

LOT: 8 - M.O.

DATE: 04/25/2025



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537

- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-11A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS AUTOGENERATED, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEystone

PCL10 - 10" PRECAST LIMTEL

2024 O.B.C. DRAWINGS				
REV-3	Lot 8 MO - walk-out	04/25/2025	JAB	
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	JAB	
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON	
NO.	DESCRIPTION	DATE	BY	

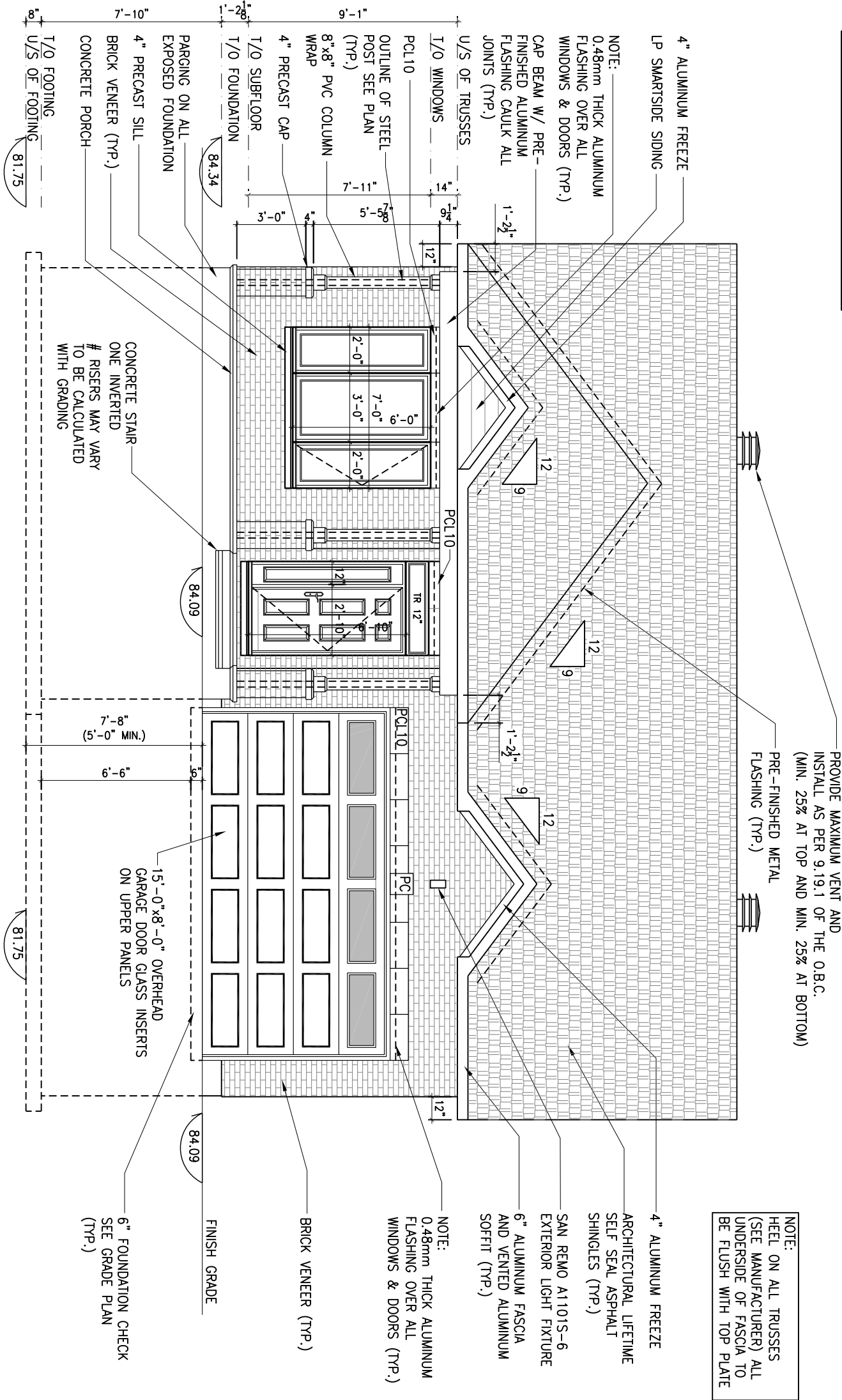
FRONT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE
2023 FOOTPRINT

A.1a

STANDARD PLAN:
GROSS INSULATED = 241 M. SQ.
WALL AREA
GROSS WINDOW = 25.74 M. SQ.
AREA
PERCENT GLASS TO WALL AREA = 13.3%



FRONT ELEVATION A

SCALE: 3/16" = 1'-0"

8 - M.O.

04/25/2025



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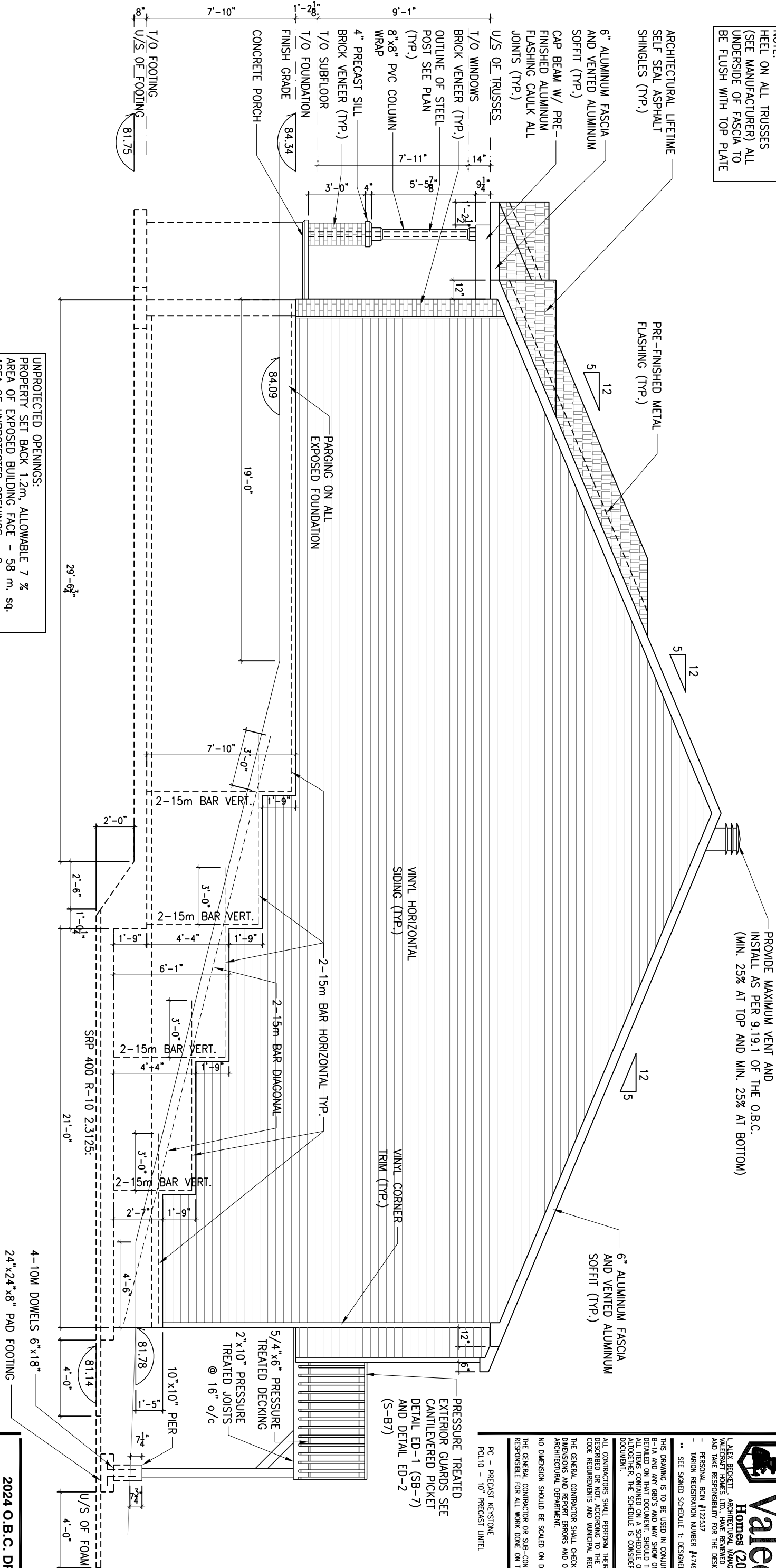
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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

PRESSURE TREATED
EXTERIOR GUARDS SEE
CANTILEVERED PICKET
DETAIL ED-1 (SB-7)
AND DETAIL ED-2
(S-B7)



PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 58 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

RIGHT ELEVATION A

SCALE: 3/16" = 1'-0"

RIGHT ELEVATION A

[illegible]

DRAWING

ADDRESS: | SCALE: | DATE:

XX		3/16" = 1'-0"		XX/XX/XXXX
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1016 - THE MCCABE

2023 FOOTPRINT

(STANDARD DRAWINGS

A.2



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- TARIION REGISTRATION NUMBER #47491

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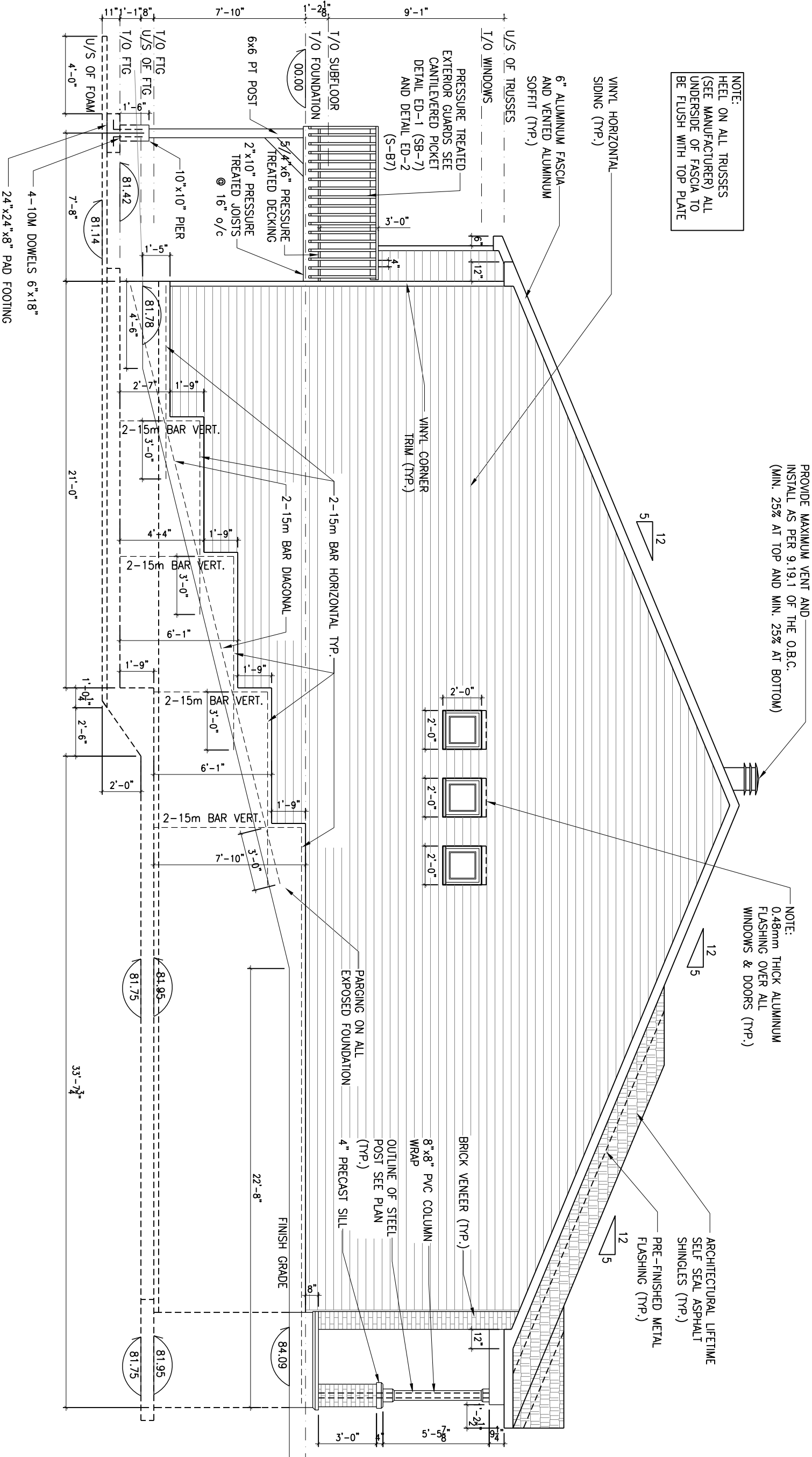
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PC - PRECAST KEYSTONE
POL10 - 10" PRECAST LINTEL



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
FLASHING (TYP.)

PRE-FINISHED METAL
FLASHING (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

U/S OF TRUSSES
T/O WINDOWS

PRESSURE TREATED
EXTERIOR GUARDS SEE
CANTILEVERED PICKET
DETAIL ED-1 (SB-7)
AND DETAIL ED-2
(S-B7)

5/4"x6" PRESSURE
TREATED DECKING
2"x10" PRESSURE
TREATED JOISTS
@ 16" o/c

10"x10" PIER

4-10M DOWELS 6"x18"
24"x24"x8" PAD FOOTING

PARGING ON ALL
EXPOSED FOUNDATION

BRICK VENEER (TYP.)
8"x8" PVC COLUMN
WRAP
OUTLINE OF STEEL
POST SEE PLAN
(TYP.)
4" PRECAST SILL

FINISH GRADE

LEFT ELEVATION A

LEFT ELEVATION A

SCALE: 3/16" = 1'-0"

2024 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
REV-3	Lot 8 MO - walk-out	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON

DRAWING:

LEFT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

A.3a

LOT: 8 - M.O.

DATE: 04/25/2025



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- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #4749

• SEE SIGNED SCHEDULE 1: DESIGNER

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DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRRAFT'S ARCHITECTURAL DEPARTMENT.

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTE

2024 O.B.C. DRAWINGS

REV-3	Lot 8 MO - walk-out	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRING MODIFICATION	06/26/2023	DOTON
NO.	DESCRIPTION	DATE	BY

DRAWING:

REAR ELEVATION A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 THE MCCABE

2023 FOOTPRINT

STANDARD NOMENCLATURE

REAR ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: 8 - M.O.
DATE: 04/25/2025



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- TARION REGISTRATION NUMBER #417491

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REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOON
NO.	DESCRIPTION	DATE	BY
DRAWING: BUILDING SECTION ELEVATION A AND B			
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX			
1016 - THE MCCABE SHEET: 2023 FOOTPRINT A.5a			
(STANDARD DRAWINGS)			

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PRE-ENGINEERED GIRDER
TRUSS (SEE MANUFACTURER)

5 12

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)
PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

DOUBLE BAFFLE EACH
TRUSS TO CREATE A 2"
AIR SPACE

U/S OF TRUSSES
T/O WINDOWS

9'-1"

7'-11"

T/O SUBFLOOR
T/O FOUNDATION

7'-10"

T/O FOOTING
U/S OF FOOTING

4'-0"

GREAT ROOM

BASEMENT
UNFINISHED AREA

6'-11¹/₄"

STAIRS

FOYER

(2) R-22 BATT
INSULATION

INSTALL 2" HD RIGID INSULATION FROST
PROTECTION IF UNDERSIDE OF FOOTINGS
ARE LESS THEN 5'-0" BELOW FINISH
GRADE OR FOR WINTER MONTHS

4" Ø PERFORATED WEeping
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

BUILDING SECTION ELEVATION A AND B

SCALE: 3/16" = 1'-0"

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BUILDING SECTION
ELEVATION A AND B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1016 - THE MCCABE
2023 FOOTPRINT

SHEET:

A.5b

(STANDARD DRAWINGS)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

9'-1"

7'-11"

T/O SUBFLOOR

T/O FOUNDATION

7'-10"

T/O FOOTING

U/S OF FOOTING

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

INSTALL 2" HD RIGID INSULATION FROST
PROTECTION IF UNDERSIDE OF FOOTINGS
ARE LESS THEN 5'-0" BELOW FINISH
GRADE OR FOR WINTER MONTHS

2"x8" JOISTS FASTEN
TO LEDGER WITH HANGERS
2"x8" LEDGER FASTEN TO LVL'S
WITH (2) 3 1/2" SPIRAL NAILS
@ 16" o/c

R-22 BATT
INSULATION
BASEMENT
UNFINISHED AREA

BATH

HALLWAY

GARAGE

ATTIC

PRE-ENG. TRUSSES

PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)
PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

BUILDING SECTION ELEVATION A AND B

SCALE: 3/16" = 1'-0"



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NOTES:

STEEL LINTEL:

S1 = L 90x40x6
S2 = L 90x40x8
S3 = L 125x40x8
S4 = L 125x40x8
S5 = L 125x40x10
S6 = L 200x100x10
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-175x4.5 DL (1.92) + P3 ON BOTH SIDES
L4 = 3-175x4.5 DL (1.92) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST B7 USP
P2 = 3-2x4 OR 3-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x89x3.18 + 100x200x12 1x8 PL (*)
P14 = HSS 89x89x4.8 + 100x200x12 1x8 PL (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 1x8 PL (*)
P16 = HSS 76.2x76.2x4.78 + 100x180x12 1x8 PL (*)
P17 = HSS 73.0x44.8 + 130x130x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST ONE YEAR IN NORMAL CONDITION, UNLESS THE MANUFACTURER'S INSTRUCTIONS SPECIFY OTHERWISE.
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV-3	LOT 8 MD - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

FOOTING TABLE & DETAILS

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

- ARCHITECTURAL LIFETIME SELF SEAL ASPHALT SHINGLES
- SHINGLES TO PROJECT min 1" BEYOND FASCIA
- 6'-0" ICE AND WATER SHIELD EAVE PROTECTION
- 1/2" O.S.B. SHEATING or eq. c/w H-CLIPS @ BETWEEN FRAMING MEMBERS
- PRE-ENG ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)
- R-60 BLOWN INSULATION or BATT INSULATION
- 1"x4" STRAPPING @ 16" o/c
- 6 mil POLY AIR / VAPOUR BARRIER
- 1/2" GIPSUM BOARD

ALUMINUM FASCIA OR EQUIVALENT
2"x6" FASCIA BACKER
VENTED ALUMINUM SOFFIT

5 1/2" COMPOSITE BAND (SEE ELEVATIONS)

- 12" VERTICAL BOARD AND BATTEN COMPOSITE SIDING (TAPE ALL JOINTS)
- R-5, 1 9/16" STYROFOAM O.S.B. COMFORT BOARD, TYPE 2 EPS RIGID INSULATION LAMINATED TO 7/16" O.S.B. SHEATING
- 2"x6" STUDS @ 16" o/c
- R-20 BATT INSULATION
- 6 mil POLY VAPOUR BARRIER
- 1/2" GIPSUM BOARD

5 1/2" COMPOSITE BAND (SEE ELEVATIONS)
7" HORIZONTAL COMPOSITE SIDING (SEE ELEVATIONS)

2"x6" BOTTOM PLATE
2"x4" PRESSURE TREATED SILL W/ 1/2" @ 8" ANCHOR BOLTS @ 7'-0" o/c MAX. SPACING
0.018" ALUMINUM FLASHING
CEMENT PARKING ON ALL EXPOSED CONCRETE (ABOVE GRADE)

- DAMPROOFING MEMBRANE (BELOW GRADE)
- 8" (OR OTHERWISE NOTED) CONCRETE FOUNDATION WALL 20mpo C/W 2-10M BARS TOP AND BOTTOM
- 2" HD RIGID INSULATION FROST PROTECTION

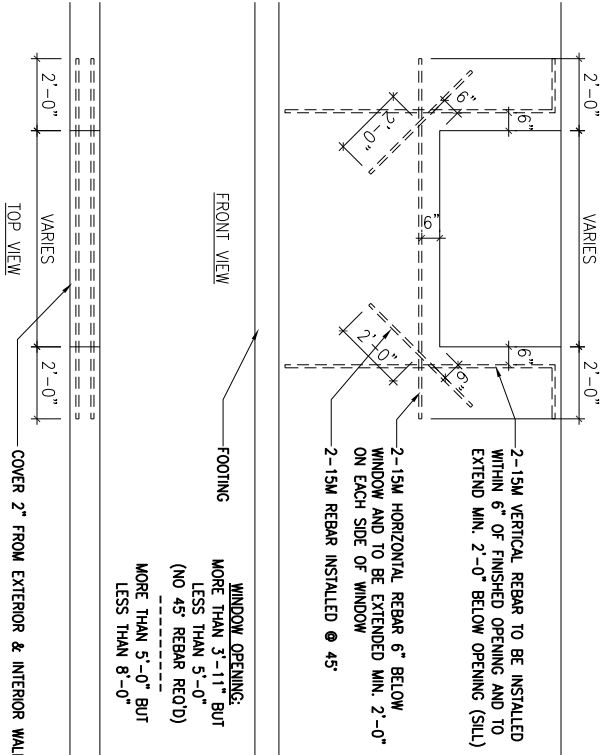
24" x 8" (OR OTHERWISE NOTED, SEE FOOTING PLAN) CAST-IN PLACE STRIP FOOTING 20mpo ON UNDISTURBED SOIL FOR MIN. LOAD BEARING CAPACITY SEE FOOTING PLAN

4" @ PERFORATED WEEPING TILE WITH SOCK C/W 6" CRUSHED STONE COVER

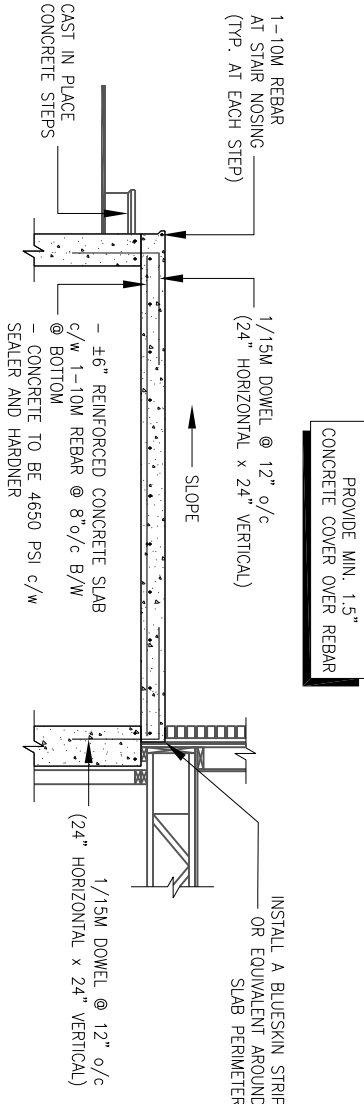
WALK-OUT BASEMENT WALL SECTION

3
A.6

SCALE: 3/8" = 1'-0"

1
BASEMENT WINDOW REINFORCING

A.6 SCALE: 3/16" = 1'-0"

2
CONCRETE PORCH REINFORCING

A.6 SCALE: 1/4" = 1'-0"



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- TARION REGISTRATION NUMBER #47491

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NOTES:

STEEL LUNTEL:

S1 = L 90x90x6
S2 = L 100x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LUNTEL TABLE:

L1 = 3-2x10 + P3 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9B) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9B) + P3 ON BOTH SIDES

* IF LUNTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
P2 = 2.5x4 OR 3-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
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P15 = HSS 76.2x76.2x4.78 + 100x180x12 1x8 PL (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 1x8 PL (*)
P17 = HSS 73.0x4x.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
P17 = HSS 73.0x4x.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SOURCE IN THE EVENT OF A POWER OUTAGE TO ENSURE THE POWER SUPPLY DURING A POWER OUTAGE FOR 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	06/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/20/2023	DOOVON

FOOTING & FOUNDATION
PLAN ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE

2023 FOOTPRINT

(STANDARD DRAWINGS)

FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIMFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.1:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 GROUND WINDOW THAT:

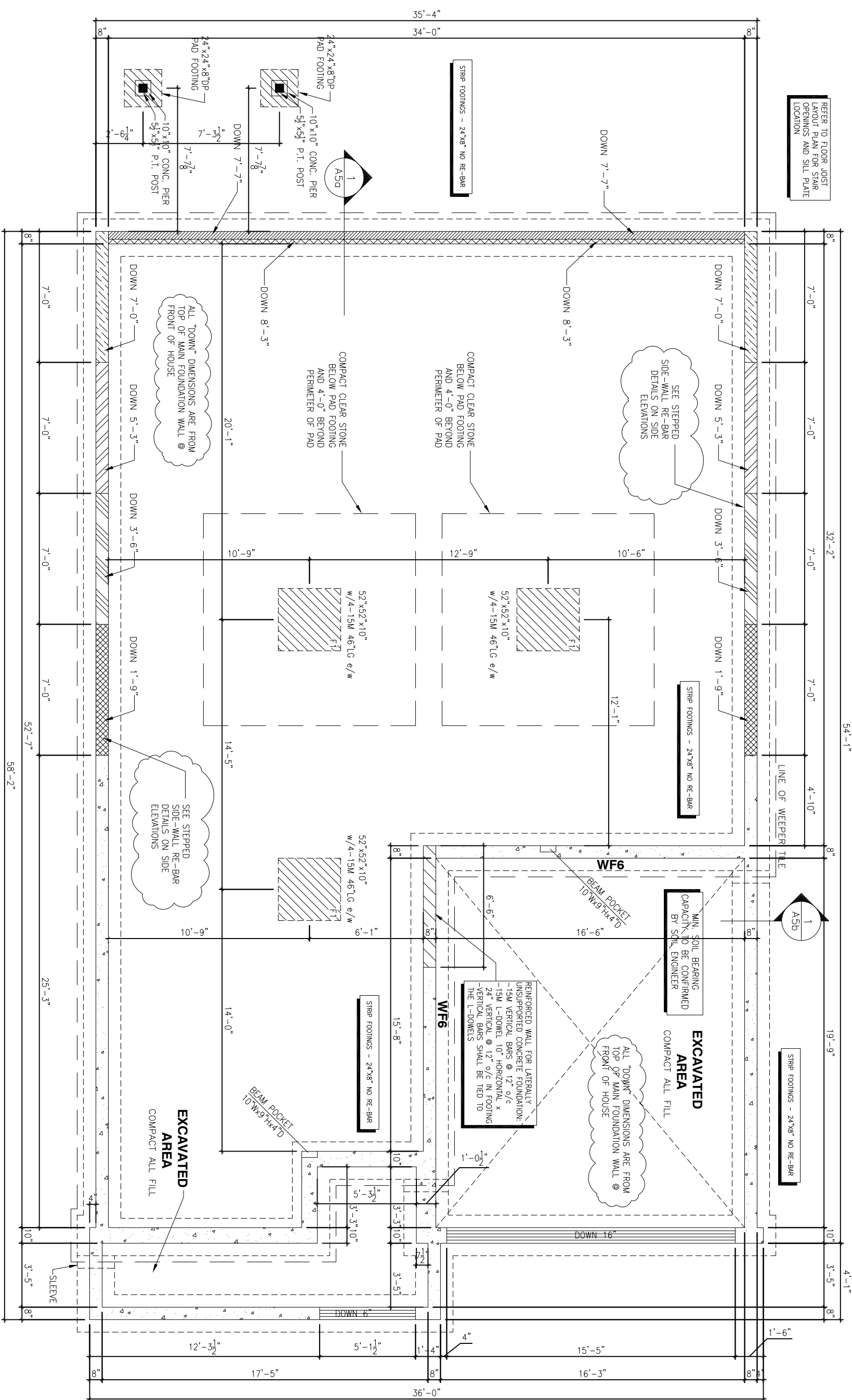
A) IS OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15in)

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"

STRIP FOOTINGS - 24"x8" NO RE-BAR

BASEMENT NOTE:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8# AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY MAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.





ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCN #122537
- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-11A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS AUTOGENERATED, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL UNITS:

S1	= L 90x90x6
S2	= L 100x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 3-2x10 + P3 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.96) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.96) + P3 ON BOTH SIDES

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P1A	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
P2	= 2-3/4" ØR 3-2x6
P3	= 3-2x4 ØR 3-2x6
P4	= 4-2x4 ØR 4-2x6
P5	= 5-2x4 ØR 5-2x6
P6	= 6-2x4 ØR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 1x8 PL (*)
P14	= HSS 89x89x4.8 + 100x200x12 1x8 PL (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 1x8 PL (*)
P16	= HSS 73.0x73.0x4.8 + 100x180x12 1x8 PL (*)
P17	= HSS 73.0x4x8 + 100x180x12 BOTTOM PL (*)
(*)	= 2-12x ANCH, (WHERE ANCH, PL. NOT USED)

* POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19, OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SLEEPING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SOURCE IN THE EVENT OF A POWER FAILURE TO THE POWER SUPPLY DURING A NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOON
NO.	DESCRIPTION	DATE	BY

BASEMENT FLOOR PLAN
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

- FLOOR FRAMING:
- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GROSS TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

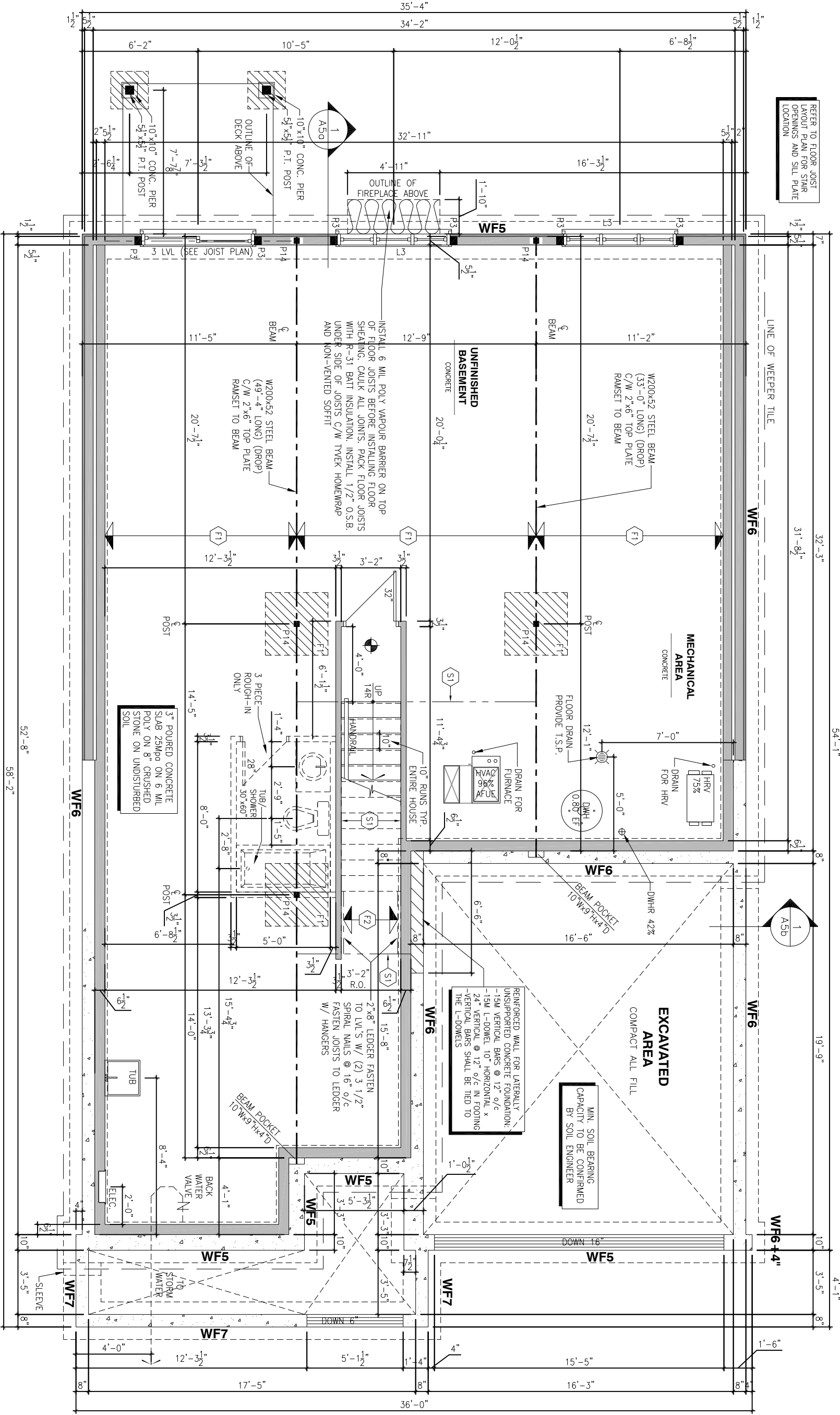
SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.1:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.36m² (3.85 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15in).

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY MAILED AND ANCHORED;
 - FOOTING DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION





ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCN #122537

- LARON REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL UNITS:

- S1 = L 90x90x6
- S2 = L 100x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LUNEL TABLE:

- L1 = 3-2x10 + P3 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.96" + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.96" + P3 ON BOTH SIDES

* IF LUNEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE Z, ADJUSTABLE RED JACK
- P2 = 2-3/4" ØR 3-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 1x8 PL (*)
- P14 = HSS 88.9x89x4.8 + 100x200x12 1x8 PL (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 1x8 PL (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 1x8 PL (*)
- P17 = HSS 73.0x4.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
- (*) = 2-12# ANCH, (WHERE ANCH, PL. NOT USED)

- * POST ARE ALL JACK C/W STUD
- (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19, OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATE POWER SOURCE IN THE EVENT OF A POWER OUTAGE FOR AT LEAST 24 HOURS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA

☐ PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON

DRAWING: GROUND FLOOR PLAN
STANDARD KITCHEN - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE

2023 FOOTPRINT

(STANDARD DRAWINGS)

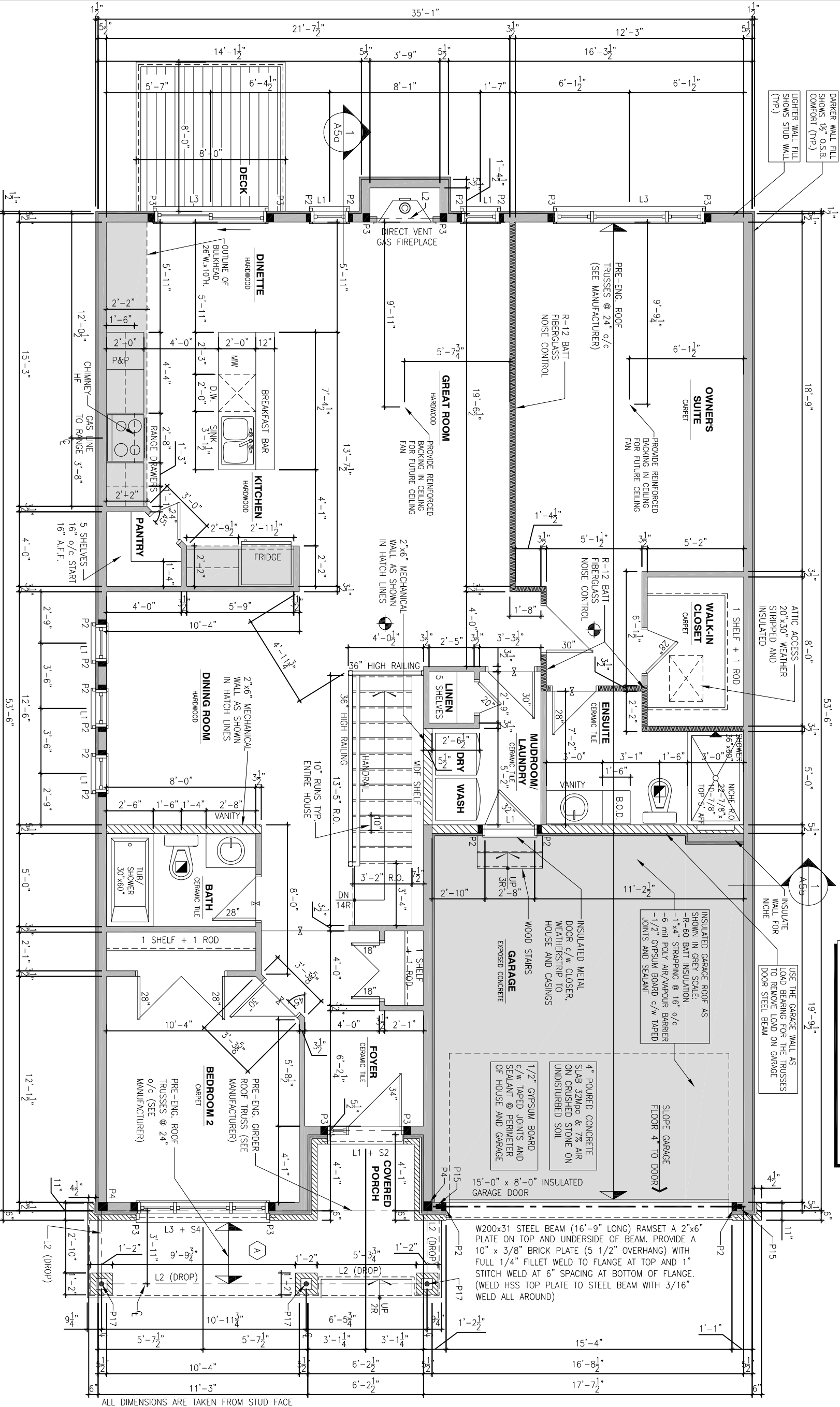
- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
 - INSTALL STUD REMONSTRANT TO REPAIR THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
 - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
 - CORR'D. FLOOR JOIST, UNTEL. ROOF TRUSS AND POSTS WITH MANUFACTURER SPECS AND PLENG. IN OTHER CASES;
 - CORR'D. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- FLOOR FRAMING:
- F1 11 3/4" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c w/ STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMERS AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
 - A PORCH CONSTRUCTION: TYPE OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS TO SLAB ON CLEAR STONE ON UNDOUBLED SOL. SLAB TO BEAR ON FOUNDATION WALLS

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SS-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.
- SINGLE DIMELINES STAIRS:
- RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-0" MIN / 3'-2" MAX
HANDRAILS BETWEEN MAIN FLOOR AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

- ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE TRUSS MANUFACTURER TO PROVIDE THE TRUSS MANUFACTURER'S SCHEMATIC LAYOUT OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

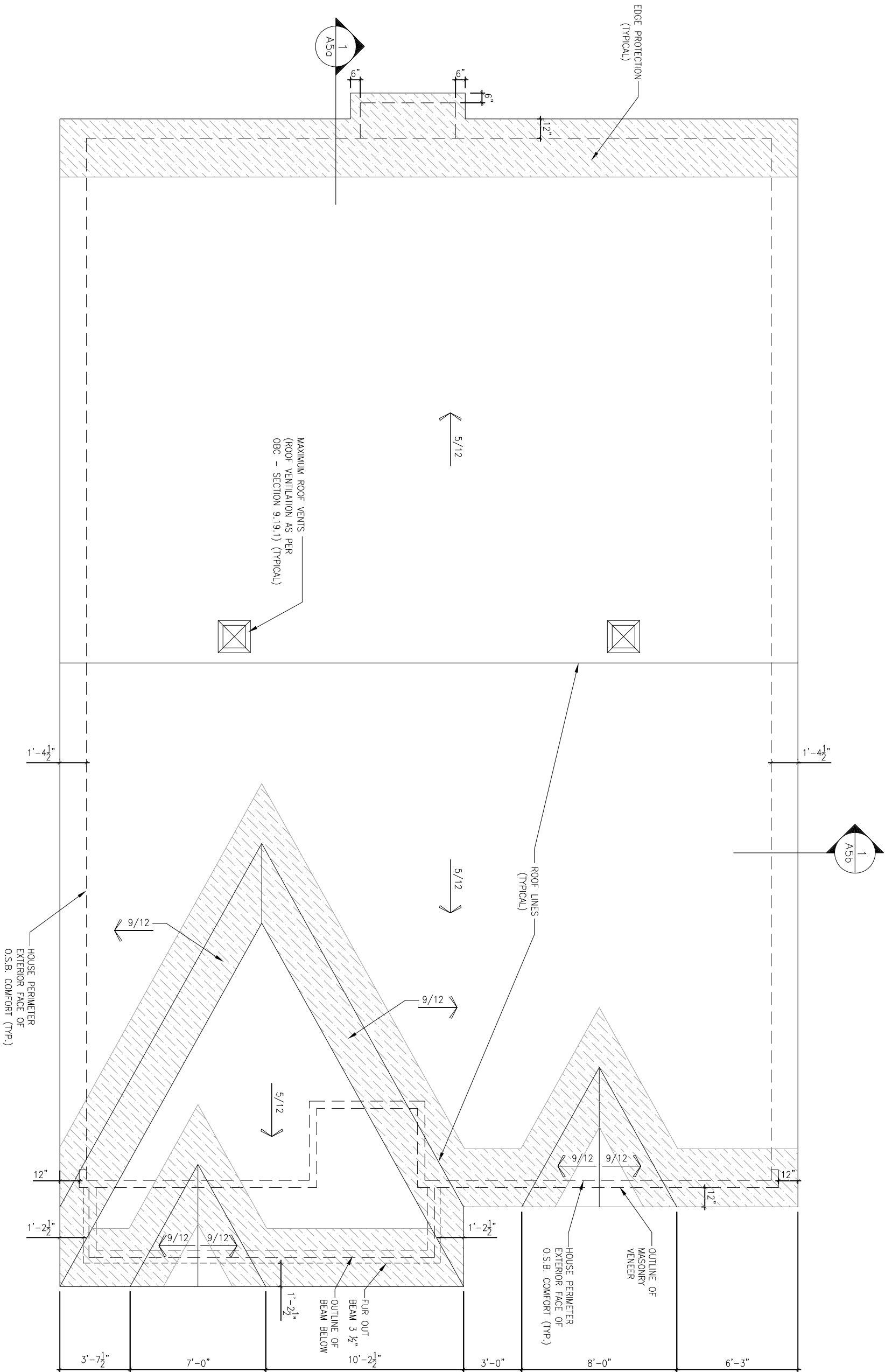


GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GROUND TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



LOT: 8 - M.O.

DATE: 04/25/2025



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES (2019), HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

– PERSONAL BCN #122537

– TARION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS AUTOGENERATED, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2024 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOVON

ROOF PLAN ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE
2023 FOOTPRINT

A9a

ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

8 - M.O.

04/25/2025



III. ARCHITECTURAL MANAGER FOR
MCMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- BCIN #122537
REGISTRATION NUMBER #4749

ANNEXED SCHEDULE 1: DESIGNER

IS TO BE USED IN CONJUNCTION WITH SCHEDULE 680'S AND MAY SHOW ONLY SOME OF THE CHANGES TO THE SCHEDULE. THE DRAWINGS NOT SHOWN ON A SCHEDULE OR MISS OTHER ITEMS OBTAINED ON A SCHEDULE IS CONSIDERED THE GOVERNING SCHEDULE.

DRS SHALL PERFORM THEIR WORK WHETHER NOT, ACCORDING TO THE APPLICABLE BUILDING CODES, ORDINANCES AND MUNICIPAL REGULATIONS.

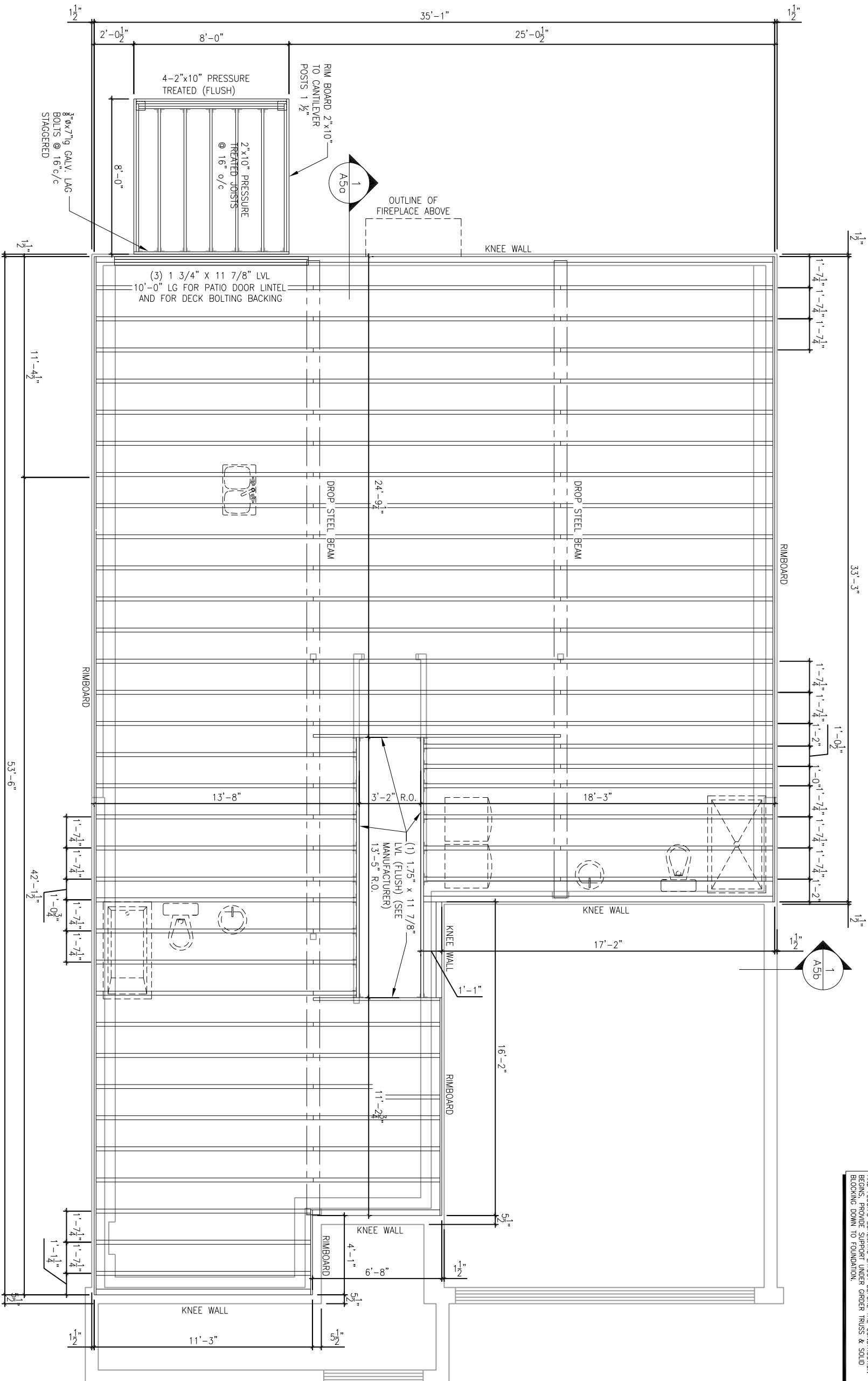
CONTRACTOR SHALL CHECK AND VERIFY ALL
AND REPORT ERRORS AND OMISSIONS TO VALECRRAFT'S
DEPARTMENT.

SHOULD BE SCALED ON DRAWINGS

CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES

ROOF & FLOOR LAYOUT IS A SCHEMATIC APPROX TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GINDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

2024 O.B.C. DRAWINGS					
REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB		
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB		
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOY		
NO.	DESCRIPTION	DATE	BY		

DRAWING:
GROUND - JOIST LAYOUT
ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE

2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10a

LOT: 8 - M.O.

DATE: 04/25/2025



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537

- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-11A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

\$ SINGLE POLE SWITCH

\$³ 3 WAY SWITCH

\$⁴ 4 WAY SWITCH

\$^F FURNACE SWITCH

\$^{FP} FIREPLACE SWITCH

⌀ DUPLX OUTLET (12" HIGH)

⌀ DUPLX OUTLET (UPPER HALF SWITCH)

⌀^{GF} GROUND FAULT INTERRUPT

⌀^{WP} WEATHER PROOF DUPLX OUTLET

⌀ SPLIT OUTLET

⌀ 220 VOLT OUTLET

⌀ WALL MOUNTED LIGHT FIXTURE

⌀ CEILING MOUNTED LIGHT FIXTURE

⌀ POT LIGHT

⊙ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- SHALL BE INSTALLED IN EACH SLEEPING AREA INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARMS ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

BASEMENT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE

2023 FOOTPRINT

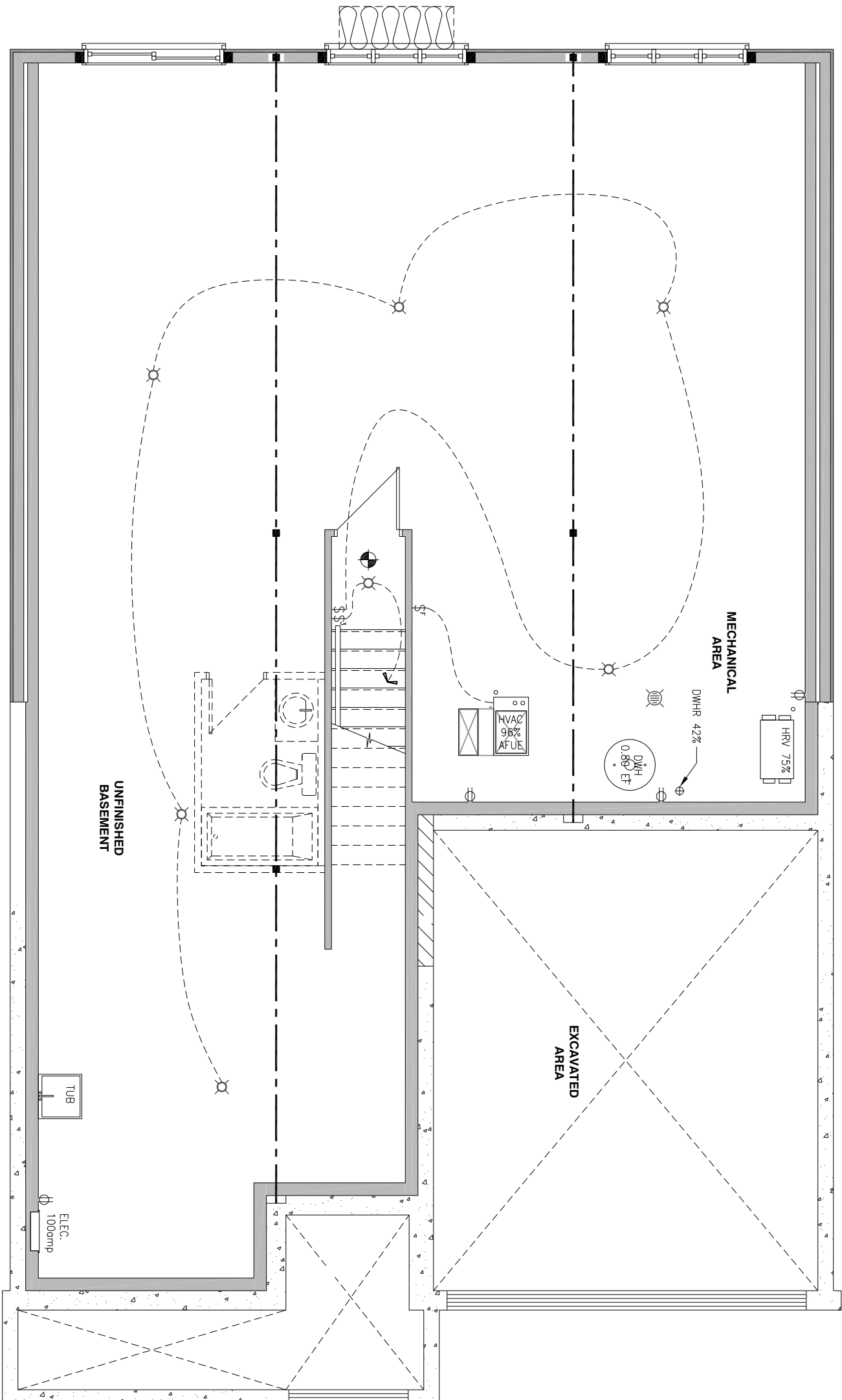
(STANDARD DRAWINGS)

SHEET:

E.1a

ELECTRICAL PLAN BASEMENT - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: 8 - M.O.

DATE: 04/25/2025



ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537

- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS AUTOGENERATED, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

\$ SINGLE POLE SWITCH

\$³ 3 WAY SWITCH

\$⁴ 4 WAY SWITCH

\$^F FURNACE SWITCH

\$^{FP} FIREPLACE SWITCH

⌀ DUPLEX OUTLET (12" HIGH)

⌀ DUPLEX OUTLET (UPPER HALF SWITCH)

⌀^{GF} GROUND FAULT INTERRUPT

⌀^{WP} WEATHER PROOF DUPLEX OUTLET

⌀ SPLIT OUTLET

⌀ 220 VOLT OUTLET

⌀ WALL MOUNTED LIGHT FIXTURE

⌀ CEILING MOUNTED LIGHT FIXTURE

⌀ POT LIGHT

⬢ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- BE INSTALLED IN EACH SLEEPING AREA;
- ARE REQUIRED ON EACH STOREY INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARMS ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

⬢ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2024 O.B.C. DRAWINGS

REV-3	LOT 8 MO - WALK-OUT	04/25/2025	AB
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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE MCCABE

2023 FOOTPRINT

E.2a

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

