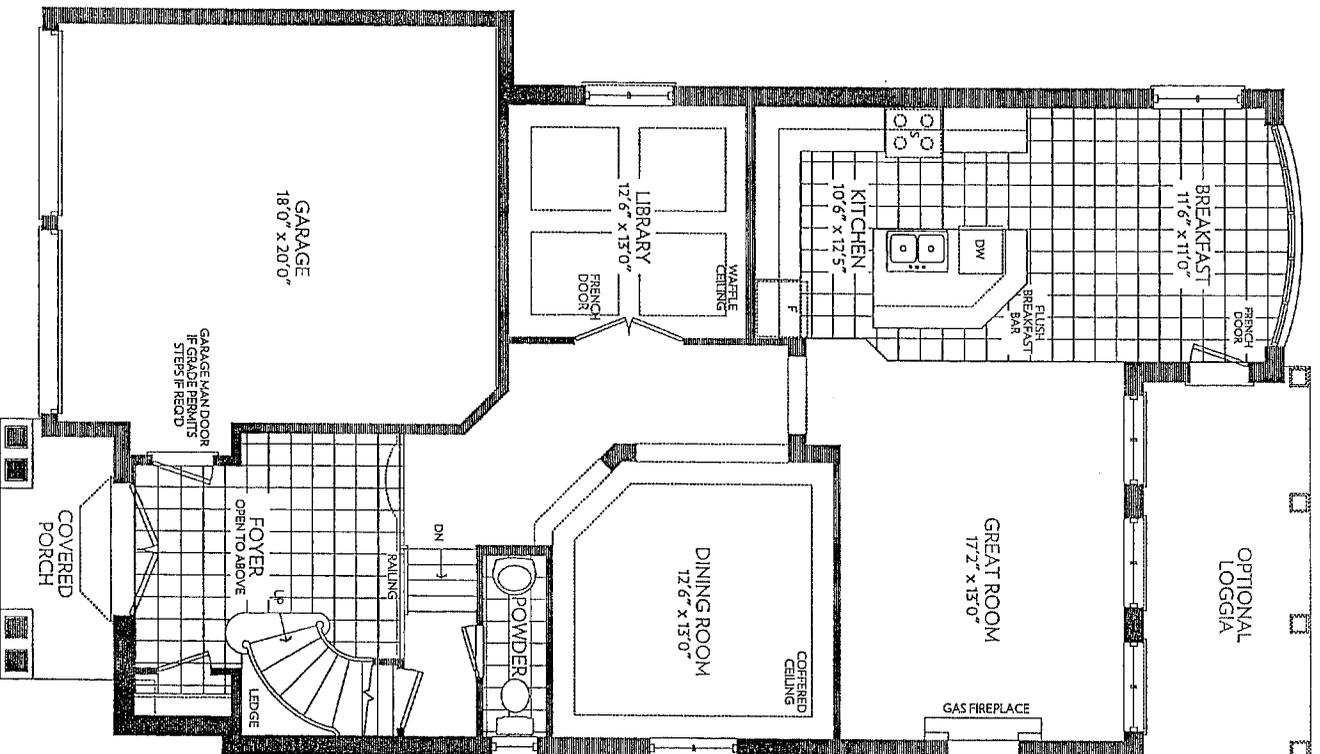
Prices and specifications are subject to change without notice. E.A.C.E. The patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artists' concept.



ROYAL COLLECTION

HATFIELD
ELEVATION A - 2574 SQ. FT.
ELEVATION B - 2627 SQ. FT.

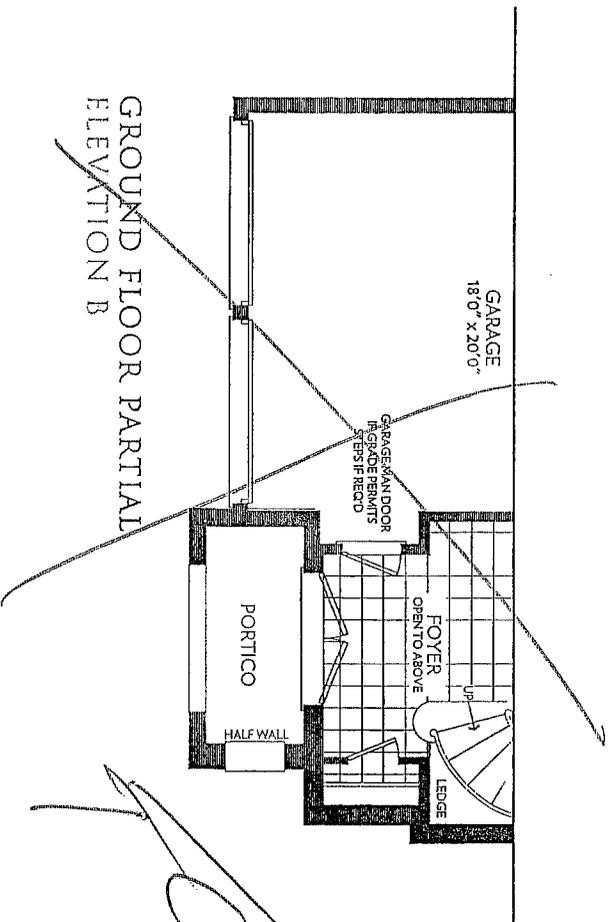
AT KEELE & KING ↗



GROUND FLOOR
ELEVATION A

*2/24/65
E. Davis*

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GROUND FLOOR PARTIAL
ELEVATION B

ZANCOR
HOMES

Prices and specifications are subject to change without notice. E&O.E. The patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artist's concept.



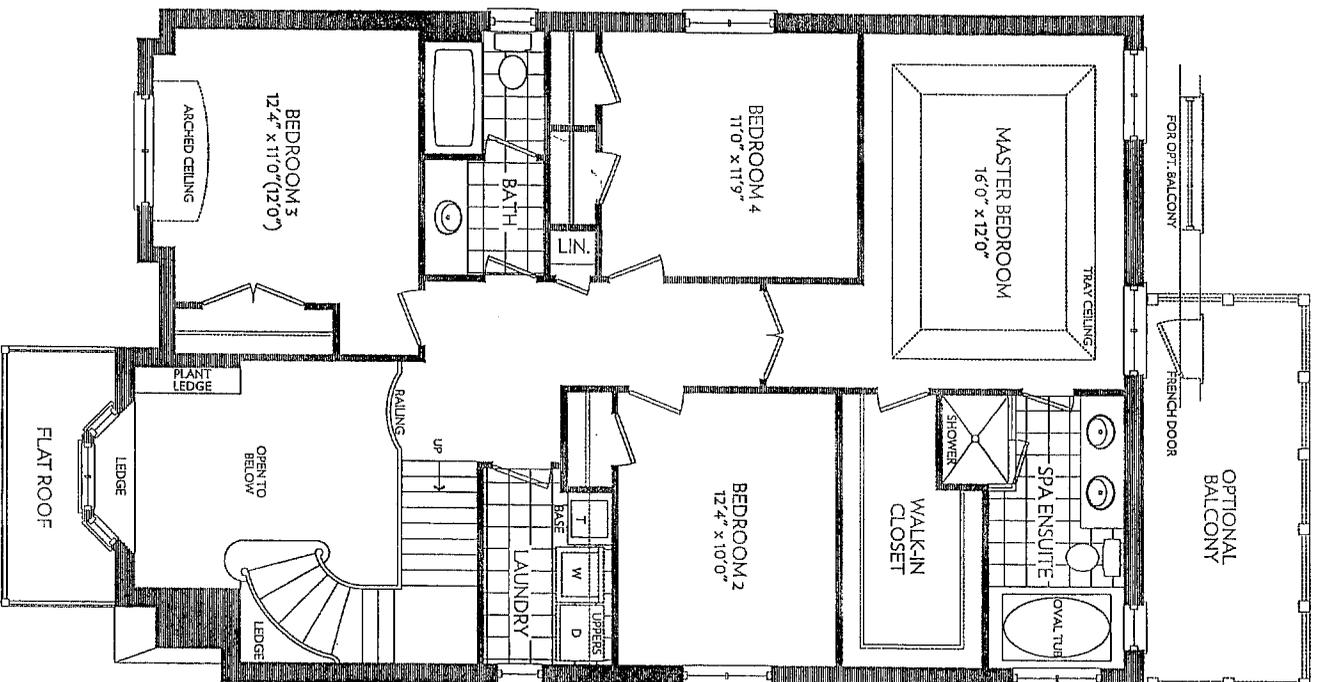
ROYAL COLLECTION

AT KEELE & KING ←

HATFIELD

ELEVATION A - 2574 SQ. FT.

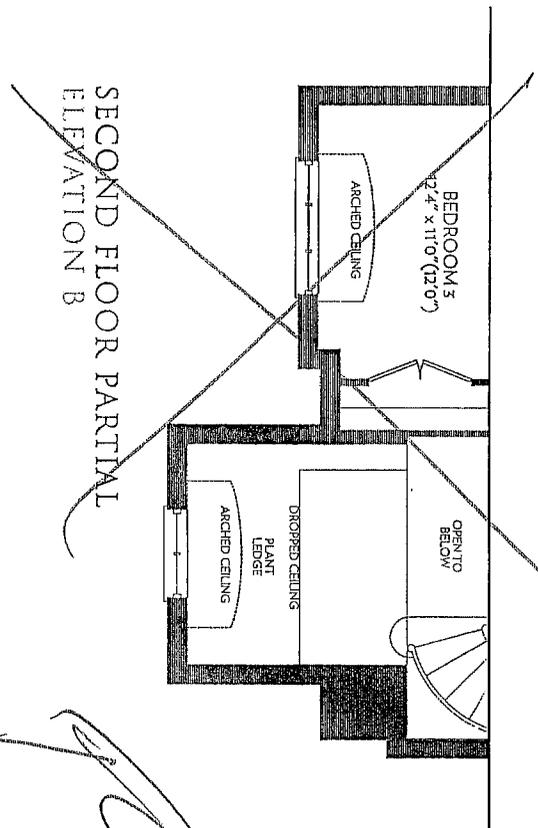
ELEVATION B - 2627 SQ. FT.



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SECOND FLOOR
ELEVATION A

*Just to see
to see A*



SECOND FLOOR PARTIAL
ELEVATION B

ZANCOR
HOMES

Prices and specifications are subject to change without notice. E&O.E. Tile patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artist's concept.



ZANCOR
HOMES

BRICK SELECTION REQUEST*

To be completed at time of Structural

LOT #: 65

IN THE CITY OF: King

MODEL TYPE: Westfield ELEVATION: A

BETWEEN:
Zancor Homes
as VENDOR

AND

Rony Gonen & Amalia Peretz
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 1

SECOND CHOICE: 3

THIRD CHOICE: 6

Dated at King this 27 day of Aug 2012.
(Day) (Month) (Year)

Witness: [Signature]
Witness: [Signature]
Purchaser: [Signature]
Purchaser: [Signature]



SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR HOMES

Vendor Zancor Homes (KC) Ltd.	Purchaser(s) PERRY TONUS SAMANTHA FRUSTAGLIO Telephone Number: 416-452-9311
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Lot Number 65	House Type -Hatfield (42-02) Elev A	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 28-Jan-2012
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IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

9 ft. basements, 10 ft. main floor (with 8 ft. hollow core doors, taller windows and taller arches) and 9 ft. second floors
 1ST UPGRADE 3 1/4 INCH X 3/4 INCH OAK STAINED HARDWOOD TO APPLICABLE AREAS (EXCEPT TILED AREAS)
 STAIN STAIRCASE FROM FIRST TO SECOND FLOOR

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. If the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

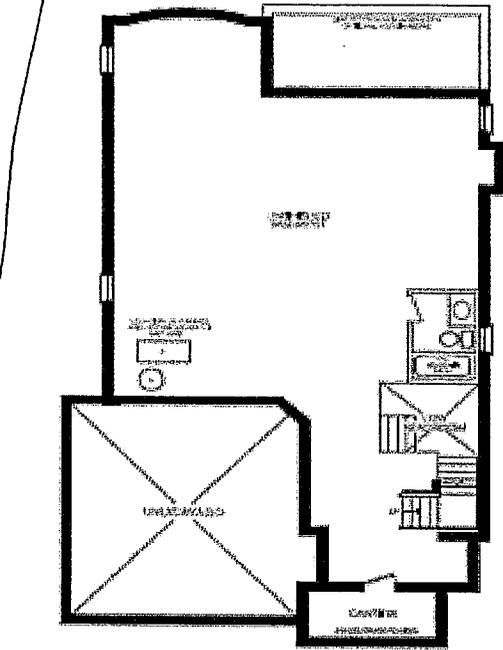
Vendor:

Purchaser: PERRY TONUS

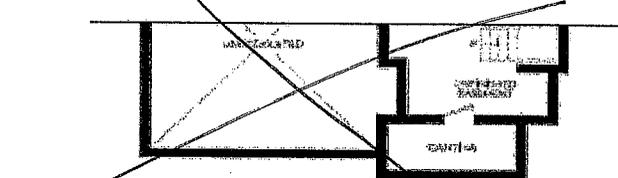
Purchaser: SAMANTHA FRUSTAGLIO

SCHEDULE "FLP"
FLOOR PLAN

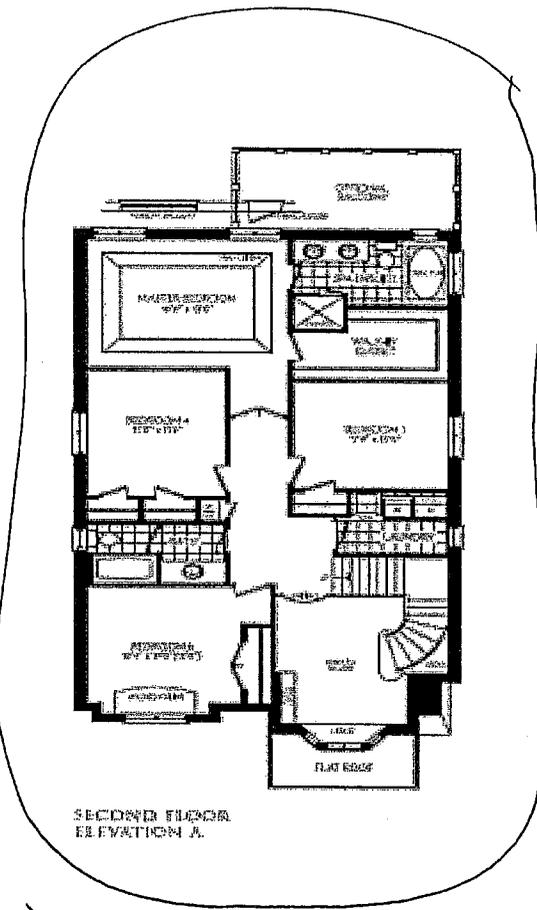
HATFIELD



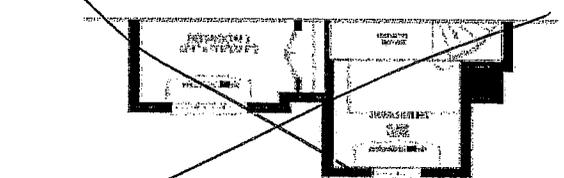
BASEMENT ELEVATION A



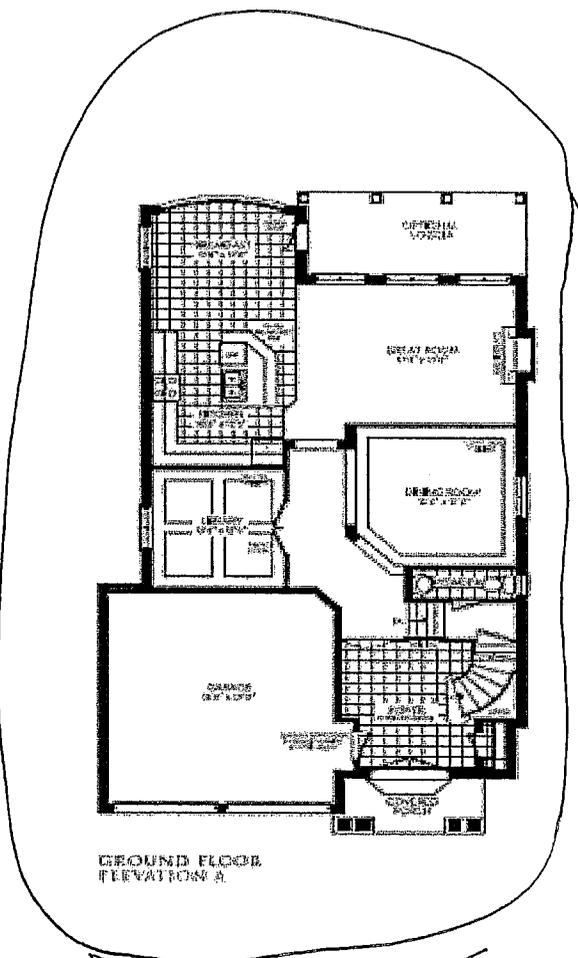
~~BASEMENT PARTIAL ELEVATION B~~



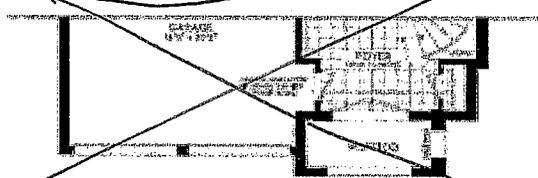
SECOND FLOOR ELEVATION A



~~SECOND FLOOR PARTIAL ELEVATION B~~



GROUND FLOOR ELEVATION A



~~GROUND FLOOR PARTIAL ELEVATION B~~

HATFIELD "A"
LOT: 65

Vendor's Initials

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Purchaser's Initials

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Purchaser's Initials