

N

Purchaser: IANNUZZI GARROKHIAN
Res. No: 289-234-0117 Bus. No: _____

Bus. No: _____

King's Ridge.

ADAMS

[illegible]

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchasers extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.

7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$5000.

DATE:

DATE:

HOME OWNER: See attached eme
DATE: July 11/12 from the measure

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any person can be properly built or located on its lot.

1. is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Township of KING.

ARCHITECTURAL REVIEW & APPROVAL

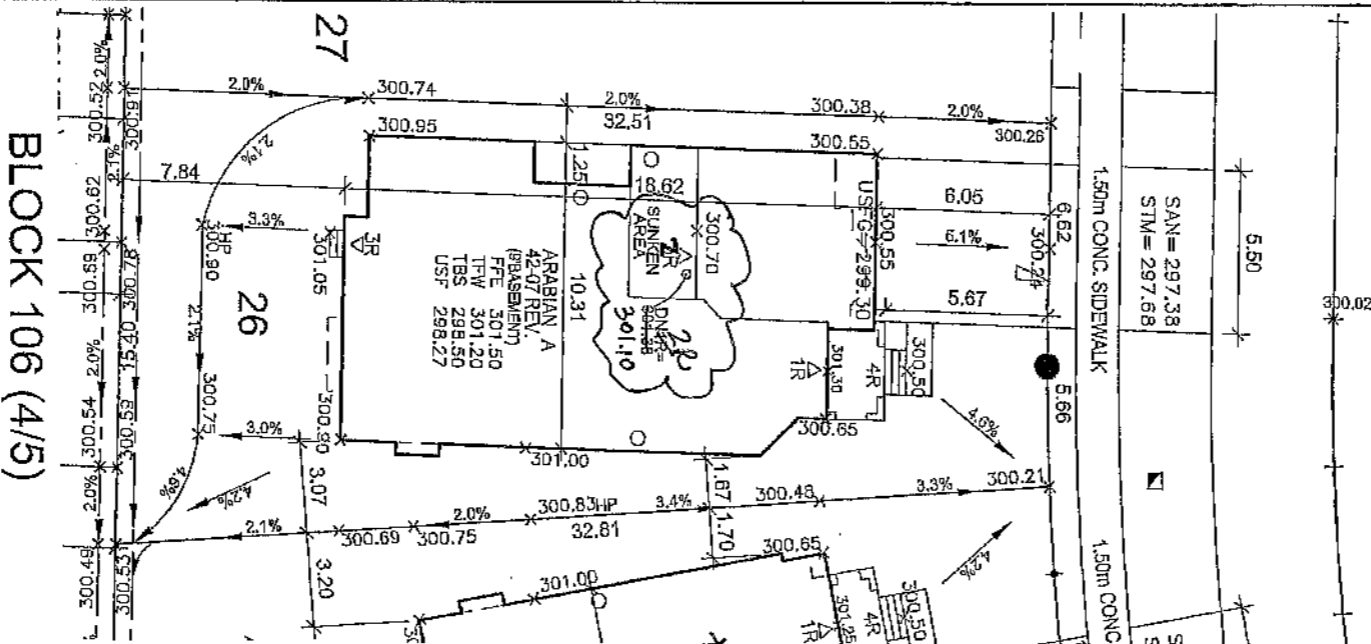
MAY 30 2012

John G. Williams Limited Architects

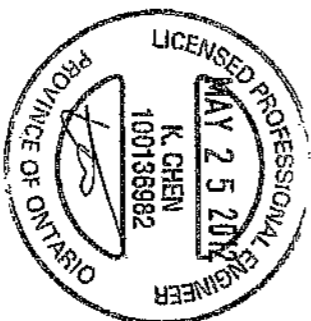
LOT GRADING NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The existing spot elevations are very close to the existing ground surface.
- 3) The proposed grading is based on the existing ground surface and may not represent actual existing conditions.
- 4) Footings must have an undisturbed soil or rock, and be a minimum of 1.2m in below finished grade.
- 5) Existing existing, thresholds, steel window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be designed to meet the minimum of 1.2m in below finished grade by a MIN of 4 mm.
- 7) Any above ground utilities not meeting the above noted minimum requirements are permitted to achieve the clearance.
- 8) All above ground utilities not meeting the above noted minimum requirements are permitted to achieve the clearance.
- 9) All above ground utilities not meeting the above noted minimum requirements are permitted to achieve the clearance.
- 10) All above ground utilities not meeting the above noted minimum requirements are permitted to achieve the clearance.
- 11) All above ground utilities not meeting the above noted minimum requirements are permitted to achieve the clearance.
- 12) Where a lot is subdivided, the proposed grading shall be based on the existing ground surface.

LILLY VALLEY CRESCENT



NOTES:
ALL STAIRS ACCESSING FRONT ENTRY TO BE POURED-IN-PLACE PER SEC. 4.4 FOUND IN KING NORTH / KING DUFFERIN / KINGSHIRE ESTATES.



NOTES:

- Builder to verify storm and sanitary service lateral elevations prior to pouring footings
- Extend footings at front to ensure 1.25M cover (Min)
- Garage footings to extend to original ground or as directed by soils engineer.

PROVED FOR GRADING

1. I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) 26 and hereby certify that
2. The proposed grading and eaportant drainage works comply with sound engineer principles.
3. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
3. The proposed building is compatible with the proposed grading.

VALDOR ENGINEERING INC.

Date:

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRAULIC STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF WORK DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO BE RESPONSIBLE AT HIS OWN EXPENSE.

CLIENT
ZANCOR HOMES

PROJECT/LOCATION
KING CITY
KING CITY, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS
REG. PLAN NO. 65M-4295

ZONE	R4
LOT NUMBER	26
LOT AREA(m) ²	N/A
BLDG AREA(m) ²	N/A
LOT COVER(AGE)(%)	N/A
No. OF STOREYS	2
MEAN HEIGHT(m)	8.57
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND

FPE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USP	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEP	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WDD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL PERISTAL	BELL PERISTAL
CABLE PEDISTAL	CABLE PEDISTAL
DEL. CATCH BASIN	DEL. CATCH BASIN
ENGINEERED FILL	ENGINEERED FILL
HYDRO CONNECTION	HYDRO CONNECTION
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
MAIL BOX	MAIL BOX
TRANSFORMER	TRANSFORMER
WATER VALVE	WATER VALVE
WATER CONNECTION	WATER CONNECTION
SEWER CONNECTIONS	SEWER CONNECTIONS
2 LOTS	2 LOTS
SEWER CONNECTIONS	SEWER CONNECTIONS
1 LOT	1 LOT
AIR CONDITIONING	AIR CONDITIONING
DOWN SPOUT TO SPLASH PAD	DOWN SPOUT TO SPLASH PAD
SWALE DIRECTION	SWALE DIRECTION
CHAINLINK FENCE	CHAINLINK FENCE
PRIVACY FENCE	PRIVACY FENCE
SOUND BARRIER	SOUND BARRIER
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE

NO.	DESCRIPTION	DATE	DWN/CHK
1	ISSUED FOR REVIEW (SITE)	MAY/07/12	NC NC
2	ISSUED FOR FINAL	MAY/14/12	NC NC

1. NELSON CUNHA
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN
1. NELSON CUNHA
I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN

1. Nelson Cunha declare that I have reviewed and take design responsibility for the design work on behalf of RN Design Limited under Division C, Part 3, subsection 5.2.4 of the Building Code, I am qualified, and the firm is registered in the appropriate class category.
QUALIFIED DESIGNER RITA ZANCOR
RITA ZANCOR
MAY 30 2012
DATE
SIGNATURE

DRAWN BY
NC
SCALE
1:250
PROJECT NO.
09011
LOT NUMBER
26

Imagine • Inspire • Create
RN design
TEL: (905) 739-9177
FAX: (905) 739-9177
CIVIL@RNDDESIGN.COM

Joanne Alcaro

From: Iannuzzi, Marco [Marco.Iannuzzi@td.com]
Sent: Tuesday, July 10, 2012 5:05 PM
To: Joanne Alcaro
Subject: RE: Lot 26 King
Attachments: "AVG certification".txt

Hi Joanne,

That is fine. Please go ahead with your proposal.

Thank you,

Marco Iannuzzi, B.Comm, CFP | Financial Planner | TD Waterhouse Financial Planning
Hillcrest Mall | 9350 Yonge Street, Richmond Hill, Ontario L4C 5G2
T: 905 737 6799 | F: 905 737 6454

From: Joanne Alcaro [mailto:Joanne@zancorhomes.com]
Sent: Tuesday, July 10, 2012 2:08 PM
To: Iannuzzi, Marco
Subject: Lot 26 King

Hi Mr. Iannuzzi
I just wanted to let you know that in order to accommodate for the garage man door (door from garage to the house) we were proposing to sink the powder room/closet area by 2 risers with 2 risers into your garage. Please acknowledge that you are okay with this proposal as we are in the process of commencing construction on your home.
Please contact me if you have any concerns or require clarification.

Thanks
Joanne



ZANCOR

HOMES

Joanne Alcaro

137 Bowes Road, Concord, Ontario L4K 1H3
Tel. (905)738 7010 Fax (905)738 5948

Joanne@zancorhomes.com

www.zancorhomes.com

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N

Purchaser: M. Samson & M. Shadrach Blum
Res. No.: 647-294-5699 Bus. No.: _____

Res-No: 647-29
James R. Child

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
		BRICK CHANGE	
		New Brick Scheme # 12	
		Credit of [REDACTED]	[REDACTED]
		to be used at [REDACTED]	[REDACTED]
		(color short time)	[REDACTED]
		(originally paid by [REDACTED])	[REDACTED]
		to be used on March 19/12	[REDACTED]
		this [REDACTED] was for	[REDACTED]
		the upgraded brick.	[REDACTED]
		SUB-TOTAL	
		HST	
		TOTAL AMOUNT ▶	

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2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

HOME OWNER: Michael
LICENSEE: David

April 26, 2012

April 23/12

CHAXICE

**ZANCOR
HOMES**

BRICK SELECTION REQUEST*

To be completed at time of Structural

LOT #:

26

IN THE CITY OF:

King

MODEL TYPE:

Arbrius

ELEVATION:

4

BETWEEN:

as VENDOR

Zancor Homes

AND

as PURCHASERS

Marc & Mary V. Garadachian

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE:

12

SECOND CHOICE:

—

THIRD CHOICE:

—

Dated at

King

this

23

(Day)

day of

April

(Month)

2012

(Year)

Witness

[Signature]

Purchaser

[Signature]

Witness

[Signature]

Purchaser

Maria Garadachian

**ZANCOR
HOMES**

PURCHASER REQUEST FOR EXTRAS
Purchaser: M. Tammami & M. Tammami
Res. No: 289-234-017 Bus. No: 647-294-5699

Subdivision: King's Bridge

Lot No.	House Type	Elevation	Date Required	Date Ordered
<u>26</u>	<u>Medium</u>	<u>14.</u>		

"OFFICE USE ONLY"	ITEM	DESCRIPTION	PRICE
	④	Upgrade Brick	
		Upgrade #13	
	⑤	Windows Only	
	⑥	Inclusion of standard glass sliders in garage 10 mm	
		Frameless glass sliders.	
	⑦	Additional windows to living room to be built in between existing windows	
	⑧	delete 12 transoms windows in master bedroom (for allowable window coverage)	
SUB-TOTAL			
HST			
TOTAL AMOUNT ▶			

Conditions:

1. The above referenced parties agree to the installation of the following extras at the prices shown above in accordance with the terms and conditions set out in the purchaser's extra agreement.
2. The prices quoted on this request for extras sheet are contingent upon the extras being ordered within 14 days of acceptance on the offer. Should the purchaser wish to add any of this items at a later date, then the new prices will be quoted.
3. All extras must be paid in full.
4. If the sale of the above extras are not completed (due to the purchaser not completing the contract) any amount paid for these extras shall be kept in full by the builder, given that any work on the above extras has begun or if materials have been ordered.
5. The Builder does not have to accept any additional extras, upgrades or changes from the Purchaser once this form has been approved by the Builder.
6. Any additional extras or upgrades will only be accepted if they are in writing and approved by the Builder. Verbal extras or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BL ER:

TE:

HOME OWNER:

HOME OWNER:

DATE:

ZANGOR

PURCHASER REQUEST FOR EXTRAS

Res. No. 89-234-017 BLS. No.:

REC. NO. 2034-211 FILE NO. 2034-211

11/11/11

Subdivisions:

Runoff Type	Flow	Elevation	Depth
	10.0	10.0	10.0

ITEM	DESCRIPTION	PRICE
	CLARIFICATION	
9	Re: Windows	
	To accommodate other windows we having been delete windows in master units as shown.	
	* Also #8 on PES dated Feb 28/12 Still delete those windows	
	SUB-TOTAL	
	HST	
	TOTAL AMOUNT ▶	

Conclusions

1. The above referenced parties agree to the installation of the following unit as the price shown above in accordance with the terms and conditions set out in the purchaser order agreement.
2. The prices quoted on this request for quote sheet are contingent upon the order being ordered within 30 days of acceptance on the offer. Should the purchaser wish to add any of the items at a later date, then the new prices will be quoted.
3. All orders must be paid in full.
4. If the number of the above items are not completed (due to the purchaser not completing the contract) any amount paid for these items shall be kept in full by the builder, given that any work on the above order has begun or it materials have been ordered.
5. The builder does not have to accept any additional orders, upgrades or changes from the purchaser once the form has been approved by the builder.
6. Any additional orders or upgrades will only be accepted if they are in writing and approved by the builder. Verbal orders or upgrades will not be acknowledged as part of the agreement.
7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.

BUILDER:

DATE April 14, 2012

HOME OWNER:

HOME OWNER:

DATE:

DATE: April 4/13



STRUCTURAL REQUIREMENTS*

**ZANCOR
HOMES**

Purchaser(s) Mr. Jamnagis & Mr. Shashankhlian
Subdivision: Spring Ridge

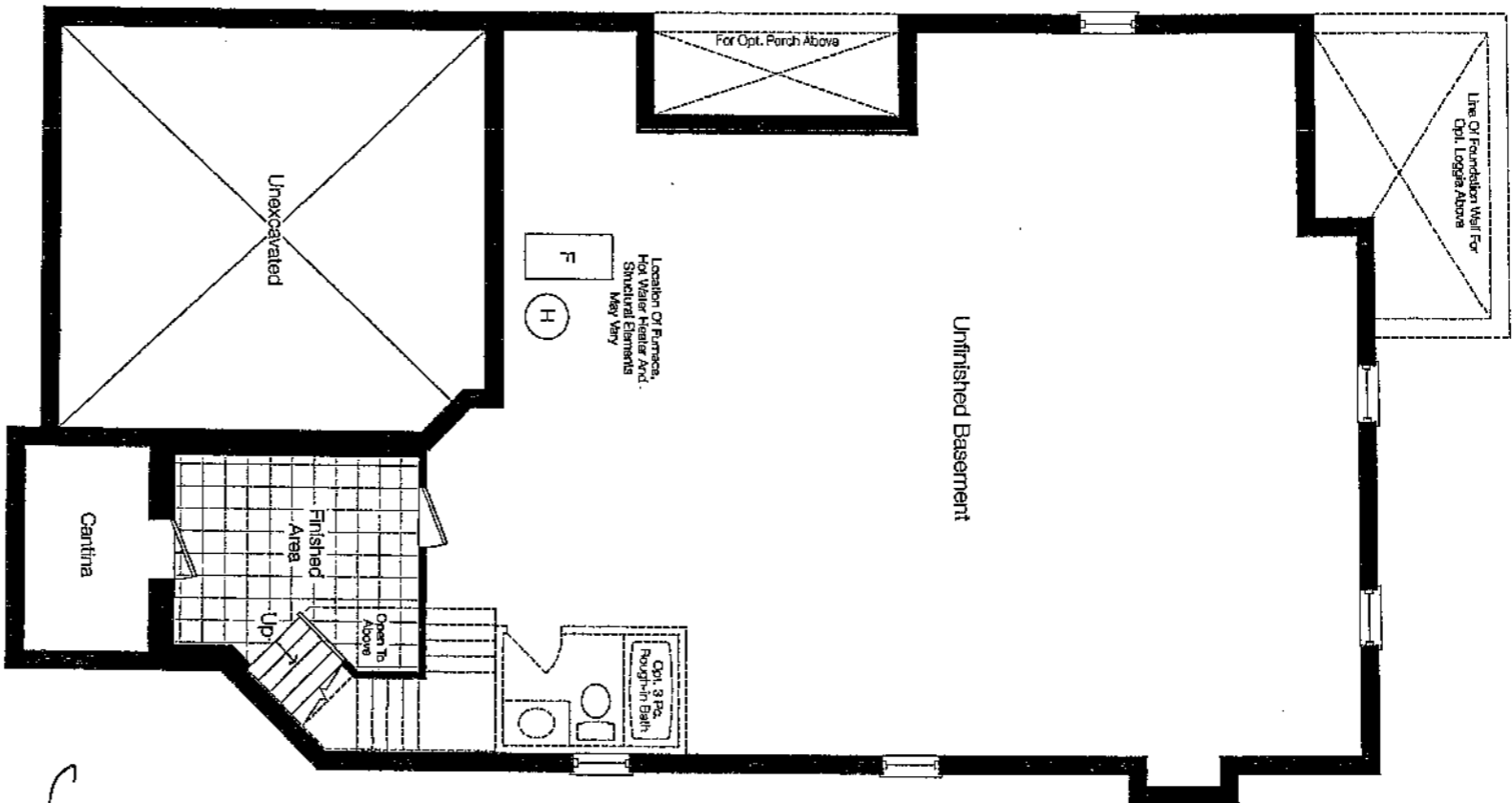
Lot No. <u>26</u>	House Type <u>Cathedral</u>	Elevation <u>A</u>	Date
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STRUCTURAL ITEMS	YES/NO Please Circle One	DESCRIPTION / NOTES	INITIAL
• Large Basement Windows	Y / (N)		M. / M.
• Additional Basement Windows	Y / (N)		M. / M.
• Upgraded Windows	Y / (N)		M. / M.
• 9' Basement	(Y) / N	Excluded	M. / M.
• 10' Main Floor	Y / (N)		M. / M.
• 9' 2nd Floor	Y / (N)		M. / M.
• Extra Window or Door Changes	(Y) / (N)		M. / M.
• Upgraded Window Grills	Y / (N)		M. / M.
• Optional Loggia	Y / (N)		M. / M.
• Optional Balcony	Y / (N)		M. / M.
• Skylights	Y / (N)		M. / M.
• Brick Colour & Exterior Package	(Y) / N	Pkg # <u>13</u>	M. / M.
• Additional Fireplaces	Y / (N)		M. / M.
• Gas/Electric	Y / (N)		M. / M.
• Stair Upgrades (Maple)	Y / (N)	as per plan	M. / M.
• Open Stairs to Basement	(Y) / N		M. / M.
• Open Riser Staircase	(N) / (Y)		M. / M.
• Hot Water Tank Information	Y / (N)		M. / M.
• Appliance Specification required from purchaser - 2 weeks from time of Colour Selection	(Y) / N		M. / M.
• Appointment with Kitchen manufacturer required? (for Structural/Layout Changes)	(Y) / N		M. / M.
• Is water line for fridge required?	Y / (N)		M. / M.
• Is gas line for stove required?	Y / (N)		M. / M.
• Are smooth ceilings required?	(Y) / N	Excluded	M. / M.
• Mirrors, Towel Racks to be installed?	Y / N	Mirrors Only	M. / M.
• Water Heater/Furnace	(Y) / (N)		M. / M.
• Ensure Purchaser is aware of all ceiling designs in each room:			M. / M.
• Cathedral Ceilings	(Y) / (N)		M. / M.
• Coffered Ceilings	Y / (N)		M. / M.
• High Ceilings	Y / (N)		M. / M.
• Energy Star Upgrade	Y / (N)		M. / M.
• Frameless Glass Shower	(Y) / N		M. / M.

*Please Note: This sheet is meant to be used as a check list; mainly for siting purposes. In no way does it replace a Purchaser Request for Extras Form.

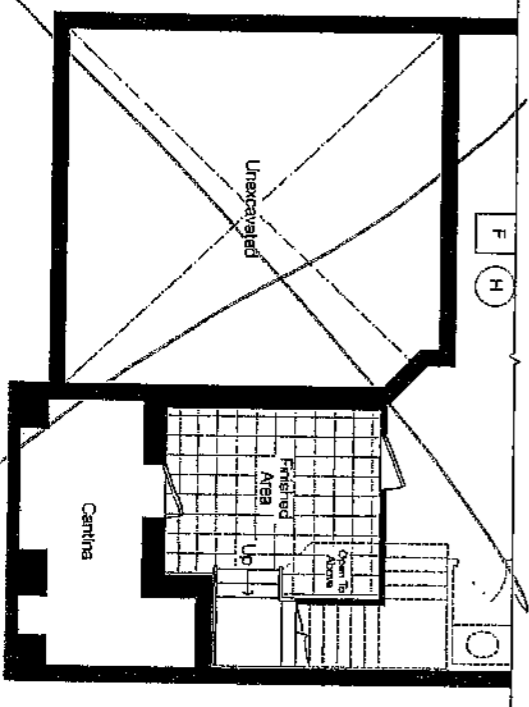
ARABIAN

Elev. A 3419 sq. ft.
includes 111 sq. ft. fin. lower level
Elev. B 3420 sq. ft.
includes 109 sq. ft. fin. lower level



Basement Floor Elev. 'A'

28826



Partial
Basement Floor Elev. 'B'

all-
fr

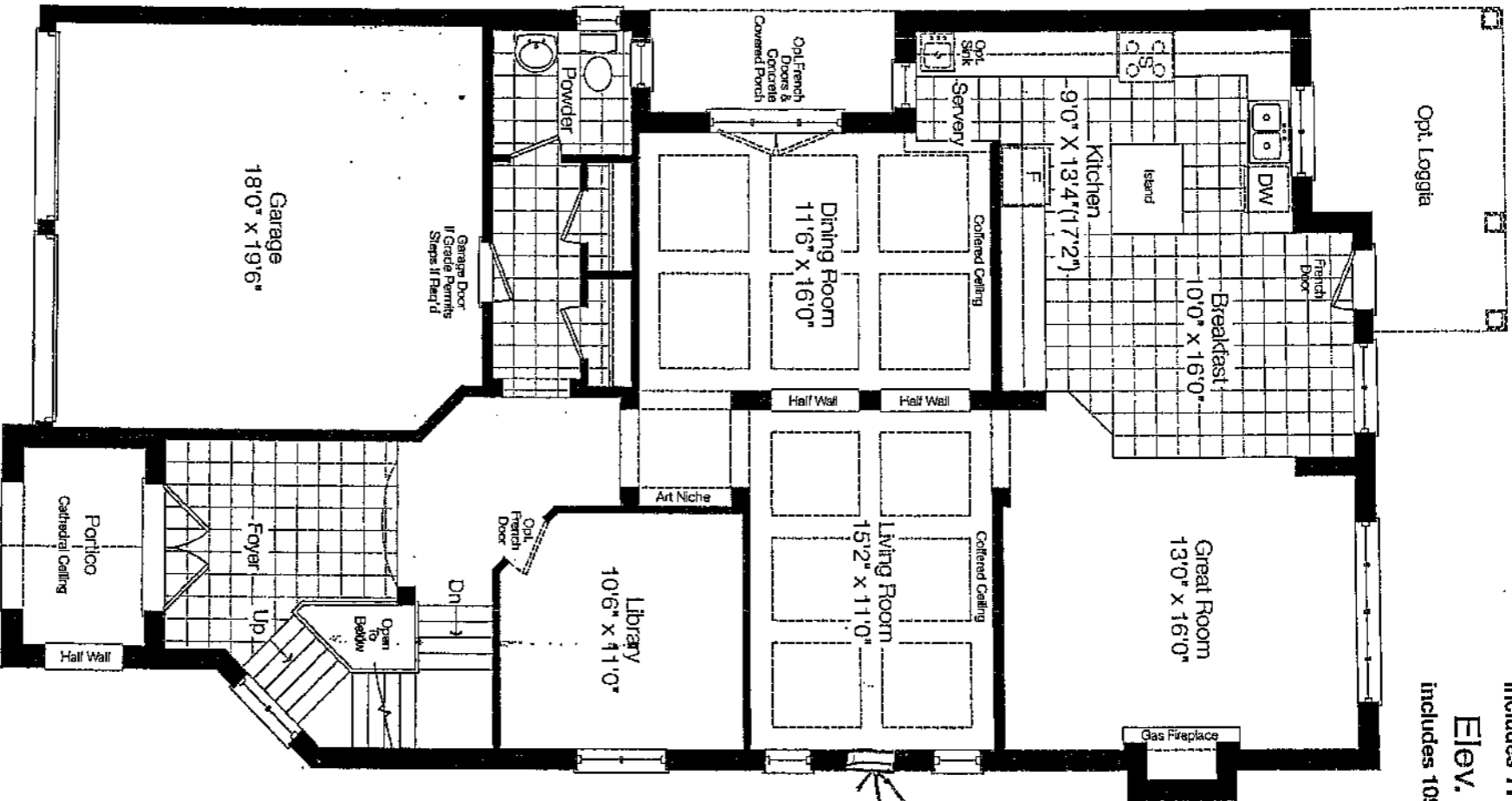
ARABIAN

Elev. A 3419 sq. ft.

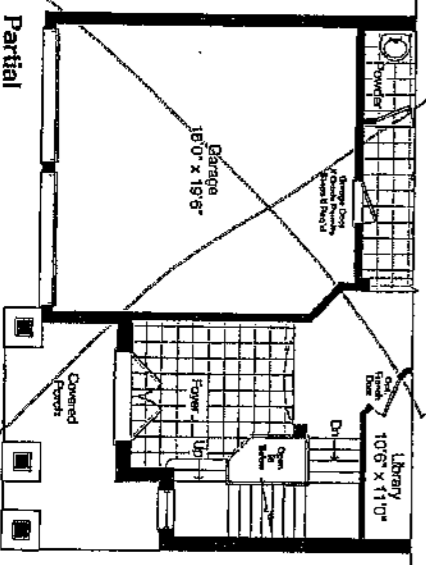
includes 111 sq. ft. fin. lower level

Elev. B 3420 sq. ft.

includes 109 sq. ft. fin. lower level



Ground Floor Elev. 'A'



Partial Second Floor Elev. 'B'

⑦ M.H.
N.I.
WINDOW
SAME AS
ON
BOTH SIDES

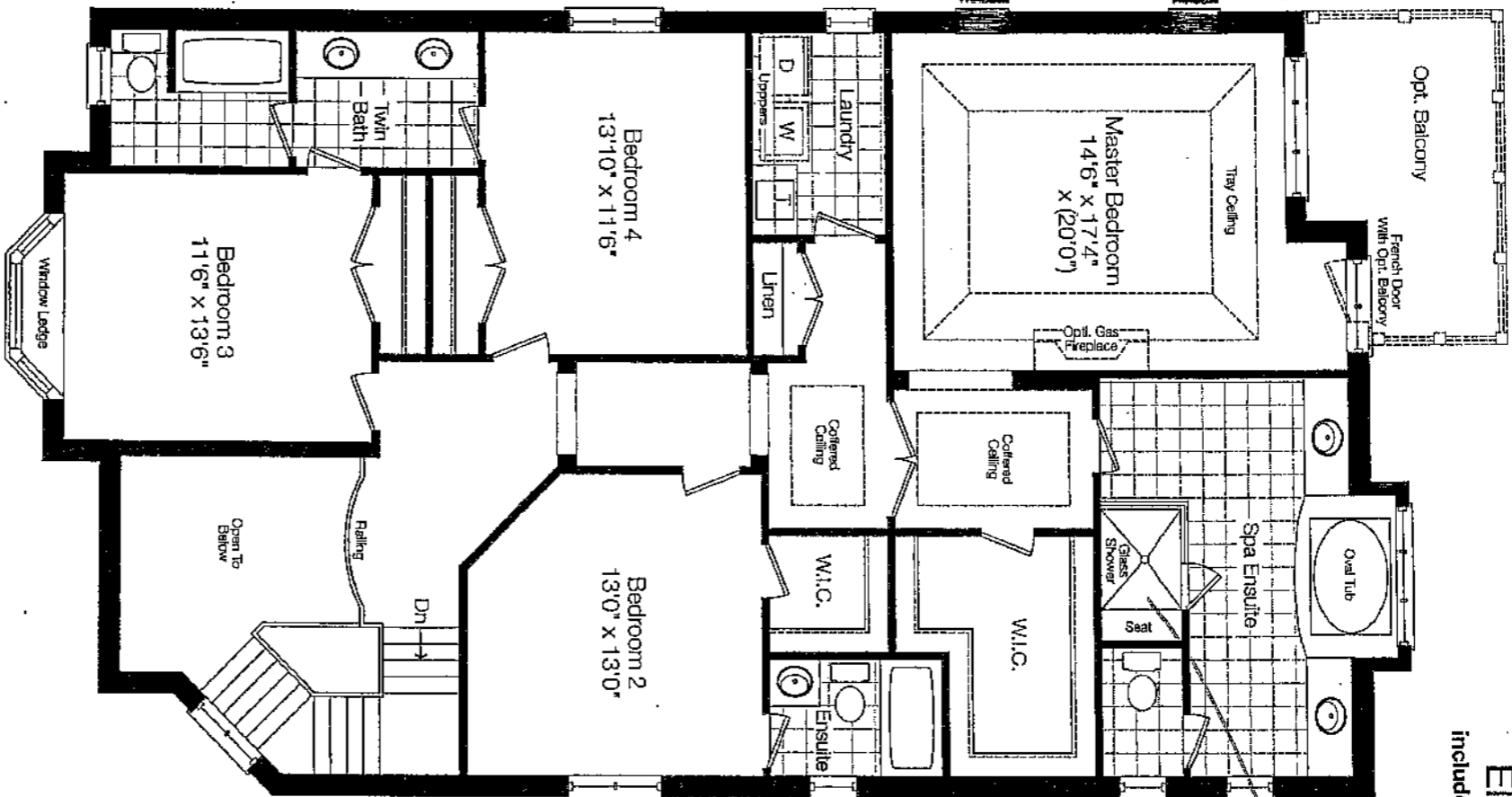
28826

M.H.
N.I.
a

ARABIAN

Elev. A 3419 sq. ft.
includes 111 sq. ft. fin. lower level

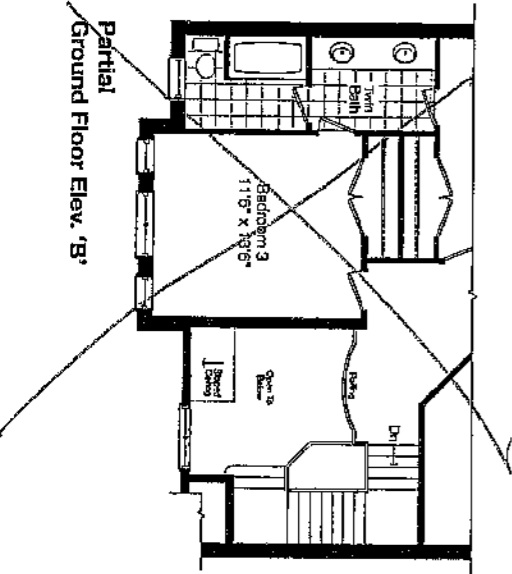
Elev. B 3420 sq. ft.
includes 109 sq. ft. fin. lower level



⑧
DELETE 2
TRANSOM
W/ WINDOWS

⑩
FRAMELESS
GLASS
SHOWER
N.I.

Second Floor Elev. 'A'



28826

**ZANCOR
HOMES**

BRICK SELECTION REQUEST*
To be completed at time of Structural

LOT #: 26

IN THE CITY OF: King

MODEL TYPE: Qualrian ELEVATION: A

BETWEEN:

James D. Jones
as VENDOR

AND

Marcus Jamnagis & Maria Stanakobliaris
as PURCHASERS

*IT IS HEREBY UNDERSTOOD AND AGREED BY THE PURCHASER THAT THE FOLLOWING IS A
REQUEST ONLY AND THAT THE VENDOR DOES NOT GUARANTEE ANY OF THE BRICK
SELECTIONS AS LISTED BELOW. THE PURCHASER ACKNOWLEDGES THAT NO GUARANTEE IS
WRITTEN OR IMPLIED. ALL SELECTIONS ARE SUBJECT TO ARCHITECTURAL CONTROL.

FIRST CHOICE: 13 Hopedale Rdg.

SECOND CHOICE: -

THIRD CHOICE: -

Dated at King this 28 day of Feb. 2011
(Day) (Month) (Year)

[Signature]
Witness
[Signature]
Witness

[Signature]
Purchaser
[Signature]
Purchaser

SCHEDULE "E"
PURCHASER'S EXTRAS

**ZANCOR
HOMES**

For Zancor Homes (King City) Ltd		Purchaser(s) MARCO IANNUZZI MARIA GARADAKHLIAN Telephone Number: 289-234-0117	
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Lot Number	House Type	Reg. Plan #	Closing Date As Per Agreement	Date Ordered
26	Arabian (42-7) Elev A			12-Feb-2012

IN ACCORDANCE WITH THE PROVISIONS OF THE AGREEMENT OF PURCHASE AND SALE, THE PURCHASER HEREBY AGREES TO PURCHASE THE FOLLOWING EXTRAS:

DESCRIPTION

1. UPGRADE #1 OAK STAINED HARDWOOD FLOORS TO UPPER HALL/MAIN HALL/LIBRARY/DINING ROOM/LIVING ROOM/GREAT ROOM. 2. STAIN OAK STAIRS AND RAILINGS. 3. UPGRADE RAILINGS TO #1 PURCHASER IS AWARE THEY ARE NOT ENTITLED TO ANY FURTHER PROMOTIONS BY THE VENDOR.
--

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7. All selections are final. Changes to the above are subject to a 20% administration fee. Minimum of \$1000.
8. Purchaser is aware they are not entitled to any further promotions by the builder. Promotions cannot be exchanged in any way.

Paid: Included in the purchase price

V		
or		

Purchaser: MARCO IANNUZZI

Purchaser: MARIA GARADAKHLIAN

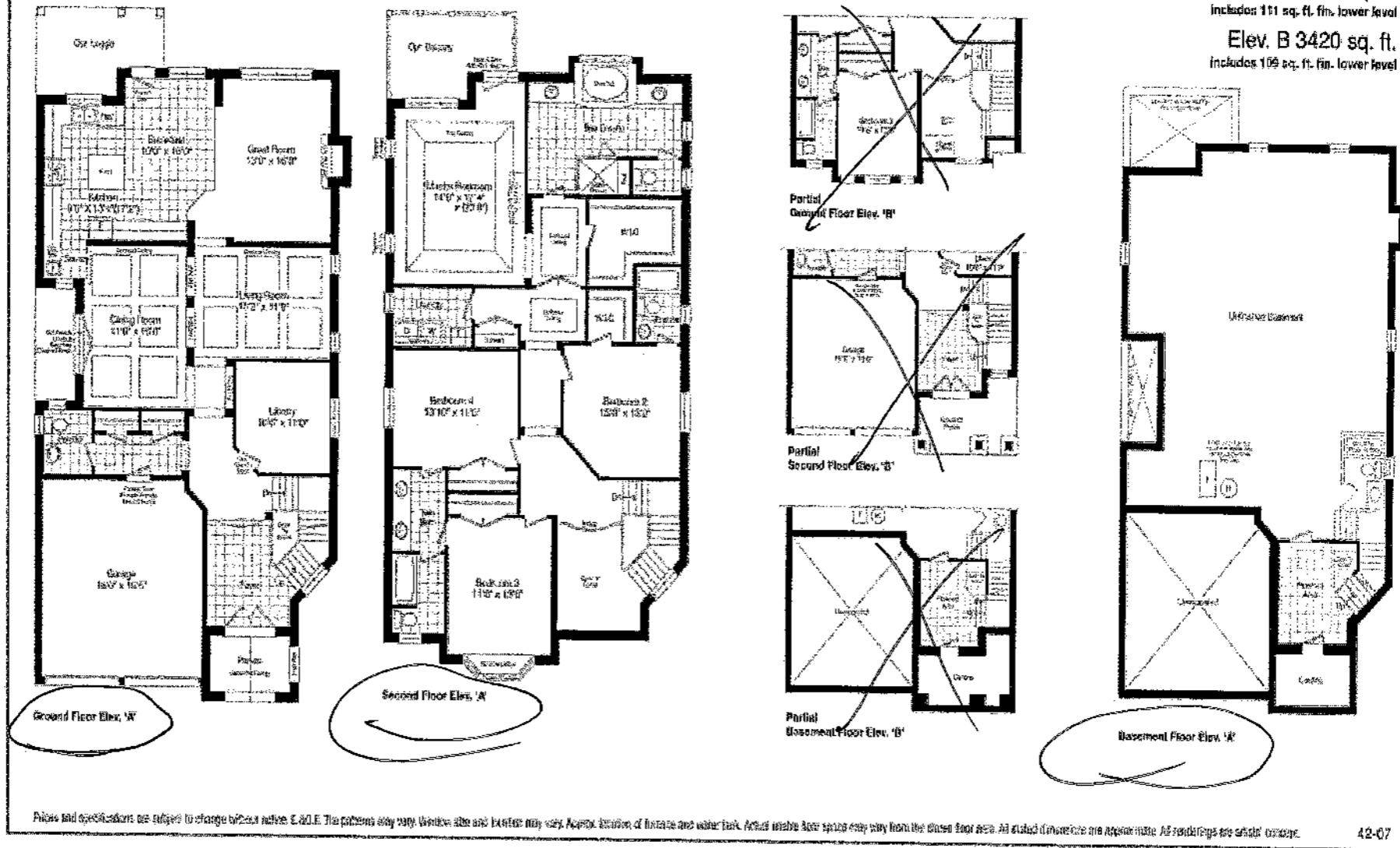
SCHEDULE "FLP"

FLOOR PLAN

ARABIAN

Elev. A 3419 sq. ft.
Includes 111 sq. ft. fin. lower level

Elev. B 3420 sq. ft.
Includes 109 sq. ft. fin. lower level



Vendor's Initials

kl.

Purchaser's Initials

Purchaser's Initials