






# PURCHASER REQUEST FOR EXTRAS

**ZANCOR HOMES**

Purchaser: Liliana Carrasco C. Huetteman  
 Res. No: 647-391-8795 Bus. No: (9) 417-8795


Subdivision: Kings Ridge

| Lot No.   | House Type      | Elevation | Date Required | Date Ordered |
|-----------|-----------------|-----------|---------------|--------------|
| <u>86</u> | <u>Caspirin</u> | <u>H</u>  |               |              |

| "OFFICE USE ONLY" | ITEM | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                                                                                | PRICE                                                                                                                                                                          |
|-------------------|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                   | (2)  | 10 ft. ceilings to<br>medium of load with<br>hinged windows<br>hinges anchors & 8 ft.<br>hall doors,<br>(3) Open stairs to<br>basement remove<br>door at top of<br>basement stair. Upgrade<br>stair to Oak Natural<br>Finish incl. painted<br>General finished walls<br>on both sides of stairs<br>with oak nail 4'x4'<br>landing at base of stairs<br>with floor to finished<br>basement & landing<br>carpet & floor. Standard<br>Samples | <br> |
|                   |      | SUB-TOTAL                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                            |
|                   |      | HST                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                             |
|                   |      | TOTAL AMOUNT                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                             |


## Conditions:

- The above referenced parties agree to the installation of the finishing extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
- Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

\$5,110.00 on Caspio  added on Command.

BUILDER:

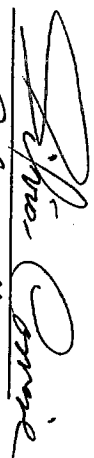
DATE:

  
May 8 2012

HOME OWNER:

HOME OWNER:

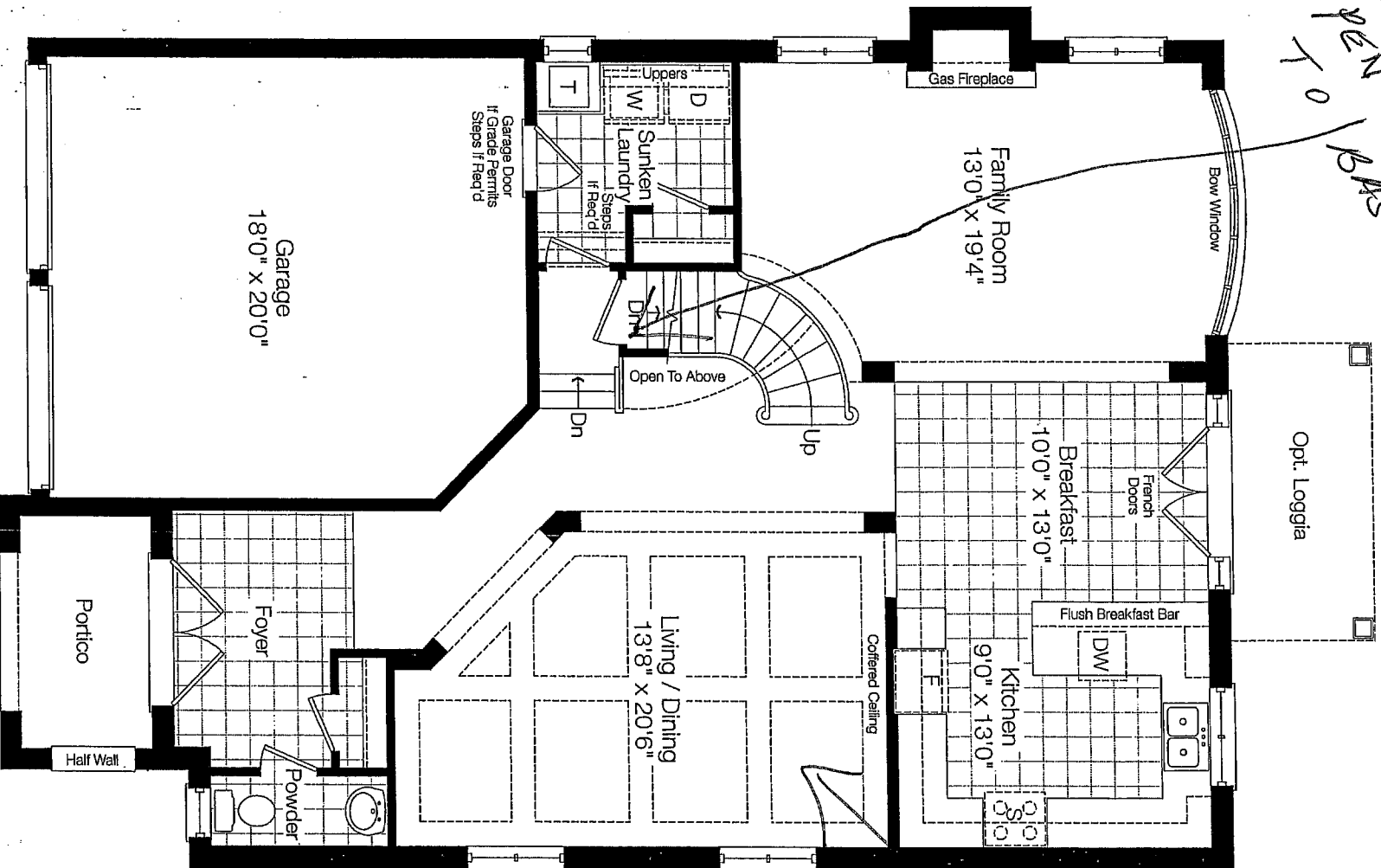
DATE:

  
Before Notary  
May 6 / 12.

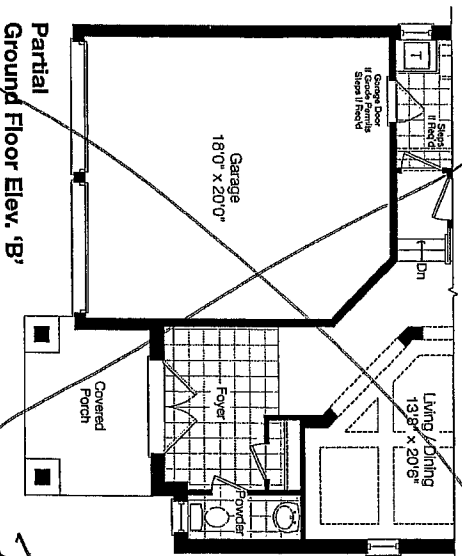
# CASPIAN

Elev. A 2745 sq. ft.  
Elev. B 2717 sq. ft.

③ STRIKES  
OPEN BASEMENT



Ground Floor Elev. 'A'



Partial  
Ground Floor Elev. 'B'

② 10 FT.  
CEILING  
TO  
MAIN  
FLOOR  
HIGHER  
W/ ARROWS  
HIGHER  
ARCHES  
8 FT.  
HOLLOW  
DOORS

2086

36  
C.H.

**STRUCTURAL REQUIREMENTS\***

**ZANCOR  
HOMES**

Purchaser(s): Colin Hutchinson & Lorna Corrie  
 Subdivision: Kings Bridge

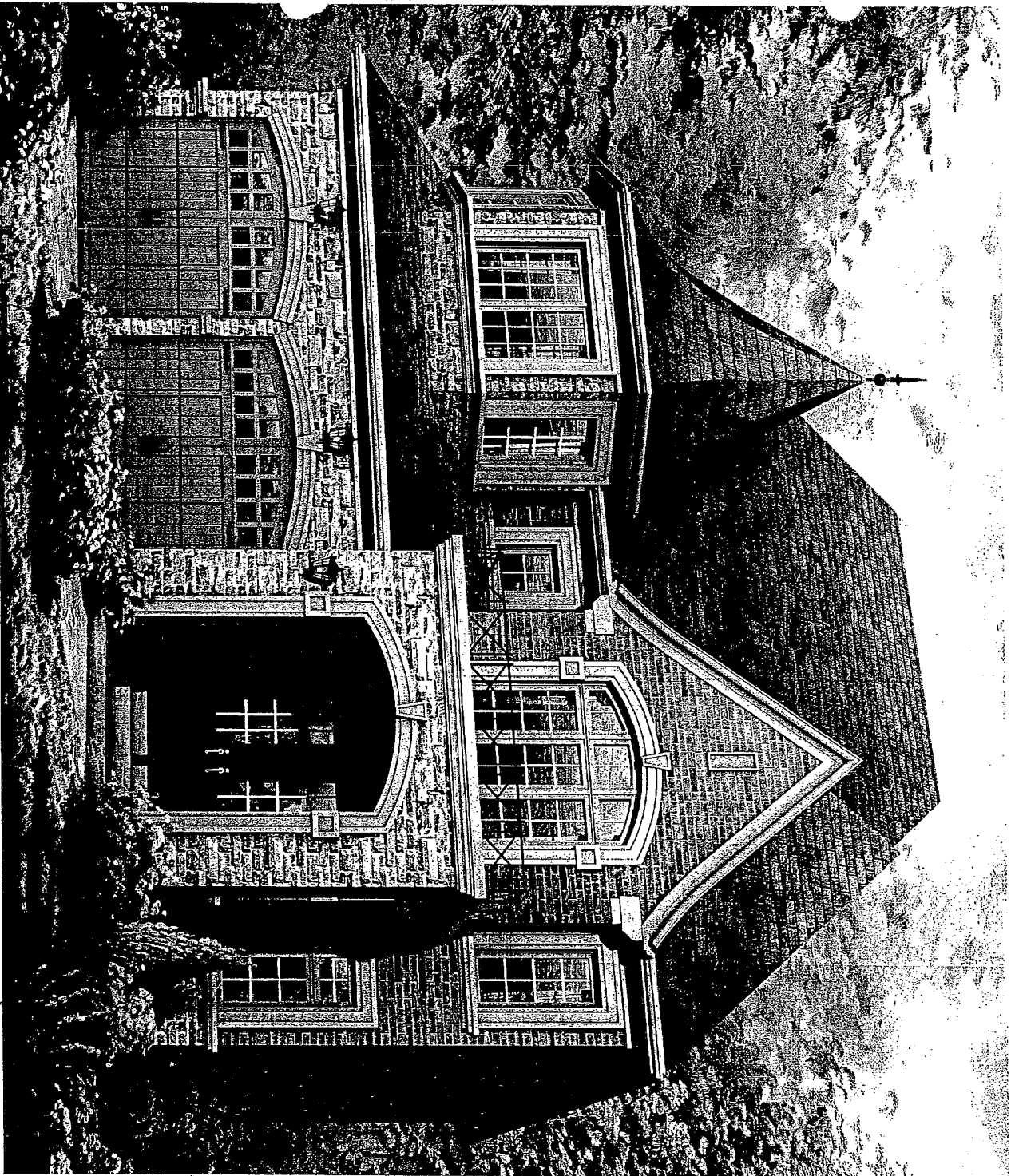
|                   |                             |                    |      |
|-------------------|-----------------------------|--------------------|------|
| Lot No. <u>86</u> | House Type <u>Apartment</u> | Elevation <u>A</u> | Date |
|-------------------|-----------------------------|--------------------|------|

| STRUCTURAL ITEMS                                                                                   | YES/NO<br>Please Circle<br>One | DESCRIPTION / NOTES  | INITIAL |
|----------------------------------------------------------------------------------------------------|--------------------------------|----------------------|---------|
| • Larger Basement Windows                                                                          | Y (N)                          |                      | S. CH   |
| • Additional Basement Windows                                                                      | Y (N)                          |                      | S. CH   |
| • Upgraded Windows                                                                                 | Y (N)                          |                      | S. CH   |
| • 9' Basement                                                                                      | Y (N)                          | Included             | S. CH   |
| • 10' Main Floor                                                                                   | Y (N)                          |                      | S. CH   |
| • 9' 2nd Floor                                                                                     | Y (N)                          |                      | S. CH   |
| • Extra Window or Door Changes                                                                     | Y (N)                          |                      | S. CH   |
| • Upgraded Window Grills                                                                           | Y (N)                          |                      | S. CH   |
| • Optional Loggia                                                                                  | Y (N)                          |                      | S. CH   |
| • Optional Balcony                                                                                 | Y (N)                          |                      | S. CH   |
| • Skylights<br><small>(location subject to trusses, engineering and architectural control)</small> | Y (N)                          |                      | S. CH   |
| • Brick Colour & Exterior Package                                                                  | Y (N)                          | Pkg # <u>9</u>       | S. CH   |
| • Additional Fireplaces                                                                            | Y (N)                          |                      | S. CH   |
| • Gas/Electric                                                                                     | Y (N)                          |                      | S. CH   |
| • Stair Upgrades (Maple)                                                                           | Y (N)                          |                      | S. CH   |
| • Open Stairs to Basement                                                                          | Y (N)                          |                      | S. CH   |
| • Open Riser Staircase                                                                             | Y (N)                          |                      | S. CH   |
| • Hot Water Tank Information/Upgrades                                                              | Y (N)                          |                      | S. CH   |
| • Appliance Specification required from purchaser for time of kitchen selection                    | Y (N)                          | Date of Appointment: | S. CH   |
| • Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)                 | Y (N)                          | Date of Appointment: | S. CH   |
| • Is water line for fridge required?                                                               | Y (N)                          |                      | S. CH   |
| • Is gas line for stove required?                                                                  | Y (N)                          |                      | S. CH   |
| • Are smooth ceilings required?                                                                    | Y (N)                          | Included             | S. CH   |
| • Plumbing Changes                                                                                 | Y (N)                          |                      | S. CH   |
| • Bathtubs - Changes to Style/Size/Location                                                        | Y (N)                          |                      | S. CH   |
| • Frameless Glass Shower                                                                           | Y (N)                          |                      | S. CH   |
| • Mirrors, Towel Racks to be installed?                                                            | Y (N)                          |                      | S. CH   |
| • Ensure Purchaser is aware of all ceiling designs in each room:                                   |                                |                      |         |
| • Cathedral Ceilings                                                                               | Y (N)                          | as per plan          | S. CH   |
| • Coffered Ceilings                                                                                | Y (N)                          |                      | S. CH   |
| • High Ceilings                                                                                    | Y (N)                          |                      | S. CH   |
| • Water Heater/Furnace Upgrades                                                                    | Y (N)                          |                      | S. CH   |
| • Energy Star Upgrades / Increase Insulation                                                       | Y (N)                          |                      | S. CH   |
| • Noise Insulation                                                                                 | Y (N)                          |                      | S. CH   |
| • Upgrade to 200 amp electrical service                                                            | Y (N)                          |                      | S. CH   |

\*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

# CASPIAN

Elev. A 2745 sq. ft.



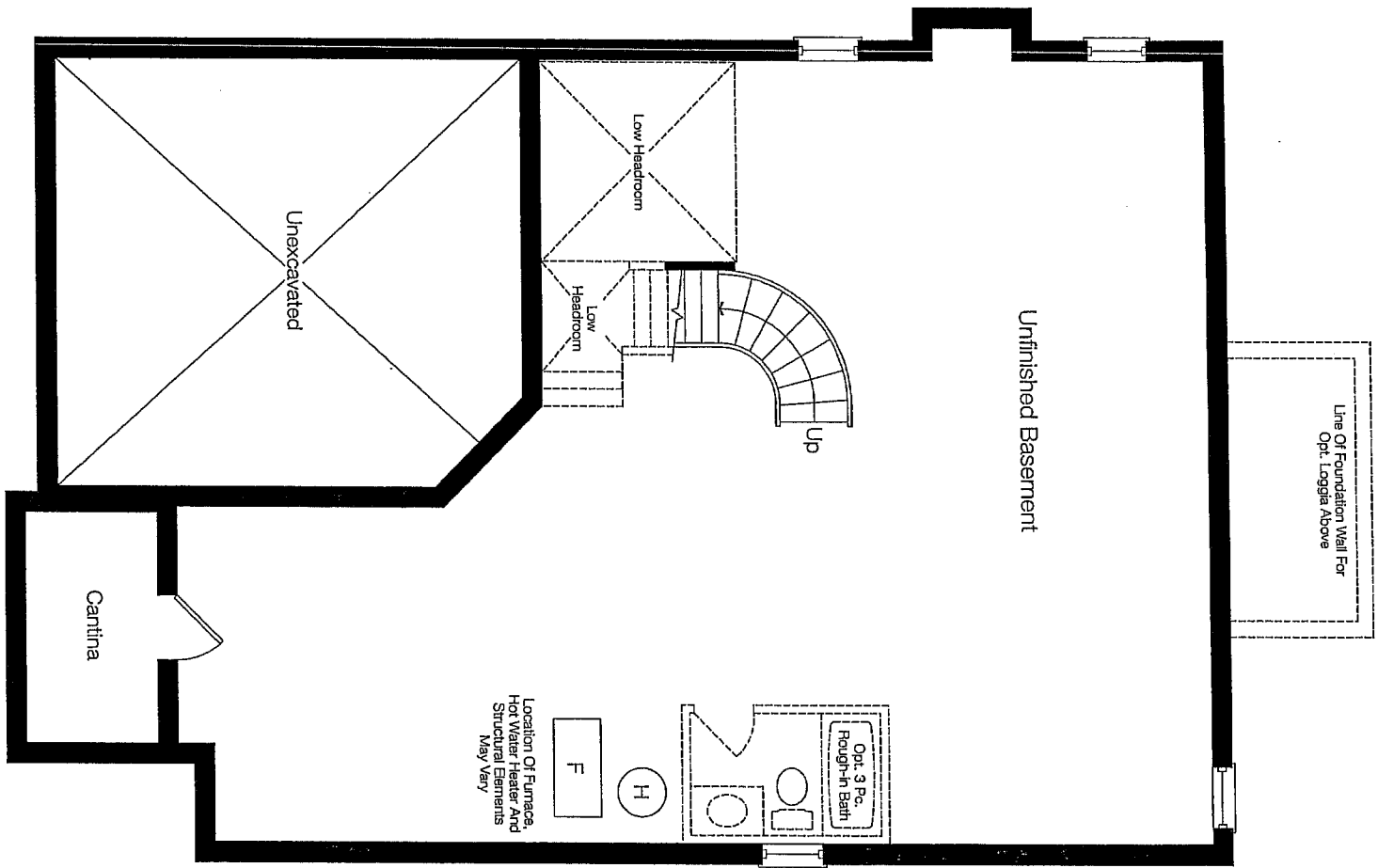
JS 86

FC  
Sandra Carine  
E. Smith

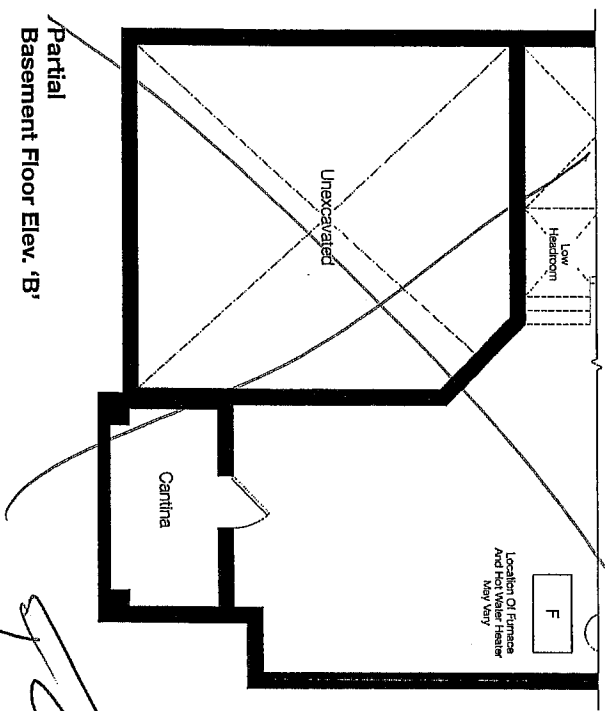
# CASPIAN

Elev. A 2745 sq. ft.

Elev. B 2717 sq. ft.



Basement Floor Elev. 'A'

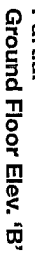


Partial Basement Floor Elev. 'B'

*Handwritten signature*  
86

*Handwritten initials*  
S.E.  
C.R.

Elev. A 2745 sq. ft.  
Elev. B 2717 sq. ft.

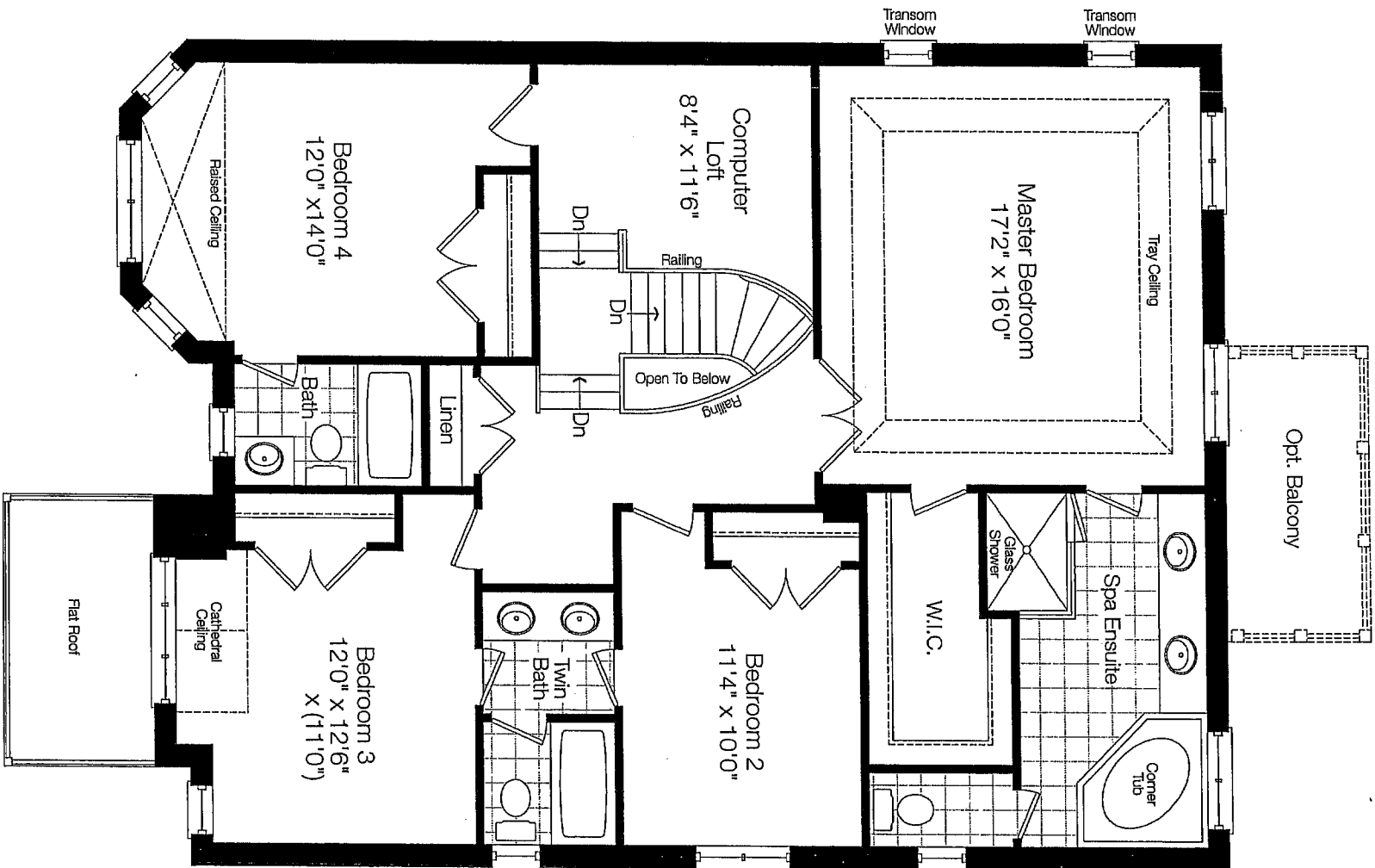
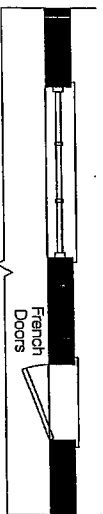


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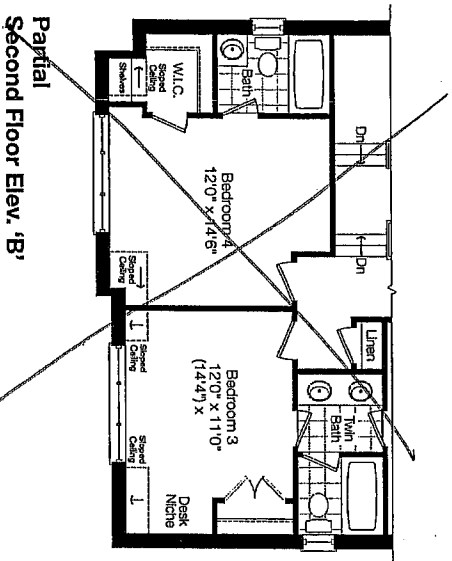
Elev. A 2745 sq. ft.

Elev. B 2717 sq. ft.

Partial Master Bedroom Door & Window Location  
For Opt. Balcony Condition



Second Floor Elev. 'A'



Partial  
Second Floor Elev. 'B'

28486  
SIC  
LC



**BRICK SELECTION REQUEST\***  
To be completed at time of Structural

LOT #: 86

IN THE CITY OF: King

MODEL TYPE: Captain ELEVATION: A

BETWEEN:

as VENDOR

AND

as PURCHASERS

\*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 9

SECOND CHOICE: 8

THIRD CHOICE: 11

Dated at King this 2 day of May 2012  
(Day) (Month) (Year)

[Signature]  
Witness

[Signature]  
Witness

[Signature]  
Purchaser

[Signature]  
Purchaser



SCHEDULE "E"  
PURCHASER'S EXTRAS

ZANCOR  
HOMES

|                                        |                                     |                                                                                      |                                                 |
|----------------------------------------|-------------------------------------|--------------------------------------------------------------------------------------|-------------------------------------------------|
| Vendor<br>Zancor Homes (King City) Ltd |                                     | Purchaser(s)<br>COLIN HUTCHISON<br>SILVIA CARRIERE<br>Telephone Number: 905-417-8795 |                                                 |
| Lot Number<br>86                       | House Type<br>Caspian (42-3) Elev A | Reg. Plan #                                                                          | Closing Date<br>As Per Agreement<br>03-Apr-2012 |

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1. IN LIEU OF [REDACTED] IN UPGRADES PACKAGE PURCHASER HAS TAKEN THE [REDACTED] OF THE [REDACTED] PRICE. PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS

Conditions:

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- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
- Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

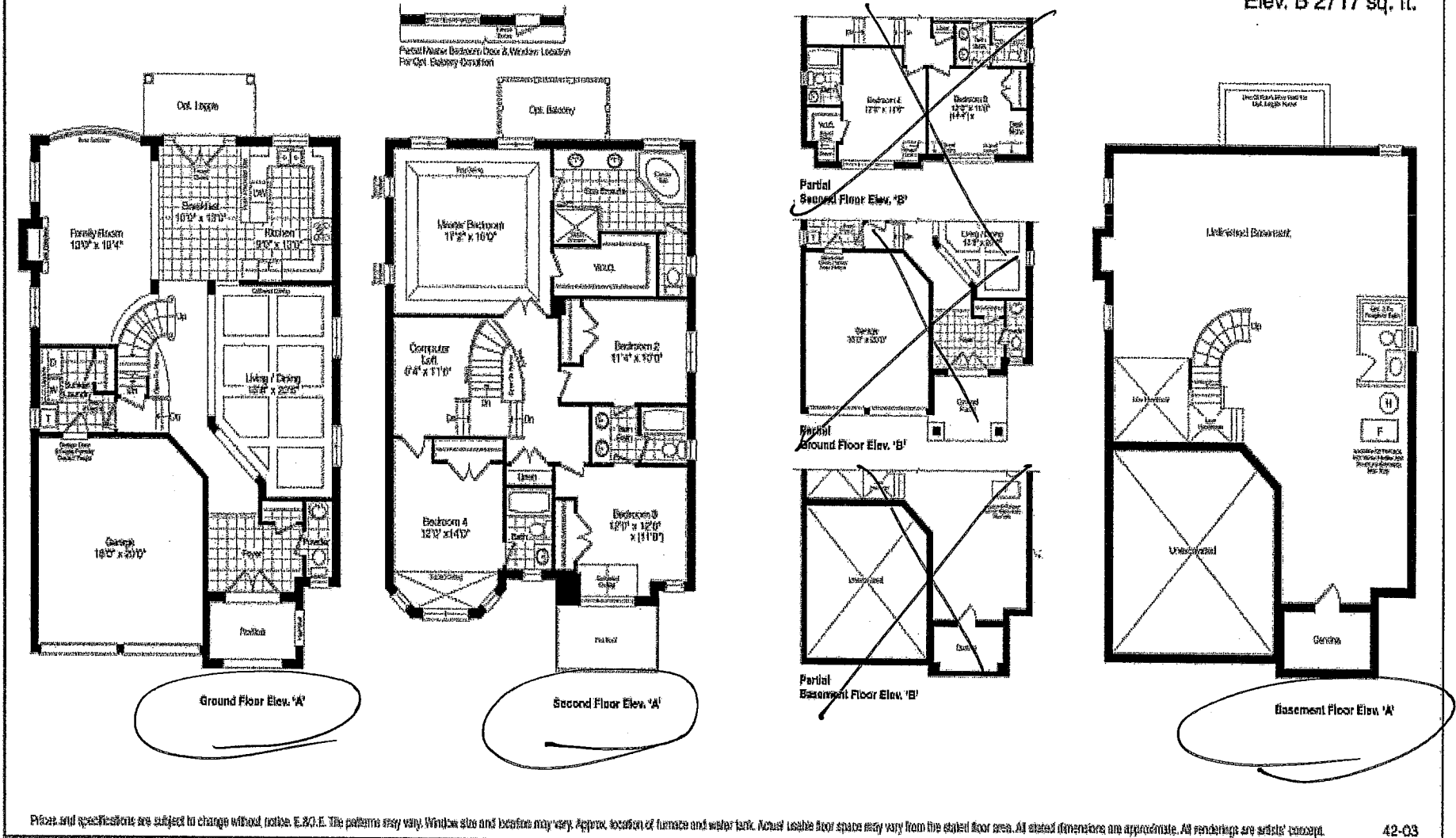
Y for

Purchaser: COLIN HUTCHISON

Purchaser: SILVIA CARRIERE

SCHEDULE "FLP"  
FLOOR PLAN

CASPIAN  
Elev. A 2745 sq. ft.  
Elev. B 2717 sq. ft.



Vendor's Initials

Purchaser's Initials

Purchaser's Initials

Lot No.:86 Plan No.: Vendor: Zancor Homes (King City) Ltd