

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The builder shall be responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

JUL 31 2012

John G. Williams Limited, Architect

LOT GRADING NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Undergrade of footing shown is taken from architectural plans.
- 4) Footings not to be set on soft, undisturbed soil or rock, and be a minimum of 122 mm below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and have above ground services or other obstructions (hydro transformers) be pedestals, etc. by a minimum of 3.0m no deflection in driveway.
- 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- 8) SWALES:
 - i) Swales providing internal drainage from each lot shall have a minimum slope of 2.0%.
 - ii) Swales shall be a minimum of 1.0 m from lot line to higher property.
 - iii) Minimum swale depth to be 250mm.
 - iv) Maximum swale side slope to be 3H:1V.
 - v) Maximum depth of rear yard swale to be 750 mm.
 - vi) Maximum depth of side yard swale to be 450 mm.
- 9) Eave downspouts must discharge onto splash-pads. Connections to storm sewers or sanitary sewers are not permitted.
- 10) EMBANKMENTS:
 - i) Maximum 3H:1V slope if < 1M high.
 - ii) Maximum 4H:1V slope if > 1M high.
 - iii) Terraces minimum 1.5m wide.
 - iv) All embankments shall be provided with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
 - v) Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. CLEARANCES ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT	ZANCOR HOMES
PROJECT/LOCATION	KING CITY KING CITY, ONTARIO
DRAWING	SITE GRADING PLAN

BUILDING STATISTICS	REG. PLAN NO.	65M-4295
ZONE	R4	
LOT NUMBER	3	
LOT AREA(m) ²	N/A	
BLDG AREA(m) ²	N/A	
LOT COVERAGE(%)	N/A	
No. OF STOREYS	2	
MEAN HEIGHT(m)	8.33	
PEAK HEIGHT(m)	N/A	
DECK LINE(m)	N/A	

LEGEND	FFFE FINISHED FLOOR ELEVATION
FFW TOP OF FOUNDATION WALL	
TBS TOP OF BASEMENT SLAB	
USF UNDER SIDE FOOTING	
USFR UNDER SIDE FOOTING @ REAR	
USFG UNDER SIDE FOOTING @ GARAGE	
TEF TOP OF ENGINEERED FILL	
R NUMBER OF RISERS TO GRADE	
WOD WALKOUT DECK	
LOB LOOKOUT BASEMENT	
WOB WALK OUT BASEMENT	
REV REVERSE PLAN	
STD STANDARD PLAN	
DOOR	
WINDOW	
BELL PEDISTAL	
CABLE PEDISTAL	
CATCH BASIN	
DBL CATCH BASIN	
ENGINEERED FILL	
HYDRO CONNECTION	
FIRE HYDRANT	
STREET LIGHT	
MAIL BOX	
TRANSFORMER	
WATER VALVE	
WATER CONNECTION	
SEWER CONNECTIONS 2 LOTS	
SEWER CONNECTIONS 1 LOT	
AIR CONDITIONING	
DOWN SPOUT TO SPLASH PAD	
SWALE DIRECTION	
CHAINLINK FENCE	
PRIVACY FENCE	
SOUND BARRIER	
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE	

ISSUED OR REVISION COMMENTS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW (SITED)	MAY 07/12
2	ISSUED FOR FINAL	MAY 17/12
3	RESITE - ISSUED FOR REVIEW	JULY 17/12
4	ISSUED FOR FINAL	JULY 25/12

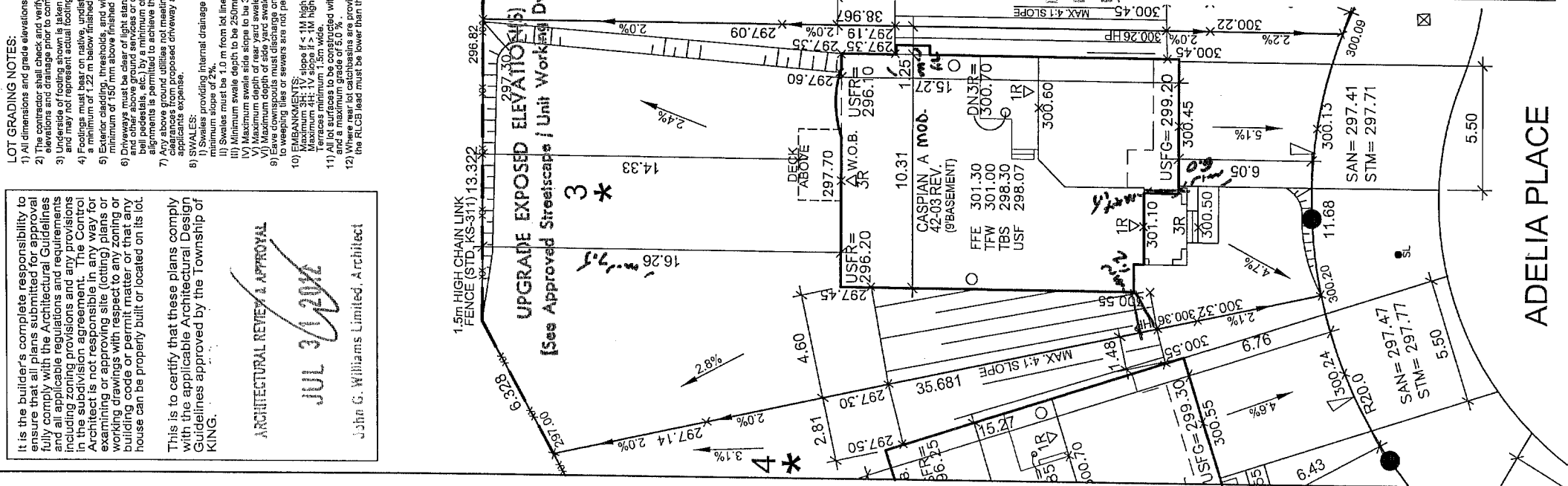
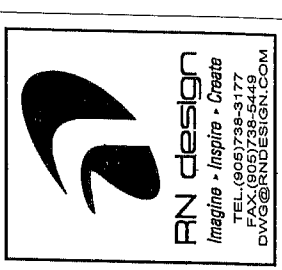
I, NELSON CUNHA
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LIMITED UNDER SUBSECTION 2.17.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

QUALIFIED DESIGNER BCIN 21032
FIRM BCIN 26995

JULY 25, 2012
DATE

SIGNATURE

DRAWN BY	NC
SCALE	1:250
PROJECT NO.	09011
LOT NUMBER	3



Reviewed by *[Signature]* Date **AUG 17 2012**

BURNSIDE

☒ Reviewed as noted

☐ Accepted without changes

We do not accept responsibility for the accuracy of elevations and dimensions provided by others.

plan. Approval of this plan is for no other purpose.

satisfactory with respect to general conformance with the overall lot grading

This plan has been reviewed, on behalf of the Township of King, and is

REVIEWED AS NOTED

ZONING BY-LAW 74-53 AS AMENDED

DATE: **Aug 16/12**

REF. APPL. NO. **2912-0537**

BY: *[Signature]*

TOWNSHIP OF KING

LICENSED PROFESSIONAL ENGINEER

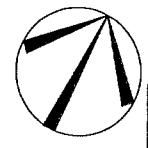
K. CHEN

100136982

JUL 27 2012

PROVINCE OF ONTARIO

NOTES:
ALL STAIRS ACCESSING FRONT ENTRY TO BE POURED-IN-PLACE PER SEC. 4.4 FOUND IN KING NORTH / KING DUFFERIN / KINGSHIRE ESTATES.



- NOTES:
- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
 - Extend footings at front to ensure 1.25M cover (Min)
 - Garage footings to extend to original ground or as directed by soils engineer.

APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) 3 and hereby certify that:

1. The proposed grading and appurtenant drainage works comply with sound engineer principles.
2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.

VALDOR ENGINEERING INC.

Date: