

Scheduled Closing Date: November 23, 2023

Purchasers: ARSAL AHMAD & RUKHSANA MIR

Property: 231-4 of Plan -

Telephone Res. / Bus: / (647) 325-8781

Project: Joshua Creek - Phase 1

Decor Advisor: Dean-Marie Gray

Model and Elevation: EDGEMERE (TH-03) B END

Layout Changes: ☒ Yes ☐ No

Sketch Attached: ☒ Yes ☐ No

Exterior Colour Scheme:

1. Cabinetry

	Style and Colour	Counter	Hardware
Kitchen / Breakfast	2, GEORGIAN, ORCHID	MSI 2, CALACATTA VERONA	9677
Laundry Room	2, GEORGIAN, ORCHID	TCE 1504	9677
Powder Room	-		
MAIN BATH	2, GEORGIAN, ORCHID	TCE 1504	9677
Master Ensuite Bathroom	2, GEORGIAN, ORCHID	TCE 1504	9677
Second Ensuite Bathroom (If Applic.)	-		
LOFT BATH	2, GEORGIAN, ORCHID	TCE 1504	9677

Comment

2. Floor Tile

	Selection
Entrance Vestibule	KEATON ICE, 13 X 13
Main Hall	-
Kitchen / Breakfast	-
Laundry Room	KEATON ICE, 13 X 13
Powder Room	KEATON ICE, 13 X 13
MAIN BATH	KEATON ICE, 13 X 13
Master Ensuite Bathroom	KEATON ICE, 13 X 13
Second Ensuite Bathroom (If Applicable)	-
Lower Landing (If Applicable)	-
LOFT BATH	KEATON ICE, 13 X 13

Comment

3. Wall Tile

	Selection	Custom	Describe
MAIN BATH	KEATON ICE, 8 X 10	☐ Yes ☒ No	
Master Ensuite Bathroom			
Tub Deck		☐ Yes ☐ No	
Shower Stall	KEATON ICE, 8 X 10	☐ Yes ☒ No	
Bathroom Walls		☐ Yes ☐ No	
Second Ensuite Bathroom (If Applicable)	-	☐ Yes ☐ No	
LOFT BATH	KEATON ICE, 8 X 10	☐ Yes ☒ No	
Kitchen Backsplash	☒ Yes ☐ No	Backsplash Behind Stove to Upper Cabinets	NO

Comment

BACKSPLASH TO BE IN A BRICK PATTERN

Scheduled Closing Date: November 23, 2023

Purchasers: ARSAL AHMAD & RUKHSANA MIR

Property: 231-4 of Plan -

Telephone Res. / Bus: / (647) 325-8781

Project: Joshua Creek - Phase 1

Decor Advisor: Dean-Marie Gray

Model and Elevation: EDGEMERE (TH-03) B END

4. Plumbing Fixtures

Master Ensuite Bathroom		Second Ensuite		Powder Room	
Other Room - Specify		Other Washroom			

Comment

ALL FIXTURES TO REMAIN AS STANDARD

5. Hardwood Flooring

	Type and Stain		Type and Stain
Main Hall	-	Upper Landing	*Countryside Oak 3 1/2" in Willow
Kitchen / Breakfast	*Countryside Oak 3 1/2" in Willow	Upper Hall	*Countryside Oak 3 1/2" in Willow
Living Room	*Countryside Oak 3 1/2" in Willow	Master Bedroom	-
Dining Room	-	Bedroom #2	-
Family Room	*Countryside Oak 3 1/2" in Willow	Bedroom #3	-
Den/Library	-	Bedroom #4	-
Entrance Vestibule	-	Bedroom #5	-
Lower Landing (If Applicable)	-	Other Room - Specify	*Countryside Oak 3 1/2" in Willow
		LOFT HALL	

Comment

6. Carpeting

	Upgrade	Description
Ground Floor	☐	
Second Floor	☐	W6461 SPIREA H1376 EVENING WHITE
BASEMENT/ LOFT	☐	W6461 SPIREA H1376 EVENING WHITE

Upgrade Underpad	Type	Area
	STANDARD	
Carpet on Stairs	Capped	Runner - *Upgrade

Comment

7. Fireplace

	Living Room			Family Room			Other Room - Specify		
	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
Fireplace Type	☐	☐	☒	☐	☒	☐	☐	☐	☒
Mantle Type				ELECTRIC					
Colour / Stain				STANDARD					
Surround				WHITE PAINT-GRADE					
Hearth				BIANCO CARARRA					
				NONE					

Comment

Scheduled Closing Date: November 23, 2023

Purchasers: ARSAL AHMAD & RUKHSANA MIR

Property: 231-4 of Plan -

Telephone Res. / Bus: / (647) 325-8781

Project: Joshua Creek - Phase 1

Decor Advisor: Dean-Marie Gray

Model and Elevation: EDGEMERE (TH-03) B END

8. Trim Carpentry

Interior Doors

*SEE NOTES

Front Door Glass Inserts

STANDARD

Door Handles

STANDARD

Interior Trim

STANDARD

Comment

ONLY 6 DOORS IN UPPER HALL TO BE EXTENDED ALL OTHER DOORS ON SECOND FLOOR TO BE STANDARD HEIGHT

9. Plaster Mouldings and Medallions

Standard Throughout

☐ Yes

☒ No

☐ N/A

Entrance Vestibule			Kitchen/Breakfast		
Main Hall			Den/Library		
Living Room			Lower Landing		
Dining Room			Other Room - Specify		
Family Room					

Comment

10. Railings and Spindles

Railing Package

STANDARD

Railing Colour

WILLOW

Stringer / Riser

WILLOW

Spindle Colour

BLACK

Treads

WILLOW

Comment

Oak Stairs

☒ Yes

☐ No

☐ N/A

11. Wall Paint / Ceilings

Throughout Finished Areas

PELICAN

Trim Paint

White

Smooth Ceilings

Ground Floor

☒

Second Floor

☐

Note

Comment

Scheduled Closing Date: November 23, 2023

Purchasers: ARSAL AHMAD & RUKHSANA MIR

Property: 231-4 of Plan -

Telephone Res. / Bus: / (647) 325-8781

Project: Joshua Creek - Phase 1

Decor Advisor: Dean-Marie Gray

Model and Elevation: EDGEMERE (TH-03) B END

12. Electrical

Hood Fan ☐ White ☒ Stainless ☐ N/A

Above Kitchen Cabinet Light ☐ Yes ☒ No

Below Kitchen Cabinet Light ☐ Yes ☒ No

Standard Appliances ☒

Over The Range Microwave ☐

Chimney Style Fan ☐

Comment

13. Heating and Air Conditioning

Air Conditioning

Gas Provisions Stove

Gas Provisions Dryer

Gas Provisions Barbecue

Comment

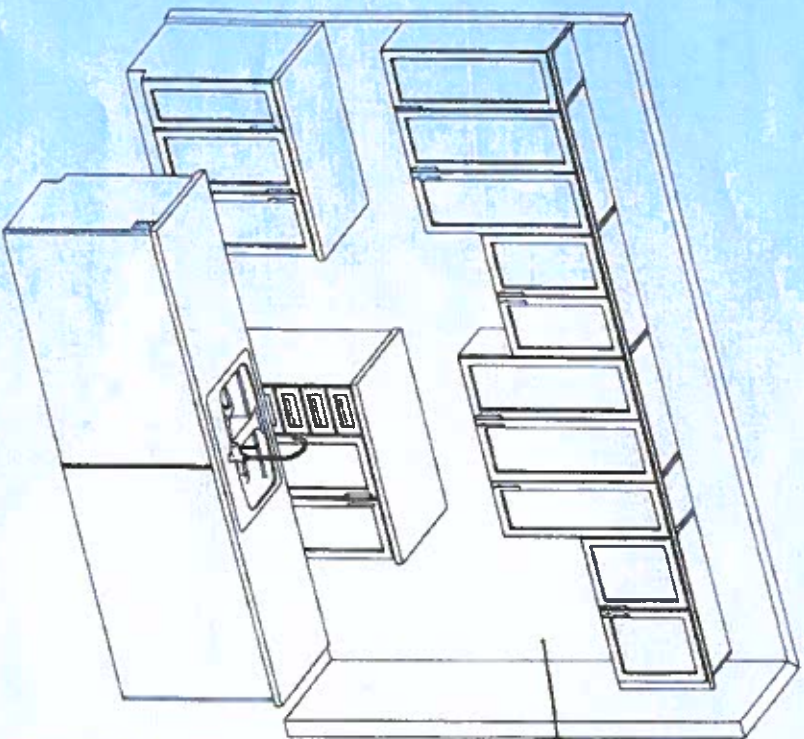
14. Additional Comments

15. Disclaimers and Notes

- 1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.
- 2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.
- 3) The Purchaser acknowledges that after Interior Colour Selection form is signed and dated, no further changes will be permitted other than re-selection due to unavailability. Purchaser's Initials
- 4) The Purchaser acknowledges reading and accepting the "Valery Homes Decor Centre Disclaimers" form. This document contains other miscellaneous disclaimers.

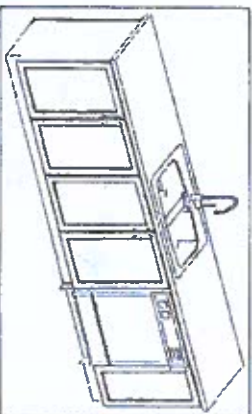
This Interior Colour Selection is final and approved by:

Signature: Date:



Fridge Enclosure

* See Revised specs as of July 24, 2024

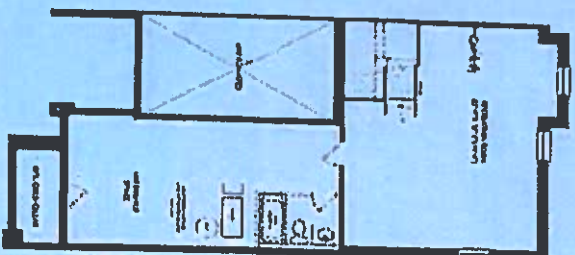


This sketch is for DESIGN PURPOSES ONLY - It is not meant to be an exact rendition.

 F R E N D E L 1700 Pioneer Park, Cedar Rapids, IA 52402	VALERY HOMES JOSHUA CREEK TH-3	Lot 231-4 (RM) (RM) July 24, 24	Drawn By: Date: November 22, 2023 Scale: Not To Scale	Approved By Builder: Date:
---	--------------------------------------	---------------------------------------	---	-------------------------------

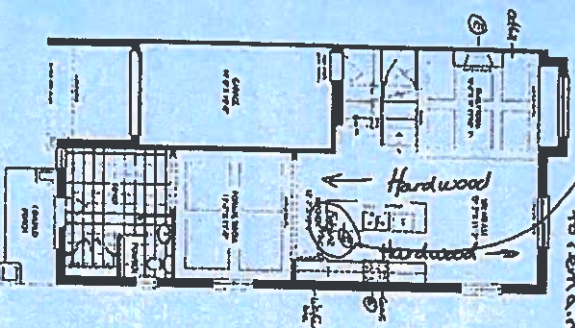
TH-3
EDGEMERE
BLVD END 1036 SQ. FT.

TH-3 BLVD END 1036 SQ. FT.
END CONSTRUCTION

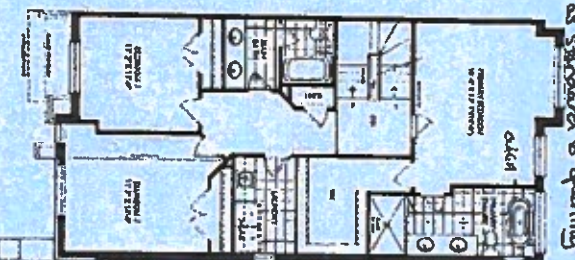


Delete Ring in
island
SECOND FLOOR ELEV 6
END CONSTRUCTION

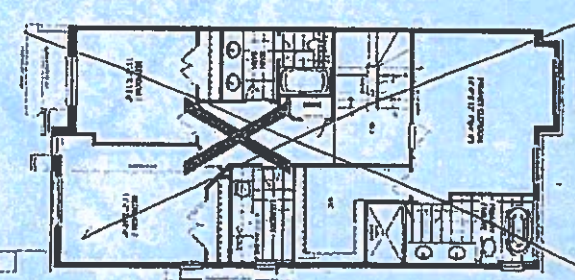
* Duct for hood fan
to remain as standard 6" opening



SECOND FLOOR ELEV 6
END CONSTRUCTION



SECOND FLOOR ELEV 6
END CONSTRUCTION



1036 BLVD END 1036 SQ. FT.
END CONSTRUCTION



JOSHUA CREEK
MONTAGE

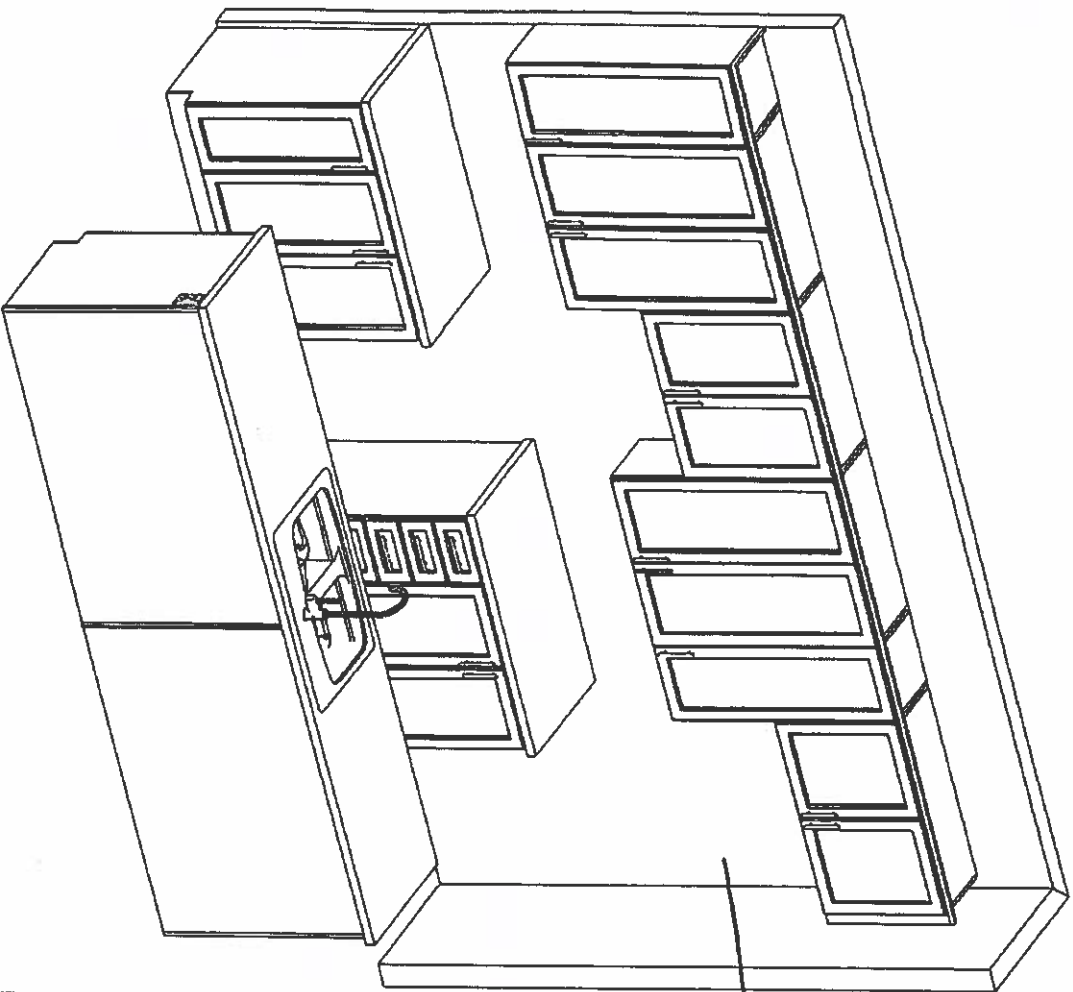
1036 BLVD END 1036 SQ. FT.
END CONSTRUCTION

VALERY
MONTAGE

SCHEDULE "H"

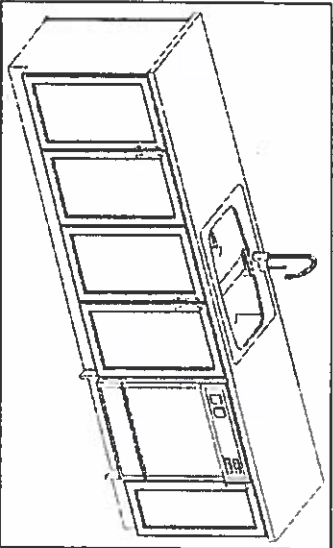
2014-4 (1st) (2nd)
2014-4 (1st) (2nd)
2014-4 (1st) (2nd)

2014-4 (1st) (2nd)
2014-4 (1st) (2nd)
2014-4 (1st) (2nd)



* See Revised specs
as of July 24, 2024

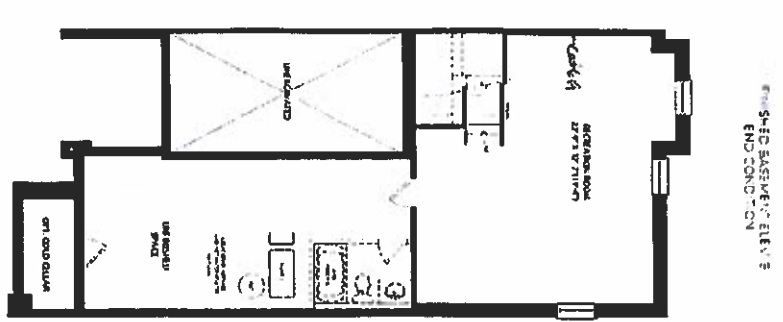
Fridge Enclosure



This sketch is for DESIGN PURPOSES ONLY – It is not meant to be an exact rendition.

 F R E N D E L K I T C H E N S L I M I T E D THE BOUNDARY DRIVE ADDRESS ONLY	
VALERY HOMES JOSHUA CREEK TH-3	
Lot 231-4 July 24, 24	
Drawn By: Date: November 27, 2023 Scale: Not To Scale	
Approved By Builder: Date:	

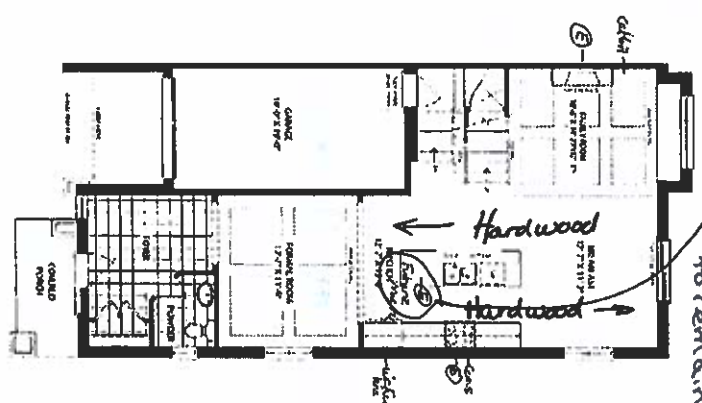
TH-3
EDGEMERE
ELEV B END 3,096 SQ.FT



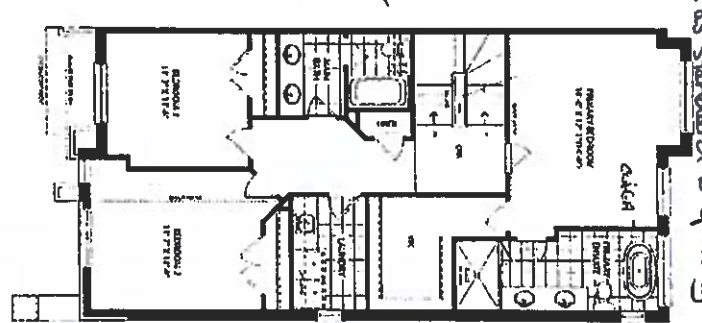
SHED EASEMENT ELEV B
END CONDITION

Delete Plug in
island
COUNT ISLAND ELEV B
END CONDITION

* Duct for hood fan
to remain as standard 6" opening

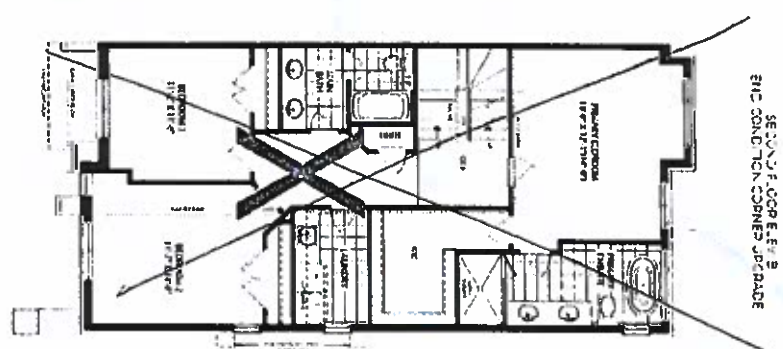


SECOND FLOOR ELEV B
END CONDITION

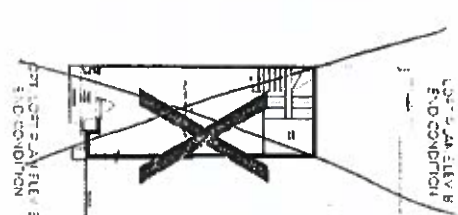


Enlarge
6 Doors

SECOND FLOOR ELEV B
END CONDITION CORNER UPGRADE



LOT 2-2A ELEV B
END CONDITION



Set 231-4 (up) (Rev)
Set 231-4 (Rev)
July 24, 24
SCHEDULE "H"

JOSHUA CREEK
MONTAGE

ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED. DIMENSIONS ARE GIVEN TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.

VALERY
HOMES