

STRUCTURAL REQUIREMENTS*

ZANCOR HOMES

Purchaser(s): Marlon Sumari
 Subdivision: Spring Ridge

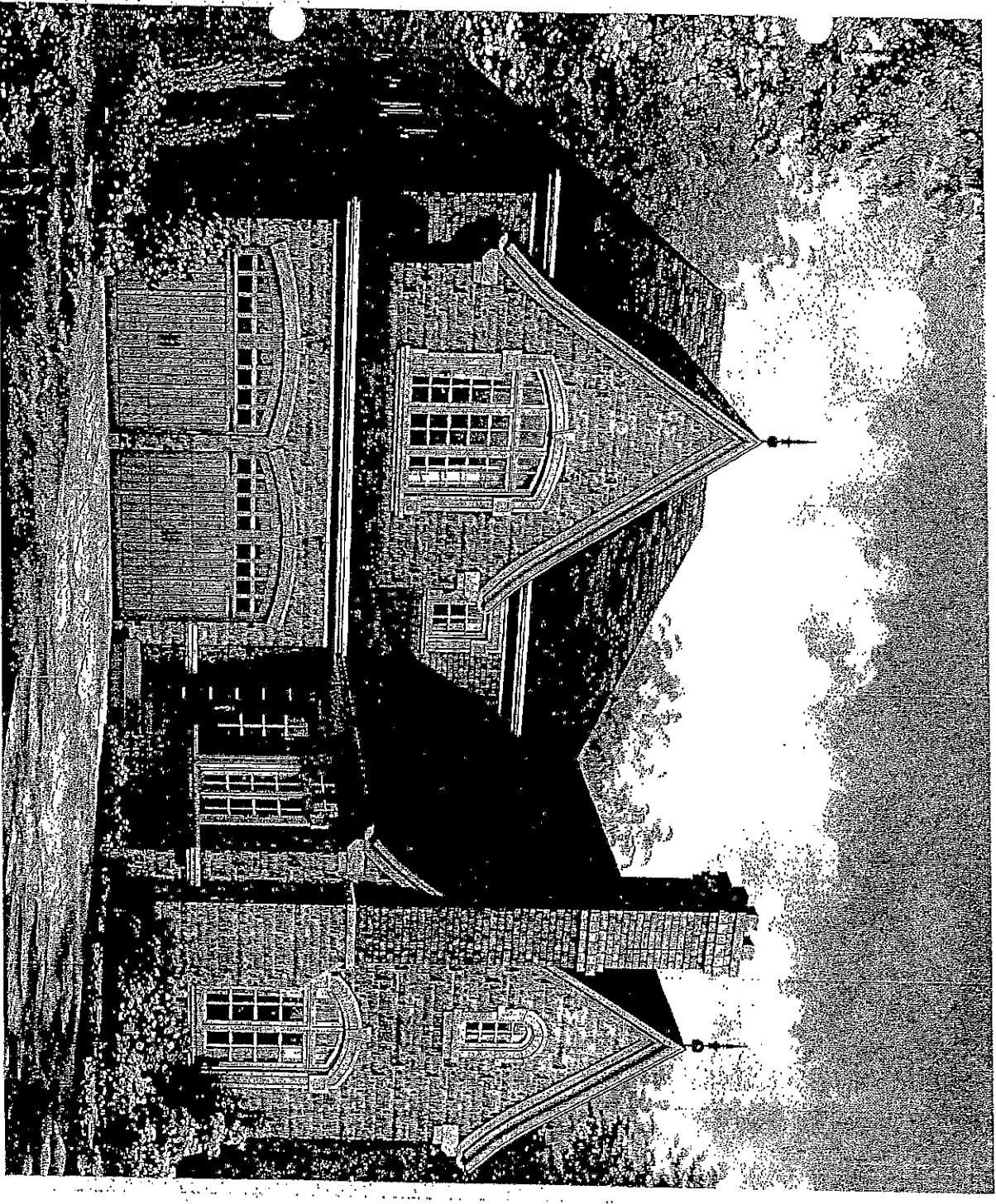
| | | | |
|-------------------|----------------------------|--------------------|------|
| Lot No. <u>67</u> | House Type <u>Full Blt</u> | Elevation <u>A</u> | Date |
|-------------------|----------------------------|--------------------|------|

| STRUCTURAL ITEMS | YES/NO Please Circle One | DESCRIPTION / NOTES | INITIAL |
|------------------------------------------------------------------------------------------------------|-----------------------------|----------------------|---------|
| • Larger Basement Windows | (N) | | |
| • Additional Basement Windows | Y/(N) | | |
| • Upgraded Windows | Y/(N) | | |
| • 9' Basement | (Y)/(N) | <u>Included</u> | |
| • 10' Main Floor | Y/(N) | | |
| • 9' 2nd Floor | Y/(N) | | |
| • Extra Window or Door Changes | Y/(N) | | |
| • Upgraded Window Grills | Y/(N) | | |
| • Optional Loggia | Y/(N) | | |
| • Optional Balcony | Y/(N) | | |
| • Skylights <small>(Location subject to trusses, engineering and architectural control)</small> | Y/(N) | | |
| • Brick Colour & Exterior Package | (Y)/(N) | Pkg # <u>10</u> | |
| • Additional Fireplaces | Y/(N) | | |
| • Gas/Electric | Y/(N) | | |
| • Stair Upgrades (Maple) | Y/(N) | | |
| • Open Stairs to Basement | Y/(N) | | |
| • Open Riser Staircase | Y/(N) | | |
| • Hot Water Tank Information/Upgrades | Y/(N) | | |
| • Appliance Specification required from purchaser for time of kitchen selection | (Y)/(N) | Date of Appointment: | |
| • Appointment with Kitchen manufacturer completed? <small>(for Structural/Layout Changes)</small> | (Y)/(N) | Date of Appointment: | |
| • Is water line for fridge required? | Y/(N) | | |
| • Is gas line for stove required? | (N) | | |
| • Are smooth ceilings required? | (Y)/(N) | <u>Included</u> | |
| • Plumbing Changes | Y/(N) | | |
| • Bathtubs - Changes to Style/Size/Location | Y/(N) | | |
| • Frameless Glass Shower | (Y)/(N) | | |
| • Mirrors, Towel Racks to be installed? | (Y)/(N) | | |
| • Ensure Purchaser is aware of all ceiling designs in each room: | | <u>no per plan</u> | |
| • Cathedral Ceilings | Y/(N) | | |
| • Coffered Ceilings | Y/(N) | | |
| • High Ceilings | Y/(N) | | |
| • Water Heater/Furnace Upgrades | Y/(N) | | |
| • Energy Star Upgrades / Increase Insulation | Y/(N) | | |
| • Noise Insulation | Y/(N) | | |
| • Upgrade to 200 amp electrical service | Y/(N) | | |

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

FALABELLA

Elev. A 2831 sq. ft.



Just 67 E. North H.

FE

PURCHASER REQUEST FOR EXTRAS

ZANCOR
HOMESPurchaser: Madame Tassoni
Res. No: 647-204-422 Bus. No: _____Subdivision: Kings Ridge

| Lot No. | License/Type | Elevation | Date Required | Date Ordered |
|---------|--------------|-----------|---------------|--------------|
| 67 | Subsistence | A. | | |

| "OFFICE USE ONLY" | ITEM | DESCRIPTION | PRICE |
|-------------------|------|------------------------------|------------|
| | ⑥ | 3 8 ft. Wallas corer | [REDACTED] |
| | | hook to main floor | [REDACTED] |
| | ⑦ | Panelled wasteball | [REDACTED] |
| | | under the same deck to | |
| | | from ceiling either | |
| | | ball 8' or 10' (STANDARD) | |
| | ⑧ | Imperial width in 15 ft. | [REDACTED] |
| | | shown about 18" wide | |
| | | like 1 1/2 x 4 1/2 to square | |
| | ⑨ | to panelled glass doors | [REDACTED] |
| | | to outside | |
| | ⑩ | Remove 2 transoms | [REDACTED] |
| | | to indoor windows | |
| | | bedroom | |
| | ⑪ | Panelled ceiling | [REDACTED] |
| | | to family room. | |
| | | SUB-TOTAL | |
| | | HST | |
| | | TOTAL AMOUNT ▶ | |

Conditions:

- The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of these items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The builder does not have to accept any additional extras, upgrades or changes from the Purchaser once the form has been approved by the Builder.
- Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUILDER:

DATE:

HOME OWNER:

DATE:

N

Purchaser: Madison Insurance
 Reg. No. 47-294-4229 Bus. No. _____

Purchase: 11 WALKER 1111
Res. No: 47-294-4220 Bus. No:

James R. Rife

| | | |
|----|------------|-----------|
| 67 | House Type | Elevation |
| | Ind. Bldg | A |

| "OFFICE USE ONLY" | ITEM | DESCRIPTION | PRICE |
|-------------------|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| | (12) | 8 FT. Plywood (NO TRANSOM) above in breakfast area in living standard bench above finished floor against cabinet (11448 + 15597) 1st room (put with cabinet, 5 inches from living room wall | |
| | | \$ [REDACTED] by change [REDACTED] [REDACTED] approved. | |
| | | SUB-TOTAL \$ [REDACTED] | |
| | | HST | |
| | | TOTAL AMOUNT ▶ \$ [REDACTED] | |

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July 27, 2012

OWNER: Shirley

WINNER: _____

DATE: July 22/12

DATE: July 22/12

FALABELLA

Elev. A 2831 sq. ft.
Elev. B 2848 sq. ft.

Line of Foundation Wall Per
Opt. Loggia Above

Unfinished Basement

Location Of Entrance,
Hot Water Heater And
Structural Elements
May Vary

Low Headroom
If Req'd

Unexcavated

Opt. 3 Pcs.
Rough-in Bath

Low
Headroom

Up

Carolina

Basement Floor Elev. 'A'

Unexcavated

Carolina

Up

Partial
Basement Floor
Elev. 'B'

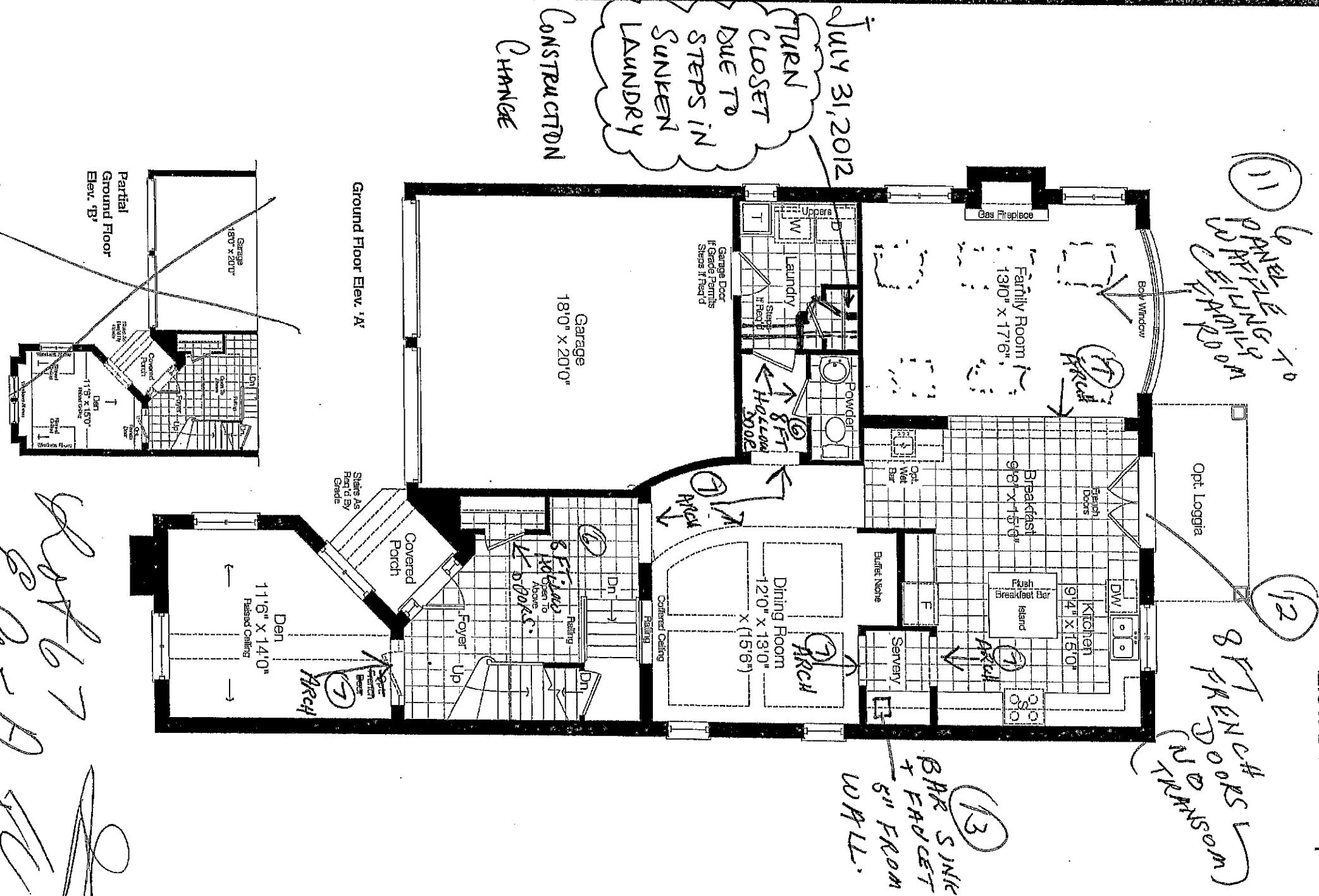
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FALABELLA

Lot 67

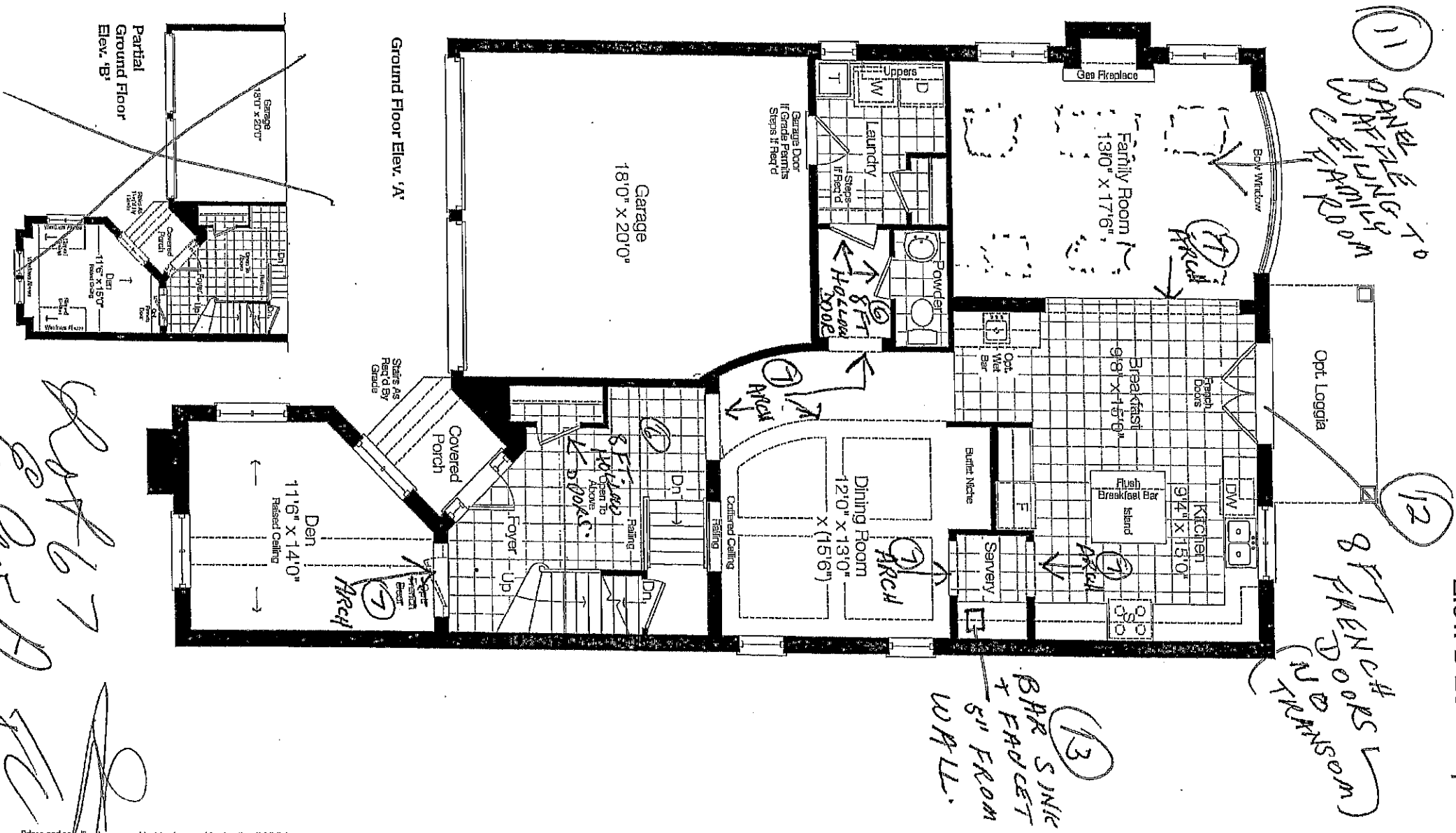
Elev. A 2831 sq. ft.
Elev. B 2848 sq. ft.



FALABELLA

Elev. A 2831 sq. ft.

Elev. B 2848 sq. ft.



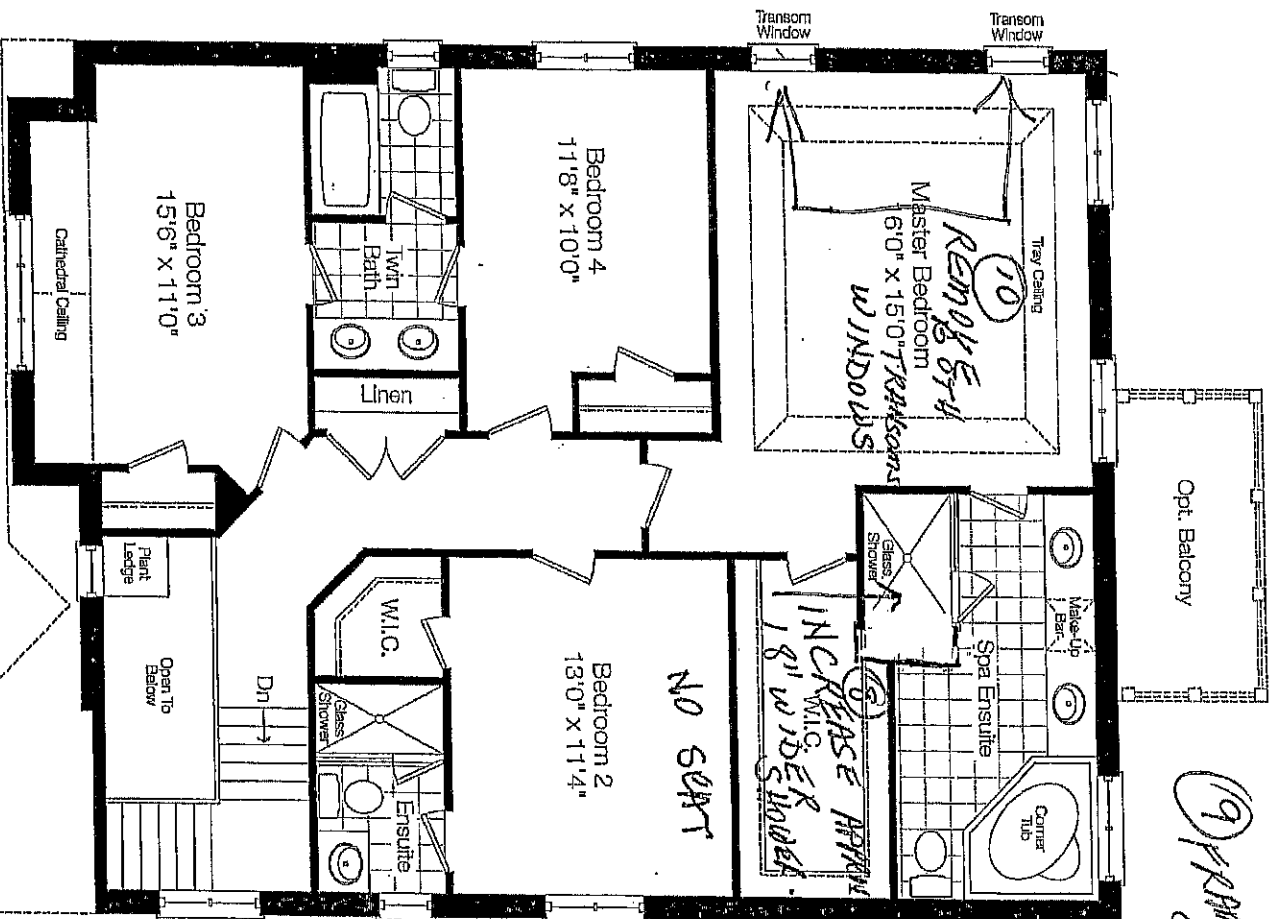
FALABELLA

Elev. A 2831 sq. ft.
Elev. B 2848 sq. ft.

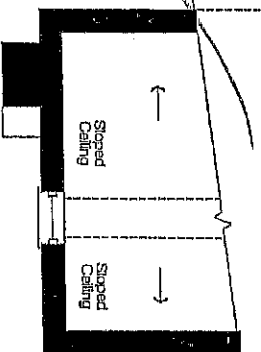
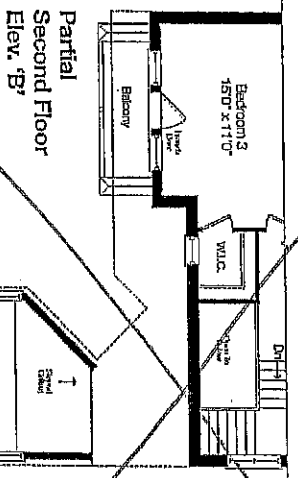


Partial Master Bedroom Door & Window Location
For Opt. Balcony Condition

(19) FRAMELESS
GLASS
SHOWER



Second Floor Elev. 'A'



Set 67
Floor Plan
JC


ZANCOR
HOMES

BRICK SELECTION REQUEST*
To be completed at time of Structural

LOT #: 67

IN THE CITY OF: MING

MODEL TYPE: FALABELLA ELEVATION: "A"

BETWEEN:

ZANCOR HOMES
as VENDOR

AND

MARION TICCOLI
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 10

SECOND CHOICE: 9

THIRD CHOICE: 6

Dated at MING this 19th day of June 2012
(Day) (Month) (Year)

Milaney
Witness

[Signature]
Purchaser

Witness

Purchaser

2

SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR
HOMES

| | | | | |
|----------------------------------------|---------------------------------------|------------------------------------------------------------------|----------------------------------|-----------------------------|
| Vendor Zancor Homes (King City) Ltd | | Purchaser(s) MARLON TICCONI Telephone Number: 647-294-4222 | | |
| Lot Number 67 | House Type Fahabella (42-5) Elev A | Reg. Plan # | Closing Date As Per Agreement | Date Ordered 09-May-2012 |

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

| |
|----------------------------------------------------------------------------------------------------------------------------------------|
| 1. LOT PREMIUM INCLUDES: - View Premium |
| 2. 1ST UPGRADE PRE-FINISHED OAK STAINED HARDWOOD 3 1/4 X 3/4 TO : FAMILY ROOM, DINING ROOM, DEN, MAIN FLOOR HALLWAY AND UPPER HALLWAY. |
| 3. STAIN TO STAIRS AND HANDRAILS. |
| 4. UPGRADE #3 HANDRAILS WITH WROUGHT IRON PICKETS. |
| 5. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE BUILDER. |

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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

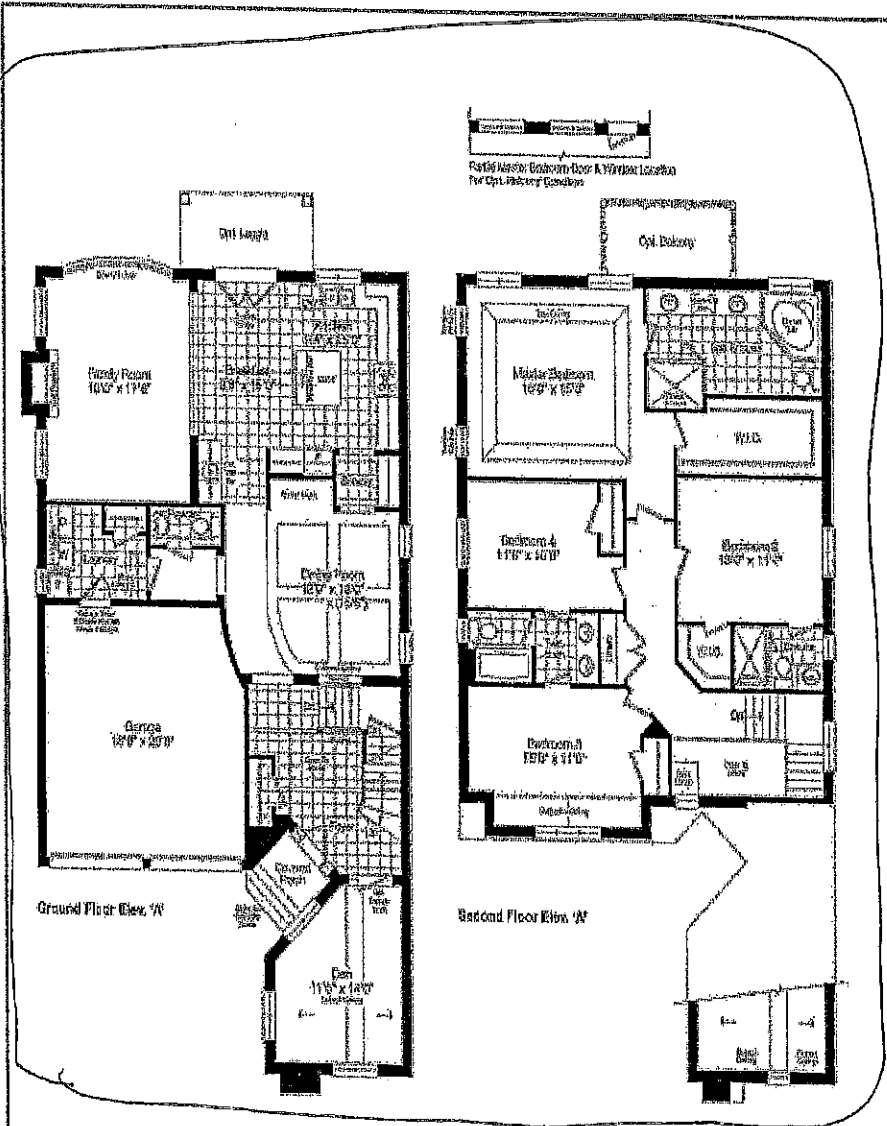
Paid Included in the purchase price

Vendor

Purchaser: MARLON TICCONI

TABBA
 "A"
 A

Elev. A 2831 sq. ft.
Elev. B 2848 sq. ft.



Prices and specifications are subject to change without notice. © 2011 E. F. C. Systems, Inc. Windows and hardware may vary. Approximate location of features and color fast. Actual results may vary from the stated area. All stated dimensions are approximate. All measurements are subject to change.

42-05

Purchaser's Initials