



Purchaser: Joseph Contarino & M. Pomita
Res. No: (9) 417 19293 Bus. No: (4) 230-7355

Subdivision: Royal Collection

Lot No.	House Type	Elevation	Date Required	Date Ordered
61	Bensonston	"B"		

[illegible]

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer.
Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$5000.

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BUILDER: 

DATE: Sept 28, 2012

HOME OWNER: [Signature]

HOME OWNER: [Signature]

DATE: July. 20/12



BRICK SELECTION REQUEST*

To be completed at time of Structurals

LOT #: 61

IN THE CITY OF: King

MODEL TYPE: Kensington ELEVATION: "B"

BETWEEN:

Zancor Homes as VENDOR

AND

Joseph Contardi & Marcella Romita as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 8

SECOND CHOICE: —

THIRD CHOICE: —

Dated at King this 20 day of Aug 2013

(Day) (Month) (Year)

[Signature]
Witness

[Signature]
Purchaser

[Signature]
Witness

[Signature]
Purchaser



ZANCOR
HOMES

STRUCTURAL REQUIREMENTS*

Purchaser(s): Joseph Contardi & Marcella Contardi
Subdivision: Royal Collection

Lot No.	House Type	Elevation	Date
61	Kensington	'13"	

STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	☒ Y ☐ N		MR
• Additional Basement Windows	☒ Y ☐ N		MR
• Upgraded Windows	☒ Y ☐ N		MR
• 9' Basement	☒ Y ☐ N	Included	MR
• 10' Main Floor	☒ Y ☐ N	Included	MR
• 9' 2nd Floor	☒ Y ☐ N	Included	MR
• Extra Window or Door Changes	☒ Y ☐ N	as per agreement	MR
• Upgraded Window Grills	☒ Y ☐ N		MR
• Optional Loggia	☒ Y ☐ N		MR
• Optional Balcony	☒ Y ☐ N		MR
• Skylights (Location subject to trusses, engineering and architectural control)	☒ Y ☐ N		MR
• Brick Colour & Exterior Package	☒ Y ☐ N	Pkg # <u>8</u>	MR
• Additional Fireplaces	☒ Y ☐ N		MR
• Gas/Electric	☒ Y ☐ N		MR
• Stair Upgrades (Maple)	☒ Y ☐ N		MR
• Open Stairs to Basement	☒ Y ☐ N	AS PER PLAN	MR
• Open Riser Staircase	☒ Y ☐ N		MR
• Hot Water Tank Information/Upgrades	☒ Y ☐ N		MR
• Appliance Specification required from purchaser for time of kitchen selection	☒ Y ☐ N	Date of Appointment: _____	MR
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	☒ Y ☐ N	Date of Appointment: _____	MR
• Is water line for fridge required?	☒ Y ☐ N		MR
• Is gas line for stove required?	☒ Y ☐ N		MR
• Are smooth ceilings required?	☒ Y ☐ N	Included	MR
• Plumbing Changes	☒ Y ☐ N	AS PER AGREEMENT	MR
• Bathtubs - Changes to Style/Size/Location	☒ Y ☐ N	AS PER AGREEMENT	MR
• Frameless Glass Shower	☒ Y ☐ N	Consuite	MR
• Mirrors, Towel Racks to be installed?	☒ Y ☐ N		MR
• Ensure Purchaser is aware of all ceiling designs in each room:		as per plan + agreement.	MR
• Cathedral Ceilings	☒ Y ☐ N		MR
• Coffered Ceilings	☒ Y ☐ N		MR
• High Ceilings	☒ Y ☐ N		MR
• Water Heater/Furnace Upgrades	☒ Y ☐ N		MR
• Energy Star Upgrades / Increase Insulation	☒ Y ☐ N		MR
• Noise Insulation	☒ Y ☐ N		MR
• Plywood Subfloors	☒ Y ☐ N	Included	MR
• Upgrade to 200 amp electrical service	☒ Y ☐ N	Included	MR

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

JC



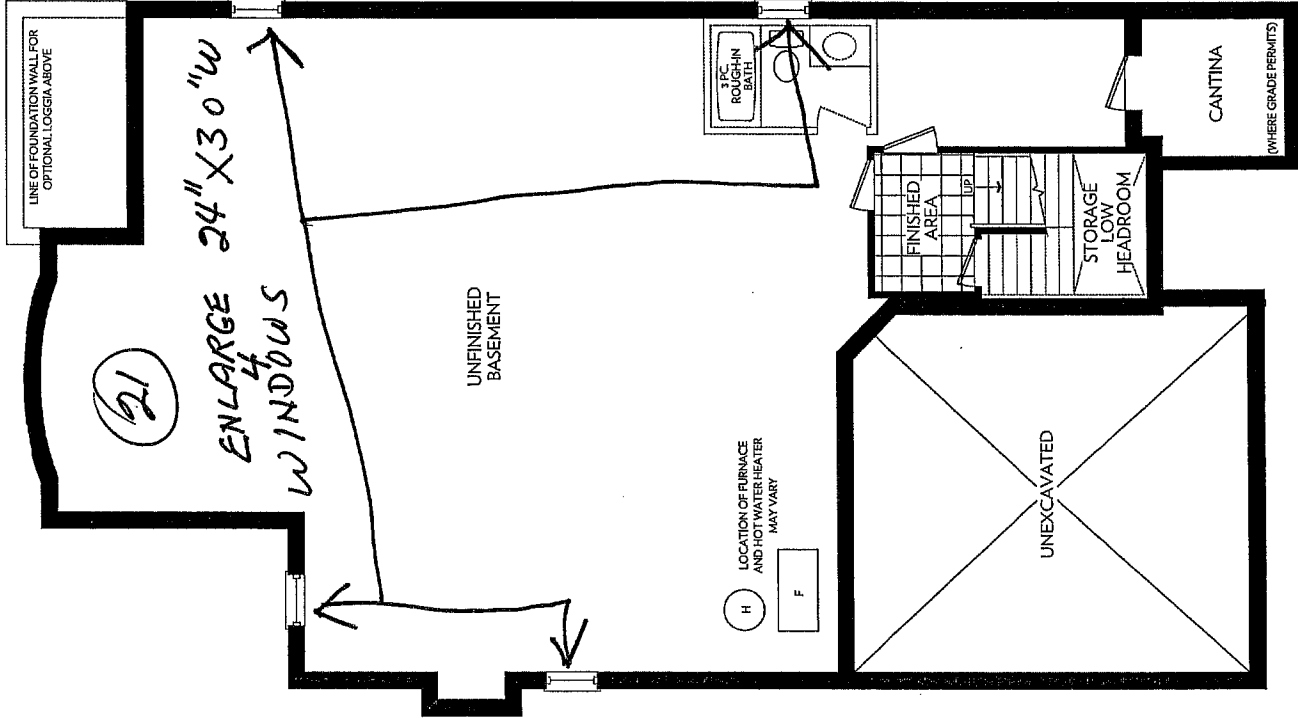
ROYAL COLLECTION

AT KEELE & KING

KENSINGTON

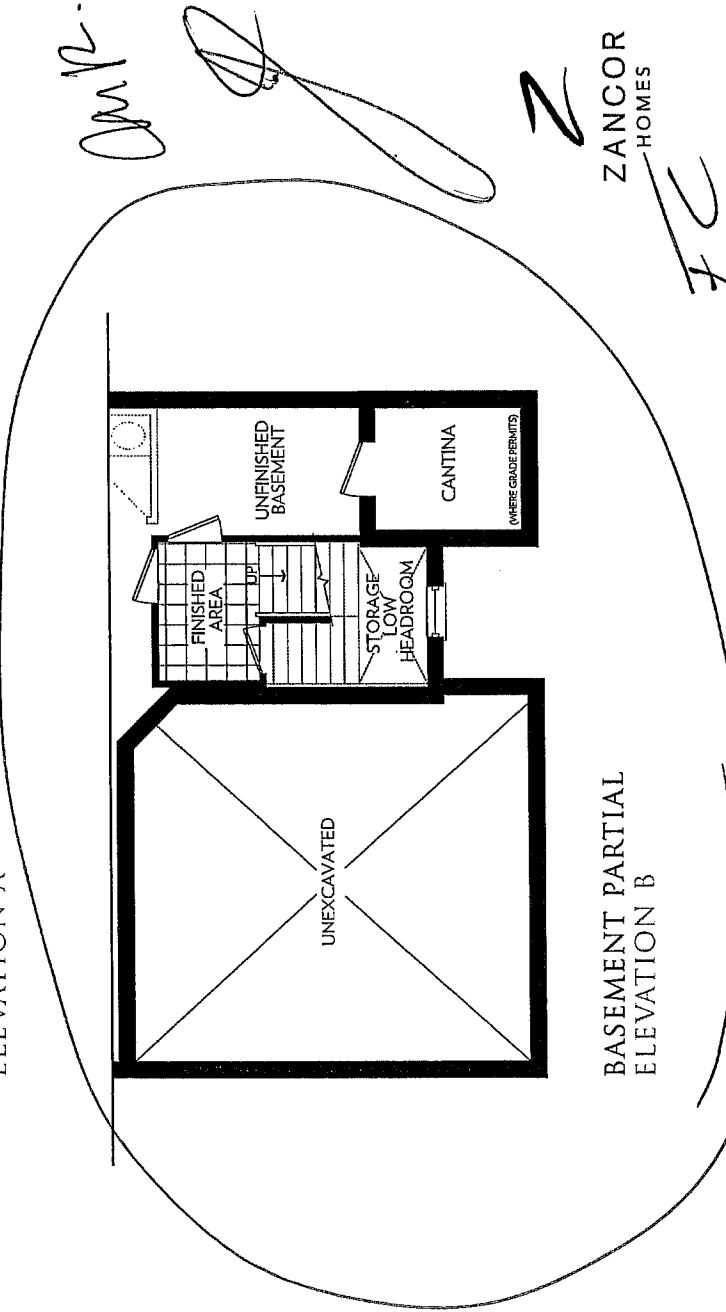
ELEVATION A - 3214 SQ. FT.

ELEVATION B - 3151 SQ. FT.



* Purchaser has done changes to this plan on original agreement - Waiting for black line.

BASEMENT ELEVATION A



BASEMENT PARTIAL ELEVATION B

ZANCOR HOMES



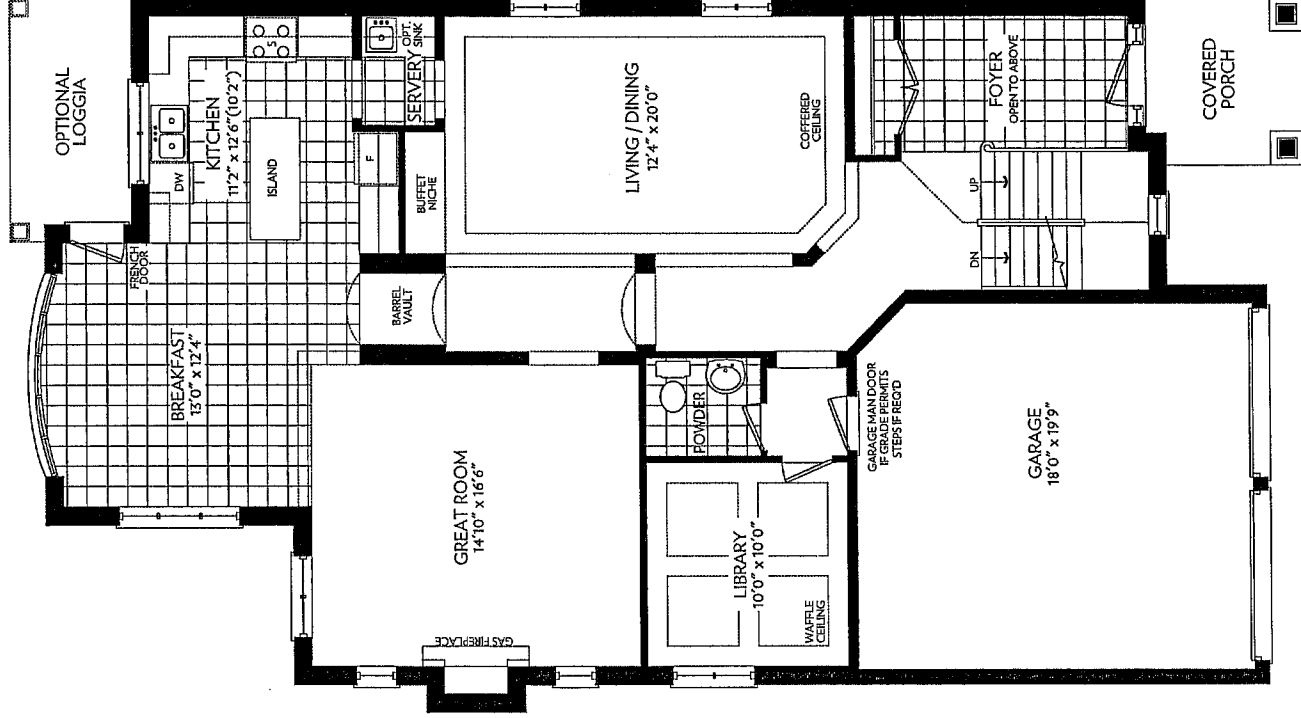
ROYAL COLLECTION

AT KEELE & KING ⇄

KENSINGTON

ELEVATION A - 3214 SQ. FT.

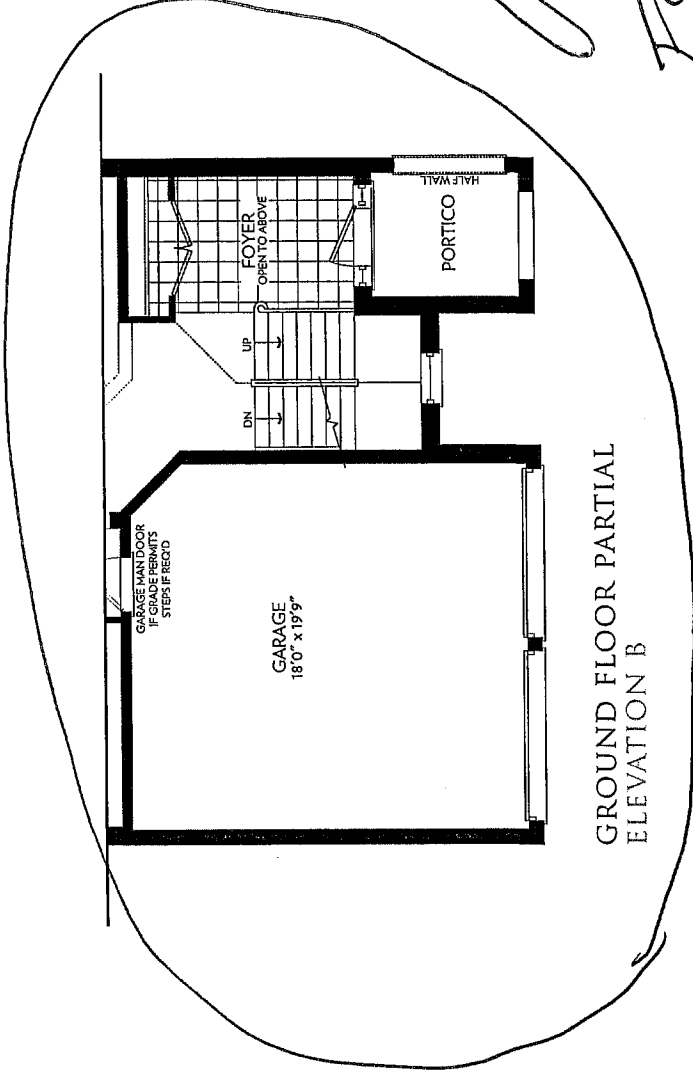
ELEVATION B - 3151 SQ. FT.



**Purchaser has done to changes to this plan on original agreement - Waiting for black line.*

Loft 61

GROUND FLOOR
ELEVATION A



GROUND FLOOR PARTIAL
ELEVATION B

Mc
2
PC

ZANCOR HOMES

Prices and specifications are subject to change without notice. E.&O.E. Tile patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artists' concept.



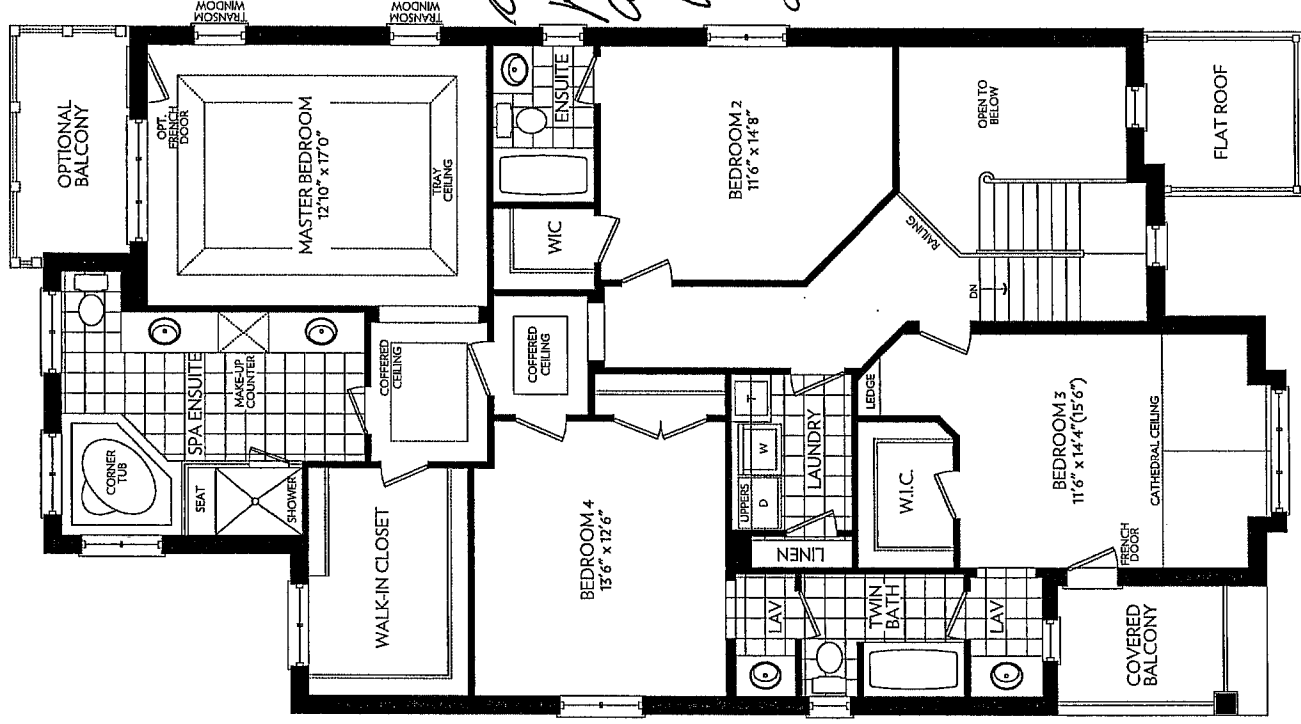
ROYAL COLLECTION

AT KEELE & KING

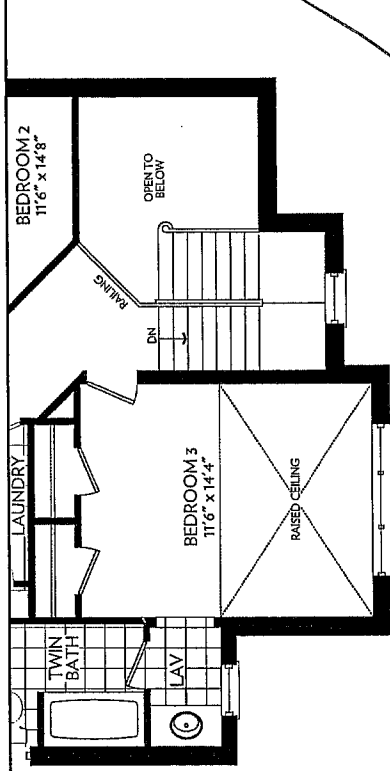
KENSINGTON

ELEVATION A - 3214 SQ. FT.

ELEVATION B - 3151 SQ. FT.



SECOND FLOOR
ELEVATION A



SECOND FLOOR PARTIAL
ELEVATION B

** Purchaser
has done
changes to this
plan on original
agreement -
Waiting for
black line.*

*Set
61*

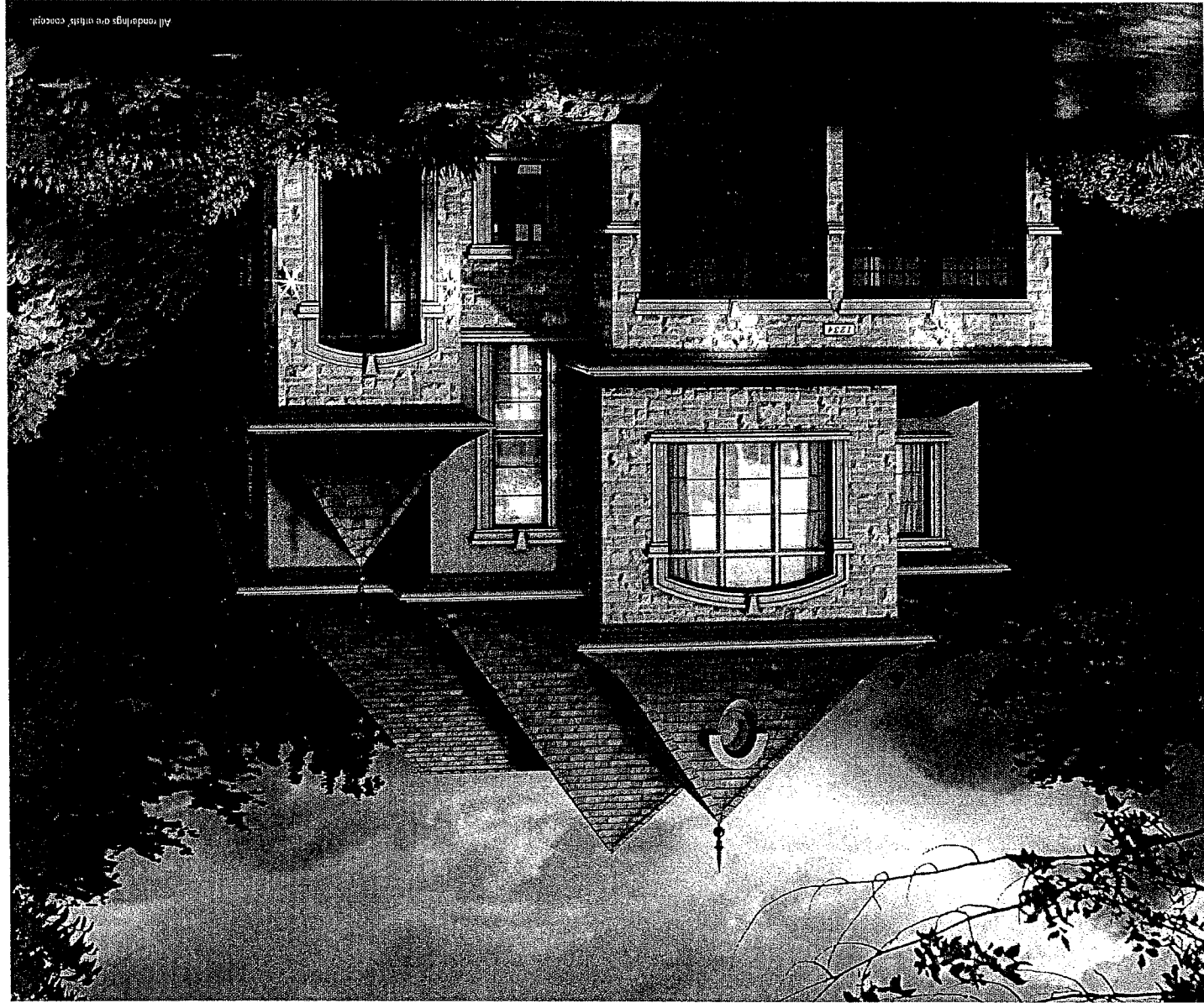
John

2

ZANCOR
HOMES

FC

Prices and specifications are subject to change without notice. E.&O.E. Tile patterns may vary. Window size and locations may vary. Approx. location of furnace and water tank. Actual usable floor space may vary from the stated floor area. All stated dimensions are approximate. All renders are artists' concept.



KENSINGTON
ELEVATION B - 3151 SQ. FT.

ROYAL
COLLECTION
AT KEELE & KING



Lot 61

ZANCOR HOMES

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ZANCOR HOMES

NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT

Royal Collection

LOT No.

611

PLAN No.

HOMEOWNER(S)

Joseph Contardis/Marcella Pomita

CIVIC ADDRESS

NOTE

If built in appliances are selected the following information must be submitted with your final design selections. Appliance specifications must clearly be legible for the following:

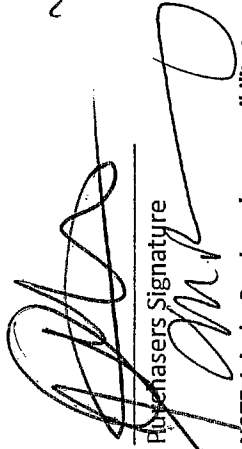
- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – **Discuss Counter Depth Fridge with Designer** recommended, if purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than Sept. 10/12

If not received the standard openings as determined by Zancor Homes will be provided.

Acknowledged and agreed this 20 day of Aug, 2012


Purchasers Signature

Aug. 20/12
Date

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications



ZANCOR
HOMES

SCHEDULE "E"
PURCHASER'S EXTRAS

✓ For Zancor Homes (KC) Ltd.		Purchaser(s) JOSEPH CONTARDI MARCELLA ROMITA Telephone Number: 905-417-9293	
Lot Number 61	House Type -Kensington (42-07) Elev B	Reg. Plan #	Closing Date As Per Agreement 18-Mar-2012

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRA'S:

DESCRIPTION

1.LOT PREMIUM INCLUDES: - Large Lot 2.1ST UPGRADE 3 1/4 INCH X 3/4 INCH OAK STAINED HARDWOOD TO APPLICABLE AREAS (EXCEPT TILED AREAS) 3.STAIN BOTH STAIRCASES 4.CHANGES TO FLOOR PLAN 5.IN BASEMENT FOYER PUT IN CLOSET/REMOVE ONE OF THE DOORS AND PUSH BACK IN LINE WITH GARAGE AS SHOWN. 6.FLOOR HARDWOOD TO KITCHEN AND BREAKFAST AREA, 7.A NEW WALL BACK IN KITCHEN 8.INCREASE SIZE IF ISLAND 9.REMOVE OVERHANG. 10.REMOVE COFFERED CEILING DININGROOM. 11.REMOVE POST. 12.PUT DRYWALL POST IN LINE WITH POWDER ROOM. 13.REMOVE POST 14.REMOVE OVERHANG 15.INCREASE SIZE OF WALL 16.MASTER ENSUITE PUT IN RECTANGULAR TUB. 17.MOVE BEDROOM WALL INTO ENSUITE 1 FT. MAKING MASTER WIDER, ADJUST DOOR LOCATIONS. 18.MOVE DOOR OVER TO ACCOMODATE CHANGES ABOVE. 19.TWO POCKET DOORS (ONE IN BEDROOM 4 ONE IN BEDROOM 3. 20. SQUARE WOOD PICKETS 1 AND 3/4 INCHES IN LIEU OF WROUGHT IRON. ITEMS 4-20 ADDED TO PURCHASE PRICE FOR \$10,000.00 NO ADDITIONS OR DELETIONS FOR THE ABOVE ITEMS. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER.
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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

✓ or

Purchaser: JOSEPH CONTARDI

Purchaser: MARCELLA ROMITA

⑧ INCREASE
SIZE OF T-SUAND
OF ALL BACK

⑨ REMOVE
OVERHANG

⑦ MOVE
EVAL

⑩ REMOVE
UPPER
COUNING?

⑪ REMOVE
POST

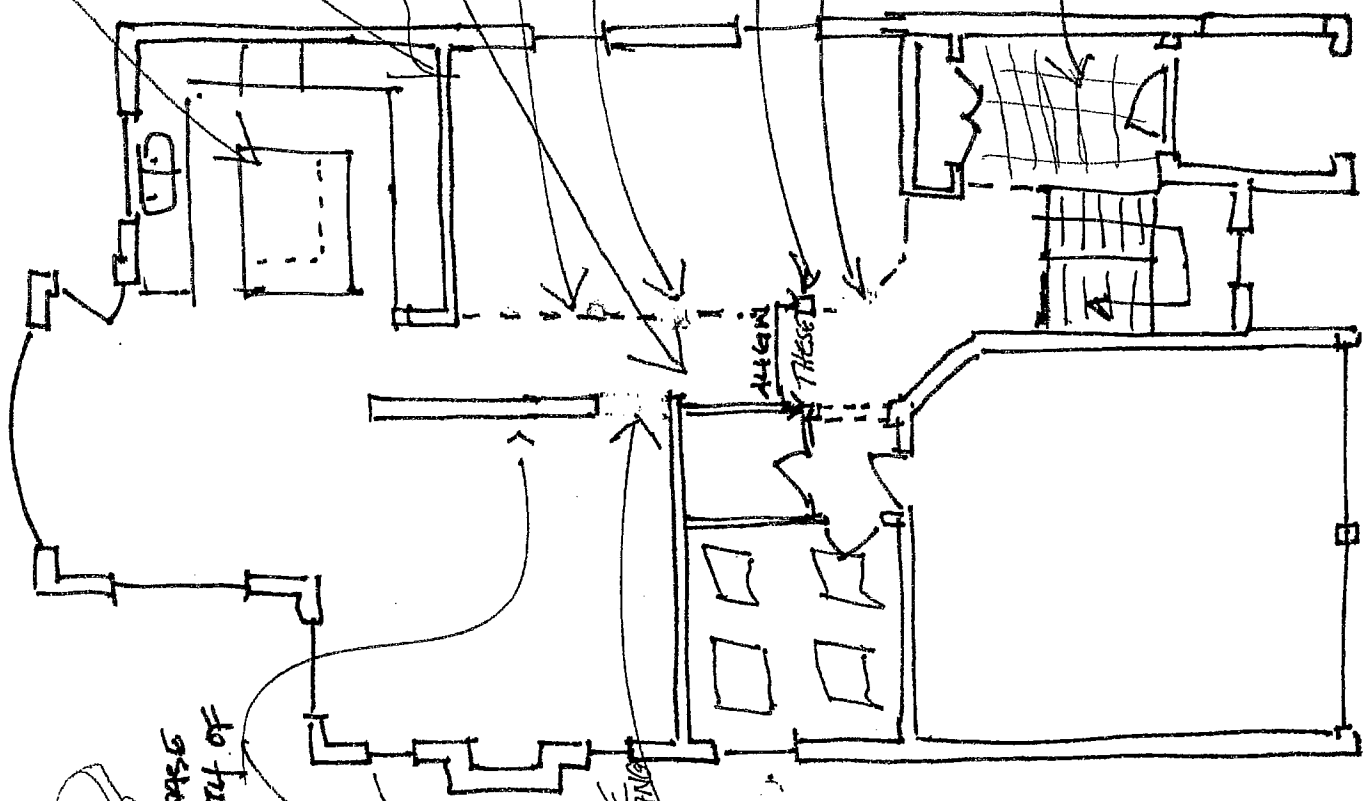
⑫ POST
STRUCTURE / THEN ALIGN
W. BATHROOM
WALL.

⑬ REMOVE
POST

TILED
AREA.

⑬ IN BASE
LENGTH OF
WALL
FULL
WALL

⑭ REMOVE
OVERHANG

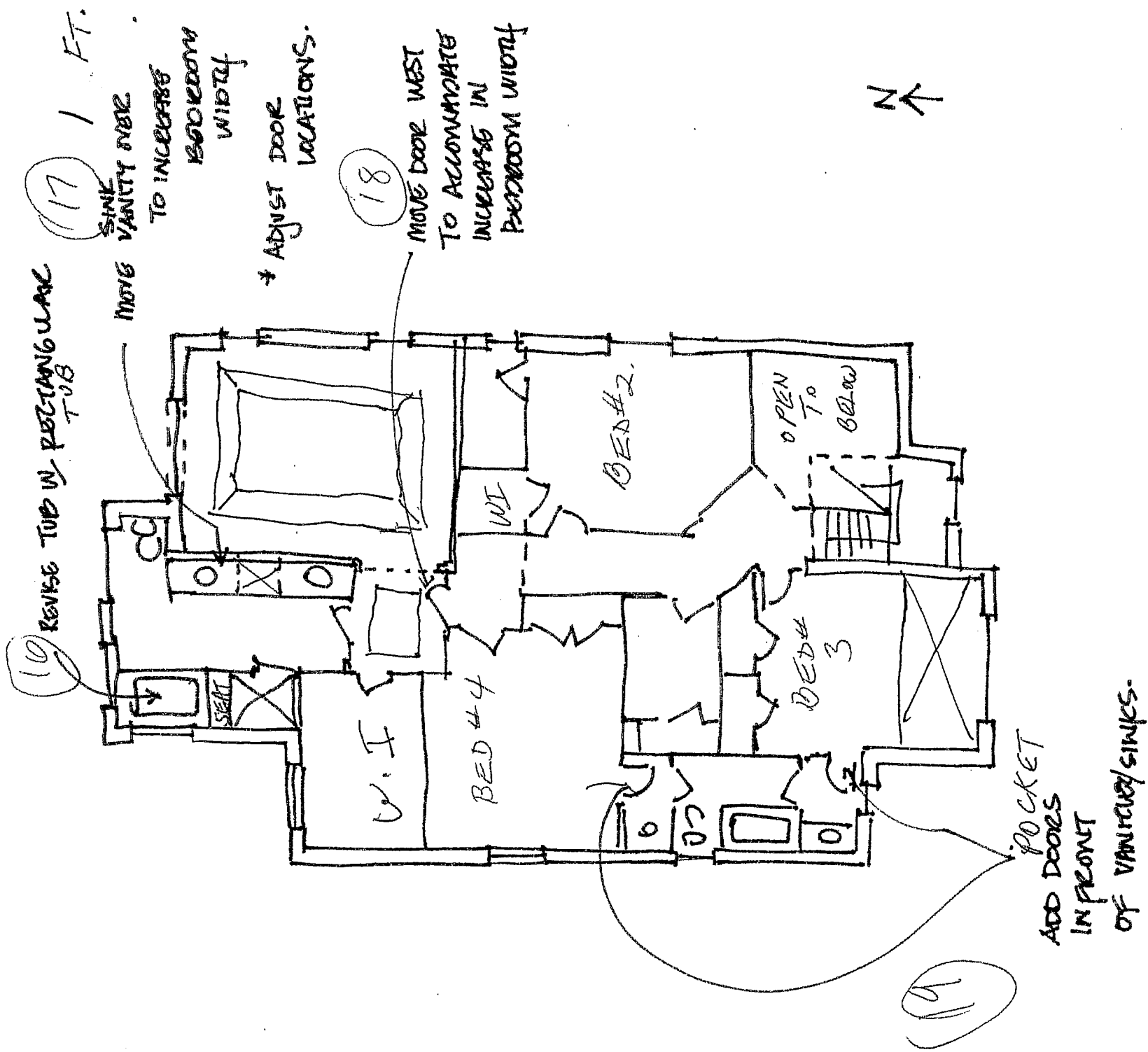


MAIN FLOOR
OPTION 1.

Box #61

John

1/10



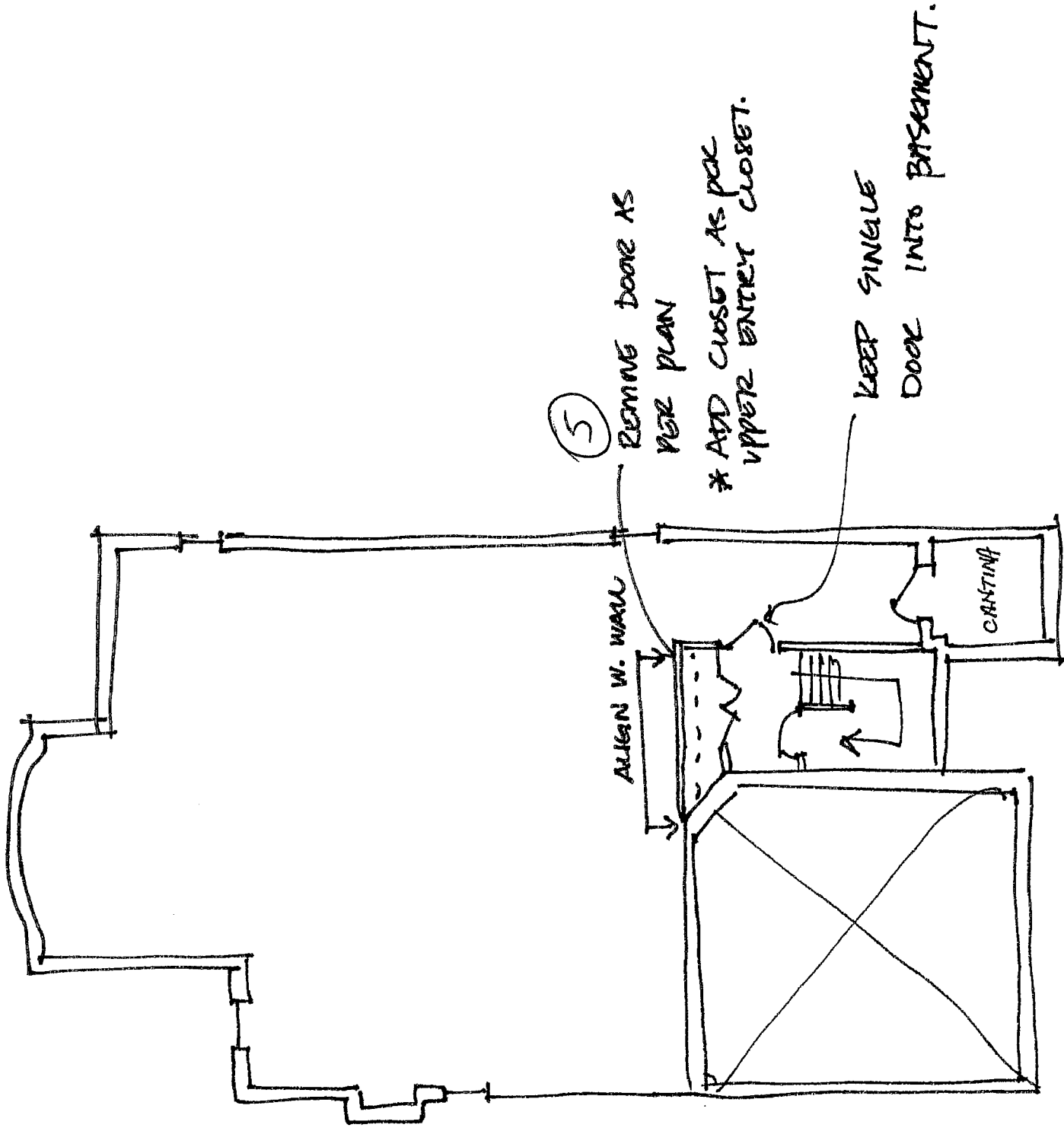
N ↑

SECOND FLOOR PLAN

10/2/01

[Signature]

[Signature]



10/2/61

Basement plan

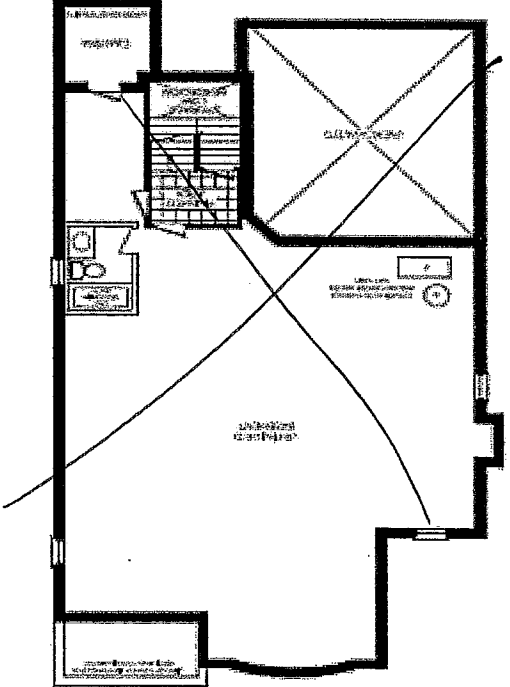
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F.C.

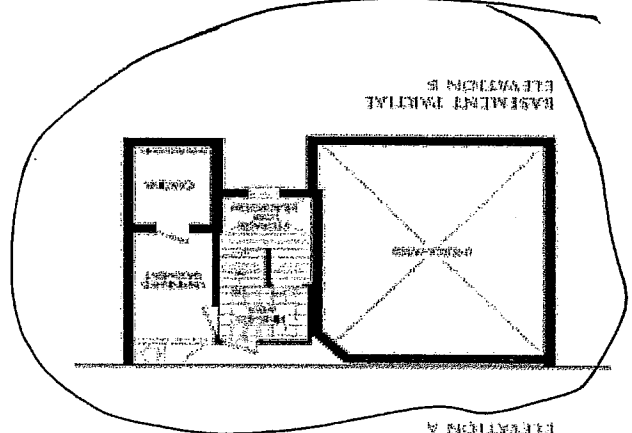
KENSINGTON

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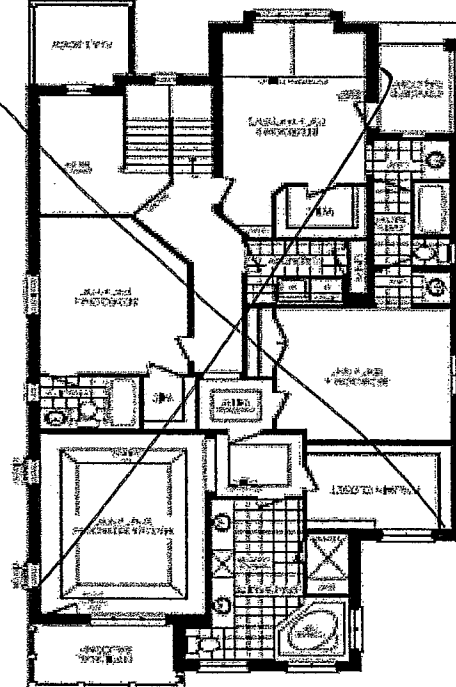
SCHEDULE "FLP"
FLOOR PLAN



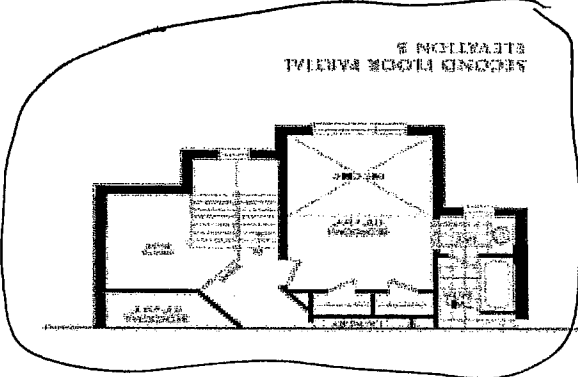
BASMENT A
ELEVATION A



BASMENT B
ELEVATION B

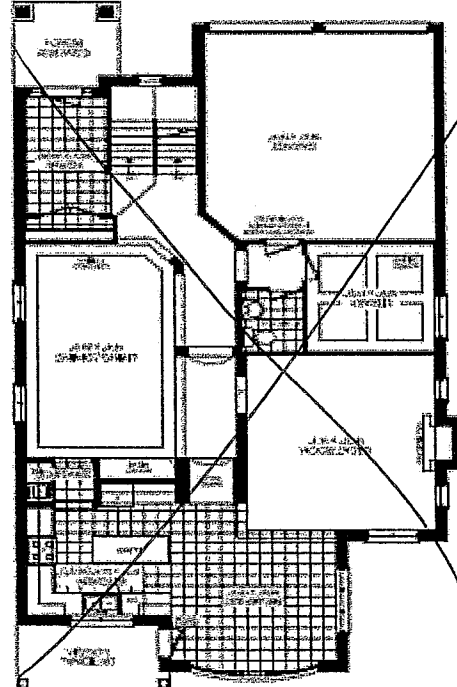


SECOND FLOOR
ELEVATION A

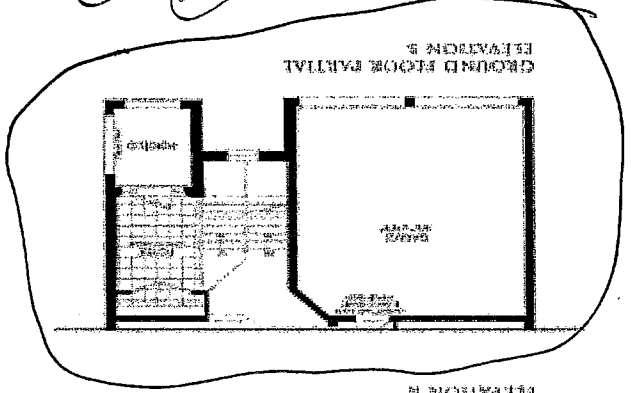


SECOND FLOOR
ELEVATION B

Bas. B



GROUND FLOOR
ELEVATION A



GROUND FLOOR
ELEVATION B

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Vendor's Initials

[Handwritten signature]

Purchaser's Initials