



ZANCOR HOMES

PURCHASER REQUEST FOR EXTRAS

Purchaser: Liliana Carrasco & C. Huetelbaum
Res. No: 647-391-8795 Bus. No: (9) 417-8795

Subdivision: Kings Ridge

Lot No. <u>86</u>	House Type <u>Caspiria</u>	Elevation <u>P</u>	Date Required	Date Ordered
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"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	(2)	10 ft. ceilings to rejoin of floor with hinged windows holders on each 8 ft.	[REDACTED]
	(3)	hallway door, open stairs to basement remove door at top of basement stairs. Upgrade stairs to Oak Natural Finish incl. painted trim and finished walls on both sides of stairs with oak nail 4'x4' landing at head of stairs with floor to supplied trimmer & locking carpet & floor. Stained Samples	[REDACTED]
		SUB-TOTAL	[REDACTED]
		TOTAL AMOUNT	[REDACTED]

Conditions: \$1,100 on Change [REDACTED] added on Command.

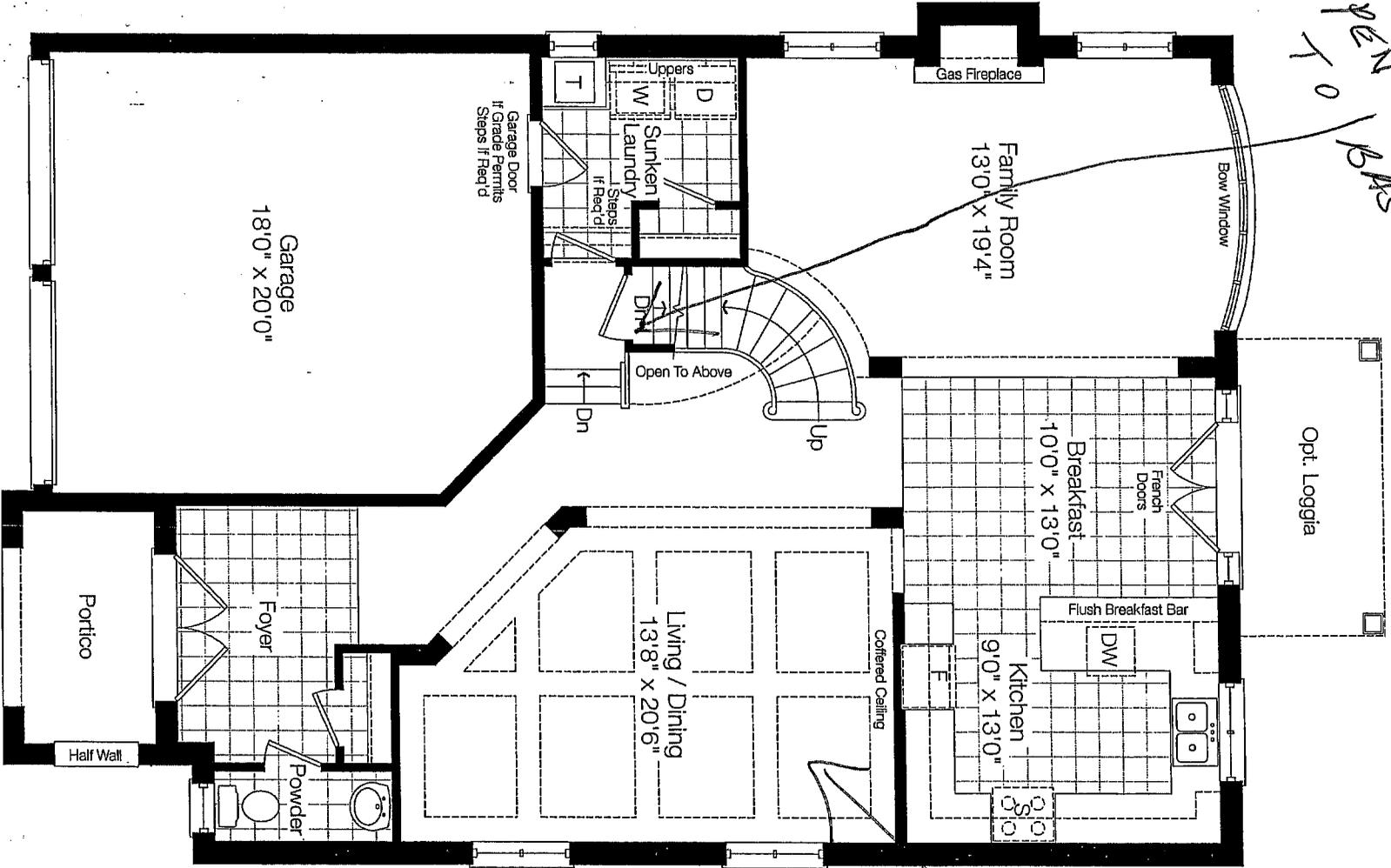
- The above referenced parties agree to the installation of the finishing extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
- The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
- All extras must be paid in full.
- If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
- The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
- Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
- All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUILDER: [Signature] HOME OWNER: [Signature]
 DATE: May 8 2012 DATE: May 6 / 12.

CASPIAN

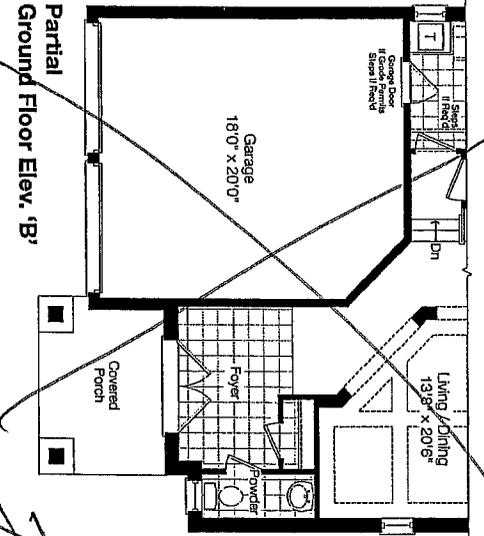
Elev. A 2745 sq. ft.
Elev. B 2717 sq. ft.

③ STRIKES
OPEN TO
BASEMENT



②
10 FT.
CEILING
TO
MAIN
FLOOR/
HIGHER
W/ ARCHES/
HIGHER
ARCHES)
8 FT.
HOLLOW
DOORS

Ground Floor Elev. 'A'



Partial
Ground Floor Elev. 'B'

20786

SG
C.H.

STRUCTURAL REQUIREMENTS*

ZANCOR HOMES

Purchaser(s): Colin Hutchinson & Linda Currie
 Subdivision: Spring Ridge

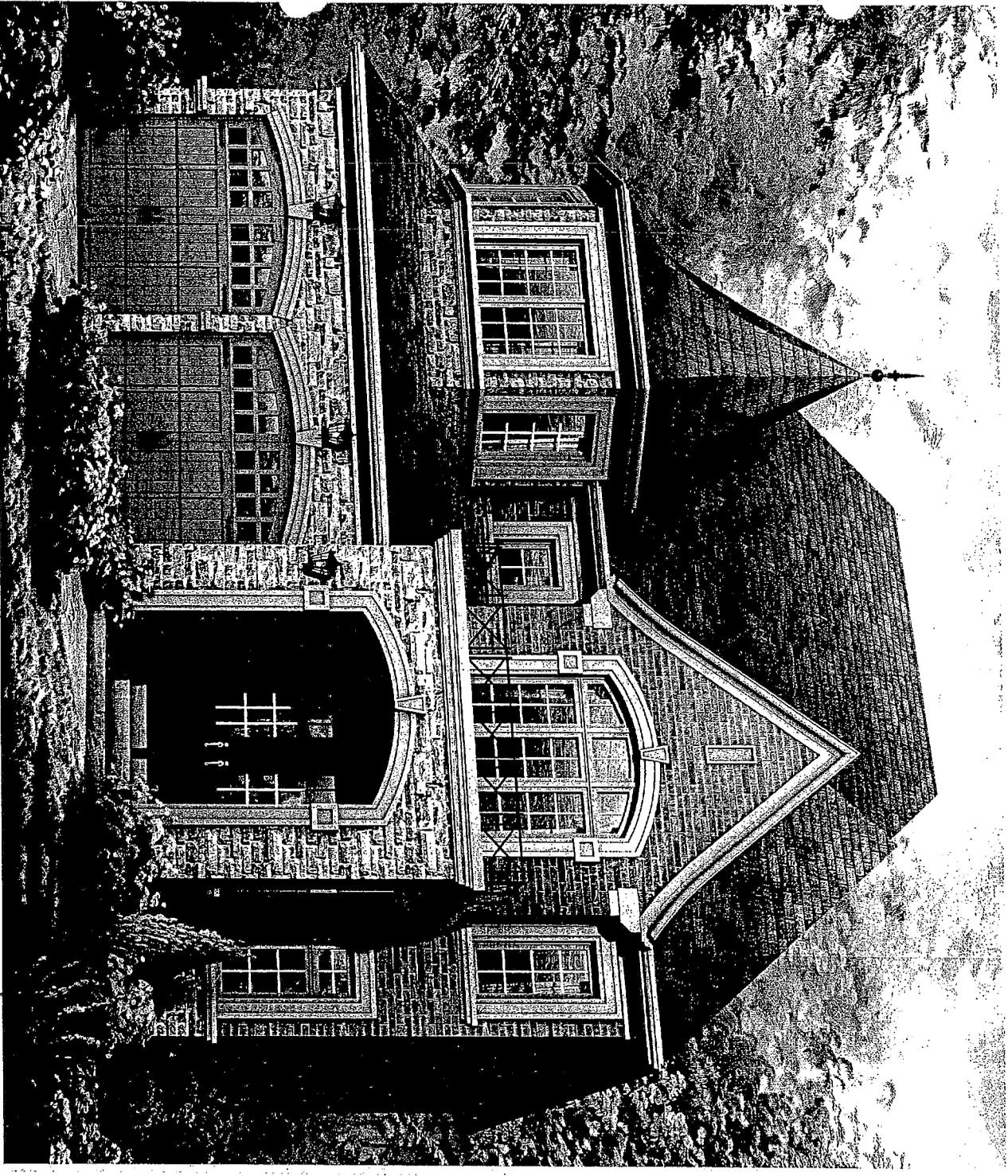
Lot No. 86 House Type Maple Elevation A Date _____

STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Larger Basement Windows	Y (N)		S. CH
• Additional Basement Windows	Y (N)		S. CH
• Upgraded Windows	Y (N)		S. CH
• 9' Basement	Y (N)	Included	S. CH
• 10' Main Floor	Y (N)		S. CH
• 9' 2nd Floor	Y (N)		S. CH
• Extra Window or Door Changes	Y (N)		S. CH
• Upgraded Window Grills	Y (N)		S. CH
• Optional Loggia	Y (N)		S. CH
• Optional Balcony	Y (N)		S. CH
• Skylights <small>(Location subject to trusses, engineering and architectural control)</small>	Y (N)		S. CH
• Brick Colour & Exterior Package	Y (N)	Pkg # <u>9</u>	S. CH
• Additional Fireplaces	Y (N)		S. CH
• Gas/Electric	Y (N)		S. CH
• Stair Upgrades (Maple)	Y (N)		S. CH
• Open Stairs to Basement	Y (N)		S. CH
• Open Riser Staircase	Y (N)		S. CH
• Hot Water Tank Information/Upgrades	Y (N)		S. CH
• Appliance Specification required from purchaser for time of kitchen selection	Y (N)	Date of Appointment:	S. CH
• Appointment with Kitchen manufacturer completed? (for Structural/Layout Changes)	Y (N)	Date of Appointment:	S. CH
• Is water line for fridge required?	Y (N)		S. CH
• Is gas line for stove required?	Y (N)		S. CH
• Are smooth ceilings required?	Y (N)	Included	S. CH
• Plumbing Changes	Y (N)		S. CH
• Bathtubs - Changes to Style/Size/Location	Y (N)		S. CH
• Frameless Glass Shower	Y (N)		S. CH
• Mirrors, Towel Racks to be installed?	Y (N)		S. CH
• Ensure Purchaser is aware of all ceiling designs in each room:			
• Cathedral Ceilings	Y (N)		S. CH
• Coffered Ceilings	Y (N)	open plan	S. CH
• High Ceilings	Y (N)		S. CH
• Water Heater/Furnace Upgrades	Y (N)		S. CH
• Energy Star Upgrades / Increase Insulation	Y (N)		S. CH
• Noise Insulation	Y (N)		S. CH
• Upgrade to 200 amp electrical service	Y (N)		S. CH

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

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Elev. A 2745 sq. ft.



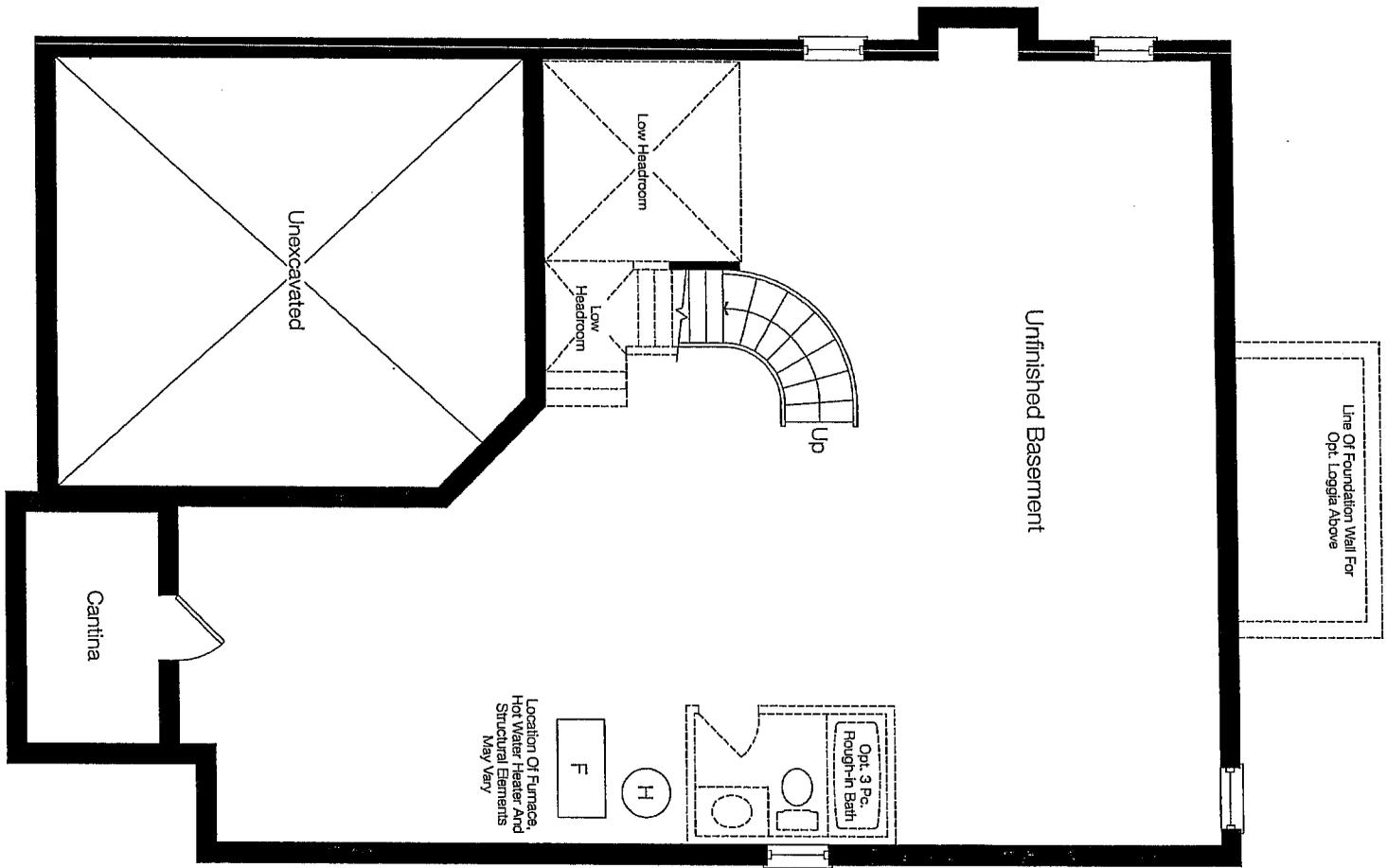
Lot 86

FC
Sharon Crane
E. North

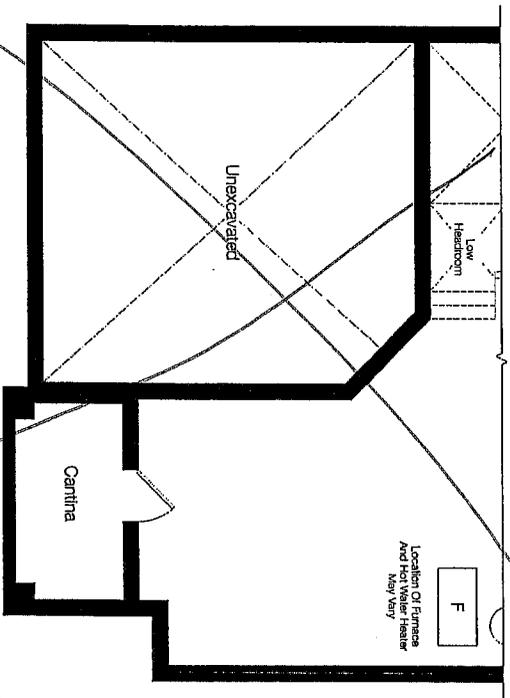
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Elev. A 2745 sq. ft.

Elev. B 2717 sq. ft.



Basement Floor Elev. 'A'

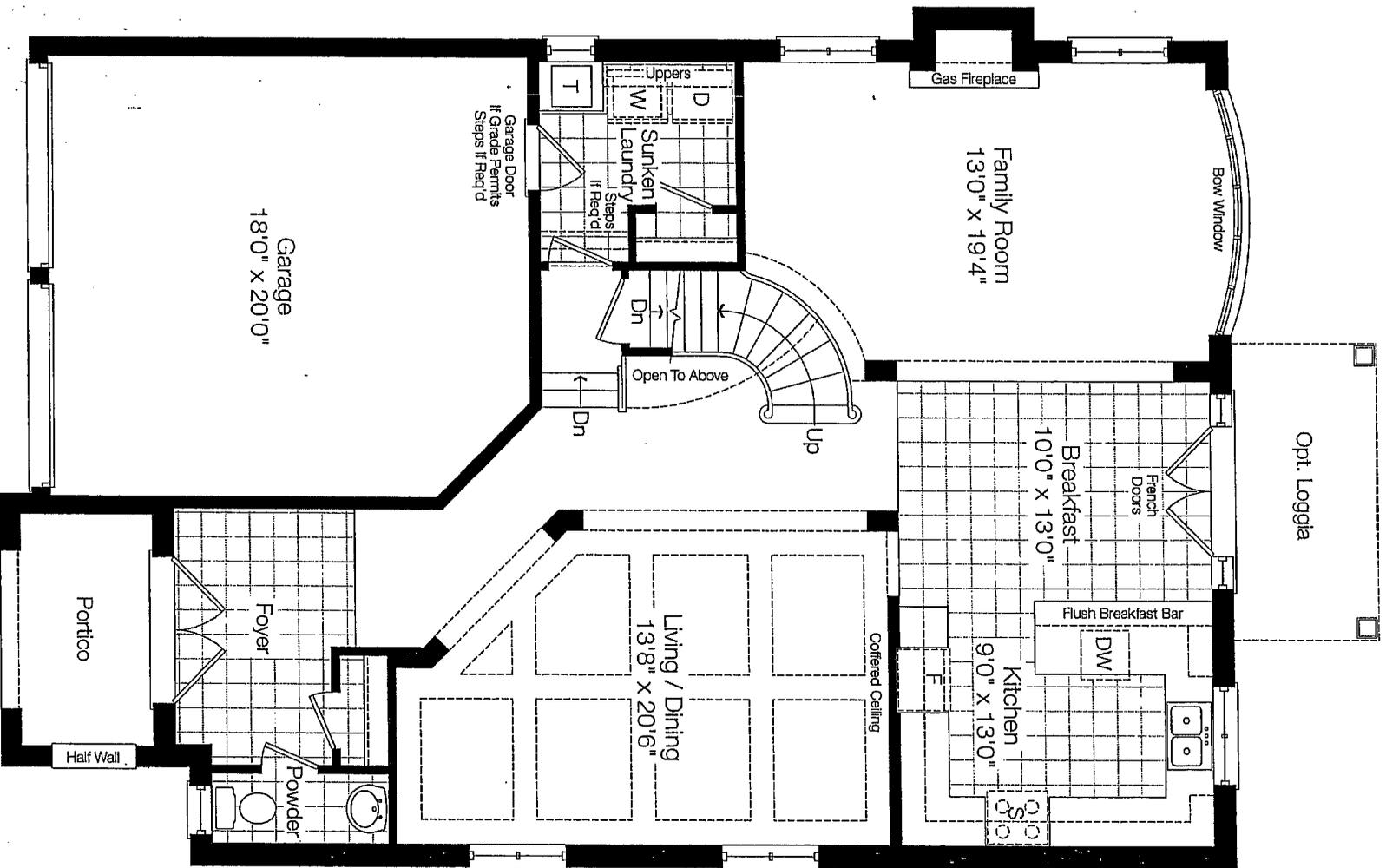


Partial Basement Floor Elev. 'B'

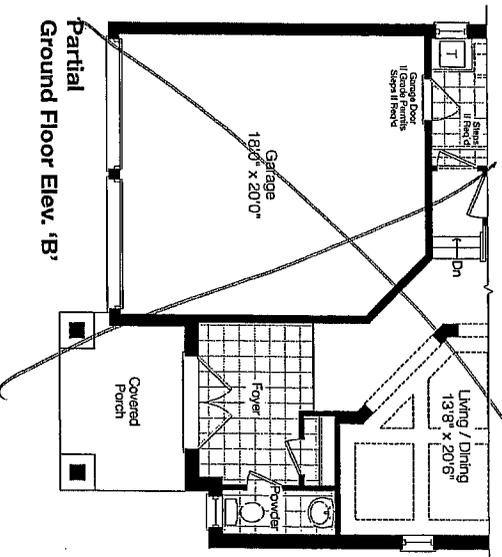
Handwritten signatures and initials:
JST
86
S.E.
C.R.

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Elev. A 2745 sq. ft.
Elev. B 2717 sq. ft.



Ground Floor Elev. 'A'



Partial
Ground Floor Elev. 'B'

Handwritten: 2/18/86

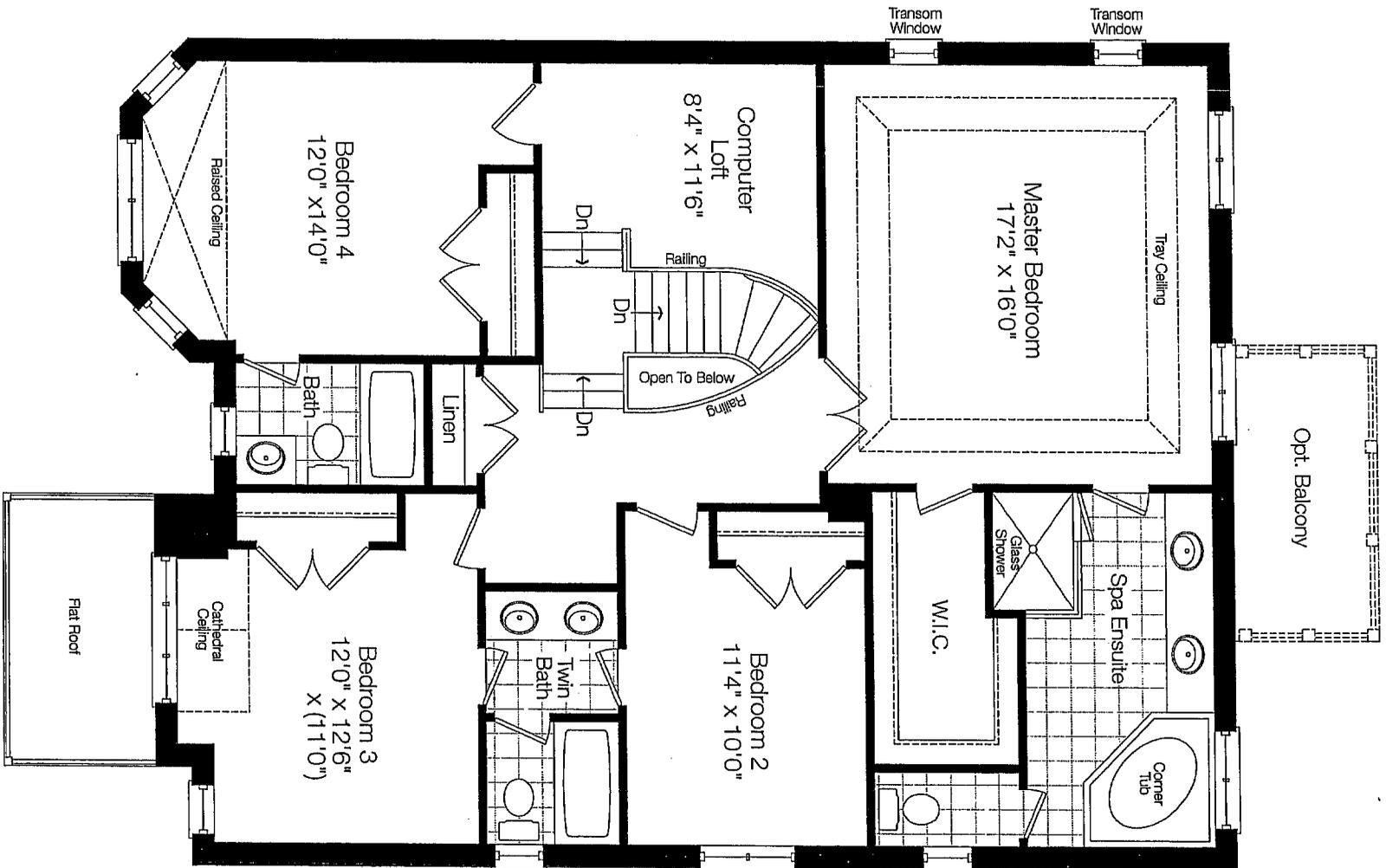
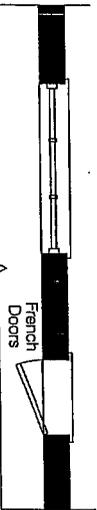
Handwritten: S.C. RA

CASPIAN

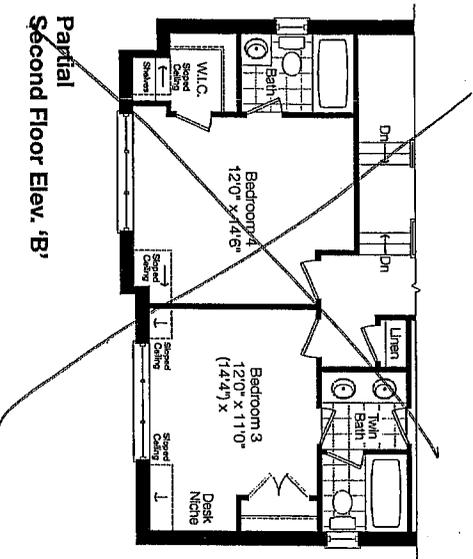
Elev. A 2745 sq. ft.

Elev. B 2717 sq. ft.

Partial Master Bedroom Door & Window Location
For Opt. Balcony Condition



Second Floor Elev. 'A'



Partial
Second Floor Elev. 'B'

Handwritten notes and signatures: '186', 'SIC', and a signature.



**ZANCOR
HOMES**

BRICK SELECTION REQUEST*

To be completed at time of Structurals

LOT #: 86

IN THE CITY OF: King

MODEL TYPE: Caspiran ELEVATION: A

BETWEEN:
Janner Rome
as VENDOR

AND
Colin Hutchison & Miriam Corneil
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 9

SECOND CHOICE: 8

THIRD CHOICE: 11

Dated at King this 2 day of May 2012
(Day) (Month) (Year)

[Signature]
Witness
[Signature]
Purchaser

[Signature]
Witness
[Signature]
Purchaser



SCHEDULE "E"

PURCHASER'S EXTRAS

ZANCOR HOMES

Vendor Zancor Homes (King City) Ltd	Purchaser(s) COLIN HUTCHISON SILVIA CARRIERE Telephone Number: 905-417-8795
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Lot Number 86	House Type Caspian (42-3) Elev A	Reg. Plan #	Closing Date As Per Agreement	Date Ordered 03-Apr-2012
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IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1. IN LIEU OF [REDACTED] IN UPGRADES PACKAGE PURCHASER HAS TAKEN THE [REDACTED] PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS

Conditions:

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- Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

Y for _____ Purchaser: COLIN HUTCHISON

_____ Purchaser: SILVIA CARRIERE

_____ Purchaser: SILVIA CARRIERE

