

SCHEDULE "E-1"

Invoice Number 970

PURCHASER EXTRAS
Consultant:

Vendor: Zancor Homes (King City) Ltd	Purchaser: FRANCES SCIACCHITANO
Telephone Number: 905-915-3358	

Lot / Unit 31	House Type Arabian (42-7) Elev A Elev.	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 24-May-2012
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DESCRIPTION	AMOUNT
12). LIVING/DINING ROOM: CHANGE TO COFFERED CEILING, INCLUDES CROWN MOULDING FROM BUILDERS STANDARDS. *No charge as per Fabrizio. Client is moving waffle ceiling to Library	
13). MASTER ENSUITE: FRAMELESS GLASS SHOWER	
14). GREAT ROOM. LIVING ROOM: FIREPLACE. MAKE IT DOUBLE SIDED. 12 inch wall with 6 inch box per side NICHE ABOVE FIREPLACE FACING GREAT ROOM (IF POSSIBLE) TO BE INSTALLED 4 INCH ABOVE MANTLE. 36 W X 6 H X 11 D NICHE SIZE 36 INCH W X 6 INCH H X 11 INCH DEEP HEAD OFFICE TO CONFIRM THIS CAN BE DONE *Contact client during framing to coordinate fireplace. Client would prefer box framing not to go to ceiling but to end with mantle height. *JOE TO CONFIRM WITH NATIONAL THE ABOVE CAN BE DONE	
15). MAIN HALL: MINIMUM OPENING TO BE 44 inch. If niche wall needs to be Remove/Reduce then move forward as per purchasers request. SEE PLAN FOR OPENING	
16). MASTER ENSUITE: 72 INCH FT. X 42 INCH SOAKER TUB (N LIEU OF STD) k-1132	
17). MASTER ENSUITE: CHANGE DOOR SWING INTO TOILET AREA. SEE PLAN FOR DIRECTION	
18). Sunken foyer in front of closets on main floor: add steps if necessary from main hall to foyer with closets. Client wants to eliminate steps in garage.). EXTERIOR OF HOME: DELETE BAY WINDOW (BEDROOM 3) AND BEST MATCH THE BALMORAL ELE. B (42-8) FRONT. ROYAL COLLECTION FRONT PORTICO TO BE FLAT *CLIENT IS AWARE FIXED WINDOWS WILL BE INSTALLED ABOVE.	
20). FRONT PORTICO TO BE FLAT *CLIENT IS AWARE FIXED WINDOWS WILL BE INSTALLED ABOVE.	
21). KITCHEN: CLIENT WOULD LIKE STD FRIDGE TO LOOK BUILT IN (NOT A COUNTER DEPTH FRIDGE). 5 INCH NICHE REQUIRED IN ORDER TO DO SO. CONSTRUCT DOUBLE STUD WALL BETWEEN KITCHEN AND DINING AND CREATE A RECESS FRIDGE LOCATION. ENCROACH 2 INCH ON BOTH SIDE OF KITCHEN AND DINING. *CLIENT IS AWARE THIS UPGRADE WILL NOT ACCOMONDATE A COUNTERDEPTH FRIDGE BUT WILL ALLOW A DEEPER AREA FOR STD FRIDGE *QTK to confirm fridge location	

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31	Arabian (42-7) Elev A Elev.		As Per Agreement	24-May-2012
22.	MASTER BEDROOM (OPTIONAL FIREPLACE WALL): MAKE WALL 12 INCH THICK TO ACCOMODATE FUTURE FIREPLACE. SPECS ATTACHED.			
	CENTER 12 INCH WALL TO CENTER OF BEDROOM WINDOWS. FIREPLACE INSERT WILL BE INSTALLED 16 INCH ABOVE GROUND			
23.	MASTER BEDROOM: ELECTRICAL: INSTALL 15 AMP FOR FUTURE FIREPLACE. SPECS ATTACHED. Junction box to be installed in corner of fireplace. see sketch for clarification.			
	SEE PLAN FOR LOCATION.			
24.	MAIN HALL, GREAT ROOM: INSTALL CROWN MOULDING			
	CROWN MOULDING TYPE TBD IN COLOURS			
25.	LIBRARY: Install waffle ceiling			
	* No charge as per Fabrizio, waffle ceiling deleted from living room/dining room			
26.	MAIN HALL AND GREAT ROOM: UPGRADE TO CROWN MOULDING. TO BE CHOSEN FROM BUILDERS STANDARDS			
	*No charge as per Fabrizio			
27.	LIBRARY: OPTIONAL FENCH DOOR AS PER SCHEDULE E			
28.	EXTERIOR DOOR: RIGHT SIDE TO OPEN			
29.	LIVING, DINING, MASTER BEDROOM AND LAUNDRY: WINDOWS			
	LIVING: APPROX. SIZE 24 X 28			
	DINING: APPROX. 72 X 48 AND 24 X 24			
	LAUNDRY: APPROX. 24 X 36			
	TRANSUM WINDOWS IN MASTER TO BE APPROX 36 DEEP TO MATCH LAUNDRY WINDOWS			
30.	BREAKFAST ROOM: DOOR: DOUBLE 8 FT FRENCH DOOR TO BREAKFAST (MOVE WINDOW OVER AND MAKE SMALLER)			
31.	DELETE LOGGIA AT REAR OF HOUSE. THIS INCLUDES BALCONY THAT RUNS OFF MASTER BEDROOM. CLIENT WILL MOVE FORWARD WITH STANDARD 5 X 7 DECK			
	CLIENT IS AWARE THERE WILL BE NO CREDIT FOR THE ABOVE ITEM			
32.	CLIENT HAS PICKED BRICK PACKAGE 14 WOULD NOT CHOOSE 2 BACK UP PACKAGES			
	HST Total			

Conditions: 25% deposit 75% arranged to purchase price.

- The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the Purchaser wish to add any of this items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the builder.
- any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

PURCHASER EXTRAS
Consultant:

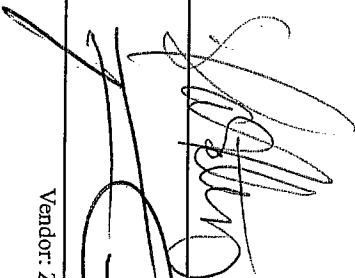
Vendor: Zancor Homes (King City) Ltd	Purchaser: FRANCES SCIACCHITANO
	Telephone Number: 905-915-3358

Lot / Unit 31	House Type Arabian (42-7) Elev A Elev.	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 24-May-2012
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Paid:  By: _____



Purchaser - FRANCES SCIACCHITANO



Design Consultant

Vendor: Zancor Homes (King City) Ltd

STRUCTURAL REQUIREMENTS*

**ZANCOR
HOMES**

Purchaser(s): TERENCE S. SCHACHITTANO
 Subdivision: Kings Ridge - South.

Lot No. <u>31</u>	House Type <u>ARMEDAN</u>	Elevation <u>#</u>	Date <u>May 24/12</u>
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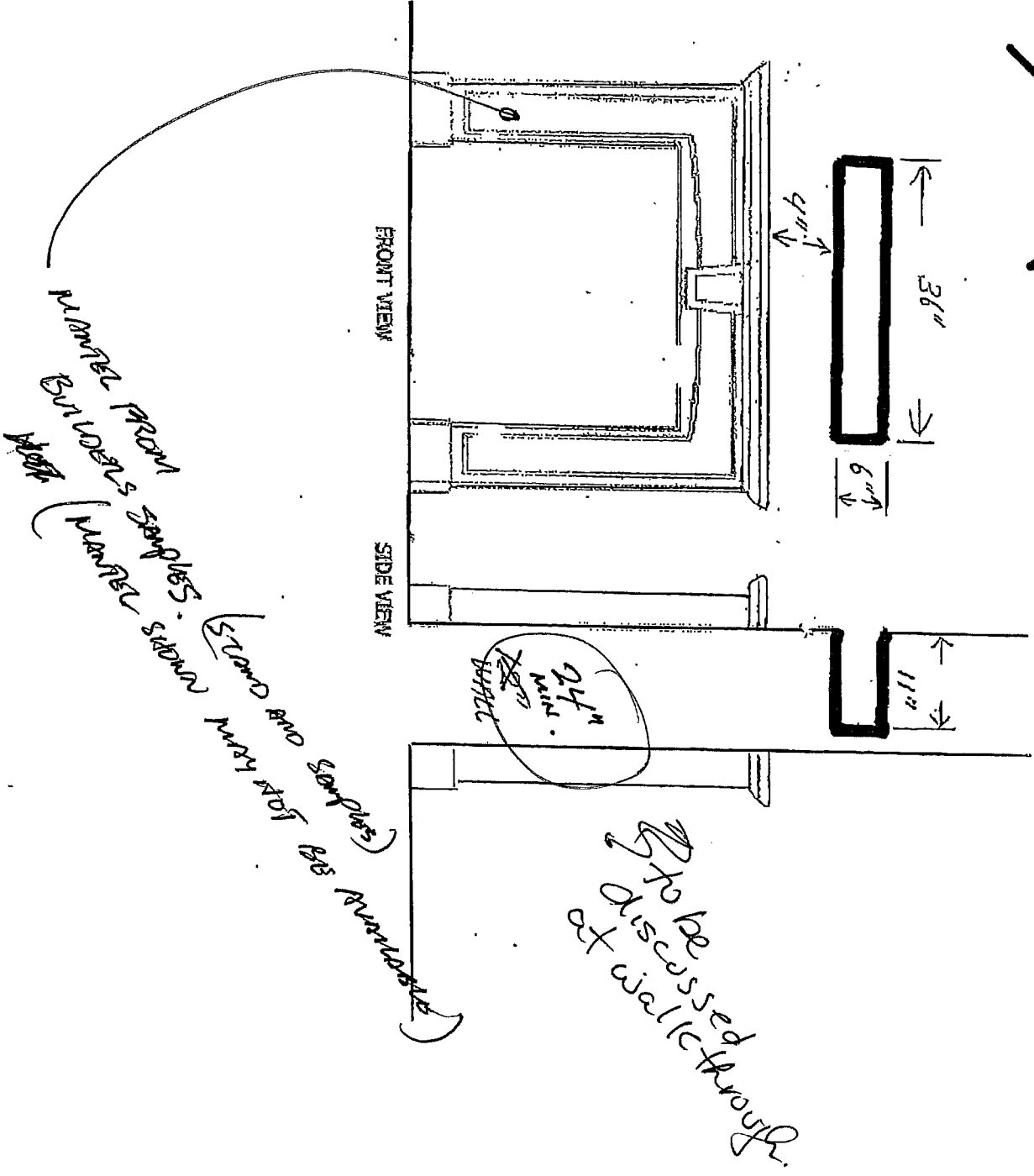
STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	Y / N		SS
• Additional Basement Windows	Y / N		SS
• Upgraded Windows	Y / N		SS
• 9' Basement	Y / N		SS
• 10' Main Floor	Y / N		SS
• 9' 2nd Floor	Y / N		SS
• Extra Window or Door Changes	Y / N		SS
• Upgraded Window Grills	Y / N		SS
• Optional Loggia	Y / N	<u>Deleted</u>	SS
• Optional Balcony	Y / N		SS
• Skylights (location subject to trusses, engineering and architectural control)	Y / N		
• Brick Colour & Exterior Package	Y / N	Pkg # <u>14100</u>	SS
• Additional Fireplaces	Y / N	<u>location change</u>	SS
• Gas /Electric	Y / N		SS
• Stair Upgrades (Maple)	Y / N		SS
• Open Stairs to Basement	Y / N		SS
• Open Riser Staircase	Y / N		SS
• Hot Water Tank Information/Upgrades	Y / N		
• Appliance Specification required from purchaser for time of kitchen selection	Y / N	Date of Appointment: <u>N/A</u>	SS
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	Y / N	Date of Appointment: <u>N/A</u>	SS
• Is water line for fridge required?	Y / N		SS
• Is gas line for stove required?	Y / N		SS
• Are smooth ceilings required?	Y / N		SS
• Plumbing Changes	Y / N		SS
• Bathtubs - Changes to Style/Size/Location	Y / N		SS
• Frameless Glass Shower	Y / N		SS
• Mirrors, Towel Racks to be installed?	Y / N		SS
• Ensure Purchaser is aware of all ceiling designs in each room:			
• Cathedral Ceilings	Y / N		SS
• Coffered Ceilings	Y / N		SS
• High Ceilings	Y / N		SS
• Water Heater/Furnace Upgrades	Y / N		SS
• Energy Star Upgrades / Increase Insulation	Y / N		SS
• Noise Insulation	Y / N		SS
• Upgrade to 200 amp electrical service	Y / N		SS

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

[Signature]

~~Media Niche for TV comments above the 2 SIDED FIREPLACE facing GREAT ROOM~~

~~Approx 4' above the mantel~~



OptiFlame[®]

by Dimplex[®]

ELECTRIC FIREPLACES

Plug-in/Direct Wire Fireboxes DF30333ST/DFG30333

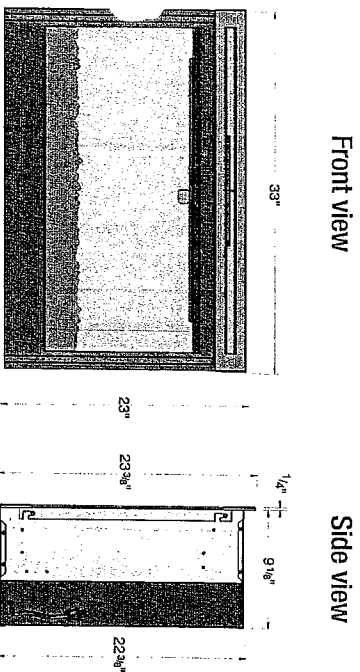
Product Description

- Patented electric flame technology
- Realistic inner glow logs and pulsating ember bed (DF30333ST)
- Pulsating glass flame bed (DFG30333)
- Includes 120 volt factory installed plug kit, remove wire connections to direct wire
- Operates with flame only or flame and heat
- 1,000 W (3,410 BTU) thermostat controlled fan-forced heater
- Adjustable interior light and flame speed control
- Includes multi-function digital display remote control

Specifications

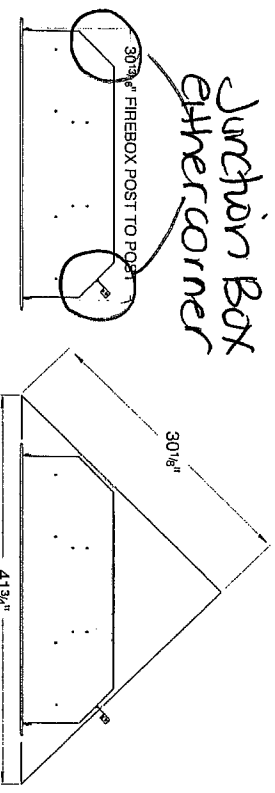
Model	Description			
DF30333ST	Deluxe plug-in/direct wire firebox with inner glow logs and glowing embers.			
DFG30333	Deluxe plug-in/direct wire firebox with glass flame bed.			
Volts	Watts	BTU	Total Amps	Weight (lb/kg)
120	1000	3410	8.3	50 / 22.7

Dimensions for DF30333ST and DFG30333 Fireboxes



Top view

Corner installation



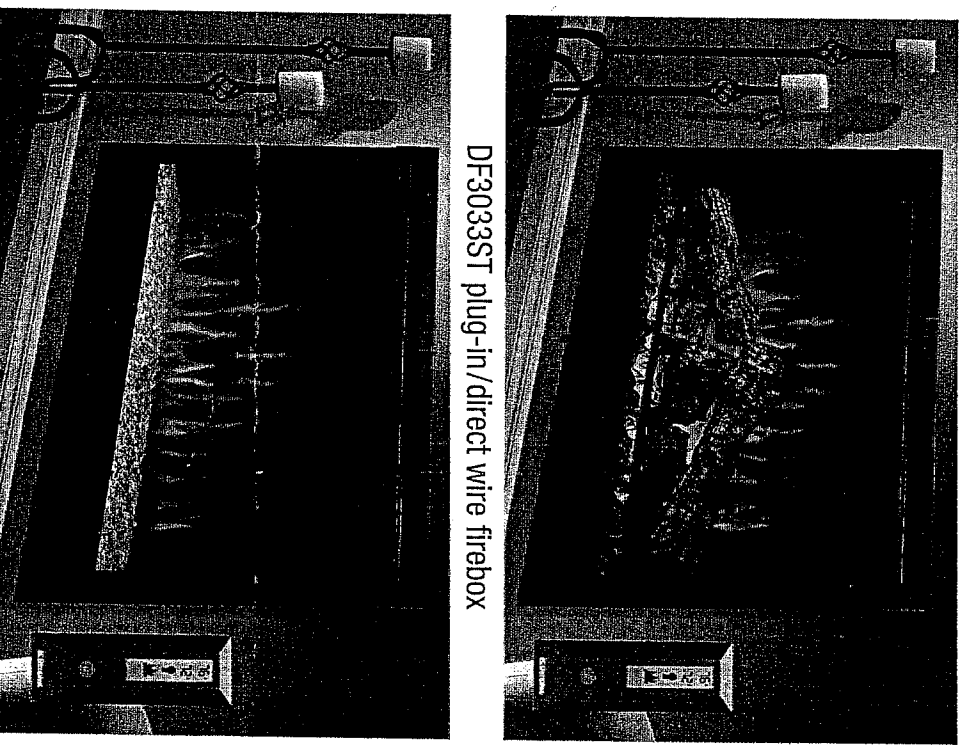
16" ABOVE FLOOR

Protected by U.S. Patent: 5,642,580. Canadian Patent: 2,175,442. Other patents pending. Specifications, finishes and dimensions are subject to change and should be taken as a guide only.

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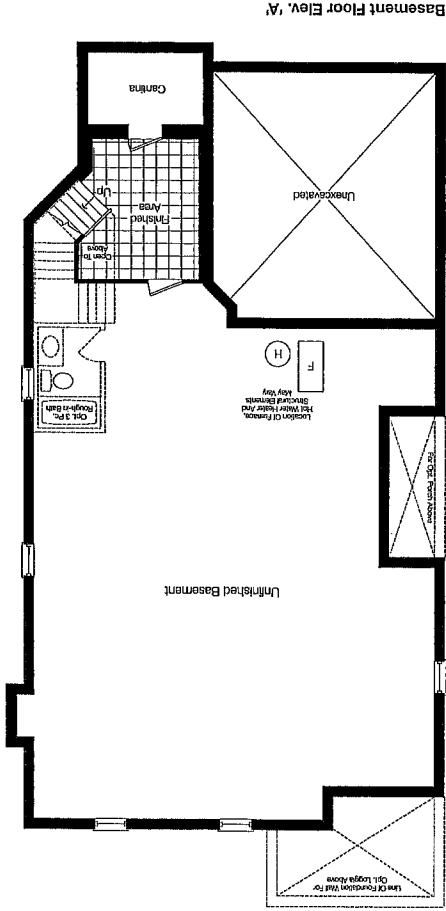
ARABIAN

Elev. A 3419 sq. ft.

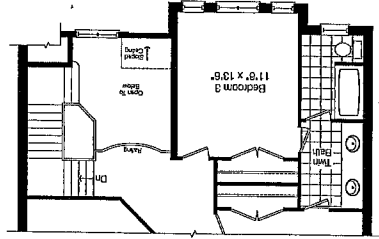
includes 111 sq. ft. fin. lower level

Elev. B 3420 sq. ft.

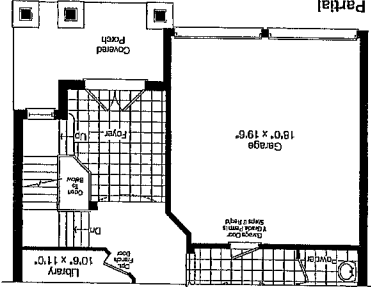
includes 109 sq. ft. fin. lower level



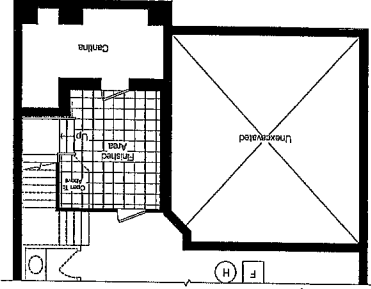
Basement Floor Elev. 'A'



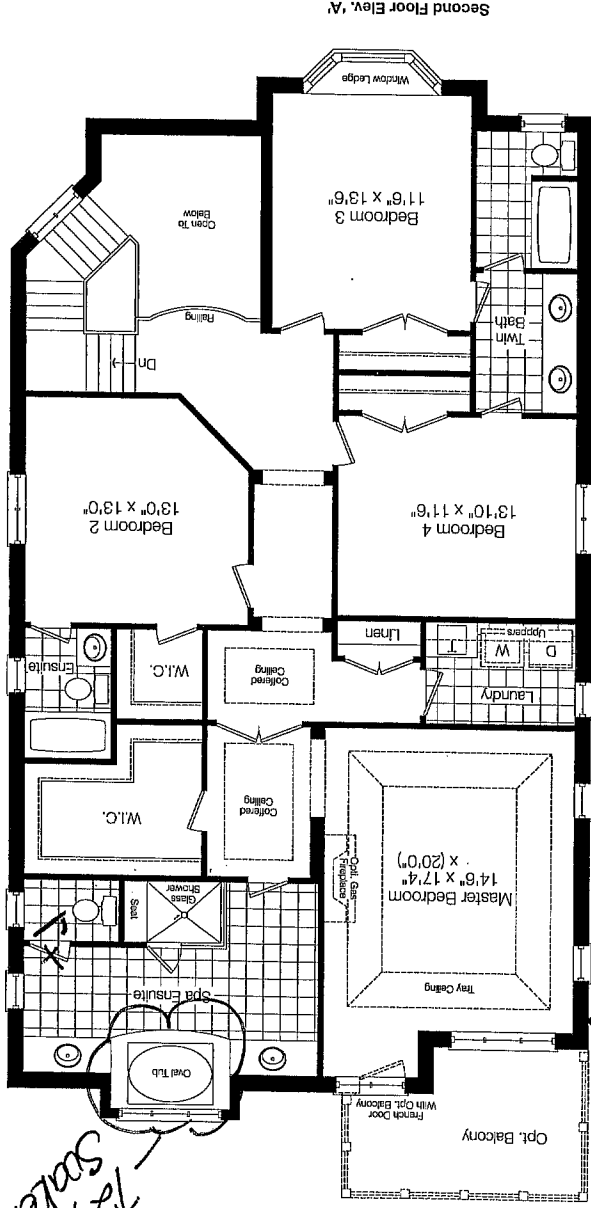
Partial Ground Floor Elev. 'B'



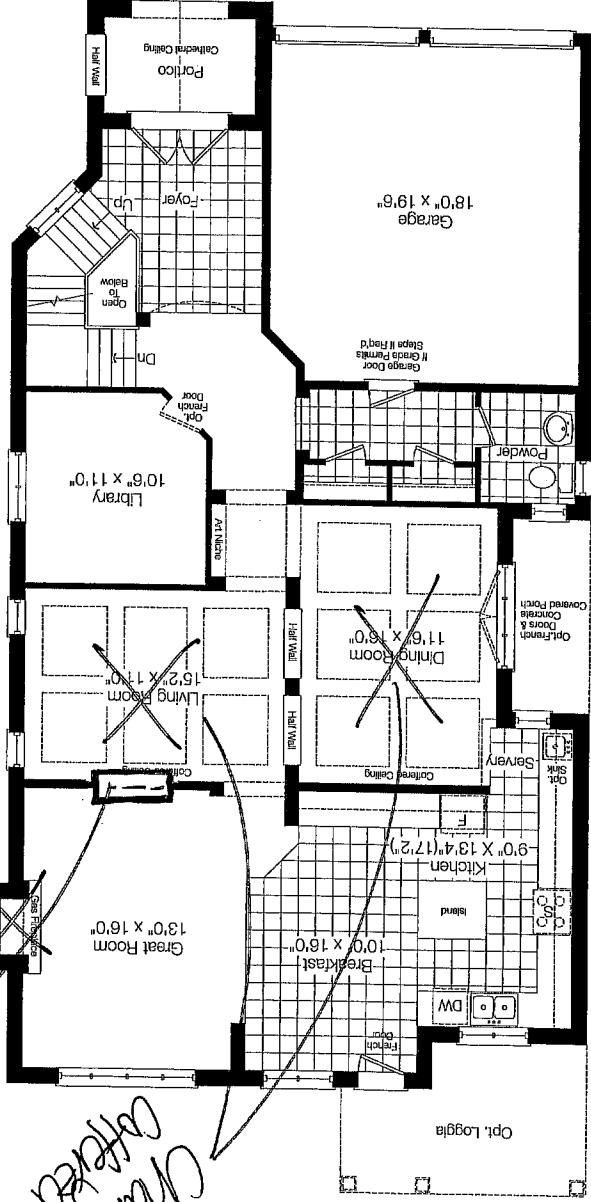
Partial Second Floor Elev. 'B'



Partial Basement Floor Elev. 'B'



Second Floor Elev. 'A'



Ground Floor Elev. 'A'

12' x 42' soaker

delete fireplace double sided fireplace

change to coffered ceiling

SCHEDULE "E"
PURCHASER'S EXTRAS

**ZANCOR
HOMES**

Vendor Zancor Homes (King City) Ltd		Purchaser(s) FRANCES SCIACCHITANO Telephone Number: 905-915-3358		
Lot Number 31	House Type Arabian (42-7) Elev A	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 08-Nov-2011

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1. LOT PREMIUM INCLUDES: - Look Out Basement - Rear Elevation Upgrade - Adjacent to Pond
2. ON FRONT ELEVATION ONLY STUCCO WHERE THERE IS BRICK WITH 4 FOOT RETURN.
3. LOGGIA OFF OF BREAKFAST AREA.
4. BALCONY OFF MASTER BEDROOM.
5. 10 FOOT MAIN FLOOR WITH HIGHER WINDOWS/8 FOOT DOORS/HIGHER ARCHES
6. 9 FOOT TO SECOND FLOOR WITH HIGHER WINDOWS.
7. 1ST UPGRADE OAK HARDWOOD FLOORS THRU-OUT EXCLUDING TILED AREAS.
8. 3RD UPGRADE PICKETS AND HANDRAILS.
9. MAIN TO STAIRS AND RAILINGS.
10. BENCH DOOR TO LIBRARY.
11. PAINT COLOR CHART TIME

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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid Included in the purchase price

Vendor  _____

Purchaser: FRANCES SCIACCHITANO  _____

SCHEDULE "E"
PURCHASER'S EXTRAS

Vendor Zancor Homes (King City) Ltd		Purchaser(s) KENNETH MA LUCIA MA		
Telephone Number:: 905-737-1257				
Lot Number 31	House Type Arabian (42-7) Elev A	Reg. Plan # Not Registered	Closing Date As Per Agreement	Date Ordered 22-Jul-2011


IN ACCORDANCE WITH THE PROVISIONS OF SCHEDULE "X" OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

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Where applicable: Purchaser acknowledges being advised that the stain of pre-finished wood flooring and the stain of the stairs, railings, spindles and stair landing may vary, despite both having the same descriptive name and or code.

Paid: Included in the purchase price



Purchaser: KENNETH MA


Purchaser: LUCIA MA