

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED

ON THE 14 DAY OF June , 2025 .

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : 7 - PSA PH1
LOT: 7 - PSA PH1 BLOCK :
50M-387 Place St-Augustin
CIVIC ADDRESS: 222 Sam Ave., Embrun ON
PURCHASERS: Robert Geneau & Annie Bronsard

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: June 14, 2025

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE: PURCHASE PRICE: \$785,000.00
BALANCE AT CLOSING: \$705,000.00
LESS H.S.T. AMOUNT: \$715,929.20
SCHEDULE "G" DATED: June 14, 2025
TARION SCHEDULE "B" DATED: June 14, 2025

INSERT: 680 dated: August 10, 2025 in the amount of: \$28,892.80
NEW PURCHASE PRICE: \$813,892.80
NEW BALANCE AT CLOSING: \$733,892.80
NEW LESS H.S.T. AMOUNT: \$741,498.05
SCHEDULE "G" DATED: August 10, 2025
TARION SCHEDULE "B" DATED: August 10, 2025
SCHEDULE "A" DATED: August 10, 2025
SCHEDULE "W2" DATED: August 10, 2025

Dated at Gatineau, QC this 10 day of August , 2025

In the presence of:

WITNESS

Signed by: Robert Geneau
PURCHASER

WITNESS

Signé par: Annie Bronsard
PURCHASER

Dated at Ottawa, ON this 10 day of August , 2025

VALECRAFT HOMES LIMITED (VENDOR)



NON STANDARD EXTRAS (680)
Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER 7	PHASE 1	HOUSE TYPE 1020 THE MORGAN ELEV A	CLOSING DATE 14-Apr-26
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ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
30 47266	1	<i>KITCHEN</i> - DELETE ITEM #11 - (RE: SUPPLY & INSTALL REAR FACING CABINETRY ON KITCHEN ISLAND (APPROX. 12IN DEEP) - STANDARD KITCHEN LAYOUT WITH STD LEVEL CABINETRY Note:	-\$3,012.00	Each
31 47267	1	<i>KITCHEN</i> - NOTE : KITCHEN POTS * PANS - 3 DRAWERS FRONT 6/12/12 - TO BE LOCATED NEXT TO STOVE, ON DINETTE SIDE. TO BE APPROX 36IN WIDE. Note: - As per Kitchen Sketch dated August 10, 2025 - See item #13 (pots & pans) - See item #85 (std kitchen layout w/ lvl 1 cabinetry)	\$ 0.00	Each
32 47268	1	<i>KITCHEN</i> - DELETE ITEM #14 - (RE: LOWER MICROWAVE CABINET C/W DRAWER AND OUTLET - STD SERIES) Note:	-\$793.00	Each
33 47270	1	<i>KITCHEN</i> - DELETE ITEM #15 - (RE: KITCHEN - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN) Note:	-\$1,613.00	Each
*34 169352 47271	1	<i>KITCHEN</i> - COUNTERTOP - QUARTZ - LEVEL 1 - KITCHEN C/W FLUSH BREAKFAST BAR Note: - As per Kitchen Sketch dated August 10, 2025 - As per Floorplan Sketch dated August 10, 2025 - See item #35 (quartz lvl 1 in dinette) - See item #85 (std kitchen w/ lvl 1 cabinetry) - Includes side gables on island in level 1 cabinetry	*\$ 2,946.00	Each
*35 172225 47272	1	<i>KITCHEN</i> - COUNTERTOP - QUARTZ - LEVEL 1 - EXTENDED PANTRY OPT #1 Note: - As per Kitchen Sketch dated August 10, 2025 - As per Floorplan Sketch dated August 10, 2025 - As per Pantry Sketch dated August 10, 2025 - See item #34 (quartz lvl 1 in kitchen) - See item #85 (std kitchen w/ lvl 1 cabinetry) - Includes side gables on island in level 1 cabinetry	*\$ 218.00	Each
*36 169099 47273	1	<i>KITCHEN</i> - UPPER MICRO SHELF CABINET C/W ELECTRICAL OUTLET - LEVEL 1 SERIES Note: - As per Kitchen Sketch dated August 10, 2025 - See item #85 (std kitchen w/ lvl 1 cabinetry) - To be located in the upper cabinet located next to fridge	*\$ 929.00	Each
37 47274	1	<i>KITCHEN/DINETTE</i> - UPGRADE TO OPTIONAL PANTRY #1 - LEVEL 1 SERIES . INCLUDE 1 ELECTRICAL OUTLET AT COUNTERTOP LEVEL Note: - As per Kitchen Sketch dated August 10, 2025 - As per Floorplan Sketch dated August 10, 2025 - As per Pantry Sketch dated August 10, 2025 - See item #39 (UPC) - See item #79 (glass on upper cabinets) - See item #80 (upg cabinet interior) - See item #85 (std kitchen w/ lvl 1 cabinetry)	\$ 6,862.00	Each

Vendor Initials:

DS
FN

 Purchaser Initials:

Initial
RG

Paraphe
A-B

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-1

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CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____



NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
38		1 - <i>KITCHEN</i> - DELETE ITEM #10 - (UPC9-2B - STANDARD LAYOUT - STANDARD LEVEL CABINETRY- INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO UPGRADED BULKHEAD - APPROX 26IN X 10IN HIGH)	-\$644.00	Each
47275		Note:		
39		1 - <i>KITCHEN/DINETTE</i> - UPC9-2B - STANDARD LAYOUT AND OPTIONAL PANTRY #1 - LEVEL 1 CABINETRY- INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO UPGRADED BULKHEAD - APPROX 26IN X 10IN HIGH	\$ 1,251.00	Each
47276		Note: - As per Kitchen Sketch dated August 10, 2025 - As per UPC Sketch dated August 10, 2025 - See item #37 (optional pantry 1) - See item #60 (fridge upper) - See item #84 (fridge opening) - See item #85 (std kitchen w/ lvl 1 cabinetry)		
40		1 - <i>ENSUITE BATH</i> - DELETE ITEM #20 - (RE: ZITTA NICHE 24X12X3.75 ANR24120417 MATTE BLACK)	-\$799.00	Each
47277		Note:		
41		1 - <i>ENSUITE BATH</i> - ZITTA NICHE 24X12X3.75 ANR24120417 BRUSHED NICKEL	\$ 799.00	Each
47278		Note: - As per Floorplan Sketch dated August 10, 2025 - See item #83 (walk-in shower) - Installed vertically on wall opposite to shower head - Cannot be installed on a exterior wall		
42		1 - <i>MAIN BATHROOM</i> - DELETE ITEM #21 - (RE: DELTA VERO TUB/SHOWER FAUCET T14453 CHROME)	-\$735.00	Each
47279		Note:		
43		1 - <i>STD AREAS</i> - DELETE ITEM #25 - (OAK - 6 1/4NATURAL - STD AREAS)	-\$6,711.00	Each
47280		Note:		
44		1 - <i>KITCHEN/DINETTE</i> - DELETE ITEM #26 - (RE: OAK - 6 1/4 NATURAL - KITCHEN/DINETTE)	-\$2,954.00	Each
47281		Note:		
45		1 - <i>MASTER BEDROOM</i> - DELETE ITEM #27 - (RE: OAK - 6 1/4 NATURAL - MASTER BEDROOM / WIC)	-\$8,034.00	Each
47282		Note:		
46		1 - <i>BEDROOM 2</i> - DELETE ITEM #28 - (RE: OAK - 6 1/4 NATURAL - BEDROOM 2)	-\$3,740.00	Each
47283		Note:		
47		1 - <i>BEDROOM 3</i> - DELETE ITEM #29 - (RE: OAK - 6 1/4 NATURAL - BEDROOM 3)	-\$4,407.00	Each
47284		Note:		

Vendor Initials:

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FN

 Purchaser Initials:

Initial
RG

Paraphé
AB

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-2

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CONSTRUCTION SCHEDULING APPROVAL

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DATE: _____



NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*48 169963	1	STD AREAS - HARDWOOD - OAK - 6 1/4 STAINED - STD AREAS	*\$ 7,380.00	Each
47285		Note: - As per Floorplan Sketch dated August 10, 2025		
*49 170966	1	MASTER BEDROOM - HARDWOOD - OAK - 6 1/4 STAINED - MASTER BEDROOM / WIC	*\$ 8,178.00	Each
47286		Note: - As per Floorplan Sketch dated August 10, 2025		
*50 169962	1	KITCHEN/DINETTE - HARDWOOD - OAK - 6 1/4 STAINED - KITCHEN / DINETTE	*\$ 3,078.00	Each
47287		Note: - As per Floorplan Sketch dated August 10, 2025		
*51 170964	1	BEDROOM 2 - HARDWOOD - OAK - 6 1/4 STAINED - BEDROOM #2	*\$ 3,802.00	Each
47288		Note: - As per Floorplan Sketch dated August 10, 2025		
*52 170965	1	BEDROOM 3 - HARDWOOD - OAK - 6 1/4 STAINED - BEDROOM #3	*\$ 4,480.00	Each
47289		Note: - As per Floorplan Sketch dated August 10, 2025		
*53 172785	1	MAIN BATHROOM - BATH - DELTA VERO TUB/SHOWER FAUCET T14453-SS STAINLESS	*\$ 1,353.00	Each
47290		Note:		
54	1	ENSUITE BATH - UPGRADE TO DELTA VERO SHOWER ONLY SHOWER T14253 - STAINLESS	\$ 1,097.00	Each
47291		Note: - See item #83 (walk-in shower)		
*55 169152	1	KITCHEN - KITCHEN - FAUCET - DELTA ESSA 9113-AR-DST ARCTIC STAINLESS SINGLE HANDLE PULL-DOWN	*\$ 547.00	Each
47294		Note:		
56	1	MAIN BATHROOM - UPGRADE TO ASTRAL BATHROOM COLLECTION IN CHROME - INCLUDES 1 HAND TOWEL / 1 TOILET PAPER HOLDER / 2 HOOKS BEHIND DOOR .	\$ 139.00	Each
47295		Note: - 24IN TOWEL BAR CANNOT BE INSTALLED DUE TO SPACE LIMITATION		
57	1	ENSUITE BATH - UPGRADE TO ASTRAL BATHROOM COLLECTION IN CHROME - INCLUDES 1 HAND TOWEL BAR / 1 TOILET PAPER HOLDER / 1 HOOKS BEHIND DOOR AND 1X 24IN TOWEL BAR	\$ 192.00	Each
47296		Note:		
58	1	GREAT ROOM - REINFORCE THE WALL ABOVE FIREPLACE FOR FUTUR INSTALLATION OF WALL BRACKET FOR WALL MOUNT TV	\$ 175.00	Each
47299		Note: - As per Floorplan Sketch dated August 10, 2025		
59	1	KITCHEN - DELETE ITEM #12 - (RE: 2FT DEEP FRIDGE UPPER C/W 1 GABLE - STD SERIES)	-\$697.00	Each
47300		Note:		

Vendor Initials:

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PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-3

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NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*60 170601	1	KITCHEN - 2FT DEEP FRIDGE UPPER C/W 1 GABLE - LEVEL 1 SERIES	*\$ 817.00	Each
47301	Note:	- As per Kitchen Sketch dated August 10, 2025 - See item #39 (UPC) - See item #85 (std kitchen w/ lvl 1 cabinetry)		
*61 169139	2	- BATH - DELTA TRINSIC LAVATORY FAUCET SINGLE HANDLE HIGH - ARC 559HA -SS-DST STAINLESS	*\$ 1,142.00	
47302	Note:	- Includes matching drain trim - In main bathroom (1) and ensuite bathroom (1)		
62	1	- EXTEND PATIO DECK TO THE FULL WIDTH OF PATIO DOOR	\$ 625.00	Each
47347	Note:	- As per Floorplan Sketch dated August 10, 2025		
63	1	ENSUITE BATH - LEVEL 1 CABINETRY IN 3PC ENSUITE WITH EXTENSION	\$ 392.00	Each
47352	Note:	- As per Floorplan Sketch dated August 10, 2025 - See item #18 (vanity extension) - See item #19 (bank of drawers)		
*64 172224	1	ENSUITE BATH - COUNTERTOP - QUARTZ - LEVEL 1 - ENSUITE BATHROOM	*\$ 290.00	Each
47353	Note:	- As per Floorplan Sketch dated August 10, 2025 - Standard 3pc ensuite - See item #18 (vanity extension)		
*65 172237	1	MAIN BATHROOM - COUNTERTOP - QUARTZ - LEVEL 1 - MAIN BATHROOM	*\$ 363.00	Each
47354	Note:	- As per Floorplan Sketch dated August 10, 2025		
66	1	MAIN BATHROOM - UPGRADE TO LEVEL 1 CABINETRY	\$ 363.00	Each
47355	Note:	- As per Floorplan Sketch dated August 10, 2025		
67	1	FOYER - BRONZE FLOOR TILE IN FOYER/ MAIN BATH / LAUNDRY ROOM.	\$ 1,313.00	Each
47356	Note:	- As per Floorplan Sketch dated August 10, 2025 - As per Floor Tile installation sketch dated August 10, 2025 - See item #68 (upg installation) - See item #69 (upg grout)		
68	1	FOYER - FRONT TO BACK STAGGERED INSTALLATION OF FLOOR TILE - FOYER/ MAIN BATH/ LAUNDRY ROOM	\$ 716.00	Each
47357	Note:	- As per Floorplan Sketch dated August 10, 2025 - As per Floor Tile installation sketch dated August 10, 2025 - See item #67 (bronze floor tile) - See item #69 (upg grout)		
69	1	FOYER - UPGRADED GROUT COLOR - FOYER/ MAIN BATH / LAUNDRY ROOM	\$ 120.00	Each
47358	Note:	- See item #67 (bronze floor tile) - See item #68 (upg installation)		

Vendor Initials:

FN

 Purchaser Initials:

RG

AB

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-4

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DATE: _____



NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
70	1	MAIN BATHROOM - GOLD WALL TILE IN MAIN BATHROOM TUB/SHOWER	\$ 1,152.00	Each
47359	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - Vertical 1/3 offset brick installation - See item #71 (upg installation & grout)		
71	1	MAIN BATHROOM - VERTICAL 1/3 OFFSET BRICK INSTALLATION OF WALL IN MAIN BATH TUB/SHOWER + UPGRADED GROUT COLOR	\$ 184.00	Each
47360	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - See item #70 (gold wall tile)		
72	1	ENSUITE BATH - BRONZE FLOOR TILE IN 3PC ENSUITE BATHROOM	\$ 270.00	Each
47361	Note:	- As per Floorplan Sketch dated August 10, 2025 - As per Floor Tile installation sketch dated August 10, 2025 - See item #73 (upg installation)		
73	1	ENSUITE BATH - SIDE TO SIDE OF THE HOUSE STAGGERED INSTALLATION OF FLOOR TILE IN 3PC ENSUITE	\$ 147.00	Each
47362	Note:	- As per Floorplan Sketch dated August 10, 2025 - As per Floor Tile installation sketch dated August 10, 2025 - See item #72 (bronze floor tile)		
74	1	ENSUITE BATH - BRONZE FLOOR TILE IN 3PC ENSUITE SHOWER	\$ 1,114.00	Each
47363	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - See item #75 (upg installation) - See item #83 (walk-in shower)		
75	1	ENSUITE BATH - VERTICAL 1/3 OFFSET BRICK INSTALLATION OF WALL TILE IN 3PC ENSUITE SHOWER	\$ 352.00	Each
47364	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - See item #74 (bronze floor tile on wall) - See item #83 (walk-in shower)		
76	1	KITCHEN - GOLD WALL TILE ON STANDARD KITCHEN BACKSPLASH - INCLUDES UPGRADED GROUT COLOR AND 1/2 BRICK HORIZONTAL INSTALLATION	\$ 417.00	Each
47365	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - See item #77 (behind chimney hoodfan) - See item #78 (optional pantry desk area) - See item #85 (std kitchen w/ lvl 1 cabinetry)		
77	1	KITCHEN - GOLD WALL TILE BEHIND CHIMNEY HOODFAN UP TO BULKHEAD - INCLUDES UPGRADED GROUT COLOR AND 1/2 BRICK HORIZONTAL INSTALLATION	\$ 289.00	Each
47367	Note:	- As per Wall Tile installation sketch dated August 10, 2025 - See item #16 (chimney hoodfan) - See item #76 (standard kitchen layout) - See item #85 (std kitchen w/ lvl 1 cabinetry)		

Vendor Initials:

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 Purchaser Initials:

Initial
RG

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A.B.

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-5

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CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____



NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
78		1 - <i>KITCHEN/DINETTE</i> - GOLD WALL TILE IN OPTIONAL PANTRY #1 BACKSPLASH SECTION - INCLUDES UPGRADED GROUT COLOR AND 1/2 HORIZONTAL BRICK INSTALLATION	\$ 96.00	Each
47368		Note: - As per Wall Tile installation sketch dated August 10, 2025 - See item #37 (optional kitchen layout 1) - See item #76 (standard kitchen layout) - See item #77 (behind chimney hoodfan)		
79		1 - <i>DINETTE</i> - UPGRADED TO CLEAR GLASS IN UPPER CABINETRY DOORS (2) LOCATED IN BETWEEN BOTH PANTRY IN OPTIONAL PANTRY #1	\$ 550.00	Each
47427		Note: - PRICE FOR 2 GLASS DOOR - As per Pantry Sketch dated August 10, 2025 - See item #37 (optional pantry 1) - See item #80 (upg interior cabinet)		
80		1 - <i>DINETTE</i> - UPGRADE A 2 DOOR CABINET INTERIOR FROM STD WHITE MELAMINE TO BIRCH ALGONQUIN (LEVEL 1 CABINET) - INCLUDES SHELVES IN BIRCH ALGONQUIN (LEVEL 1 CABINET) AS WELL	\$ 618.00	Each
47373		Note: - As per Pantry Sketch dated August 10, 2025 - See item #37 (optional pantry 1) - See item #79 (upg glass doors)		
81		1 - <i>ENSUITE BATH</i> - UPGRADE SHOWER DOORS TO BRUSHED NICKEL	\$ 130.00	Each
47389		Note: - As per Floorplan Sketch dated August 10, 2025 - See item #83 (walk-in shower)		
82		1 - <i>MAIN BATHROOM</i> - DELETE ITEM #23 - (RE: SUPPLY & INSTALL WALK-IN SHOWER IN LIEU OF STANDARD TUB/SHOWER COMBO)	-\$4,365.00	Each
47570		Note:		
83		1 - <i>ENSUITE BATH</i> - SUPPLY & INSTALL AN APPROX 36X60IN SHOWER BASE WITH 1 FIX GLASS PANEL AND 1 SLIDING DOOR , IN LIEU OF TUB/SHOWER COMBO. OPENING FOR SHOWER TO BE NEAR THE SHOWER FAUCETS. FIX PANEL TO BE CLOSE TO TOILET.	\$ 4,578.00	Each
47571		Note: - As per Floorplan Sketch dated August 10, 2025 - See item #81 (brushed nickel shower doors) - toilet to be moved toward the vanity to accomodate.		
84		1 - <i>KITCHEN</i> - NON STANDARD FRIDGE OPENING IN KITCHEN	\$ 125.00	Each
47577		Note: - As per Kitchen Sketch dated August 10, 2025 - See item #39 (UPC) - See item #60 (fridge upper) - See item #85 (std kitchen w/ lvl 1 cabinetry)		

Vendor Initials:

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 Purchaser Initials:

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PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-6

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DATE: _____



NON STANDARD EXTRAS (680)

Place St. Augustin - Phase 1

PURCHASERS: Robert Geneau and Annie Bronsard

Printed: 10-Aug-25 1:29 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
7	1	1020 THE MORGAN ELEV A	14-Apr-26

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
85	1	- KITCHEN - KITCHEN CABINETRY - LEVEL 1 SERIES - STANDARD LAYOUT	\$ 2,542.00	Each
47583	Note:	- As per Kitchen Sketch dated August 10, 2025 - As per Floorplan Sketch dated August 10, 2025 - See item #13 (pots & pans) - See item #36 (microwave shelf) - See item #37 (optional pantry 1) - See item #39 (UPC) - See item #60 (fridge upper) - See item #79 (glass on upper cabinets) - See item #80 (upg cabinet interior) - See item #84 (fridge opening)		
*86 169607	1	- - ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 470.08	Each
47581	Note:	- As per Orbital Estimate No#: OR8773 Rev.03 dated 07/24/2025		
*87 169606	1	- - S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 4,795.72	Each
47582	Note:	- As per S&S Electric Estimate No#: SS6922 Rev.03 dated 07/24/2025		

Sub Total	\$28,892.80
HST	\$0.00
Total	\$28,892.80

Payment Summary

<u>Paid By</u>	<u>Amount</u>
Total Payment:	

PURCHASER:

Signed by: Robert Geneau
10-Aug-25
DATE
Robert Geneau

VENDOR:

DocuSigned by: PER: Valecraft Homes (2019) Limited

PURCHASER:

Signé par : Annie Bronsard
10-Aug-25
DATE
Annie Bronsard

DATE: August 10, 2025

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,251-7

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CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____

SCHEDULE “A”
PLACE ST-AUGUSTIN

Attached to and forming Part of this Agreement of Purchase and Sale for Builder's Lot Unit/Lot: PSA PH1 Lot 7
Plan 50M-387 , in the Township of Russell, in the Province of Ontario (the “Real Property”).

MUNICIPAL COVENANTS


- (a) The Transferee, for himself, his heirs, executors, administrators, successors and assigns covenants and agrees that he will not commence construction of any buildings unless,
 - (i) A building permit has been issued;
 - (ii) All requirements with respect to underground Works and road base granulars have been carried out on the Roads on which the subject lot fronts;
 - (iii) The Road on which the subject lot fronts has been connected by Roads which are, at a minimum, at a similar stage of completion to the overall Township Road network; and
 - (iv) The whole or such portion of the mass earth moving or general grading deemed necessary by the Township has been completed and approved.
- (b) The Transferee for himself, his heirs, executors, administrators, successors and assigns, covenants and agrees that the transferee will not plant poplar, alder, aspen, willow and elms which are subject to Dutch Elm disease, or maple trees of the fast growing variety (ie. Silver and Manitoba) or other species as may be determined by the Township and Building within the lands to which this Transfer/Deed applies nor adjacent lands in the transferee's ownership. Tree planting in proximity to buildings will be in accordance with the approved landscaping/streetscaping plan, geotechnical report and the Township of Russell's "Trees and Foundation Strategy in Areas of Sensitive Marine Clay" policy, where applicable.
- (c) The Transferee for himself, his heirs, executors, administrators, successors and assigns covenants and agrees that "No Dumping" of any material (including snow, grass cuttings, construction debris and landscape waste) is permitted on vacant lots or on adjacent lands.


NOTICE TO PURCHASERS

- (a) The purchaser acknowledges having been advised of all development charges related to the lot/block he or she is purchasing, and which development charges have been already paid by the Developer.
- (b) The purchaser acknowledges that a fire hydrant may be located or relocated at any time in front of any lot/block on the Plan of Subdivision to the satisfaction of the Township.
- (c) The purchaser acknowledges that no driveway shall be located within 3.0m of a fire hydrant and that no objects, including vegetation, shall be placed or planted within a 3.0m corridor between a fire hydrant and the curb, nor a 1.5m radius beside or behind a fire hydrant.

The purchaser acknowledges that they are responsible for the condition and proper alignment of the water stand post at their property line. Any damage to the stand post after the sale of the lot to the purchaser shall be repaired to the satisfaction of the Township, or in cases of non-compliance repairs shall be done by the Township and billed back to the purchaser.
- (d) The purchaser acknowledges that school accommodation pressures exist in the School Board schools designated to serve this Subdivision, and that at the present time this problem is being addressed by the utilization of portable classrooms at local schools and/or by directing students to schools outside the community.



Purchaser



Purchaser


Vendor

- (e) The purchaser acknowledges and agrees that postal service may be delivered by way of community mailboxes, which shall be located to the satisfaction of Canada Post.
- (f) The purchaser of any lot or block fronting on a Street in which a sidewalk is proposed to be installed acknowledges that he has been supplied with, and reviewed a plan showing the proposed locations, type, size and dimensions within the boulevard of any sidewalk abutting the said lot or block. The purchaser hereby acknowledges that he has reviewed the plan and is aware of the contents of the plan. The purchaser further acknowledges that the information identified on the said plan is the proposed information in respect to the lot or block and is subject to change through the Township's approval process. The purchaser agrees not to pave or otherwise finish the driveway out to the curb line until any adjacent sidewalks have been installed.
- (g) The purchaser of any lot or block hereby acknowledges being advised of:
- i. An approved Composite Utility Plan;
 - ii. General plan of services required to be provided by the Owner pursuant to the Subdivision Agreement for the lot or block;
 - iii. The proposed location of possible bus shelters and pads and paved passenger standing areas at bus stops;
 - iv. The proposed location for the community mailboxes within the Subdivision;
 - v. The proposed driveway location;
 - vi. The proposed location of any streetlights, hydro transformers and utility pedestals abutting the lot; The proposed grading and drainage plan for the lot or block, and understands that it is the responsibility of the purchaser to respect such drainage patterns. The purchaser acknowledges and agrees that he shall not alter the slope of the lands herein described nor interfere with any drains established on the said lands, except in accordance with the established final Grading and Drainage Plan, and with the written consent of the Director of Planning and Building. Furthermore, the purchaser shall maintain the approved grading and drainage plan, and any corrective works to alter the grading to re-instate compliance with the approved drainage and lot grading plan must be completed within five (5) days of a receipt of a written notice from the Township of Russell or the Township of Russell may complete the work at the Transferee's expense. Furthermore, the Transferee agrees that the Township of Russell may enter upon the lands which are the subject matter of this Transfer/Deed for the purposes of inspection or restoration of the established Grading and Drainage Plan and the cost to the Township of Russell in performing any restoration work shall be paid to the Township of Russell by the owner of the lands upon which such restoration work was performed, such payments to be made within thirty (30) days of demand therefore by the Township of Russell and failing payment as aforesaid the cost shall be added to the tax roll as provided by Section 427 of the Municipal Act, 2001, S.O. 2001, c. 25 and collected in like manner as municipal taxes.
 - vii. The proposed location of the potential bus routes including temporary bus routes;
 - viii. The approved Official Plan designation for the Subdivision;
 - ix. The location and types of trees; and
 - x. The zoning of the existing development and potential development lands within the Subdivision and within two kilometres of the limits of the Subdivision.


Purchaser


Purchaser


Vendor

- (h) The purchaser further acknowledges and agrees not to install a pool or landscaping prior to Final Acceptance of grading by the Township.
- (i) The purchaser covenants and agrees to execute any usual and reasonable grant(s) of easement in favour of the Township, Ontario Hydro, Hydro One, Bell Canada, Enbridge Consumers' Gas, Rogers Communications Inc., or any public authority or utility, over or under the Real Property, required for drainage, or other joint service or public purpose, during a period of twenty (20) years from the date of any transfer document.
- (j) The purchaser covenants and agrees that, following delivery of the transfer document, the Vendor and/or The Township of Russell shall have the benefit of an easement (to enter upon the Real property for the purpose of performing any work required pursuant to the Subdivision Agreements) over the Real Property, until such time as the Vendor has been released from all of its obligations under the Subdivision Agreements, provided that the use of the Real Property by the Transferee will be interfered with as little as is reasonably possible.
- (k) The purchaser covenants and agrees that the purchaser shall not deposit or permit to be deposited, interlock blocks, fill or debris anywhere on or within the Real Property without the prior written permission of the Vendor. If fill is permitted and/or required on or within the Real Property, such fill shall be clean fill (and satisfactory to The Township of Russell).
- (l) The purchaser covenants and agrees that the purchaser will not alter the slope of the Real Property nor interfere with any drainage established on the Real Property, except in accordance with the established grade control plan, without the prior written consent of the Vendor (and The Township of Russell).
- (m) The purchaser agrees to maintain the one shade tree at the front of the lot, between the lot line and the house line and acknowledges the right of The Township of Russell to enter on the lands to effect the necessary maintenance in case of default and to charge the costs to the purchaser under the appropriate provisions of the Municipal Act, 2001, c. 25.
- (n) The purchaser acknowledges that any transfer document shall also contain and/or be deemed to contain any additional Restrictive Covenants (not hereinbefore set out) that are required/contemplated by the documentation registered on title to the Real Property, such as any ~~Plan of Subdivision~~
- (o) The purchaser further acknowledges that the information he has been advised of and which is described above is subject to change through the Township's approval process.
- (p) The Transferee, for himself, his heirs executors, administrators, successors and assigns, covenants and agrees that should damage be caused to any of the Works in this Subdivision by any action or the lack of any action whatsoever on the part of the Transferee, Township and Building may serve notice to the Transferee to have the damage repaired and if such notification be without effect for a period of two clear days after such notice, the Township and Building may cause the damage to be repaired and shall recover the costs of the repair plus the Management Fee, under Section 427, of the Municipal Act, 2001, S.O. 2001, c. 25 in like manner as municipal taxes.
- (q) The Transferee, for himself, his heirs, executors, administrators, successors and assigns covenants and agrees to insert a clause in all agreements of purchase and sale requiring that the purchaser direct roof leaders and sump pump hoses to a sufficiently large pervious area, all of which shall be to the satisfaction of the Township and Building.

Initial

RG

Purchaser

Paraphe



Purchaser

DS

FN

Vendor

- (r) The Transferee, for himself, his heirs, executors, administrators, successors and assigns, covenants and agrees that the Transferee shall not alter the slope of the lands herein described nor interfere with any drains established on the said lands, except in accordance with the established final Grading and Drainage Plan, and with the written consent of the Township. Furthermore, the Transferee shall maintain the approved grading and drainage plan, and any corrective Works to alter the grading to re-instate compliance with the approved drainage and lot grading plan must be completed within five days of a receipt of a written notice from the Township of Russell.
- (s) The Transferee for himself, his heirs, executors, administrators, successors and assigns covenants and agrees that heat pumps, air-conditioning units, pool filters, sheds and decks are building appurtenances and shall meet the minimum setback requirements established in the Township of

Dated at Gatineau, QC this 10 day of August, 2025.

SIGNED, SEALED AND
DELIVERED in the presence of

Signed by:
Robert Gervais
2F0K12E023D04F...
Purchaser

July 13, 1969
Birth Date

Witness:

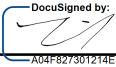
Signé par :
Amie Bernard
01EFA022A094CD...
Purchaser

October 1, 1972
Birth Date

(as to all Purchaser's signatures, if
more than one purchaser)

Dated at Ottawa, ON this 10 day of August, 2025

Valecraft Homes (2019) Limited

Per: DocuSigned by:

A04F827301214EE...

SCHEDULE "G"

HARMONIZED SALES TAX AND NEW HOUSING REBATE


1. The parties acknowledge that as at the date of this Agreement, Harmonized Sales Tax ("HST") is applicable to this transaction pursuant to the Excise Tax Act (Canada) (the "**Legislation**") and that, the Purchaser may qualify for the GST/HST new housing rebate (as is authorized by the Legislation from time to time) (**the "New Housing Rebate"**) in respect of this transaction.
2. The Purchaser is hereby advised that the Purchase Price listed in "Purchase Price" Section of this Agreement includes all HST and the New Housing Rebate applicable to this transaction (refer to maximum rebate allowance in Clause 8) as at the date this Agreement is signed by the parties. All sales taxes applicable to the transaction (including any applicable New Housing Rebate) will be calculated as of the closing of the subject transaction and will be applied in accordance with the Legislation. In the event that there is a change to the Legislation after the execution of this Agreement but prior to the closing of this transaction, the Vendor shall make all applicable adjustments to the sales taxes payable in this transaction in accordance with all applicable Legislation.
3. The Purchaser hereby irrevocably assigns to the Vendor the benefit of the New Housing Rebate, if applicable to this transaction.
4. The Purchaser hereby warrants and agrees that:
 - (a) The Real Property is being purchased as the Purchaser's primary place of residence and that the Purchaser will take possession and occupy the Dwelling forthwith upon closing and will not allow occupancy of the Dwelling by any other individual (other than the Purchaser's immediate family) as a place of residence prior to occupancy by the Purchaser;
 - (b) Purchaser will execute and deliver on closing such documents as the Vendor may require to confirm the warranties and agreements contained in this Schedule; and
 - (c) Purchaser will submit to the Vendor on closing, prior to or after closing at the Vendor's request, an application or applications in the manner and in the form prescribed containing prescribed information required by the Legislation for the New Housing Rebate
5. The Purchaser acknowledges that the Vendor has calculated the Purchase Price on the assumption that the New Housing Rebate will be applicable to this transaction. If for any reason the Purchaser does not qualify for the New Housing Rebate, then the Purchaser shall be fully responsible for paying to the Vendor the amount of such New Housing Rebate plus interest at the Bank of Montreal prime rate from the date the statement of adjustments is calculated plus any fees, penalties or damages imposed on the Vendor under the Legislation. For greater certainty, the Purchaser acknowledges that the New Housing Rebate described above is for individuals buying a new house or residential condominium as a primary place of residence for themselves or a relation. It does not include the rebate for HST which may be available to investors buying a new house or residential condominium as a rental property (the **GST/HST "New Residential Rental Property Rebate"**). If the Property is being purchased for investment purposes, the Purchaser will not qualify for the New Housing Rebate and the Purchaser shall be responsible for paying to the Vendor an amount equal to the New Housing Rebate which has been included in the Purchase Price hereunder. All Purchasers buying a new house or residential condominium as a rental property are responsible for applying for the New Residential Rental Property Rebate after the closing of the subject transaction.

Initial

Purchaser

Paraphe

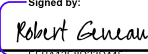
Purchaser

DS

Vendor

6. The Purchaser acknowledges and agrees that the Purchase Price set forth in this Agreement has been arrived at on the basis that the Purchase Price includes all Extras, premiums and bonuses and excludes any Extras ordered pursuant to a Change Order following the date of execution of this Agreement. The Purchaser acknowledges that the purchase of additional Extras following the date of execution of this Agreement may push the Purchase Price of the Real Property into a different sales tax category for the purposes of determining the amount of the New Housing Rebate, and that this may lower the amount of said New Housing Rebate applicable to the transaction. If a reduced New Housing Rebate is applicable under the Legislation due to the purchase of Extras following the date of execution of this Agreement, the Purchaser agrees to compensate the Vendor for the, amount by which the New Housing Rebate used to calculate the Purchase Price listed in the "Purchase Price" section herein exceeds the actual applicable New Housing Rebate, such amount to be credited to the Vendor as an adjustment on closing.
7. The Parties acknowledge that for purposes of Land Transfer Tax, the total consideration to be inserted in the Transfer/Deed of Land for this transaction shall be the total Purchase Price including Extras excluding HST and the New Housing Rebate, namely the amount of \$741,498.05 . The Purchaser is responsible for payment in full of the Land Transfer Tax and the cost of registration of the transfer.The consideration value is subject to change, pursuant to any and all extras that are ordered pursuant to a Change Order following the date of the execution of this Agreement.
8. The Purchaser agrees to execute all further documents required by the Vendor after closing to give effect to this Schedule.

Signed at Gatineau, QC this 10 day of August , 2025

Signed by:

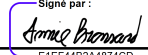


LEBA1258123043F

PURCHASER

VALECRAFT HOMES (2019) LIMITED

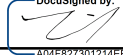
Signé par :



E1EF44B2487ACD...

PURCHASER

DocuSigned by:



A04F827301214EE...

PER:

August 10, 2025

DATE:

PROJECT: Place St-Augustin - Phase 1 LOT: 7

Schedule "W2"

NON RESILIENT FLOORING WAIVER
for

HARDWOOD FLOORING

Hardwood flooring is both a practical and elegant flooring option suitable for use in many areas of the home.

Increasingly however inquiries into the use of hardwood flooring in non-conventional areas of the home such as kitchens have prompted a need to forewarn and to heed caution to this optional upgrade.

Valecraft Homes Limited recommends strongly against the use of hardwood flooring in kitchen areas due to the natural absorption properties of hardwood when in contact with water or high-humidity areas. Hardwood flooring which has taken on water or excessive moisture will cup and/or buckle and ultimately prove to be costly to repair.

It is for this reason that VALECRAFT HOMES LIMITED will not guarantee nor provide warranty beyond manufacturing defect for installation of hardwood flooring in any of the aforementioned areas.

Should you decide to proceed against the Builder’s recommendations, extreme caution and care must be taken not to leave any standing water on these floors for any length of time. All other care and maintenance instructions with respect to hardwood flooring must further be followed.

I/We, Robert Geneau & Annie Bronsard have read and fully understand the aforementioned caution and recommendation set forth by the builder and as such hereby release VALECRAFT HOMES LIMITED from future responsibility with respect to flooring damage caused as a result of water and/or excessive moisture.

Project: Place St-Augustin - Phase 1

LOT NO: 7

Signed by: Robert Geneau
(Signature)

August 10, 2025
(Date)

Signé par : Annie Bronsard
(Signature)

August 10, 2025
(Date)



Freehold Form
(Tentative Closing Date)

SCHEDULE B
Adjustments to Purchase Price or Balance Due on Closing

PART I Stipulated Amounts/Adjustments

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing, the dollar value of which is stipulated in the Purchase Agreement and set out below.

- 1. Preparation of transfer fee by Builder’s solicitor as stated in Clause #26 of the Agreement of Purchase & Sale. \$275.00 + HST= \$310.75

PART II All Other Adjustments – to be determined in accordance with the terms of the Purchase Agreement

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing which will be determined after signing the Purchase Agreement, all in accordance with the terms of the Purchase Agreement.

- 1. Land Transfer Tax based on final purchase price less HST as stated in Clause #26 of the Agreement of Purchase & Sale.
- 2. Property Taxes as per final statement of adjustments as stated in Clause #11 of the Agreement of Purchase & Sale.
- 3. Real Estate Transaction Levy Surcharge as per final statement of adjustments as stated in Clause #13 of the Agreement of Purchase & Sale.
- 4. Administrative charges to set up assessment roll number and change of records as per final statement of adjustments as stated in Clause #14 of the Agreement of Purchase & Sale.
- 10. Delay in Closing by Purchaser of \$250.00 +HST per day as per final statement of adjustments as stated in Clause #20 of the Agreement of Purchase & Sale.
- 11. Maximum GST/HST rebate based on final purchase price less HST as stated in Schedule “G” Clause # 8 of the Agreement of Purchase & Sale.
- 12. Tarion Enrolment Fee based on final purchase price less HST as stated in Clause #12 of the Agreement of Purchase & Sale. Tarion Enrolment Calculation Table can be viewed on-line at tarion.com. See chart on page 11 as a guide.
- 13. Additional upgrades/deletions contained in the attached Amendment to the Agreement of Purchase and Sale dated August 10, 2025.

Signed at Gatineau, QC, this 10 day of August, 2025.

Signed by:
Robert Gervais
EFBA12E8D23D4F...
Purchaser

Valecraft Homes (2019) Limited

Signé par :
Amie Briand
E1EF44B2A4874CD...
Purchaser

DocuSigned by:
[Signature]
A04F827301214EE...
Per:

August 10, 2025
Date:

Lot #: PSA PH1 Lot 7

Project: Place St-Augustin


THE MORGAN

Date: August 10, 2025

Floorplan Sketch

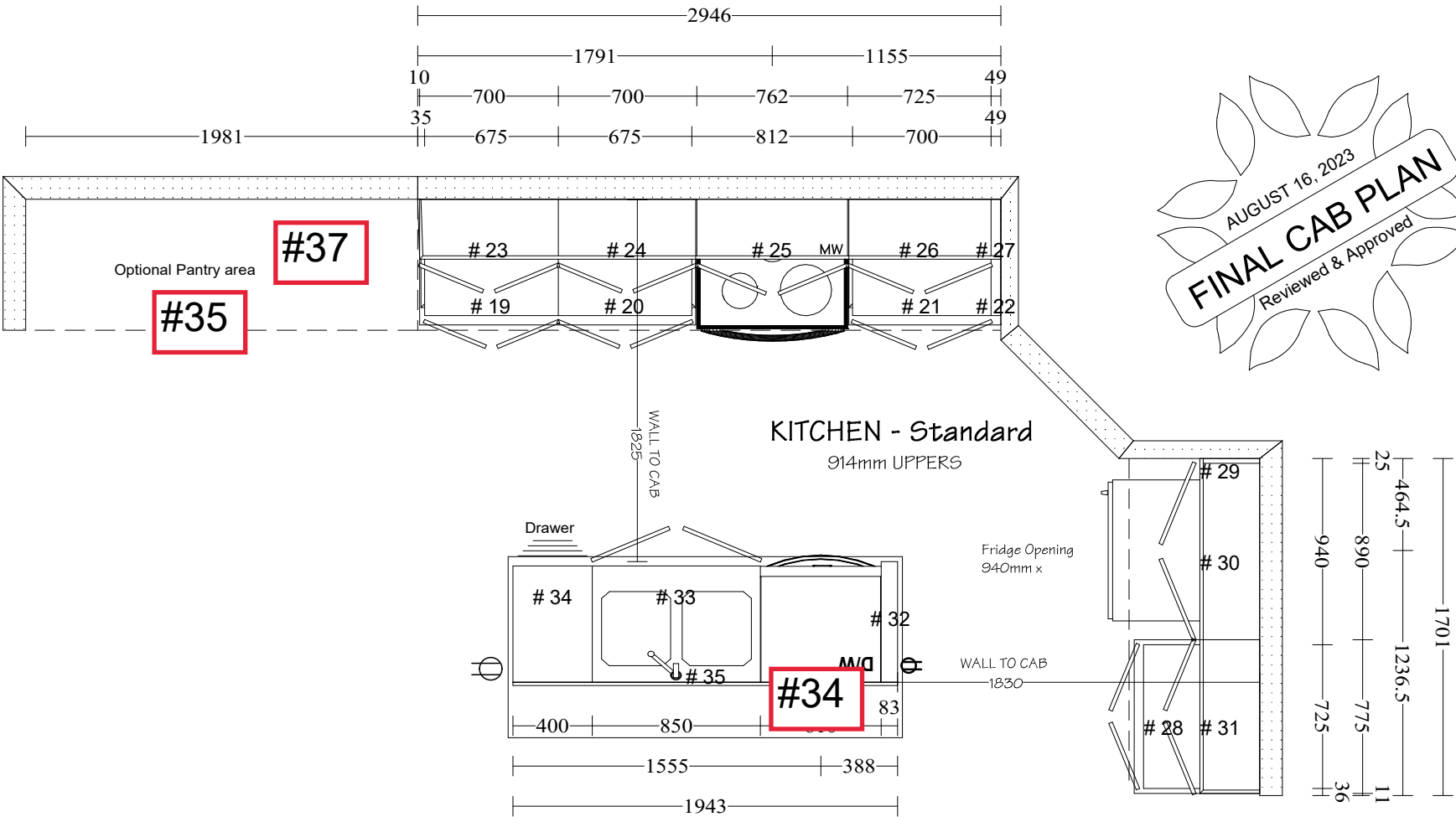


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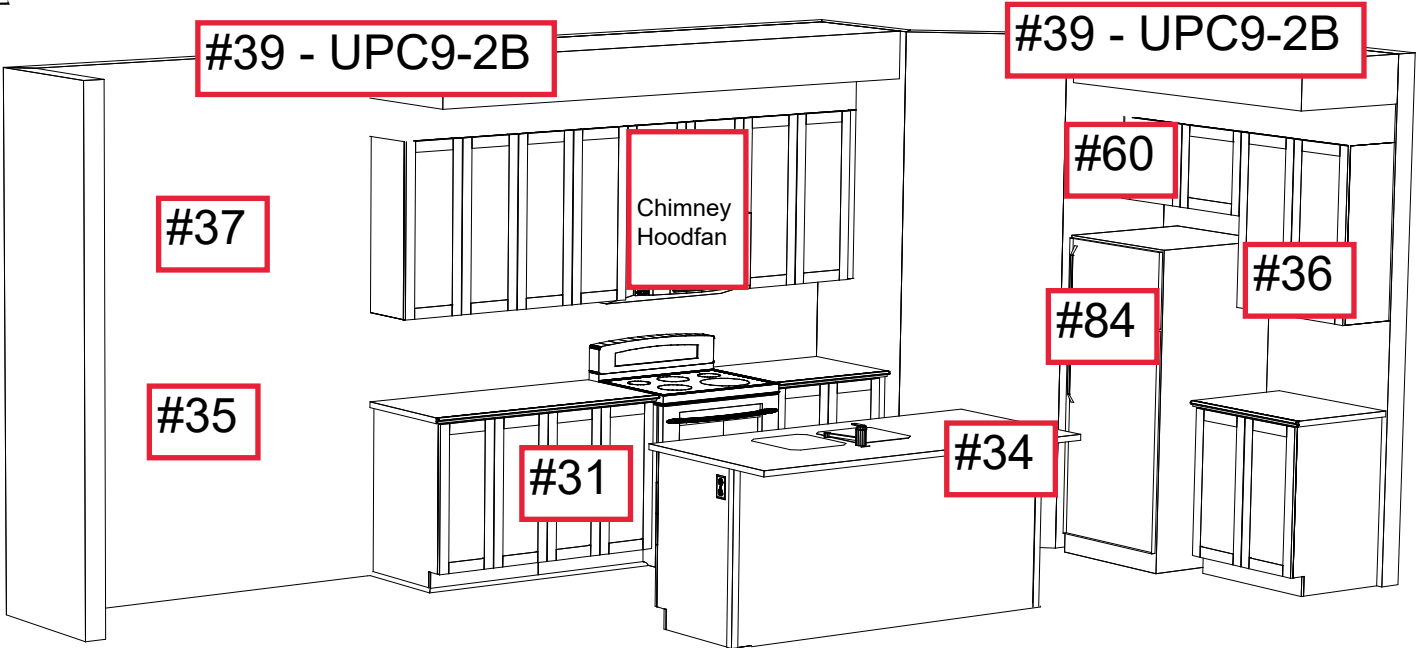
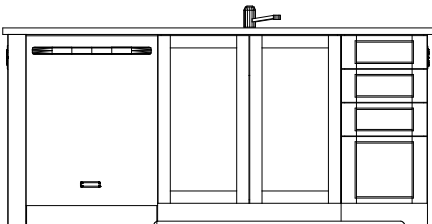
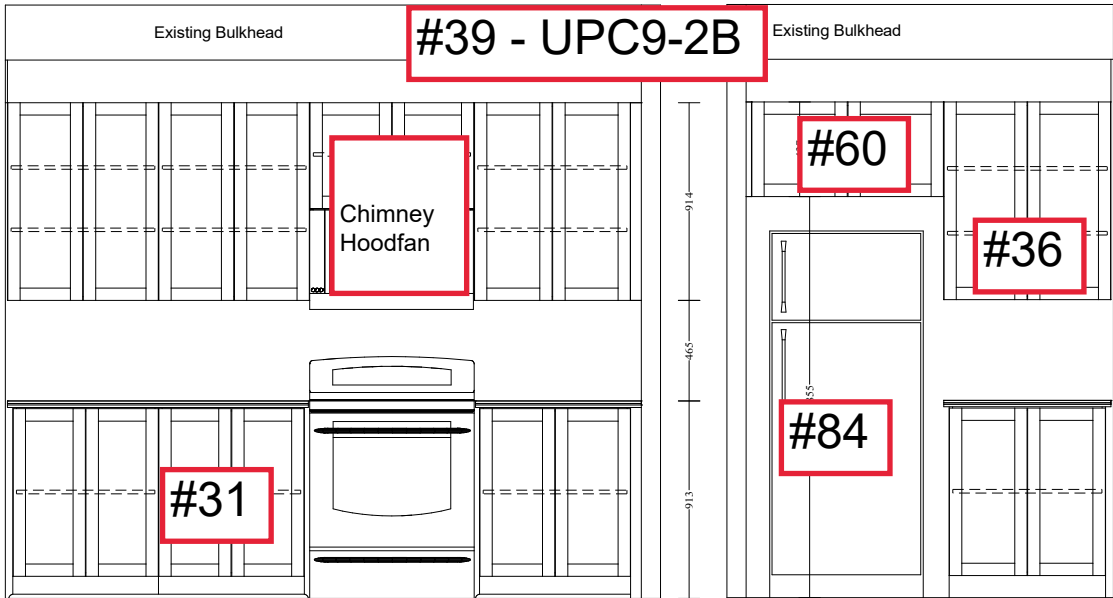
	BUILDER: Valecraft Homes (2019) Limited	SITE: Place St-Augustin	LOT: PSA PH1 Lot 7 PLAN#: 50M-387
	PURCHASOR: Robert Geneau	MODEL: 1020 MORGAN STND	
	PURCHASOR: Annie Bronsard	DATE: August 10, 2025	


KITCHEN SKETCH - AUGUST 10, 2025

DIMENSIONS MAY VARY ON SITE MEASURES/CONDITIONS

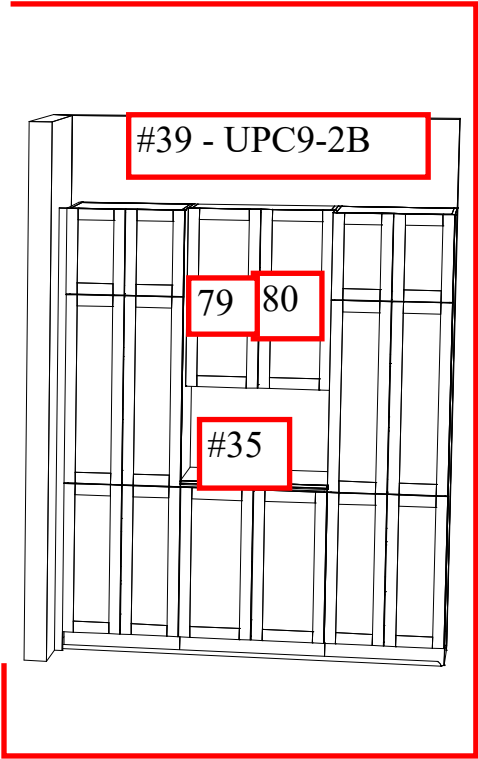
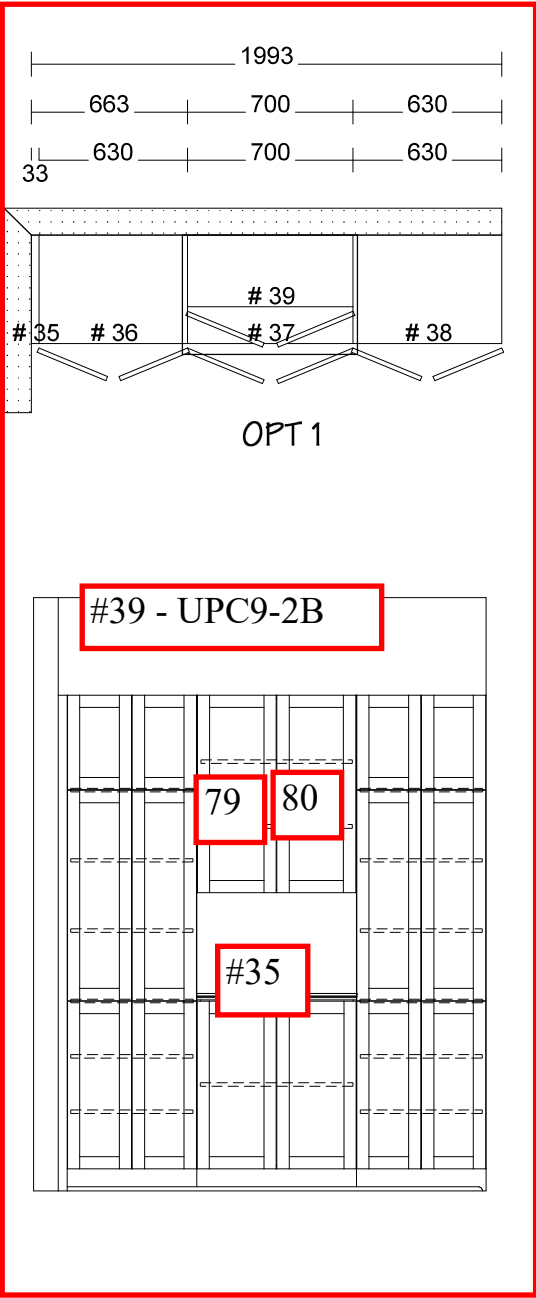


ITEM #85 - STANDARD KITCHEN LAYOUT
- LEVEL 1 SERIES CABINETS



	BUILDER: Valecraft Homes (2019) Limited	SITE: Place St-Augustin - Phase 1	LOT: PSA PH1 Lot 7 PLAN#: 50M-387
	PURCHASOR: Robert Geneau	MODEL: 1020 MORGAN STND	
	PURCHASOR: Annie Bronsard	DATE: August 10, 2025	

PANTRY SKETCH - AUGUST 10, 2025

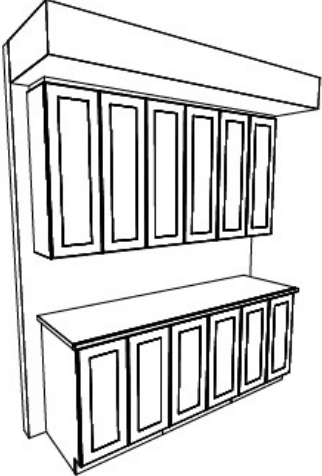
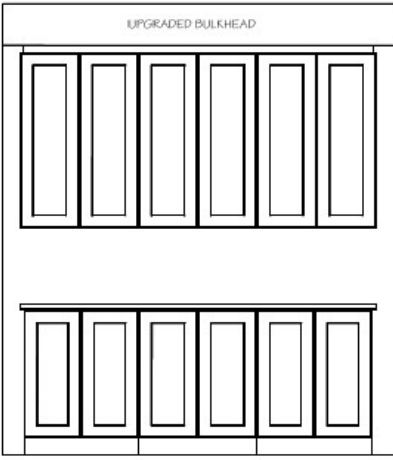
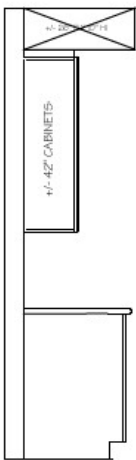


ITEM #37 - OPTIONAL PANTRY 1
- LEVEL 1 CABINETRY

OPTIONAL KITCHEN CABINET CROWN MOULDING, FILLER &
UPGRADE BULKHEAD DETAILS

UPC9-2B Upgrade #: 39

- Includes upgrade to 42” uppers with filler detail on upper kitchen cabinetry to upgraded bulkhead.



Project: Place St-Augustin
Plan #: 50M-387
Lot: PSA PH1 Lot 7
Model: #1020 "A" Std Morgan

Purchaser: Robert Geneau
Purchaser: Annie Bronsard
Date: August 10, 2025
Upgrade #: 39



Valecraft
Homes (2019) Limited

Standard Edge Profiles for Granite & Quartz



Pencil Top Only
with Square Bottom

Kitchen, Dinette,
Main Bathroom,
Ensuite Bathroom

Project: Place St-Augustin

Purchaser: Robert Geneau

Plan #: 50M-387

Purchaser: Annie Bronsard

Lot: PSA PH1 Lot 7

Date: August 10, 2025

Model: #1020 "A" Std Morgan

Upgrade #: 18, 34, 35, 64, 65

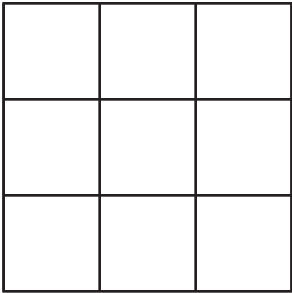


Valecraft
Homes (2019) Limited

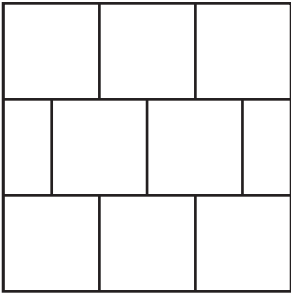
Tile Installation Options

FLOOR TILE

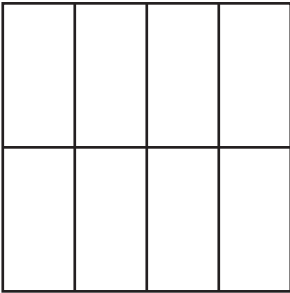
Standard square



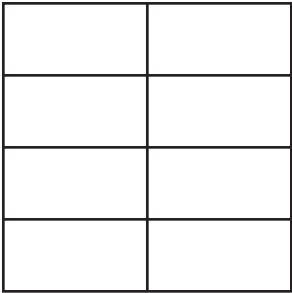
Square brick



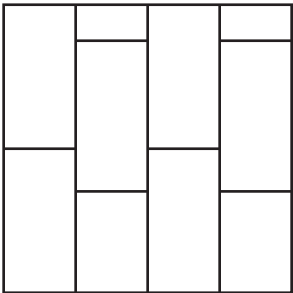
Rectangular
front to back of the house



Rectangular
side to side of the house

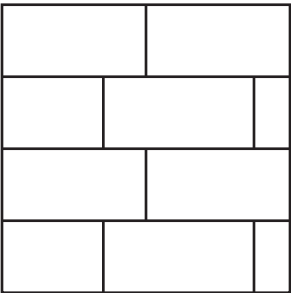


Rectangular 1/3 staggered
front to back of the house



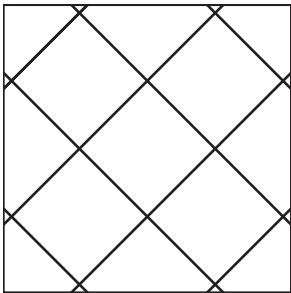
Foyer,
Mudroom/Laundry,
Main Bathroom,

Rectangular 1/3 staggered
side to side of the house



Ensuite Bathroom

45 degree



Project: Place St-Austin

Plan #: 50M-387

Lot: PSA PH1 Lot 7

Model: #1020 "A" Std Morgan

Purchaser: Robert Geneau

Purchaser: Annie Bronsard

Date: August 10, 2025

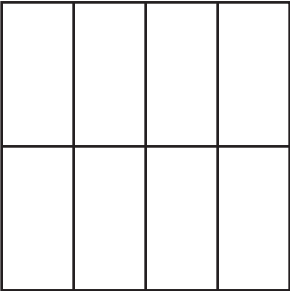
Upgrade #: 67, 68, 69, 72, 73



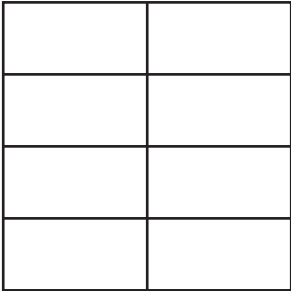
Tile Installation Options

WALL TILE

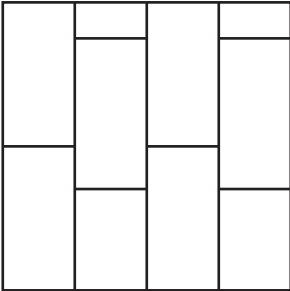
Vertical stacked



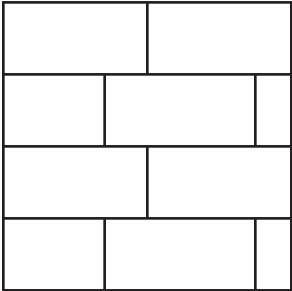
Horizontal stacked



Vertical 1/3 offset brick

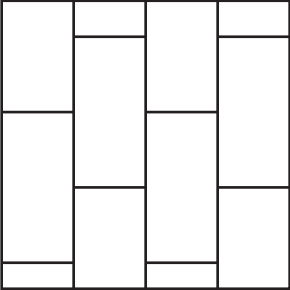


Horizontal 1/3 offset brick

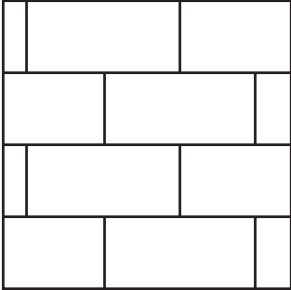


Main Bathroom
Tub/Shower,
Ensuite Bathroom
Walk-In Shower,

Vertical brick

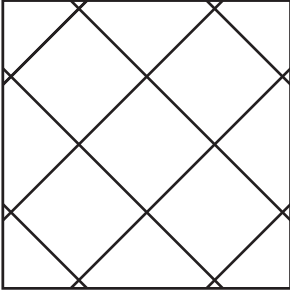


Horizontal brick

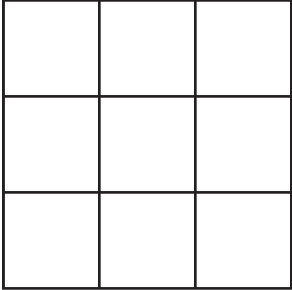


Kitchen Backsplash,

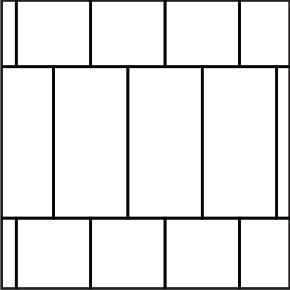
45 degree



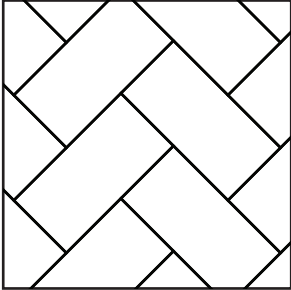
Standard square



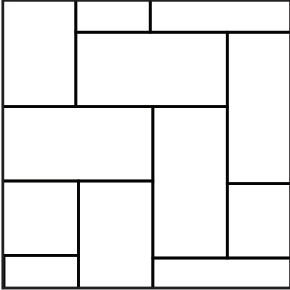
Vertical offset bond



Herringbone



Block herringbone



Project: Place St-Augustin

Plan #: 50M-387

Lot: PSA PH1 Lot 7


Model: #1020 "A" Std Morgan

Purchaser: Robert Geneau

Purchaser: Annie Bronsard

Date: August 10, 2025

Upgrade #: 70, 71, 74, 75, 76, 77, 78

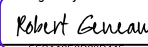
	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place St-Augustin	Reg'd Plan #:	50M-387	Sales Rep:	A. Bowman
	Lot No:	PSA PH1 Lot 7	Civic Address:	222 Sam Ave., Embrun ON K0A 1W0		
	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
INTERIOR FINISHES						
DESCRIPTION						STD/UPG #
TRIM STYLE	Trim Package #1					4
DOOR STYLE	Craftsman Smooth interior doors + Front Exterior Door with EDGE Glass Insert & Sidelite					2, 3
INTERIOR HARDWARE	Standard knobs in Brushed nickel					STD
INTERIOR LIGHTING PACKAGE	Standard Soho Loght Package + 200 AMP Service + Orbital and S&S Electric Quote + Reinforced wall in great room for tv wall mount					STD, 1, 58, 86, 87,
BATHROOM ACCESSORIES	Astral Chrome throughout, Main bathroom to have 2 hooks behind the door and no 24in towel bar.					56, 57
FIREPLACE MANTLE	STD MDF white painted mantle					STD

INTERIOR HANDRAILS AND SPINDLES				
	WOOD	STYLE	STAIN/COLOUR	STD/UPG #
HANDRAIL	Red Oak	Colonial (STD)	Stain #504	STD, 48
BRACKET	Metal	N/A	Stainless Steel (STD)	STD, 48
SPINDLES	Red Oak	Modern (STD)	Stain #504	STD, 48
POSTS	Red Oak	Modern 3in routed (STD)	Stain #504	STD, 48
NOSINGS	Red Oak	N/A	Stain #504	STD, 48
HARDWOOD STAIRCASE <i>(WHERE APPLICABLE)</i>	N/A	N/A	N/A	N/A

APPLIANCES				
TYPE	SIZE	STD/UPG #	APPLIANCE UPG LEVEL	STD/UPG #
FRIDGE <i>(Standard Minimum Opening is 35"(w) x maximum 73" (h))</i>	Fridge Opening approximately 37" wide by 73" high	84	Water line rough-in	17
RANGE	Standard Opening	\	\	\
DISHWASHER	Standard Opening	\	\	\
CHIMNEY HOODFAN <i>(Specify if convection)</i>	Standard Opening	\	Whirlpool 300cfm 30in WVW73UC0LS in Stainless Steel	16
WASHING MACHINE/DRYER	\	\	\	\

Purchaser's Signature(s) :

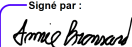
Signed by:



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Purchaser's Signature(s) :


Signé par :



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Approved By :

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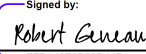
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place St-Augustin	Reg'd Plan #:	50M-387	Sales Rep:	A. Bowman
	Lot No:	PSA PH1 Lot 7	Civic Address:	222 Sam Ave., Embrun ON K0A 1W0		
	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
CABINETRY						
ROOM	SELECTION				LEVEL	STD/UPG #
KITCHEN	STYLE AND COLOUR	2" Shaker Birch in Algonquin			Level 1	13, 31, 36, 37, 39, 60, 79, 80, 84, 85
	HARDWARE CODE	20596-195	TYPE	pulls	STD	STD
	COUNTERTOP	Silestone Halcyon polished, 3cm	COUNTERTOP EDGE PROFILE	Pensil top only	Level 1 + Flush BB	34, 35
MAIN BATHROOM	STYLE AND COLOUR	TF3620 in TF-179			Level 1	66
	HARDWARE CODE	20596-195	TYPE	pulls	STD	STD
	COUNTERTOP	Silestone Miami White Polished, 3cm	COUNTERTOP EDGE PROFILE	Pensil top only	Level 1	65
ENSUITE BATHROOM	STYLE AND COLOUR	TF3620 in TF-179			Level 1	18, 19, 63
	HARDWARE CODE	20596-195	TYPE	pulls	STD	STD
	COUNTERTOP	Silestone Miami White Polished, 3cm	COUNTERTOP EDGE PROFILE	Pensil top only	Level 1	18, 64
POWDER ROOM	STYLE AND COLOUR	PEDESTAL			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\
BASEMENT/OTHER BATHROOM	STYLE AND COLOUR	\			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\
LAUNDRY ROOM	STYLE AND COLOUR	\			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\

Purchaser's Signature(s) :

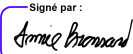
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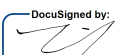
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DocuSigned by:



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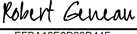
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	Community:	Place St-Augustin	Reg'd Plan #:	50M-387	Sales Rep:	A. Bowman
	Lot No:	PSA PH1 Lot 7	Civic Address:	222 Sam Ave., Embrun ON K0A 1W0		
	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
PAINT COLOUR(S)						
ROOM	MAIN COLOUR		STD/UPG #	ACCENT WALL		STD/UPG #
TRIM	Semi Gloss DLX1025-1 Commercial white		STD			
FOYER	Eggshell DLX1025-2 Silent Smoke		STD			
POWDER ROOM	\		\			
MAIN FLOOR HALLWAY	Eggshell DLX1025-2 Silent Smoke		STD			
DINING ROOM	Eggshell DLX1025-2 Silent Smoke		STD			
FLEX ROOM	\		\			
GREAT ROOM	Eggshell DLX1025-2 Silent Smoke		STD			
FAMILY ROOM	\		\			
DEN/STUDY/HOME OFFICE	\		\			
KITCHEN/DINETTE/	Eggshell DLX1025-2 Silent Smoke		STD			
LAUNDRY/MUDROOM	Eggshell DLX1025-2 Silent Smoke		STD			
2nd FLOOR HALLWAY	\		\			
MAIN BATH	Eggshell DLX1025-2 Silent Smoke		STD			
BEDROOM #2	Eggshell DLX1025-2 Silent Smoke		STD			
BEDROOM #3	Eggshell DLX1025-2 Silent Smoke		STD			
BEDROOM #4	\		\			
OWNERS SUITE	Eggshell DLX1025-2 Silent Smoke		STD			
OWNERS SUITE WALK-IN CLOSET	Eggshell DLX1025-2 Silent Smoke		STD			
OWNERS SUITE ENSUITE	Eggshell DLX1025-2 Silent Smoke		STD			
FINISHED BASEMENT RECREATION ROOM	\		\			
BASEMENT VESTIBULE	Eggshell DLX1025-2 Silent Smoke		STD			


Purchaser's Signature(s) :

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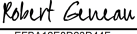
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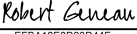
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	Lot No:	PSA PH1 Lot 7	Civic Address:	222 Sam Ave., Embrun ON K0A 1W0		
	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
CERAMIC & GROUT SELECTIONS (1)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #
FOYER	FLOOR	Ceramica Concept Thomas Bianco Matte 12x24 (Front to back 1/3 staggered installation)		Mapei 5002 Pewter	Bronze floor tile + UPG install + UPG grout	67, 68, 69
POWDER ROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				
MUDROOM / LAUNDRY	FLOOR	Ceramica Concept Thomas Bianco Matte 12x24 (Front to back 1/3 staggered installation)		Mapei 5002 Pewter	Bronze floor tile + UPG install + UPG grout	67, 68, 69
	WALL	\		\	\	\
	INSERT OR BORDER	\				
FLEX ROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				
KITCHEN	FLOOR	See hardwood selection		\	UPG	50
	BACKSPLASH	Centura Splendour 3x12 cream SP23965 (Horizontal 1/2 brick installation)		Mapei 5014 biscuit	Gold wall tile + UPG install + UPG grout	76, 77, 78
	INSERT OR BORDER	\				
DINETTE	FLOOR	See hardwood selection		\	UPG	50
STANDARD FIREPLACE	HEARTH	No Hearth tile		\	\	\
	SURROUND	No surround tile		\	\	\
ADDITIONAL FIREPLACE	HEARTH	\		\	\	\
	SURROUND	\		\	\	\

Purchaser's Signature(s) :


Signed by:



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	Lot No:	PSA PH1 Lot 7	Civic Address:	222 Sam Ave., Embrun ON K0A 1W0		
	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
CERAMIC & GROUT SELECTIONS (2)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #
MAIN BATHROOM	FLOOR	Ceramica Concept Thomas Bianco Matte 12x24 (Front to back 1/3 staggered installation)		Mapei 5002 Pewter	Bronze floor tile + UPG install + UPG grout	67, 68, 69
	WALL IN TUB/SHOWER COMBO	Centura Splendours 3x12 in black SP23962 (Vertical 1/3 offset brick installation)		Mapei 5047 Charcoal	Gold wall tile + UPG install + UPG grout	70, 71
	INSERT OR BORDER	\				
3PC ENSUITE BATHROOM	FLOOR	Ceramica concept Statuario Light Matte 12x24 (Side to Side 1/3 staggered installation)		Mapei 5093 Warm gray	Bronze floor tile + UPG install + STD grout	72, 73, STD
	WALL IN SHOWER	Ceramica concept Statuario Light Matte 12x24 (Vertical 1/3 offset brick installation)		Mapei 5093 Warm gray	Bronze floor tile + UPG install + STD grout	74, 75, STD
	INSERT OR BORDER	\				
4PC/5PC ENSUITE BATHROOM	FLOOR	\		\	\	\
	TUB DECK	\		\	\	\
	TUB BACKSPLASH	\		\	\	\
	INSERT OR BORDER	\				
	WALL OVER TUB	\		\	\	\
BASEMENT/OTHER BATHROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				

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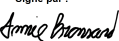
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	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
FLOORING SELECTIONS						
ROOM	CARPET/UNDERPAD OR HARDWOOD				LEVEL	STD/UPG #
MAIN FLOOR HALLWAY	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	48
DINING ROOM	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	48
FLEX ROOM	\				\	\
FAMILY ROOM	\				\	\
GREAT ROOM	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	48
DEN/HOME OFFICE	\				\	\
REAR HALLWAY	\				\	\
KITCHEN	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	50
DINETTE	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	50
MAIN STAIRS TO BEDROOMS	\				\	\
UPPER HALLWAY	\				\	\
BEDROOM # 2	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	51
BEDROOM # 3	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	52
BEDROOM # 4	\				\	\
OWNERS SUITE	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	49
OWNERS SUITE WALK-IN CLOSET	Lauzon Designer Collection Estate Series Character grade ultra matte finish White Oak Moorland 6 1/4in				UPG	49
STAIRS TO BASEMENT	A4531 Spartacus 84558 Beach shell + STD underpad				STD carpet + STD underpad	STD, STD
FINISHED BASEMENT FAMILY ROOM	A4531 Spartacus 84558 Beach shell + STD underpad				STD carpet + STD underpad	STD, STD

Purchaser's Signature(s) :

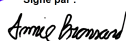
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	Purchaser(s):	Robert Geneau			Model Name:	1020 "A" Std Morgan
	Purchaser(s):	Annie Bronsard			Closing Date:	14-Apr-26
PLUMBING FIXTURES						
ROOM	FIXTURE	STYLE			FINISH	STD/UPG#
KITCHEN	SINK	Standard undermount			SS	STD
	FAUCET	Delta Essa 9113-AR-DST single handle pull down			Arctic stainless	55
MAIN BATHROOM	SINK	Standard undermount			White	STD
	VANITY FAUCET	Delta Trinsic 559 HA-SS-DST single handles high arc c/w matching drain trim			Stainless	61
	WATER CLOSET	American standard champion pro elongated 211 CA-104 with soft close seat , right height			White	22
	TUB/SHOWER	Standard + Zitta Niche 12x24x3.75 #ANR24120417 brushed nickel			White	STD, 24
	TUB/SHOWER FAUCET	Delat Vero T14453-SS tub/shower trim			chrome	53
3PC ENSUITE BATHROOM	SINK	Standard undermount			White	STD
	VANITY FAUCET	Delta Trinsic 559 HA-SS-DST single handles high arc c/w matching drain trim			Stainless	61
	WATER CLOSET	American standard champion pro elongated 211 CA-104 with soft close seat , right height			White	22
	APPROX. 36X60 SHOWER	Upgrade shower base to approx. 36x60in, with 1 fix clear glass panel closest to toilet and a sliding door closest to shower faucet. Includes Brushed Nickel trim. + Zitta Niche 12x24x3.75 #ANR24120417 brushed nickel			White, clear glass, brushed nickel	83, 81, 41
	SHOWER FAUCET	Delta Vero T14253-SS shower only trim			Stainless	54
	BATHTUB	\			\	\
	BATHTUB FAUCET	\			\	\
POWDER ROOM	PEDESTAL	\			\	\
	SINK FAUCET	\			\	\
	WATER CLOSET	\			\	\
BASEMENT/OTHER BATHROOM	SINK	\			\	\
	VANITY FAUCET	\			\	\
	WATER CLOSET	\			\	\
	TUB/SHOWER	\			\	\
	TUB/SHOWER FAUCET	\			\	\
NOTE: All fixtures are white as standard						

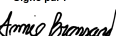
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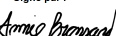
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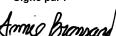
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Tel: (613) 748-0432
Fax: (613) 748-0355

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www.ssbolton.com

Estimate No#: OR8773 Rev.03

Customer Copy

Customer:

Robert Geneau & Annie Bronsard
Home: 819-635-6730, 819-668-7527
Email: geneaur2@gmail.com;
anniebronsard@hotmail.com

Builder: VALECRAFT HOMES (2019) LTD.
Project: Place St Augustin
Lot: PSA Ph1 Lot 7
Closing Date: 04/14/2026

Salesperson: Kyle Takman (OR)
Date: 07/24/2025

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
N/A	1.00	Vacuum Rough-In Outlet Vacuum Rough-In Outlets		\$	\$0.00
Great Room	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Owners Suite	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Bedroom #2	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Bedroom #3	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Great Room	1.00	Off-Set 2" Conduit w/ Wall Plates Off-Set 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV - approx 72 inches from floor above fire place		\$190.00	\$190.00
Front Out	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Data CAT6 Outlet - Location as shown on floor plan - pre-wire for future security camera		\$226.00	\$226.00
Customer Subtotal:					\$416.00
HST:					\$54.08
Total:					\$470.08

*** Total price includes all applicable taxes

Signed by:

Robert Geneau

EPBA12E8023044F

Signé par :

Annie Bronsard

EYEF44B2A4874CD...

Customer Signature

August 10, 2025

Date

DS
FN

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@orbitalti.com | Website: www.orbitalti.com

5411 Canotek Road, Ottawa, Ontario K1J 9M3

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Tel: (613) 748-0432
Fax: (613) 748-0355

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Estimate No#: SS6922 Rev.03

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Customer:

Robert Geneau & Annie Bronsard
Home: 819-635-6730, 819-668-7527
Email: geneaur2@gmail.com;
anniebronsard@hotmail.com

Builder: VALECRAFT HOMES (2019) LTD.
Project: Place St Augustin
Lot: PSA Ph1 Lot 7
Closing Date: 04/14/2026

Salesperson: Kyle Takman
Date: 07/24/2025

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Great Room	1.00	15 Amp Standard Plug Add 15 AMP plug approx 72 inches from floor above fireplace beside conduit	A	\$175.00	\$175.00
Kitchen	1.00	Standard Light Outlet (Keyless) Relocate standard fixture and leave as keyless fixture and add 2nd keyless fixture (2 in total) for future pendant lighting	D	\$160.00	\$160.00
Kitchen	1.00	Misc. Product Delete Standard Fixture	D	\$-47.00	\$-47.00
Kitchen	2.00	Misc. Product Add Verona Pendants over island (PD41304-BN)	D	\$283.00	\$566.00
Kitchen	1.00	4 * 4" LED slim Pot Light White (AFR4C-0930-WH) Add 4 * 4" LED slim Pot Light White (AFR4C-0930-WH) on added switch	E	\$939.00	\$939.00
Kitchen	1.00	Single Pole Switch Added Switch for pot lights	E	\$136.00	\$136.00
Kitchen	1.00	Upgrade Switch to Dimmer Upgrade Switch to Dimmer	E	\$121.00	\$121.00
Various Locations	2.00	Misc. Product USB Charger Receptacle (standard items) -Kitchen -Owners Suite	H	\$	\$0.00
Ensuite Bath	1.00	4" LED slim Pot Light White (AFR4C-0930-WH) Add 4" LED slim Pot Light White (AFR4-0930-WH) on added switch	I	\$245.00	\$245.00
Ensuite Bath	1.00	Single Pole Switch Added Switch for pot light	I	\$136.00	\$136.00
Main Bath	1.00	4" LED slim Pot Light White (AFR4C-0930-WH) Add 4" LED slim Pot Light White (AFR4-0930-WH) on added switch	J	\$245.00	\$245.00

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@sandselectric.ca | Website: www.sandselectric.ca

5411 Canotek Road, Ottawa, Ontario K1J 9M3

Initial: RG Paraphé: AB DS: FN



Tel: (613) 748-0432
Fax: (613) 748-0355

A Division of the S&S Bolton Group
www.ssbolton.com

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Main Bath	1.00	Single Pole Switch Added Switch for pot light	J	\$136.00	\$136.00
Basement	1.00	15 Amp Separate Circuit Plug 15 Amp Separate Circuit Plug for future freezer	K	\$349.00	\$349.00
Basement	1.00	15 Amp Standard Plug 15 Amp Standard Plug	L	\$175.00	\$175.00
Garage	1.00	Misc. Product 1" conduit for future EV Charger, includes 4 11/16 box c/w cover at future EV charger location, conduit tied into electrical panel, no wiring	M	\$547.00	\$547.00
Dinette	1.00	4" LED slim Pot Light White (AFR4C-0930-WH) Add 4" LED slim Pot Light White (AFR4-0930-WH) on existing switch	N	\$245.00	\$245.00
Dinette	1.00	Misc. Product Delete Standard Fixture	N	\$-180.00	\$-180.00
Basement	1.00	15 Amp Standard Plug 15 Amp Standard Plug	O	\$175.00	\$175.00
Dining	1.00	Upgrade Switch to Dimmer Upgrade Switch to Dimmer	P	\$121.00	\$121.00

*** Total price includes all applicable taxes

Customer Subtotal:	\$4,244.00
HST:	\$551.72
Total:	\$4,795.72

Notes:

"Purchaser has acknowledged that they have discussed any kitchen layout modifications with their electrical representative. If modifications are made after signing off on electrical, this will incur additional charges."

Signed by:

Robert Gineau

EFBA12E8D23D44F...

Customer Signature

Signé par :

Amie Bernard

E1E174B2A4874CD...

August 10, 2025

Date



Valecraft
Homes (2019) Limited

S&S / Orbital Sketch



Model Name: The Morgan

Model #: 1020

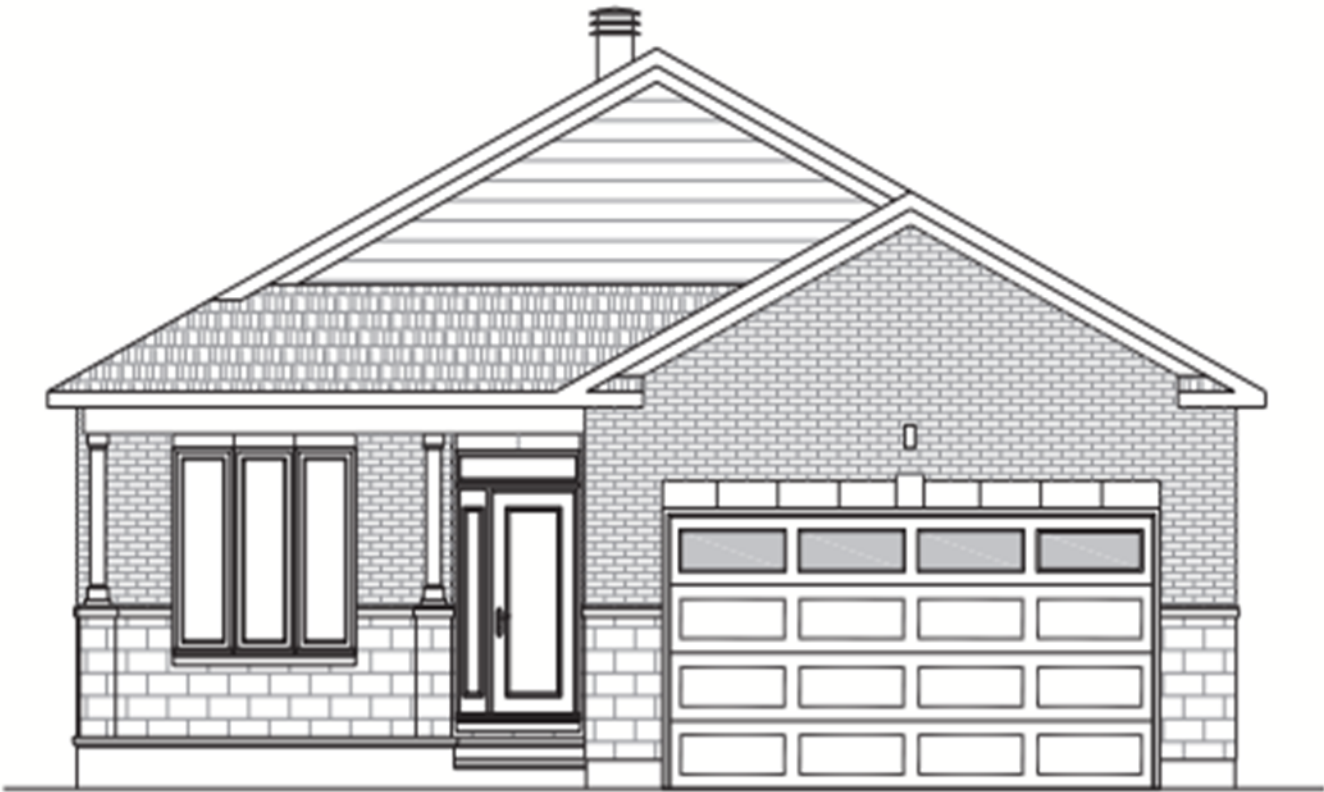
Site: Place St-Augustin

Purchaser: Robert Geneau

Lot: PSA PH1 Lot 7

Date: July 24, 2025

Purchaser: Annie Bronsard



ELEVATION A

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Valecraft
Homes (2019) Limited

s&s / Orbital Sketch

Model Name: The Morgan

Model #: 1020

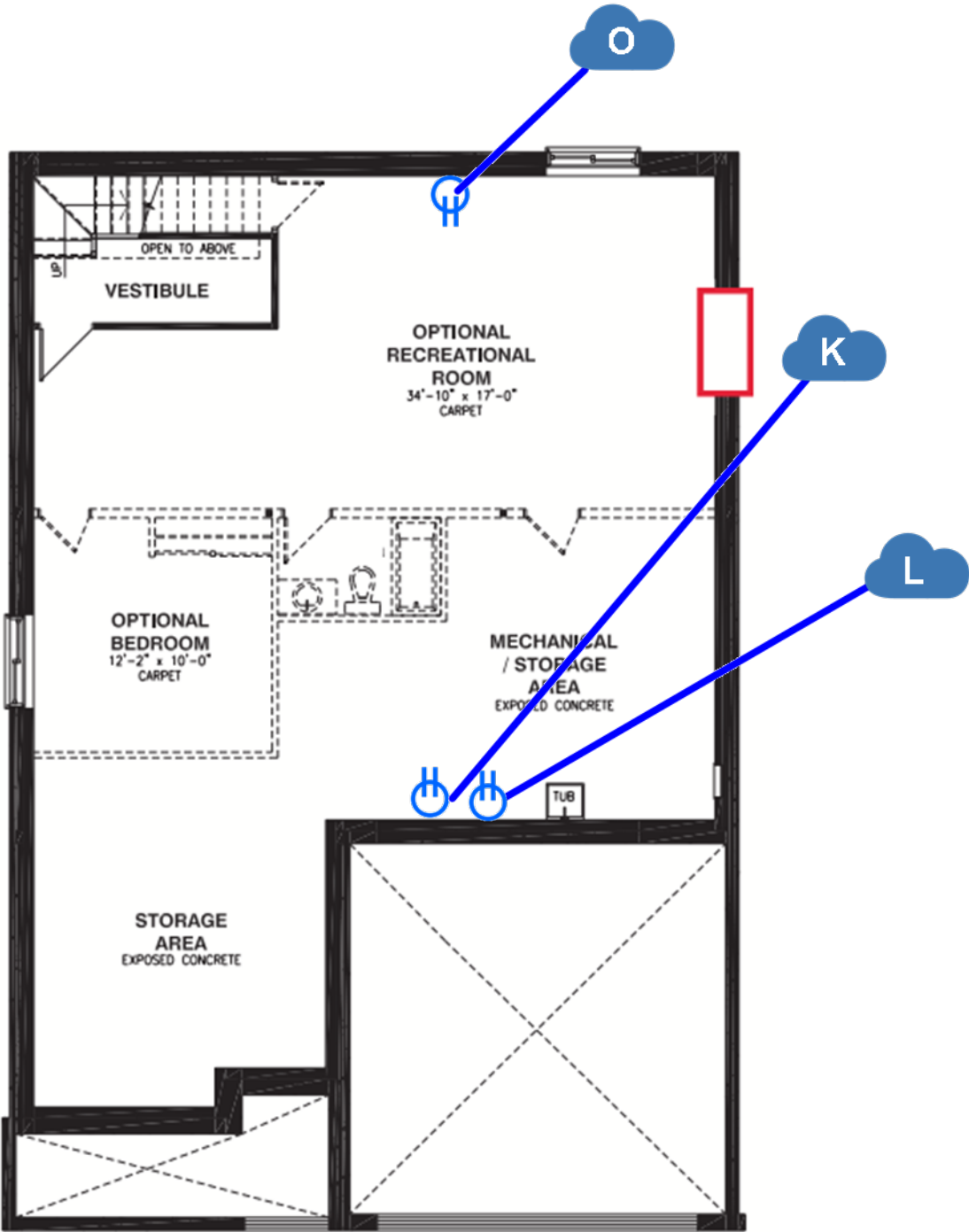
Site: Place St-Augustin

Purchaser: Robert Geneau

Lot: PSA PH1 Lot 7

Date: July 24, 2025

Purchaser: Annie Bronsard



ELEVATION A

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Valecraft Homes Décor Disclaimers

Lot#: 7 Model:1020 THE MORGAN ELEV A in Place St. Augustin - Valecraft Homes (2019) Limited
PURCHASERS: Robert Geneau and Annie Bronsard

TEL:

Through years of doing business, we at Valecraft Homes have encountered issues beyond our control. The following disclaimers apply to all instances of Schedule B1A and 680 forms and all Colour Chart forms.

HOUSE EXTERIORS

The Vendor has the right to exercise full architectural control over exterior finishes and as such, the Vendor shall have final approval of all colour selections. This includes but is not limited to additional brick to external side yard walls to enhance the streetscape and/or to comply to municipal agreements.

Variations in subcontractors across different sites and varying site conditions may result in house exteriors that differ from the artist renderings. The Builder cannot be responsible for results which differ from the artists renderings of elevations.

ADDITIONAL WINDOWS

Additional windows to side elevations are subject to limiting distance as per Current Ontario Building Code and Municipal Zoning.

MULTI-MEDIA

The Purchaser understands that all Multi Media locations are approximate and vary from chosen locations.

IN-WALL CONDUIT FOR AUDIO/VIDEO CABLES

The Purchaser acknowledges and accepts that due to the variation in framing requirements in different parts of the Purchaser's home, conduit lengths and routing can vary. In virtually all instances of ground floor installation (i.e. above a fireplace), conduit will first travel down into the basement below the floor joists, over to the termination point and back up into the main floor. As a result, it is best to measure the length of the conduit after occupancy with a "pull wire" before purchasing The Purchaser's cables. For above fireplace installations, the conduit wall plate will be installed approximately 10" above the Fireplace Mantle, unless otherwise specified in the Client Upgrades.

PLANS

Plans are subject to change without notice. Actual usable floor space may vary from the stated floor area. Layout for the services, kitchen, furnace, HWT and laundry tub may vary from plan. Vertical and horizontal bulkhead, which are not shown on plan, may be required for plumbing and heating runs. E.& O.E.

For townhomes, Purchasers Agree to sign an exterior block plan layout when available. Purchaser(s) acknowledge that rooflines may be altered at this time from the brochure due to block assembly.

INVENTORY AND MODEL HOMES:

Purchaser(s) Acknowledge And Accept That All Interior Colours And Wiring Have Been Selected And Installed By The Vendor And Will Remain As Installed. (Ie: Cabinetry, Flooring And Paint Colours But Not Limited To.)

SELECTIONS AND APPOINTMENTS:

All colour and material selections are to be made from Vendor's standard samples unless otherwise paid for as an upgrade.

In the event the work on the house has progressed beyond the point where the items covered by these invoices cannot be installed without entailing any unusual expense, then this order is to be cancelled and any deposit paid in connection with the same is to be refunded to the Purchaser.

The vendor will undertake to incorporate the work covered by the sales extra in the construction of the house but will not be liable to the Purchaser in any way, if for any reason the work covered by the extra is not carried out. In that event, any monies paid in connection with the same shall be returned to the Purchaser.

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Valecraft Homes Décor Disclaimers

Lot#: 7 Model:1020 THE MORGAN ELEV A in Place St. Augustin - Valecraft Homes (2019) Limited

PURCHASERS: Robert Geneau and Annie Bronsard

TEL:

It is understood and agreed that if for any reason whatsoever the transaction of Purchase and Sale is not completed, the total cost of extras ordered are not refundable to the Purchaser(s). Extras or changes will not be processed unless signed by the Vendor. These extras may not be amended without the written consent of Valecraft Homes.

The Purchaser(s) acknowledge and accept that failure to finalize the structural or colour selections by their cut-off date may result in a delay in construction and the builder has the right to extend the closing date. Due to failure to complete the above-mentioned selections and at no fault of us, the builder reserves the right to hold The Purchaser responsible for a delayed closing, including charging extra administration cost and interest on the balance due on closing.

ADMINISTRATION FEES

Purchaser(s) Acknowledge That An Administration Fee Will Be Charged For All Change Orders Received Later Than 14 Days After Firm Up. No estimates or orders will be accepted once construction has commenced.

Should a refund be requested on any extras purchased, an 80% reimbursement of the purchase price will be given. (a \$50.00 minimum charge and a maximum \$250.00 charge will apply)

Prices and specifications which do not form part of this Agreement are subject to change without notice at the sole discretion of the vendor. Should a change in price occur, Valecraft Homes reserves the right to request from the Purchaser an adjustment of the price or a refund limited to that item.

The Purchaser acknowledges and accepts that ANY changes made to upgrades after signing the 680's are subject to a minimum administration fee of \$300. PLUS a 10% holdback fee.

Purchasers are aware that any request to add a percentage of upgrades from the 680's will be processed only after the builder receives approval letter from the bank.

GENERAL:

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The number of steps required at entrances into the home and the garage entrance may vary from the model home/plans depending on individual lot grading requirements. Due to these steps, exterior railings may be required. Purchaser(s) acknowledge the requirement to install an approximate 3' x 3' landing with stairs at the garage entrance to the house as a result of the 2006 Building Code Requirement OBC 9.8.6.2. if 3 or more risers are required as a result of grading.

Basement window wells may or may not be required depending upon individual lot grading requirements.

Zoning bylaws specify maximum driveway widths which are based upon frontages. A tapering of The Purchaser's driveway may be required depending upon the frontage and specifically if the frontage is less than average as in the case of a pie-shaped lot.

The grading and drainage of The Purchaser's lot has been designed and engineered to ensure that surface water is directed away from The Purchaser's home and into swales. These swales run at the side and rear of The Purchaser's property lines. Swales generally have more aggressive slopes relative to the general lot and will always occupy a portion of the useable space of The Purchaser's lot to serve their function properly.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

STAIRCASE VS FLOORING
WOOD SPECIES DIFFERENCE

The Purchaser acknowledges and accepts that the wood species of the staircase and flooring chosen do not match. This difference might result in an undesirable colour variance. The Purchaser acknowledges and accepts that though the flooring is of the same species as the staircase the difference in product finishing may result in a stain colour variance. The Purchaser agrees that the vendor is to be exempt from any and all claims by the Purchaser regarding this colour variance.

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Valecraft Homes Décor Disclaimers

Lot#: 7 Model:1020 THE MORGAN ELEV A in Place St. Augustin - Valecraft Homes (2019) Limited
PURCHASERS: Robert Geneau and Annie Bronsard

TEL:

RAILINGS

All railings, spindles, posts, nosing’s and stairs come from solid wood and veneered wood materials sourced from multiple locations and suppliers. As such there will be variations in grains and shades between the various natural components beyond our control. Due to this variance in material, all components will stain with colour or natural finish differently. Iron spindles are wrought in nature and depending on the manufacturing process will have differences from spindle to spindle which is normal. Also the finish of the iron spindles is of a powder coated nature. This process can produce minor colour variations or tones. Furthermore, the assembly of the metal spindles can develop a natural rattle over time from vibration in the railing. Minor rattling is normal and is a part of the wrought iron spindle assembly.

FIREPLACE MANTLE

Due To Extremely High Heat Temperatures Exiting The Top Vent Of The Fireplace And The Potential For Damages To Heat Sensitive Electronics And/OR Wall Décor Installed Above The Fireplace, The Purchaser(s) Acknowledge(s) That The Builder Recommends Installing A Fireplace Fan Kit As well As Maintaining The Mantle Installed Above The Fireplace.

STAIN COLOURS

Due to the many variables that can affect the outcome of a stain colour on wood, staircases, railings, and fireplace mantles, the colour may not be identical to samples. Factors such as density, age, humidity, air temperature, and the uniqueness of each piece of wood can result in wide variations in darkness or lightness. The builder will make every attempt to come as close to the sample as possible, but cannot be responsible for results which differ from the samples.
Stain on pre-finished hardwood floors will not be an exact match to the stain colours available on stairs, spindles and rails. The Purchaser is to choose from the builder’s stain samples for these areas to their satisfaction.

APPLIANCE SPECIFICATIONS

All appliance openings are set to the builder's standard openings. Please advise the Sales Representative at time of the structural appointment if custom sizing of cabinets is required for any built - in appliances. The Purchaser is responsible for costs and fees associated with changes to pre-manufactured kitchens made subsequent to colour appointments.

The Purchaser acknowledges and accepts that in order to accommodate upgraded appliances, all appliance specifications should be provided at the time of their structural appointment. Should this not occur they must be provided to the Décor Center within one (1) week of completion of structural chart. Failure to do so, may result in the need to revert to the standard appliance openings or in a delay in construction of The Purchaser’s dwelling, as a cost of \$150 to re-open The Purchaser’s structural file should changes be required. As a result, the builder may be forced to extend the closing of The Purchaser’s transaction. Due to failure to complete the above-mentioned selections and at no fault of our own, the builder reserves the right to hold The Purchaser responsible for this delayed closing, including charging extra administration cost and interest on the balance due on closing.

Purchaser(s) acknowledge that High Efficiency Washing machines have the potential to create vibrations due to the tub spinning at very high speeds.

Purchasers Accept Standard Appliance Openings (unless otherwise specified):
Fridge - 35"W x 73"H Approx.
Range - 30-1/2"D x 31-1/2"W Approx.
Dishwasher - 24" W Approx.

GRANITE, MARBLE ENGINEERED SURFACES WAIVER

Due to the natural composition of such materials as Granite and Marble, inherent variations in texture, colour and consistency are to be expected and considered normal. As such, the client is given an opportunity to view the slab prior to installation (W4) and the Purchaser agrees not to hold the Vendor liable for such variations. All countertop surfaces which may have seams, the product pattern & shades can change in these areas.

CERAMIC BACKSPLASHES:

The Purchaser(s) Acknowledge & Accept That The Vendor Does Not Recommend The Deletion Of The Ceramic Kitchen Backsplash & That The Vendor Will Not Be Liable For Any Damage To The Drywall, Paint, Cabinets Or Countertops Resulting From The Deletion Of The Backsplash.

FILE COMPLETION:

Purchaser has attended a Colour appointment at the Decor Centre & has DECLINED any additional upgrades and accepts and acknowledges that there will be no further structural changes/additions/deletions to be made upon signing.

RESELECTIONS

It is not uncommon for flooring, such as tile, to become discontinued prior to its installation. Therefore, it may be necessary to make a reselection of certain materials sometime during the building process. The builder cannot assure The Purchaser that another choice approximating The Purchaser’s selection will be available.



Valecraft Homes Décor Disclaimers

Lot#: 7 Model:1020 THE MORGAN ELEV A in Place St. Augustin - Valecraft Homes (2019) Limited

PURCHASERS: Robert Geneau and Annie Bronsard

TEL:

GENERAL:

The vendor may substitute materials of equal or greater value without consent.

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The Purchaser understands that due to normal manufacturing production, materials which are installed in the home may vary slightly in colour from the vendor's samples and/or model homes.

The wood used in the finishing products of The Purchaser’s home such as wood flooring, cabinetry and railings exhibit natural variations in colour tone, graining pattern and consistency. As no two pieces of wood are identical, these natural variations will create colour variations upon staining thereby making it virtually impossible to achieve true colour consistency.

Any hardwood flooring installed in the Real Property is made of kiln-dried natural material which is subject to natural shrinkage (typically in winter when humidity levels tend to be low) and expansion (typically in summer when humidity levels tend to be high) for which the Purchaser(s) agrees is not the responsibility of the Vendor and agrees that the Vendor shall not be liable in respect of such issues. The Purchaser(s) also acknowledges being advised by the Vendor that ceramic tile rather than hardwood flooring is recommended at entry points to the home due to the possibility of water exposure. The Purchaser(s) is advised that the Ontario Building Code recommends against the installation of wood flooring in kitchens, bathrooms, entrance halls, laundry, and general storage areas (the "Designated Areas"). Wood flooring is water permeable and over time such flooring and sub-flooring beneath it could deteriorate if moisture persists. Should the Purchaser(s) selections for materials for the dwelling include wood flooring in the designated areas, the Purchaser(s) assumes the risks described herein voluntarily.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

I hereby acknowledge reading and understanding the above copy and will not hold Valecraft Homes responsible for any issues in relation to above.

Purchaser's Signatures

Signed by: Robert Geneau
E1EFA12E8D23D44F...
Signé par : Annie Bronsard
E1EFA44B2A4874CD...

Date August 10, 2025

Date August 10, 2025



CONFIRMATION OF FILE COMPLETION

PROJECT: Place St-Augustin

LOT: PSA PH1 Lot 7

MODEL: #1020 "A" Std Morgan

PURCHASER #1: Robert Geneau

PURCHASER #2: Annie Bronsard

FIRM UP DATE: June 21, 2025

CLOSING DATE: April 14, 2026

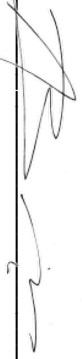
I/WE HEREBY CONFIRM THAT ALL OF OUR COLOUR SELECTIONS, MULTI MEDIA & ELECTRICAL SELECTIONS AND ALL UPGRADES (680'S) ARE NOW FULLY COMPLETED:

PURCHASER'S SIGNATURE	August 10, 2025
DATE	
PURCHASER'S SIGNATURE	August 10, 2025
DATE	

ITEMS THAT MUST BE COMPLETED AND SENT TO HEAD OFFICE:

APS:	June 14, 2025	INTERIOR COLOURS:	August 10, 2025
FIRM UP:	June 21, 2025	EXTERIOR COLOURS (if applicable):	June 25, 2025
BANK LETTER:	June 21, 2025	ORBITAL/S&S/KITCHENCRAFT (if applicable):	Aug 10, 2025
SOLICITOR INFO:	June 21, 2025	680 & AMENDMENT:	August 10, 2025

ALL PAGES SENT FOR INITIALS RETURNED TO HEAD OFFICE: Complete



Sales Consultant's Signature

August 10, 2025

Date


Sales Assistant's Signature

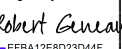
August 10, 2025

Date


Approved by:

August 10, 2025

DocuSigned by:  A04F827301214EE...

Signed by:  EFBA12E8D23D44F...

Date

Signé par :  E1EF44B2A4874CD...

Date