ZANCOR HOMES

# PURCHASER REQUEST FOR EXTRAS

Purchaser: Chandrowtee Singh

Res. No: (4) 845-0590 Bus. No: (4) 643-4708

Subdivision: Royal Collection

| Lot No. | House Type | Elevation | Date Required | Date Ordered |
|---|---|---|---|---|
| 11 | Dover | A | | |

| "OFFICE USE ONLY" | ITEM | DESCRIPTION | PRICE |
|---|---|---|---|
| | (6) | Enlarge 5 basement | [redacted] |
| | | windows 24"H X 30"W | [redacted] |
| | (7) | Waffle 6 panels | [redacted] |
| | | to family room. | |
| | (8) | K-11160 / Bubble | [redacted] |
| | | Massage tub to | |
| | | ensuite | |
| | | Paid by Cheque | |
| | | SUB-TOTAL | [redacted] |
| | | HST | [redacted] |
| | | TOTAL AMOUNT ➤ | [redacted] |

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowleged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of $500.

HOME OWNER: C. Singh

BUILDER:

HOME OWNER:

DATE: Sept 1, 2012

DATE: Aug 21/12

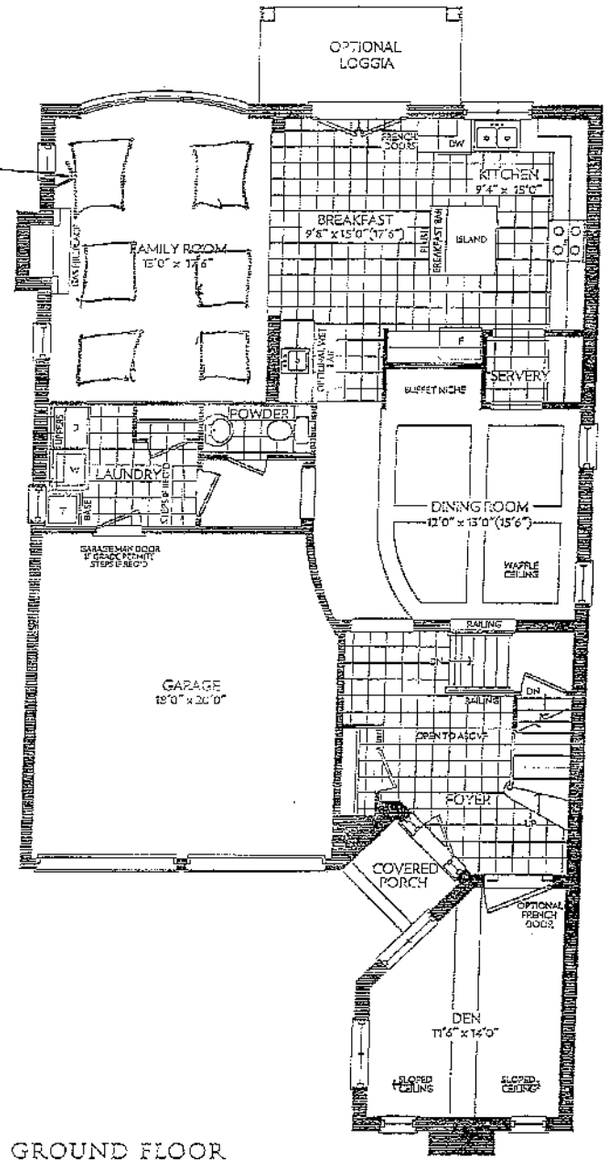
# ROYAL COLLECTION

AT KEELE & KING

# DOVER

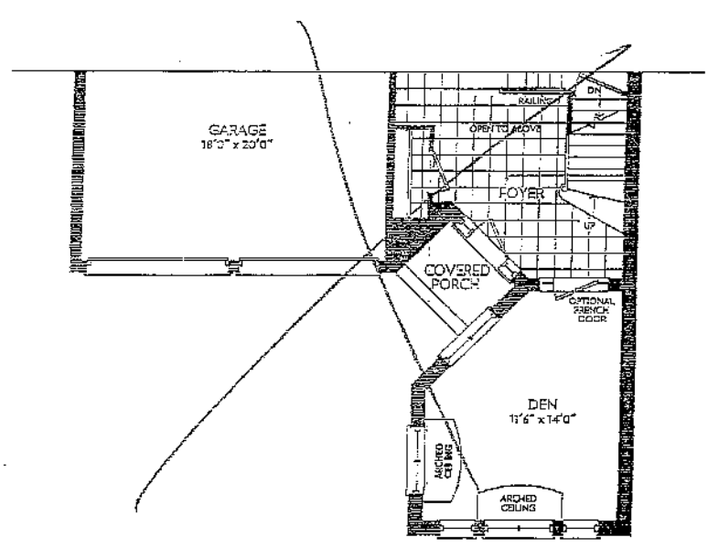
ELEVATION A - 2860 SQ. FT.
ELEVATION B - 2817 SQ. FT.

7 6 panel waffle ceiling




GROUND FLOOR
ELEVATION A

Lot 11
Elev. A




GROUND FLOOR PARTIAL
ELEVATION B

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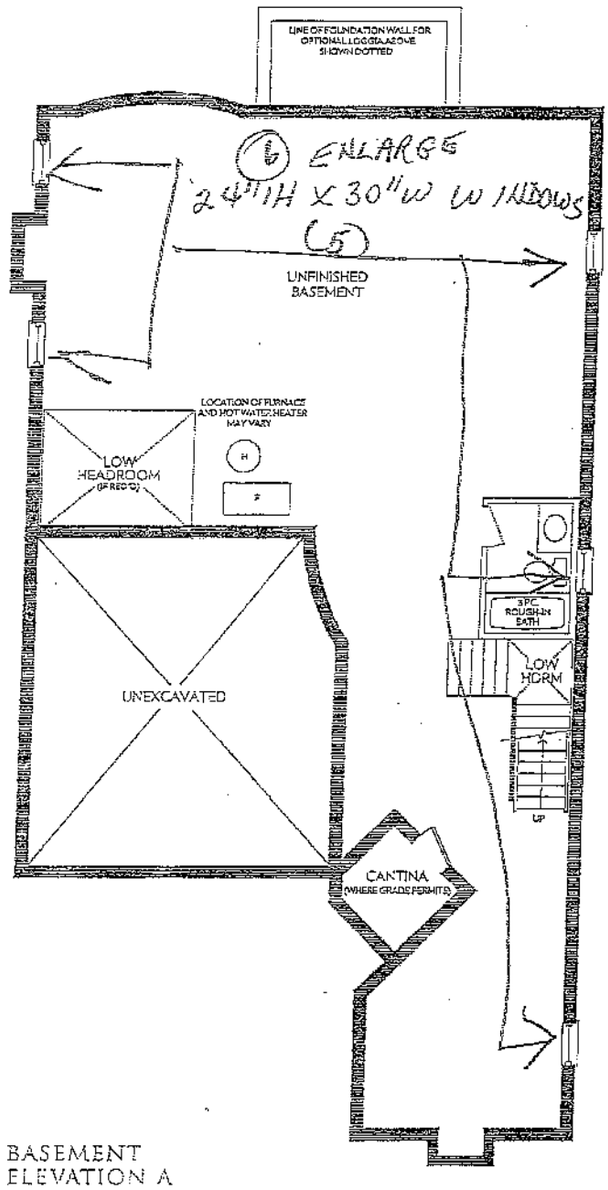
ROYAL COLLECTION
AT KEELE & KING

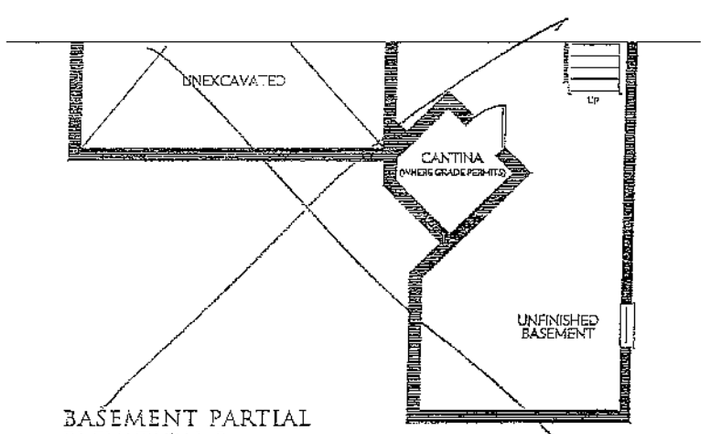
# DOVER

ELEVATION A - 2860 SQ. FT.
ELEVATION B - 2817 SQ. FT.




Lot 11
Elev. A.

BASEMENT
ELEVATION A




BASEMENT PARTIAL
ELEVATION B

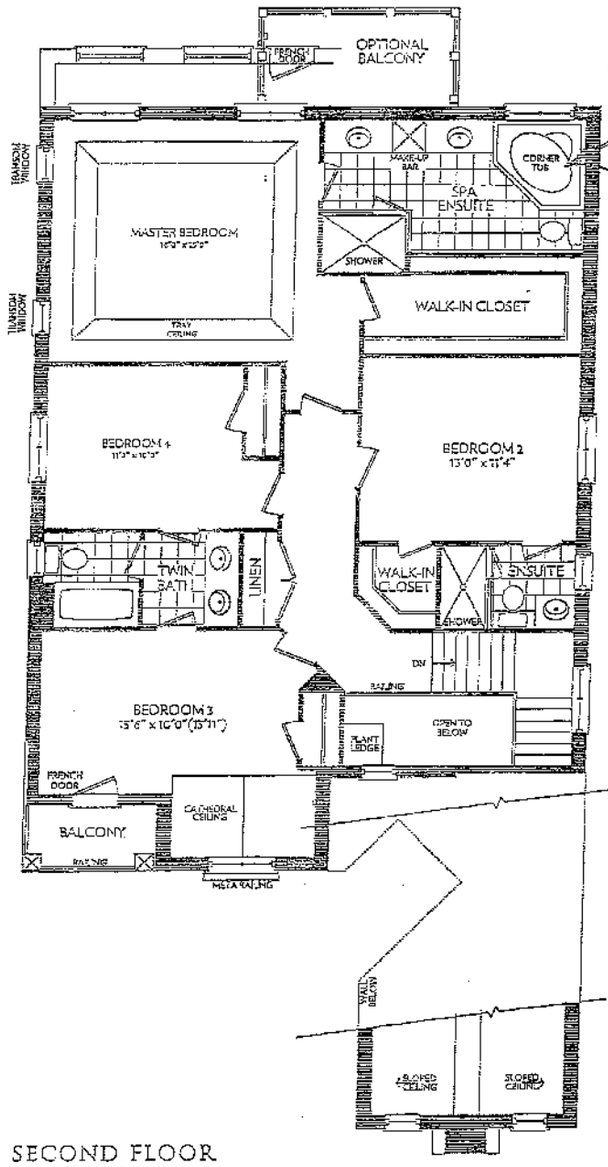
ZANCOR HOMES

# ROYAL COLLECTION

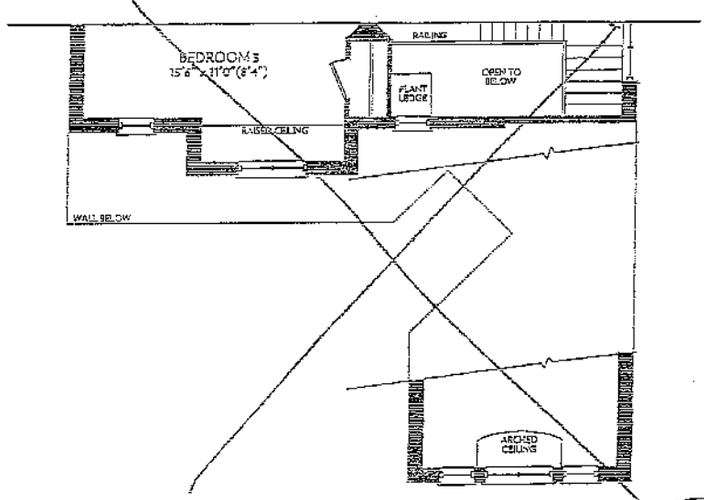
AT KEELE & KING

## DOVER

ELEVATION A - 2860 SQ. FT.
ELEVATION B - 2817 SQ. FT.




SECOND FLOOR
ELEVATION A




SECOND FLOOR PARTIAL
ELEVATION B

(8) K-1160 TUB

Lot 11
Elev A

ZANCOR HOMES

ZANCOR HOMES

STRUCTURAL REQUIREMENTS*

Purchaser(s): Chandrawtee Singh

Subdivision: Royal Collection

| Lot No. | House Type | Elevation | Date |
|---|---|---|---|
| 11 | Dover | A | |

| STRUCTURAL ITEMS | YES/NO Please Circle One | DESCRIPTION / NOTES | INITIAL |
|---|---|---|---|
| • Larger Basement Windows | (Y) / N | | CS |
| • Additional Basement Windows | Y / (N) | | CS |
| • Upgraded Windows | Y / (N) | | CS |
| • 9' Basement | (Y) / N | as per plan + Ind. | CS |
| • 10' Main Floor | (Y) / N | | CS |
| • 9' 2nd Floor | (Y) / N | | CS |
| • Extra Window or Door Changes | Y / (N) | | CS |
| • Upgraded Window Grills | Y / (N) | | CS |
| • Optional Loggia | Y / (N) | | CS |
| • Optional Balcony | Y / (N) | | CS |
| • Skylights (Location subject to trusses, engineering and architectural control) | Y / (N) | | CS |
| • Brick Colour & Exterior Package | (Y) / N | Pkg # 2. | CS |
| • Additional Fireplaces | Y / (N) | | CS |
| • Gas/Electric | Y / (N) | | CS |
| • Stair Upgrades (Maple) | Y / (N) | | CS |
| • Open Stairs to Basement | Y / (N) | | CS |
| • Open Riser Staircase | Y / (N) | | CS |
| • Hot Water Tank Information/Upgrades | Y / (N) | | CS |
| • Appliance Specification required from purchaser for time of kitchen selection | (Y) / N | Date of Appointment: | CS |
| • Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes) | (Y) / N | Date of Appointment: | CS |
| • Is water line for fridge required? | Y / (N) | | CS |
| • Is gas line for stove required? | Y / (N) | | CS |
| • Are smooth ceilings required? | (Y) / N | Included | CS |
| • Plumbing Changes | (Y) / N | | CS |
| • Bathtubs - Changes to Style/Size/Location | (Y) / N | | CS |
| • Frameless Glass Shower | (Y) / N | Granite | CS |
| • Mirrors, Towel Racks to be installed? | (Y) / N | | CS |
| • Ensure Purchaser is aware of all ceiling designs in each room: | | as per plan + family room! | CS |
| • Cathedral Ceilings | (Y) / N | | CS |
| • Coffered Ceilings | (Y) / N | | CS |
| • High Ceilings | (Y) / N | | CS |
| • Water Heater/Furnace Upgrades | Y / (N) | | CS |
| • Energy Star Upgrades / Increase Insulation | Y / (N) | | CS |
| • Noise Insulation | Y / (N) | | CS |
| • Plywood Subfloors | (Y) / N | Included | CS |
| • Upgrade to 200 amp electrical service | (Y) / N | Included | CS |

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

# ROYAL COLLECTION

AT KEELE & KING

Lot 11
Dover "A"

ZANCOR
HOMES

## DOVER

ELEVATION A - 2860 SQ. FT.

ZANCOR
HOMES

# NON-STANDARD APPLIANCE ACKNOWLEDGEMENT

PROJECT Royal Collection

LOT No. 11 PLAN No. _____

HOMEOWNER(S) Chandrowtee Singh

CIVIC ADDRESS _____

NOTE
If built in appliances are selected the following information must be submitted with your final design selections. Appliance specifications must clearly be legible for the following:

- Built in ovens
- Built in microwave with trim kit
- Warming drawers
- Slide in stove (electric and/or gas)
- Cook tops (electric and/or gas)
- Hood Fans including CFM
- Refrigerators – all models especially double doors – *Discuss Counter Depth Fridge with Designer* recommended, If purchasing a Side by Side or French Door the wall beside the fridge may be an issue if it is deeper than 24"
- Wine and/or beverage coolers
- Steam ovens, coffee makers
- Dishwashers (all models)
- Free standing chimney hoods (clearance space will be left with this appliance/will not be butted up against cabinetry)

Purchaser acknowledges responsibility for providing correct specifications for such appliances and to make any and all necessary arrangements to supply and install appliances after closing.

Appliance Specifications are to be sent to the Zancor Décor Centre no later than Sept. 10/12

If not received the standard openings as determined by Zancor Homes will be provided.

Acknowledged and agreed this 21 day of Aug, 2012

C. Singh
Purchasers Signature

21/Aug/12
Date

NOTE: It is the Purchaser's responsibility to arrange installation and hook up of appliances and to ensure they are installed as per Manufacturer's specifications

ZANCOR
HOMES

BRICK SELECTION REQUEST*
To be completed at time of Structurals

LOT #: 11

IN THE CITY OF: King

MODEL TYPE: Dover ELEVATION: A

BETWEEN:

Zancor Homes
as VENDOR

AND

Chandrowtee Singh
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 2

SECOND CHOICE: 1

THIRD CHOICE: 7

Dated at King this 21 (Day) day of Aug. (Month) 2012 (Year)

Witness

Witness

Purchaser

Purchaser

# AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
Generic

The undersigned Purchaser hereby agrees to and with the undersigned Vendor to the following amendments to the Agreement of Purchase and Sale. All other terms are confirmed and time shall continue to be of the essence.

Purchaser: **CHANDROWTEE SINGH**
Vendor: **Zancor Homes (KC) Ltd.**
Lot #: ~~24~~ 11 Phase: RC Plan No.:
Street: **Burns Boulevard**
in the : **Township of King**
Date of Offer: **Thursday November 24, 2011**

**DELETE:**
1.LOT # 24
2.PURCHASE PRICE OF [redacted]

**INSERT:**
1.LOT #11
2.PURCHASE PRICE OF $[redacted] INCLUDES PREMIUM LOT WITH LOOK OUT BASEMENT AND 5' X 7' DECK
PURCHASER IS AWARE THEY ARE NOT ENTITLED TO CHANGE THEIR LOT AGAIN.

Dated at King City, Ontario this 31st day of day of January, 2012.

Witness (Sign & Print Name)

Chandrowtee Singh
Purchaser - CHANDROWTEE SINGH

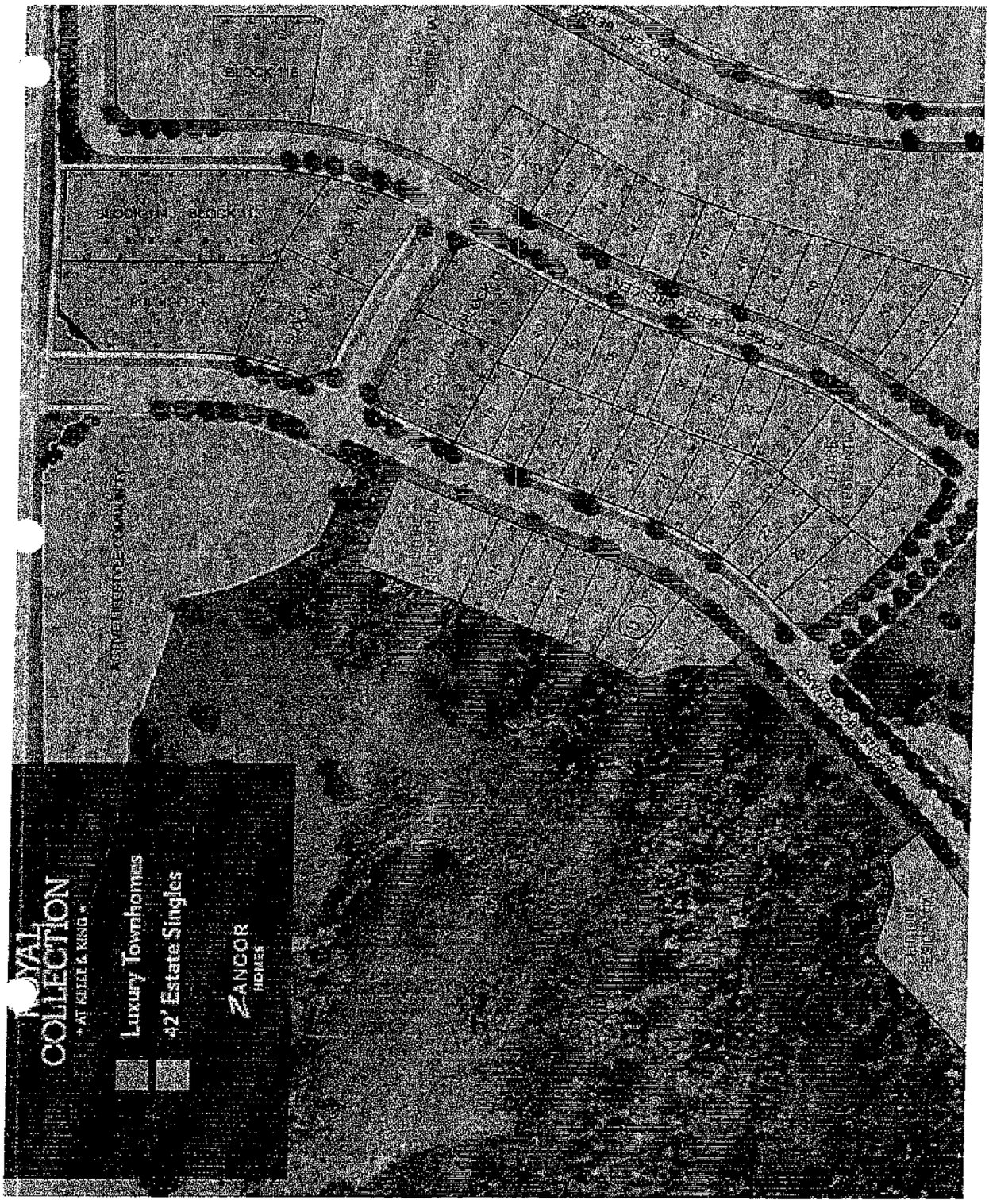
Accepted at Concord, Ontario this 5 day of January, 2012

Zancor Homes (KC) Ltd.

Per:
Authorized Signing Officer

## SCHEDULE "S"

## SITE PLAN



Vendor's Initials

Purchaser's Initials

ZANCOR
HOMES

# SCHEDULE "E"

## PURCHASER'S EXTRAS

| Vendor | Purchaser(s) |
|---|---|
| ıcor Homes (KC) Ltd. | CHANDROWTEE SINGH<br>Telephone Number: 416-845-0590 |

| Lot Number | House Type | Reg. Plan # | Closing Date | Date Ordered |
|---|---|---|---|---|
| 24 11 | -Dover (42-05) Elev A | | As Per Agreement | 24-Nov-2011 |

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRA'S:

### DESCRIPTION

9 ft. basements, 10 ft. main floor (with 8 ft. hollow core doors, taller windows and taller arches) and 9 ft. second floors

LOT PREMIUM INCLUDES: - Walk Out Deck

1ST UPGRADE 3 1/4 INCH X 3/4 INCH OAK STAINED HARDWOOD TO APPLICABLE AREAS (EXCEPT TILED AREAS)

STAIN STAIRCASE FROM FIRST TO SECOND FLOOR

APPLIANCE PACKAGE FOR 42 FOOT ROYAL COLLECTION - SUB-ZERO 30 INCH BUILT-IN STAINLESS STEEL REFRIGERATOR/FREEZER - WOLF 30 INCH STAINLESS STEEL GAS RANGE - FRIGIDAIRE 24 INCH STAINLESS STEEL BUILT IN DISHWASHER - AIR KING PROFESSIONAL RANGE HOOD - SAMSUNG 7.3 CF ELECTRIC DRYER - SAMSUNG 4 CF PLUS WASHER

PU HASER IS AWARE THAT THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS FROM THE BUILDER.

**Conditions:**

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2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of $1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

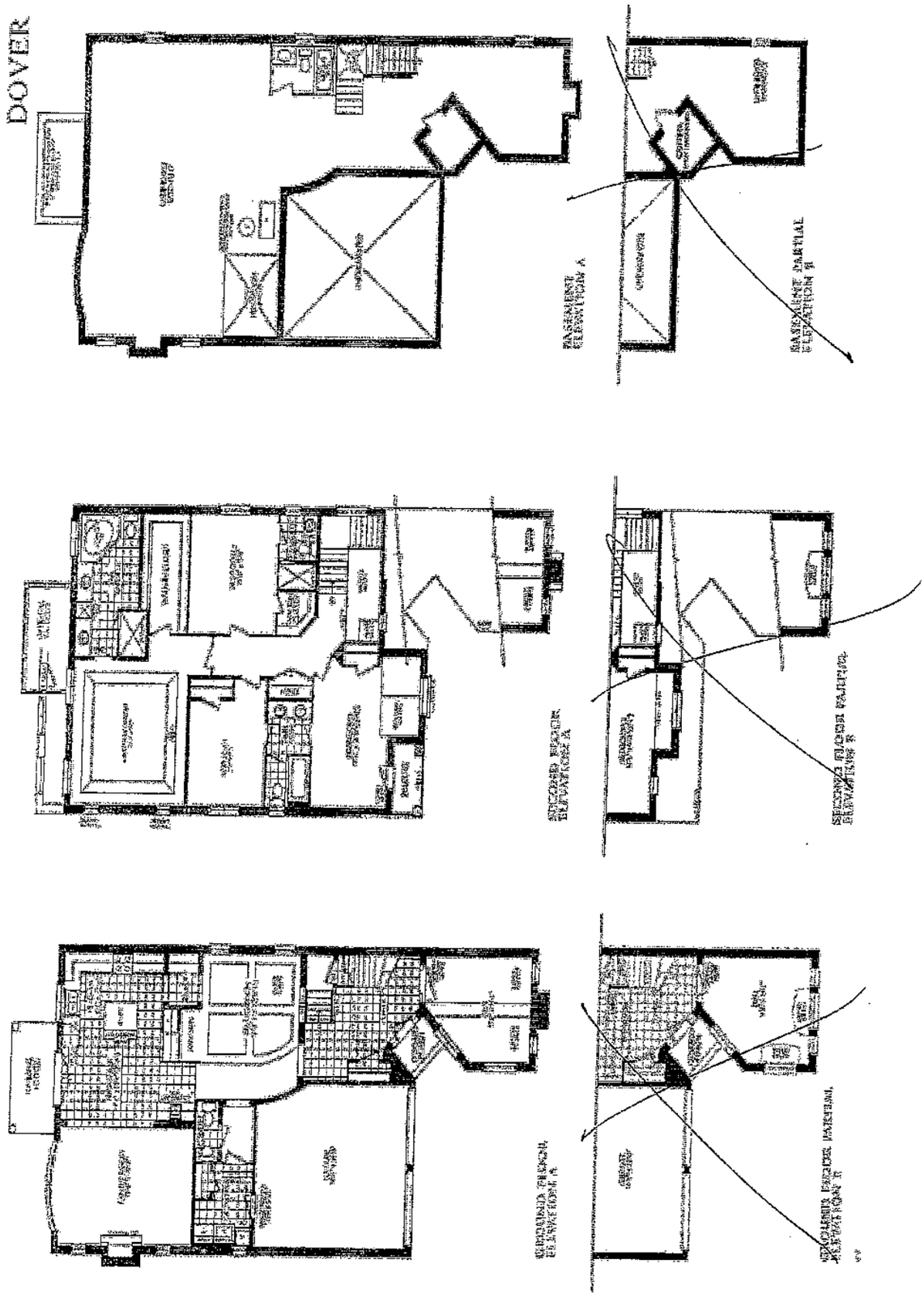
Vendor

Chandrowtee Singh

Purchaser: CHANDROWTEE SINGH

SCHEDULE "FLP"

FLOOR PLAN




11 + 09

Vendor's Initials

Purchaser's Initials