

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE  
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED

ON THE 22 DAY OF February , 2025 .

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : PST7 22  
LOT: PST7 22 BLOCK :  
50M-361 Place St. Thomas 7  
CIVIC ADDRESS: 903 Cologne Street

PURCHASERS: Krista McRoberts

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: February 22, 2025

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE: PURCHASE PRICE: \$800,000.00  
BALANCE AT CLOSING: \$720,000.00  
LESS H.S.T. AMOUNT: \$729,203.54  
SCHEDULE "G" DATED: February 22, 2025  
TARION SCHEDULE "B" DATED: February 22, 2025

INSERT: 680 dated: April 23, 2025 in the amount of: \$4,055.94  
NEW PURCHASE PRICE: \$804,055.94  
NEW BALANCE AT CLOSING: \$724,055.94  
NEW LESS H.S.T. AMOUNT: \$732,792.87  
SCHEDULE "G" DATED: April 23, 2025  
TARION SCHEDULE "B" DATED: April 23, 2025  
SCHEDULE "W2" DATED: April 23, 2025

Dated at Limoges, ON this 23 day of April , 2025

In the presence of:

WITNESS

Signed by:  
Krista McRoberts  
PURCHASER

WITNESS

PURCHASER

Dated at Ottawa, ON this 23 day of April , 2025

VALECRAFT HOMES (2019) LIMITED (VENDOR)

PER: DocuSigned by:  
A04F827301214EE... REV: September 3, 2020



NON STANDARD EXTRAS (680)			
Place St. Thomas - Phase 7			
PURCHASER: Krista McRoberts			Printed: 23-Apr-25 11:04 am
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
22	7	1015 THE MURRY ELEV A	18-Dec-25
ITEM	QTY	EXTRA / CHANGE	PRICE
			INTERNAL USE
26		1 - KITCHEN - UPGRADE TO LEVEL 1 KITCHEN CABINETRY - OPTIONAL KITCHEN LAYOUT 2	\$2,714.00
45643		Note: - As per PRIMARY Kitchen Sketch dated April 23, 2025 - As per PRIMARY Floorplan Sketch dated April 23, 2025  See item #2 (optional kitchen layout 2) See item #27 (2x cabinetry colours) See item #29 (UPC) See item #30 (fridge opening)	Each
*27 90924		1 - KITCHEN - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS	* \$500.00
45640		Note: - As per PRIMARY Kitchen Sketch dated April 23, 2025  See item #2 (optional kitchen layout 2) See item #26 (level 1 cabinetry) See item #29 (UPC) See item #30 (fridge opening)  - If two colours are in different levels of cabinetry, highest level of cabinetry is to be applied first.	Each
28		1 - KITCHEN - DELETE ITEM #3 (RE: UPC-2A OPTIONAL KITCHEN LAYOUT #2 - STANDARD LEVEL CABINETRY)	-\$985.00
45639		Note:	Each
*29 142301		1 - KITCHEN - CABINETRY - UPC9-2A - OPTIONAL KITCHEN LAYOUT 2 - LEVEL 1 CABINETRY - INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD - APPROX. 26INDEEP X 10INH	* \$1,093.00
45642		Note: - As per PRIMARY Kitchen Sketch dated April 23, 2025 - As per PRIMARY UPC Sketch dated April 23, 2025  See item #2 (optional kitchen layout 2) See item #26 (level 1 cabinetry) See item #27 (2x cabinetry colours) See item #30 (fridge opening)  Purchaser Acknowledges and accepts that Upper Kitchen cabinetry IN PRIMARY DWELLING upgraded wood doors will have center style.	Each
*30 871		1 - KITCHEN - NON-STANDARD REFRIGERATOR SIZE	* \$125.00
45641		Note: - As per PRIMARY Kitchen Sketch dated April 23, 2025 - PRIMARY DWELLING - Opening to be approx. 37" wide by 73" high  See item #2 (optional kitchen layout 2) See item #26 (level 1 cabinetry) See item #27 (2x cabinetry colours) See item #29 (UPC)  - Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate.	Each
31		1 - KITCHEN/DINETTE - DELETE ITEM #8 (RE; TILE- FLOOR- UPGRADE- GOLD -KITCHEN- GOLD )	-\$2,499.00
45644		Note:	Each
*32 137130		1 - KITCHEN/DINETTE - HARDWOOD - MAPLE - 4 1/8 NATURAL - KITCHEN / DINETTE	* \$898.00
45645		Note: - As per PRIMARY Floorplan Sketch dated April 23, 2025	Each

PREPARED BY: Valerie Gendron

LOCKED BY: Lisa Ballard

PE 2,161-1

InvoiceSQL.rpt 01sept21

Vendor Initials: 

DS

FN

 Purchaser Initials: 

Initial

km

CONSTRUCTION SCHEDULING APPROVAL	
PER:	_____
DATE:	_____



NON STANDARD EXTRAS (680)			
Place St. Thomas - Phase 7			
PURCHASER: Krista McRoberts			Printed: 23-Apr-25 11:04 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
22	7	1015 THE MURRY ELEV A	18-Dec-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
33 162		1 - <i>KITCHEN</i> - TILE - WALL - INSTALLATION - BRICK PATTERN - KITCHEN OPT #2 - INSTALL	\$75.00	Each
45665		Note:    - As per PRIMARY Wall Tile installation sketch dated April 23, 2025  - See item #2 (optional kitchen layout 2) - See item #6 (gold backsplash tile) - See item #18 (chimney hoodfan)		
34 45648		1 - <i>ENSUITE BATH</i> - DELETE ITEM #11 (RE; TILE - FLOOR- UPGRADE - GOLD - ENSUITE BATHROOM STANDARD - GOLD)  Note:	-\$588.00	Each
35 45649		1 - <i>ENSUITE BATH</i> - DELETE ITEM # 13 ( RE; TILE- WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - GOLD - APPROX 5FTX 3FT CERAMIC SHOWER - GOLD )  Note:	-\$1,816.00	Each
36 8 45651		1 - <i>ENSUITE BATH</i> - TILE - FLOOR - UPGRADE - BRONZE - - ENSUITE BATHROOM STANDARD - BRONZE  Note:    - As per PRIMARY Floorplan Sketch dated April 23, 2025 - As per PRIMARY Floor Tile installation sketch dated April 23, 2025	\$282.00	Each
37 132 45653		1 - <i>ENSUITE BATH</i> - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - BRONZE - - APPROXIMATELY 5 FOOT x 3 FOOT CERAMIC SHOWER - BRONZE  Note:    - As per PRIMARY Wall Tile installation sketch April 23, 2025  - See item #12 (walk-in shower) - See item #46 (zitta niche)	\$1,105.00	Each
38 45647		1 - <i>MAIN BATHROOM</i> - DELETE ITEM #10 (RE; TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - GOLD - MAIN BATHROOM - GOLD)  Note:	-\$1,555.00	Each
39 45646		1 - <i>MAIN BATHROOM</i> - DELETE ITEM #9 ( RE: TILE - FLOOR - UPGRADE - GOLD - MAIN BATHROOM - GOLD)  Note:	-\$441.00	Each
40 8 45652		1 - <i>MAIN BATHROOM</i> - TILE - FLOOR - UPGRADE - BRONZE - MAIN BATHROOM - BRONZE  Note:    - As per PRIMARY Floorplan Sketch dated April 23, 2025 - As per PRIMARY Floor Tile installation sketch dated April 23, 2025	\$211.00	Each
41 132 45654		1 - <i>MAIN BATHROOM</i> - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - BRONZE - MAIN BATHROOM - BRONZE  Note:    - As per PRIMARY Wall Tile installation sketch dated April 23, 2025	\$955.00	Each
42 45655		1 - <i>ENSUITE BATH</i> - DELETE ITEM # 23 ( RE; BATH- ZITTA NICHE 12X24X3.75 ANR12240404 BRUSHED )  Note:	-\$777.00	Each
*43 26728 45656		1 - <i>ENSUITE BATH</i> - BATH - ZITTA NICHE 12X24X3.75 ANR12240407 MATTE BLACK  Note:    - As per PRIMARY Floorplan Sketch dated April 23, 2025  - See item #12 (walk-in shower) - Installed horizontally on 5' wall (On wall backing on to the Den) - Approximately centered - bottom of niche approx. 48" from floor	* \$777.00	Each

Vendor Initials: 

DS

FN

 Purchaser Initials: 

Initial

LM

PREPARED BY: Valerie Gendron  
LOCKED BY: Lisa Ballard  
PE 2,161-2

CONSTRUCTION SCHEDULING APPROVAL	
PER:	_____
DATE:	_____



NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASER: Krista McRoberts

Printed: 23-Apr-25 11:04 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
22	7	1015 THE MURRY ELEV A	18-Dec-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*44 155736	1	ENSUITE BATH - BATH - UPGRADE CUSTOM IN-LINE SLIDING SHOWER DOOR TO BLACK TRIM	* \$125.00	Each
45657		Note: - As per PRIMARY Floorplan Sketch dated April 23, 2025  -See item #12 (walk-in shower)		
45	1	- UPGRADE TO A NON-DEEP PAINT COLOR IN ENSUITE 3PC AND MAIN BATHROOM (SAME COLOR FOR BOTH)	\$746.00	Each
45658		Note: - As per PRIMARY Floorplan Sketch dated April 23, 2025		
*46 155717	1	- ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH.	* \$410.19	Each
45824		Note: As per Orbital Estimate No#: OR8638 Rev.03 dated 04/07/2025		
*47 155716	1	- S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH.	* \$3,700.75	Each
45825		Note: - As per S&S Electric Estimate No#: SS6799 Rev.03 dated 04/07/2025		
48	1	- DECOR BONUS OF \$1,000.00 APPLIED IN FULL TO THE PURCHASE PRICE	-\$1,000.00	Each
46244		Note: - Additional decor bonus of \$1,000.00 applied in full to the purchase price.		

Sub Total	\$4,055.94
HST	\$0.00
Total	\$4,055.94

Payment Summary

Paid By Amount

Total Payment:

PURCHASER:

Signed by: Krista McRoberts  
2362091704194CC...  
Krsta McRoberts 23-Apr-25  
DATE

VENDOR:

DocuSigned by: [Signature]  
A04F827301214EE  
PER: Valecraft Homes (2019) Limited

DATE: April 23, 2025

PREPARED BY: Valerie Gendron

LOCKED BY: Lisa Ballard

PE 2,161-3

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CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_





**Freehold Form  
(Tentative Closing Date)**

**SCHEDULE B  
Adjustments to Purchase Price or Balance Due on Closing**

**PART I      Stipulated Amounts/Adjustments**

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing, the dollar value of which is stipulated in the Purchase Agreement and set out below.

- 1. Preparation of transfer fee by Builder’s solicitor as stated in Clause #26 of the Agreement of Purchase & Sale.                      \$275.00 + HST= \$310.75

**PART II      All Other Adjustments – to be determined in accordance with the terms of the Purchase Agreement**

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing which will be determined after signing the Purchase Agreement, all in accordance with the terms of the Purchase Agreement.

- 1. Land Transfer Tax based on final purchase price less HST as stated in Clause #26 of the Agreement of Purchase & Sale.
- 2. Property Taxes as per final statement of adjustments as stated in Clause #11 of the Agreement of Purchase & Sale.
- 3. Real Estate Transaction Levy Surcharge as per final statement of adjustments as stated in Clause #13 of the Agreement of Purchase & Sale.
- 4. Administrative charges to set up assessment roll number and change of records as per final statement of adjustments as stated in Clause #14 of the Agreement of Purchase & Sale.
- 10. Delay in Closing by Purchaser of \$250.00 +HST per day as per final statement of adjustments as stated in Clause #20 of the Agreement of Purchase & Sale.
- 11. Maximum GST/HST rebate based on final purchase price less HST as stated in Schedule “G” Clause # 8 of the Agreement of Purchase & Sale.
- 12. Tarion Enrolment Fee based on final purchase price less HST as stated in Clause #12 of the Agreement of Purchase & Sale. Tarion Enrolment Calculation Table can be viewed on-line at tarion.com. See chart on page 11 as a guide.
- 13. Additional upgrades/deletions contained in the attached Amendment to the Agreement of Purchase and Sale dated April 23, 2025.

Signed at Limoges, ON, this 23 day of April, 2025.

Signed by:  
Krista McRoberts  
2562D97764194CC...  
**Purchaser**

**Valecraft Homes (2019) Limited**

**Purchaser**

DocuSigned by:  
[Signature]  
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**Per:**

April 23, 2025  
**Date:**

**Lot #:** PST PH7 Lot 22

**Project:**      PLACE ST. THOMAS 7

SCHEDULE "G"

**HARMONIZED SALES TAX AND NEW HOUSING REBATE**

1. The parties acknowledge that as at the date of this Agreement, Harmonized Sales Tax ("HST") is applicable to this transaction pursuant to the Excise Tax Act (Canada) (the "**Legislation**") and that, the Purchaser may qualify for the GST/HST new housing rebate (as is authorized by the Legislation from time to time) (**the "New Housing Rebate"**) in respect of this transaction.
2. The Purchaser is hereby advised that the Purchase Price listed in "Purchase Price" Section of this Agreement includes all HST and the New Housing Rebate applicable to this transaction (refer to maximum rebate allowance in Clause 8) as at the date this Agreement is signed by the parties. All sales taxes applicable to the transaction (including any applicable New Housing Rebate) will be calculated as of the closing of the subject transaction and will be applied in accordance with the Legislation. In the event that there is a change to the Legislation after the execution of this Agreement but prior to the closing of this transaction, the Vendor shall make all applicable adjustments to the sales taxes payable in this transaction in accordance with all applicable Legislation.
3. The Purchaser hereby irrevocably assigns to the Vendor the benefit of the New Housing Rebate, if applicable to this transaction.
4. The Purchaser hereby warrants and agrees that:

(a) The Real Property is being purchased as the Purchaser's primary place of residence and that the Purchaser will take possession and occupy the Dwelling forthwith upon closing and will not allow occupancy of the Dwelling by any other individual (other than the Purchaser's immediate family) as a place of residence prior to occupancy by the Purchaser;

(b) Purchaser will execute and deliver on closing such documents as the Vendor may require to confirm the warranties and agreements contained in this Schedule; and

(c) Purchaser will submit to the Vendor on closing, prior to or after closing at the Vendor's request, an application or applications in the manner and in the form prescribed containing prescribed information required by the Legislation for the New Housing Rebate
5. The Purchaser acknowledges that the Vendor has calculated the Purchase Price on the assumption that the New Housing Rebate will be applicable to this transaction. If for any reason the Purchaser does not qualify for the New Housing Rebate, then the Purchaser shall be fully responsible for paying to the Vendor the amount of such New Housing Rebate plus interest at the Bank of Montreal prime rate from the date the statement of adjustments is calculated plus any fees, penalties or damages imposed on the Vendor under the Legislation. For greater certainty, the Purchaser acknowledges that the New Housing Rebate described above is for individuals buying a new house or residential condominium as a primary place of residence for themselves or a relation. It does not include the rebate for HST which may be available to investors buying a new house or residential condominium as a rental property ( the **GST/HST "New Residential Rental Property Rebate"**). If the Property is being purchased for investment purposes, the Purchaser will not qualify for the New Housing Rebate and the Purchaser shall be responsible for paying to the Vendor an amount equal to the New Housing Rebate which has been included in the Purchase Price hereunder. All Purchasers buying a new house or residential condominium as a rental property are responsible for applying for the New Residential Rental Property Rebate after the closing of the subject transaction.


Initial



Purchaser

Purchaser

DS

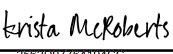


Vendor

6.       The Purchaser acknowledges and agrees that the Purchase Price set forth in this Agreement has been arrived at on the basis that the Purchase Price includes all Extras, premiums and bonuses and excludes any Extras ordered pursuant to a Change Order following the date of execution of this Agreement. The Purchaser acknowledges that the purchase of additional Extras following the date of execution of this Agreement may push the Purchase Price of the Real Property into a different sales tax category for the purposes of determining the amount of the New Housing Rebate, and that this may lower the amount of said New Housing Rebate applicable to the transaction. If a reduced New Housing Rebate is applicable under the Legislation due to the purchase of Extras following the date of execution of this Agreement, the Purchaser agrees to compensate the Vendor for the, amount by which the New Housing Rebate used to calculate the Purchase Price listed in the "Purchase Price" section herein exceeds the actual applicable New Housing Rebate, such amount to be credited to the Vendor as an adjustment on closing.
7.       The Parties acknowledge that for purposes of Land Transfer Tax, the total consideration to be inserted in the Transfer/Deed of Land for this transaction shall be the total Purchase Price including Extras excluding HST and the New Housing Rebate, namely the amount of \$732,792.87 . The Purchaser is responsible for payment in full of the Land Transfer Tax and the cost of registration of the transfer.The consideration value is subject to change, pursuant to any and all extras that are ordered pursuant to a Change Order following the date of the execution of this Agreement.
8.       The Purchaser agrees to execute all further documents required by the Vendor after closing to give effect to this Schedule.

Signed at Limoges, ON this 23 day of April , 2025

Signed by:



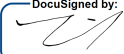
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**PURCHASER**

**VALECRAFT HOMES (2019) LIMITED**

**PURCHASER**

DocuSigned by:



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**PER:**

**DATE:** April 23, 2025

**PROJECT:** Place St. Thomas 7 **LOT:** PST7 22

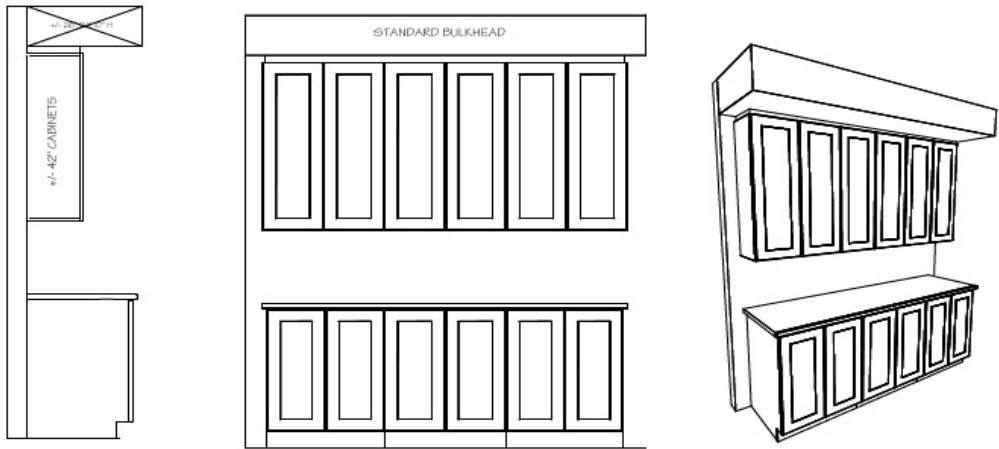




OPTIONAL KITCHEN CABINET CROWN MOULDING, FILLER &  
**STANDARD BULKHEAD DETAILS**

UPC9-2A Upgrade #: 29

- Includes upgrade to 42” uppers with filler detail on upper kitchen cabinetry to standard bulkhead.



Site: Place St. Thomas 7

Purchaser: Krista McRoberts

Plan No: 50M-361

Lot: PST PH7 Lot 22

Date: April 23, 2025

Purchaser:

Initial  
km

DS  
FN



Valecraft  
Homes (2019) Limited

PRIMARY DWELLING - MAIN FLOOR

Standard Edge Profiles for Granite & Quartz



Eased Edge

Kitchen (Primary)  
Main Bathroom (Primary)  
Ensuite Bathroom (Primary)

Project: Place St. Thomas 7

Purchaser: Krista McRoberts

Plan #: 50M-361

Purchaser:

Lot: PST PH7 Lot 22

Date: April 23, 2025

Model: #1015, "A", Std Murry w/ SD

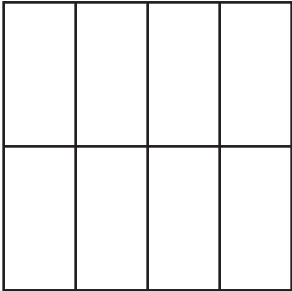
Upgrade #: 2, 4, 5



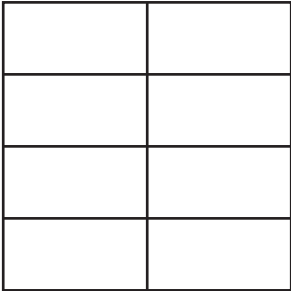
Tile Installation Options

WALL TILE

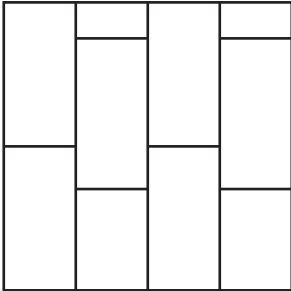
Vertical stacked



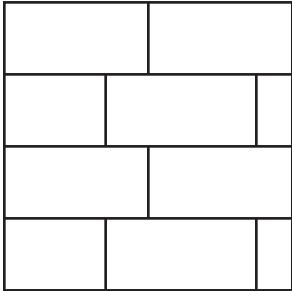
Horizontal stacked



Vertical 1/3 offset brick

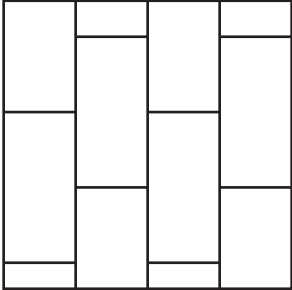


Horizontal 1/3 offset brick

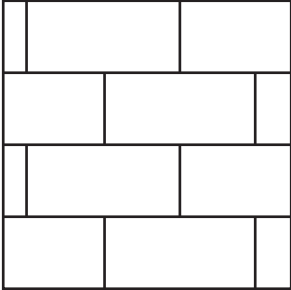


Main Bathroom,  
Ensuite Bathroom  
Walk-In Shower

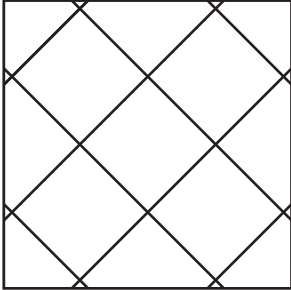
Vertical brick



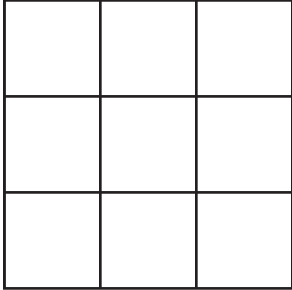
Horizontal brick



45 degree

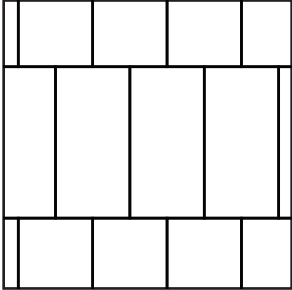


Standard square

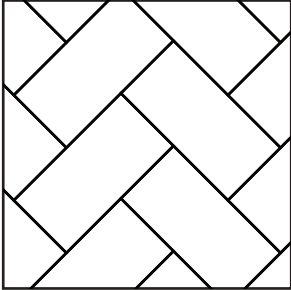


Kitchen Backsplash,

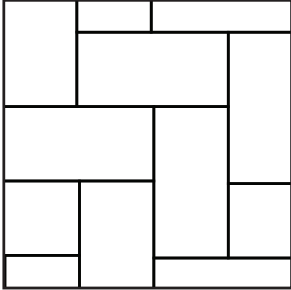
Vertical offset bond



Herringbone



Block herringbone



Project: Place St. Thomas 7  
Plan #: 50M-361  
Lot: PST PH7 Lot 22  
Model: #1015, "A", Std Murry w/ SD

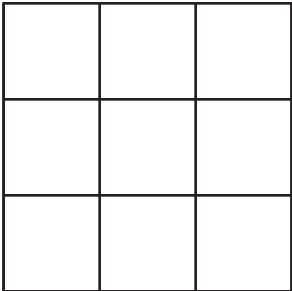
Purchaser: Krista McRoberts  
Purchaser:   
Date: April 23, 2025  
Upgrade #: 6, 12, 33, 37, 41,



Tile Installation Options

FLOOR TILE

Standard square

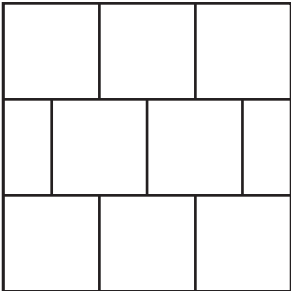


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Square brick

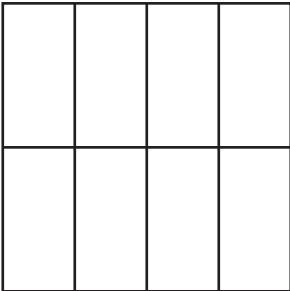


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Rectangular  
front to back of the house



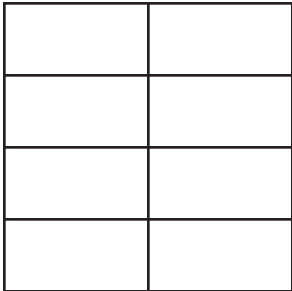
Foyer, Laundry,  
Main Bathroom,  
Ensuite Bathroom

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Rectangular  
side to side of the house

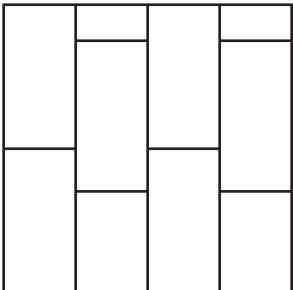


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Rectangular 1/3 staggered  
front to back of the house

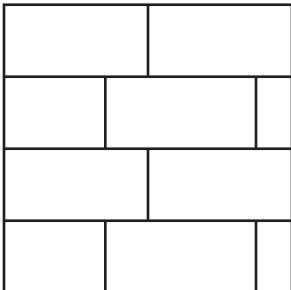


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Rectangular 1/3 staggered  
side to side of the house

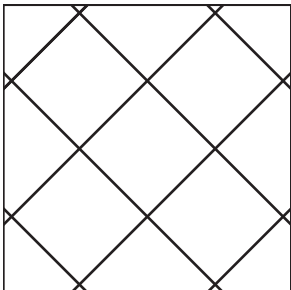


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45 degree



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Project: Place St. Thomas 7

Plan #: 50M-361

Lot: PST PH7 Lot 22

Model: #1015, "A", Std Murry w/ SD

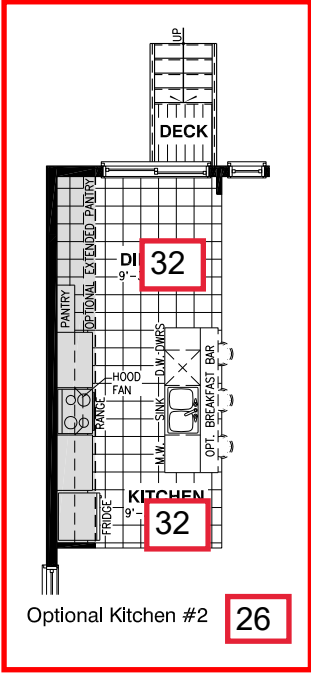
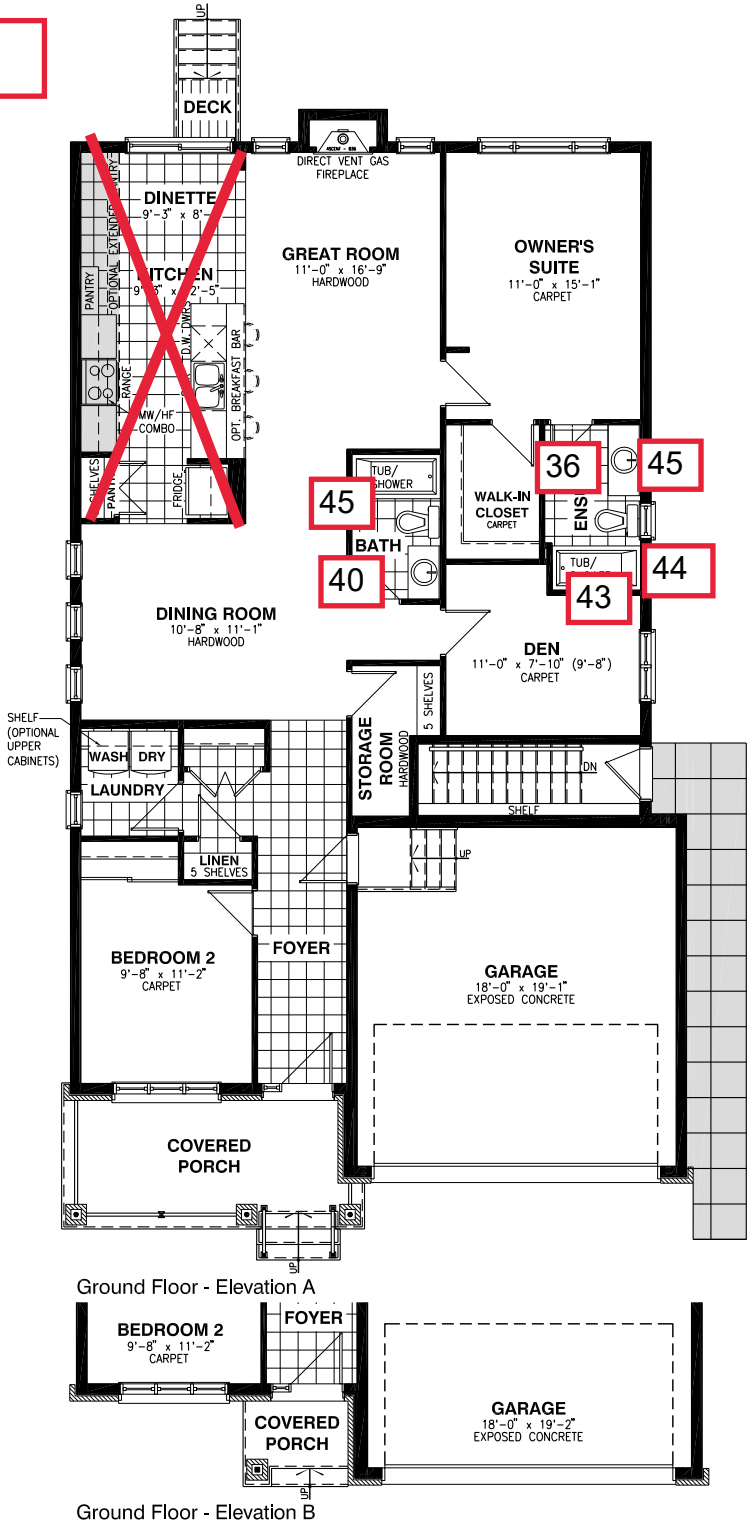
Purchaser: Krista McRoberts

Purchaser: \_\_\_\_\_

Date: April 23, 2025


Upgrade #: 7, 36, 40



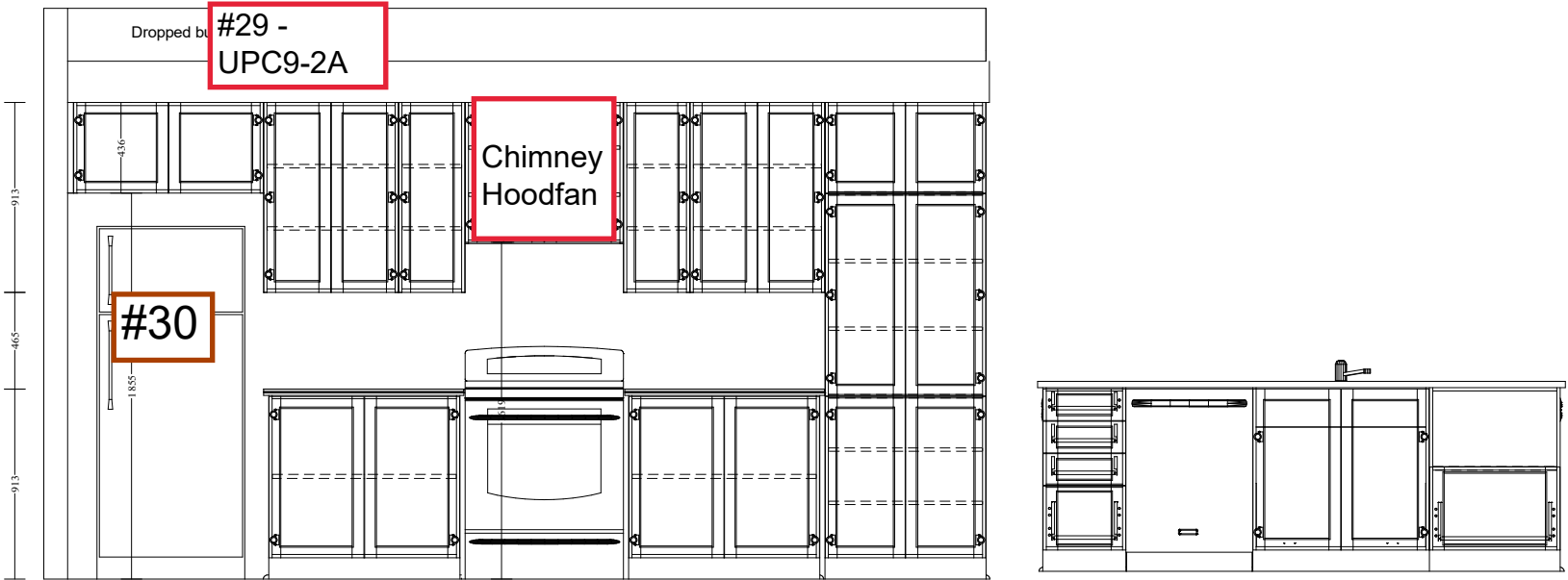
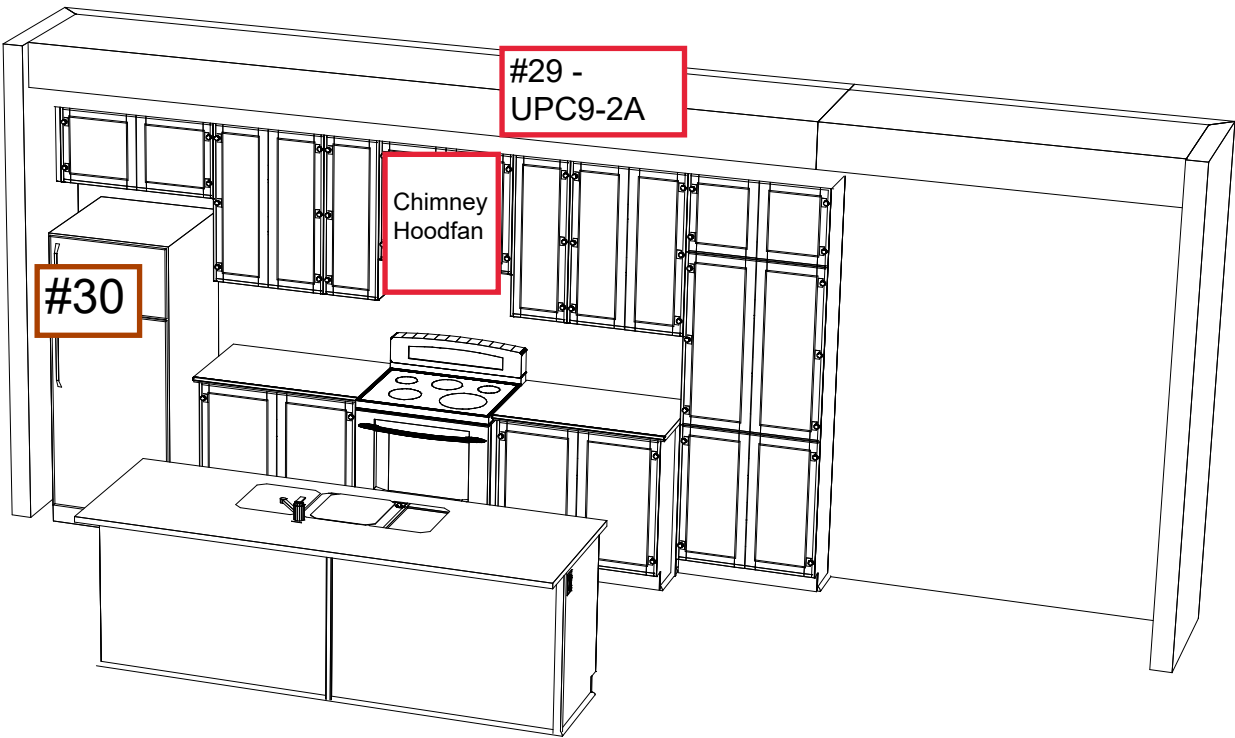
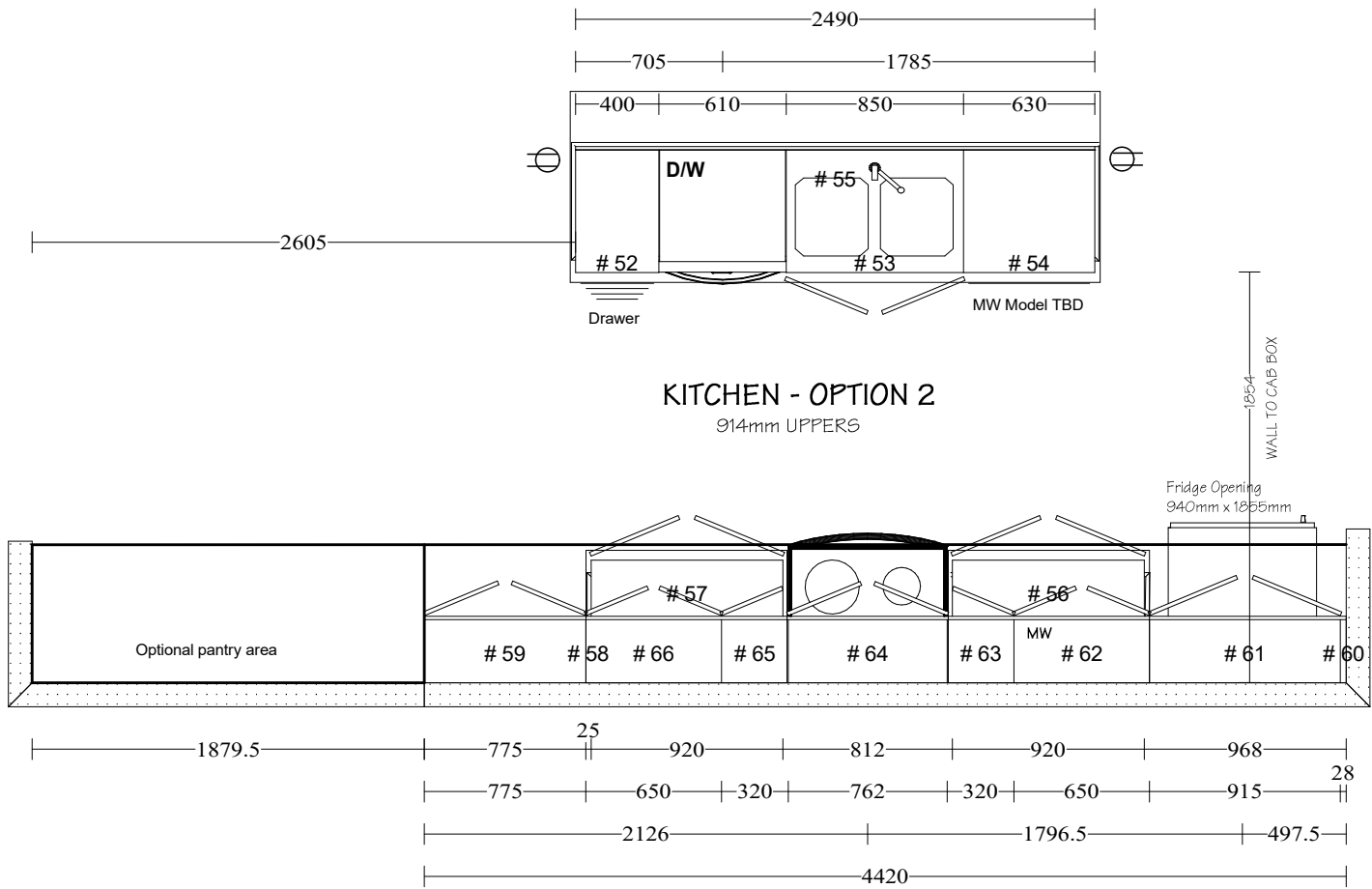


Project: Place St. Thomas 7  
Plan No: 50M-361  
Lot No: PST PH7 Lot 22  
Model: #1015, "A", Std. Murry w/ Secondary Dwelling  
Date: April 23, 2025

Purchaser: Krista McRoberts

	BUILDER: Valecraft Homes (2019) Limited	SITE: Place St. Thomas 7	LOT: PST PH7 Lot 22 PLAN#: 50M-361
	PURCHASOR: Krista McRoberts	MODEL: 1015 "A" Std Murry with SECONDARY DWELLING	
	PURCHASOR:	DATE: April 23, 2025	

PRIMARY DWELLING - MAIN FLOOR KITCHEN



Item #26 - Optional Kitchen Layout #2  
- Level 1 Cabinetry


Item #27 - Upgrade to 2 Kitchen  
Cabinetry Door Colours

Initial  
KM

DS  
FN



\*DIMENSIONS MAY VARY ON SITE MEASURES/CONDITIONS\*

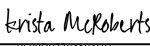
	SINGLES AND TOWNS COLOUR CHART (PRIMARY DWELLING - MAIN FLOOR)					
	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
INTERIOR FINISHES - MURRY FIRST FLOOR						
DESCRIPTION						STD/UPG #
TRIM STYLE	Standard					STD
DOOR STYLE	Standard					STD
INTERIOR HARDWARE	Standard					STD
INTERIOR LIGHTING PACKAGE	Standard + S&S Electric Quote					STD, 47
BATHROOM ACCESSORIES	Standard					STD
FIREPLACE MANTLE	Standard					STD

INTERIOR HANDRAILS AND SPINDLES				
	WOOD	STYLE	STAIN/COLOUR	STD/UPG #
HANDRAIL	N/A	N/A	N/A	\
BRACKET	N/A	N/A	N/A	\
SPINDLES	N/A	N/A	N/A	\
POSTS	N/A	N/A	N/A	\
NOSINGS	N/A	N/A	N/A	\
HARDWOOD STAIRCASE <i>(WHERE APPLICABLE)</i>	N/A	N/A	N/A	\

APPLIANCES				
TYPE	SIZE	STD/UPG #	APPLIANCE UPG LEVEL	STD/UPG #
FRIDGE <i>(Standard Minimum Opening is 35"(w) x maximum 73" (h))</i>	Fridge Opening approximately 37" Wide by 73" High	30	\	\
RANGE	Standard Opening	STD	\	\
DISHWASHER	Standard Opening	STD	\	\
MICROWAVE/ HOODFAN <i>(Specify if convection)</i>	Standard Microwave Shelf Opening + 30" Chimney Hoodfan Opening	2, 18	Whirlpool 300CFM 30in E-star stainless Steel WVV73UC0LS	18
WASHING MACHINE/DRYER	Standard Opening	STD	\	\

Purchaser's Signature(s) :

Signed by:



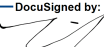
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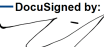
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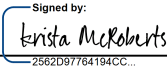
Date:

April 23, 2025

 Valecraft Homes (2019) Limited	SINGLES AND TOWNS COLOUR CHART (PRIMARY DWELLING - MAIN FLOOR)					
	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
CABINETRY						
ROOM	SELECTION				LEVEL	STD/UPG #
KITCHEN	STYLE AND COLOUR	TF-3620 in TF-180 for pantry, fridge cabinet and upper cabinets, TF-3620 in TF-179 for island and lower cabinet on each side of stove.			Level 1, 2 color cabinet	2, 4, 26, 27, 29, 30,
	HARDWARE CODE	BP 1076-900	TYPE	handles	STD	STD, 2
	COUNTERTOP	Silestone Stellar Snow polished 3cm	COUNTERTOP EDGE PROFILE	Eased edge	level 2	4, 5, 2
MAIN BATHROOM	STYLE AND COLOUR	PM-100i in Summer Drop V202S			STD	STD
	HARDWARE CODE	BP 1076-900	TYPE	handles	STD	STD
	COUNTERTOP	Quorastone Cotton Knit QS 7944 , 2cm	COUNTERTOP EDGE PROFILE	Standard eased edge	STD	STD
ENSUITE BATHROOM	STYLE AND COLOUR	PM-100i in Summer Drop V202S			STD	STD
	HARDWARE CODE	BP 1076-900	TYPE	handles	STD	STD
	COUNTERTOP	Quorastone Cotton Knit QS 7944 , 2cm	COUNTERTOP EDGE PROFILE	Standard eased edge	STD	STD
POWDER ROOM	STYLE AND COLOUR	PEDESTAL			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\
BASEMENT/OTHER BATHROOM	STYLE AND COLOUR	\			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\
LAUNDRY ROOM	STYLE AND COLOUR	\			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\

Purchaser's Signature(s) :

Signed by:



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April 23, 2025

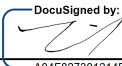
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DocuSigned by:



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	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
PAINT COLOUR(S)						
ROOM	MAIN COLOUR		STD/UPG #	ACCENT WALL		STD/UPG #
TRIM	Semi Gloss DLX1025-1 Commercial white		STD			
FOYER	Eggshell DLX1025-2 Silent Smoke		STD			
POWDER ROOM	\		\			
MAIN FLOOR HALLWAY	Eggshell DLX1025-2 Silent Smoke		STD			
DINING ROOM	Eggshell DLX1025-2 Silent Smoke		STD			
FLEX ROOM	\		\			
GREAT ROOM	Eggshell DLX1025-2 Silent Smoke		STD			
FAMILY ROOM	\		\			
DEN	Eggshell DLX1025-2 Silent Smoke		STD			
KITCHEN/DINETTE	Eggshell DLX1025-2 Silent Smoke		STD			
LAUNDRY	Eggshell DLX1025-2 Silent Smoke		STD			
2nd FLOOR HALLWAY	\		\			
MAIN BATH	Eggshell DLX1025-1 Commercial white		45			
BEDROOM #2	Eggshell DLX1025-2 Silent Smoke		STD			
BEDROOM #3	\		\			
BEDROOM #4	\		\			
OWNERS SUITE	Eggshell DLX1025-2 Silent Smoke		STD			
OWNERS SUITE WALK-IN CLOSET	Eggshell DLX1025-2 Silent Smoke		STD			
OWNERS SUITE ENSUITE BATHROOM	Eggshell DLX1025-1 Commercial white		45			
FINISHED BASEMENT RECREATION ROOM	\		\			
BASEMENT BATHROOM	\		\			

Purchaser's Signature(s) :

Signed by:



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Date: April 23, 2025

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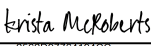
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	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
CERAMIC & GROUT SELECTIONS (1)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #
FOYER	FLOOR	Ceratec Glamour Calcatta Matt 11.6x23.6 (Front to back rectangular installation)		Mapei 5093 Warm Gray	Gold Floor tile + STD grout	7, STD
POWDER ROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				
MUDROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				
LAUNDRY ROOM	FLOOR	Ceratec Glamour Calcatta Matt 11.6x23.6 (Front to back rectangular installation)		Mapei 5093 Warm Gray	Gold Floor tile + STD grout	7, STD
	WALL	\		\	\	\
	INSERT OR BORDER	\				
KITCHEN	FLOOR	See Hardwwod Selection		\	\	32
	BACKSPLASH	Centura Splendours 3x12 Grey SP23961 (Horizontal 1/2 brick installation)		Mapei 5093 Warm Gray	Gold wall tile + 1/2 brick install + STD grout	6, 33
	INSERT OR BORDER	\				
BREAKFAST AREA/DINETTE	FLOOR	See Hardwwod Selection		\	\	32
FIREPLACE	HEARTH	No Hearth		\	\	\
	SURROUND	No Surround				
ADDITIONAL FIREPLACE	HEARTH	\		\	\	\
	SURROUND	\				

Purchaser's Signature(s) :

Signed by:




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Date: April 23, 2025

Purchaser's Signature(s) :

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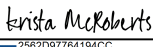
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	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
CERAMIC & GROUT SELECTIONS (2)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #
MAIN BATHROOM	FLOOR	Centura Statuario Bianco Matte 12x24 STR30071 (Front to back rectangular installation)		Mapei 5093 Warm Gray	Bronze floor tile + STD grout	40, STD
	WALL	Centura Statuario Bianco Matte 12x24 STR30071 (Vertical Stacked installation)		Mapei 5093 Warm Gray	Bronze floor tile + STD grout	41, STD
	INSERT OR BORDER	\				
3PC ENSUITE BATHROOM	FLOOR	Centura York Anthracite 12x24 matte YRY30073 (Front to back rectangular installation)		Mapei 5093 Warm Gray	Bronze floor tile + STD grout	36, STD
	WALL IN SHOWER	Centura York Anthracite 12x24 matte YRY30073 (Vertical stacked installation)		Mapei 5093 Warm Gray	Bronze floor tile + STD grout	37, STD, 12
	INSERT OR BORDER	\				
4PC/5PC ENSUITE BATHROOM	FLOOR	\		\	\	\
	TUB DECK	\		\	\	\
	TUB BACKSPLASH	\		\	\	\
	INSERT OR BORDER	\				
	WALL OVER TUB	\		\	\	\
BASEMENT/OTHER BATHROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				

Purchaser's Signature(s) :

Signed by:



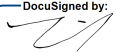
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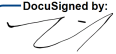
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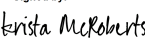
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 Valecraft Homes (2019) Limited	SINGLES AND TOWNS COLOUR CHART (PRIMARY DWELLING - MAIN FLOOR)					
	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
FLOORING SELECTIONS						
ROOM	CARPET/UNDERPAD OR HARDWOOD				LEVEL	STD/UPG #
FRONT HALLWAY	\				\	\
DINING ROOM	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	14
STORAGE ROOM	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	14
FAMILY ROOM	\				\	\
GREAT ROOM	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	14
DEN	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	15
REAR HALLWAY	\				\	\
KITCHEN	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	32
DINETTE	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	32
MAIN STAIRS TO BEDROOMS	\				\	\
UPPER HALLWAY	\				\	\
BEDROOM # 2	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	16
BEDROOM # 3	\				\	\
BEDROOM # 4	\				\	\
OWNERS SUITE	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	17
OWNERS SUITE WALK-IN CLOSET	Lauzon Expert essential tradition smooth mat engineered hard maple natural 4 1/8"				UPG	17
STAIRS TO BASEMENT	\				\	\
FINISHED BASEMENT RECREATION ROOM	\				\	\

Purchaser's Signature(s) :

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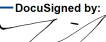


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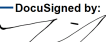


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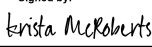


	SINGLES AND TOWNS COLOUR CHART (PRIMARY DWELLING - MAIN FLOOR)					
	Community:	Place St. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 22	Civic Address:	903 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Krista McRoberts			Model Name:	Murry w/ SD #1015
	Purchaser(s):				Closing Date:	18-Dec-25
PLUMBING FIXTURES						
ROOM	FIXTURE	STYLE			FINISH	STD/UPG#
KITCHEN	SINK	Blanco Horizon silgranit U2 undermount sink 8in deep			anthracite	24
	FAUCET	Delta trinsic 4159-BL-DST single handle pull out			Matte black	25
MAIN BATHROOM	SINK	Standard			White	STD
	VANITY FAUCET	Standard			Chrome	STD
	WATER CLOSET	Standard			White	STD
	TUB/SHOWER	Standard			White	STD
	TUB/SHOWER FAUCET	Standard			Chrome	STD
ENSUITE BATHROOM	SINK	Standard			White	STD
	VANITY FAUCET	Standard			Chrome	STD
	WATER CLOSET	Standard			White	STD
	SHOWER	Approx 5ft x 36in shower base with sliding shower doors including Black Trim + Zitta Niche 12"x24"x3.75" Matte Black			White base, matte black trims and clear glass	12, 43, 44
	SHOWER FAUCET	Standard			Chrome	STD
	BATHTUB	\			\	\
	BATHTUB FAUCET	\			\	\
POWDER ROOM	PEDESTAL	N/A			\	\
	SINK FAUCET	N/A			\	\
	WATER CLOSET	N/A			\	\
BASEMENT/OTHER BATHROOM	SINK	N/A			\	\
	VANITY FAUCET	N/A			\	\
	WATER CLOSET	N/A			\	\
	TUB/SHOWER	N/A			\	\
	TUB/SHOWER FAUCET	N/A			\	\
NOTE: All fixtures are white as standard						

NOTE: All fixtures are white as standard

Purchaser's Signature(s) :

Signed by:



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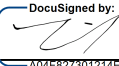
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DocuSigned by:



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Date: April 23, 2025



Tel: (613) 748-0432  
Fax: (613) 748-0355

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## Estimate No#: SS6799 Rev.03

Customer Copy

### Customer:

Krista McRoberts  
Home: 613-878-2474  
Email: kristamcroberts@gmail.com

Builder: VALECRAFT HOMES (2019) LTD.  
Project: PST Singles Ph7  
Lot: PST PH7 Lot 22  
Closing Date: December 18, 2025

### PRIMARY DWELLING - MAIN FLOOR

Salesperson: Kyle Takman  
Date: 04/07/2025

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
N/A	1.00	<b>Misc. Product</b> Selections for Main Floor		\$	\$0.00
Great Room	1.00	<b>15 Amp Standard Plug</b> Add 15 AMP plug approx 72 inches from floor above fireplace beside conduit	A	\$175.00	\$175.00
Owners Suite	1.00	<b>15 Amp Standard Plug</b> Add 15 Amp Standard Plug approx 60 inches from floor	B	\$175.00	\$175.00
Dining	1.00	<b>Misc. Product</b> Delete fixture and leave as keyless	C	\$-85.00	\$-85.00
Kitchen	1.00	<b>Standard Light Outlet (Keyless)</b> Relocate standard fixture and leave as keyless fixture and add 2nd keyless fixture (2 in total) for future pendant lighting	D	\$	\$0.00
Kitchen	1.00	<b>Misc. Product</b> Credit for deleted fixture	D	\$-25.00	\$-25.00
Kitchen	3.00	<b>4" LED slim Pot Light White (AFR4C-0930-WH)</b> Add (3) 4" LED slim Pot Light White (AFR4-0930-WH) on added switch	E	\$245.00	\$735.00
Kitchen	1.00	<b>Single Pole Switch</b> Single Pole Switch for added pot lights	E	\$136.00	\$136.00
Great Room	1.00	<b>4 * 4" LED slim Pot Light White (AFR4C-0930-WH)</b> Add 4 * 4" LED slim Pot Light White (AFR4C-0930-WH) on added switch	F	\$939.00	\$939.00
Great Room	1.00	<b>Single Pole Switch</b> Single Pole Switch for added pot lights	F	\$136.00	\$136.00
Various Locations	2.00	<b>Misc. Product</b> USB Charger Receptacle in kitchen and master bedroom (standard items)	G	\$	\$0.00

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@sandselectric.ca | Website: www.sandselectric.ca

5411 Canotek Road, Ottawa, Ontario K1J 9M3





Tel: (613) 748-0432  
Fax: (613) 748-0355

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Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Hall	1.00	<b>2 * 4" LED slim Pot Light White (AFR4C-0930-WH)</b> Add 2 * 4" LED slim Pot Light White (AFR4C-0930-WH) on existing switch	H	\$490.00	\$490.00
Hall	2.00	<b>Misc. Product</b> Credit for deleted fixtures	H	\$-68.00	\$-136.00
Entry	1.00	<b>2 * 4" LED slim Pot Light White (AFR4C-0930-WH)</b> Add 2 * 4" LED slim Pot Light White (AFR4C-0930-WH) on existing switch	I	\$490.00	\$490.00
Entry	2.00	<b>Misc. Product</b> Credit for deleted fixture	I	\$-68.00	\$-136.00
Ensuite Bath	1.00	<b>4" LED slim Pot Light White (AFR4C-0930-WH)</b> Add 4" LED slim Pot Light White (AFR4-0930-WH) on added switch	J	\$245.00	\$245.00
Ensuite Bath	1.00	<b>Single Pole Switch</b> Single Pole Switch for added pot light	J	\$136.00	\$136.00

Customer Subtotal:	<b>\$3,275.00</b>
HST:	<b>\$425.75</b>
<b>Total:</b>	<b>\$3,700.75</b>

\*\*\* Total price includes all applicable taxes

#### Notes:

"Purchaser has acknowledged that they have discussed any kitchen layout modifications with their electrical representative. If modifications are made after signing off on electrical, this will incur additional charges."

Signed by:  
*Krista McRoberts*  
2562D97764194CC

Customer Signature

April 22, 2025

Date

DS  
FN



Tel: (613) 748-0432  
Fax: (613) 748-0355

## Estimate No#: OR8638 Rev.03

Customer Copy




### Customer:

Krista McRoberts  
Home: 613-878-2474  
Email: kristamcroberts@gmail.com

Builder: VALECRAFT HOMES (2019) LTD.  
Project: PST Singles Ph7  
Lot: PST PH7 Lot 22  
Closing Date: - December 18, 2025

### PRIMARY DWELLING - MAIN FLOOR

Salesperson: Kyle Takman (OR)  
Date: 04/07/2025

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
N/A	1.00	<b>Misc. Product</b> Selections for Main Floor		\$	\$0.00
N/A	2.00	<b>Vacuum Rough-In Outlet</b> Vacuum Rough-In Outlets	VAC RI	\$	\$0.00
Great Room	1.00	<b>(1) Port Plate - (1) Data CAT6 Outlet</b> (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Owners Suite	1.00	<b>(1) Port Plate - (1) Data CAT6 Outlet</b> (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Bedroom #2	1.00	<b>(1) Port Plate - (1) Data CAT6 Outlet</b> (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Great Room	1.00	<b>Off-Set 2" Conduit w/ Wall Plates</b> Off-Set 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV - approx 72 inches from floor above fire place	CONDUIT	\$190.00	\$190.00
Owners Suite	1.00	<b>Direct 2" Conduit w/ Wall Plates</b> Direct 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV	CONDUIT	\$173.00	\$173.00

\*\*\* Total price includes all applicable taxes

Customer Subtotal: **\$363.00**  
HST: **\$47.19**  
**Total: \$410.19**

Signed by:

*Krista McRoberts*

2562D97764184CC

Customer Signature


April 23, 2025

Date

DS  
FN

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@orbitalti.com | Website: www.orbitalti.com

5411 Canotek Road, Ottawa, Ontario K1J 9M3



**Valecraft**  
Homes (2019) Limited

**S&S / Orbital Sketch**

Model Name: Murry w/ SD

Model #: #1015 "A"

Plan #: 50M-361

Site: Place St. Thomas 7

Purchaser: Krista McRoberts

Lot: PST PH7 Lot 22

Date: April 7, 2025

Purchaser:



ELEVATION A

Initial  
km

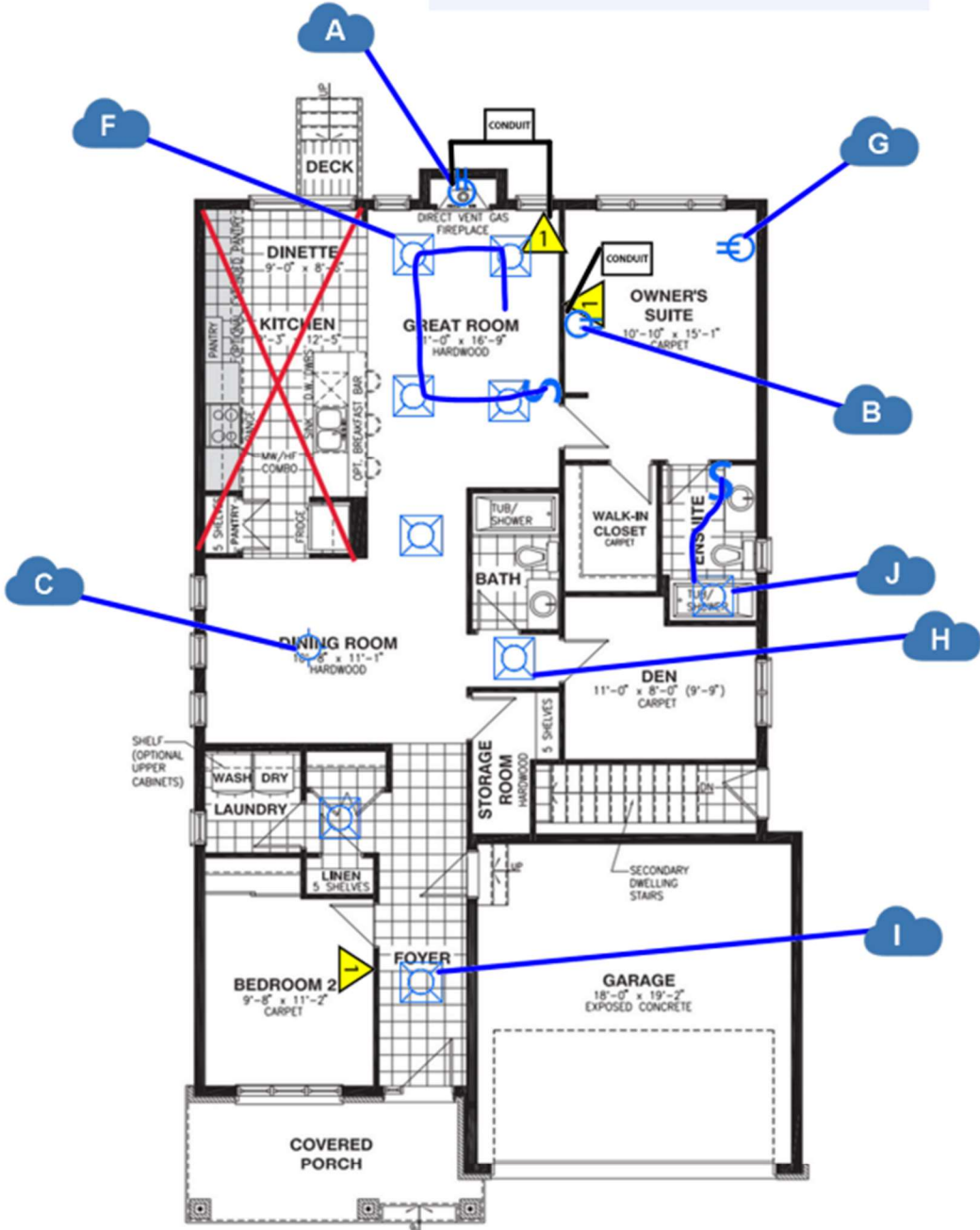
DS  
FN



Valecraft  
Homes (2019) Limited

S&S / Orbital Sketch

Model Name:	Murry w/ SD	Model #:	#1015 "A"	Plan #:	50M-361
Site:	Place St. Thomas 7	Purchaser:	Krista McRoberts		
Lot:	PST PH7 Lot 22				
Date:	April 7, 2025	Purchaser:			



GROUND FLOOR - ELEVATION A

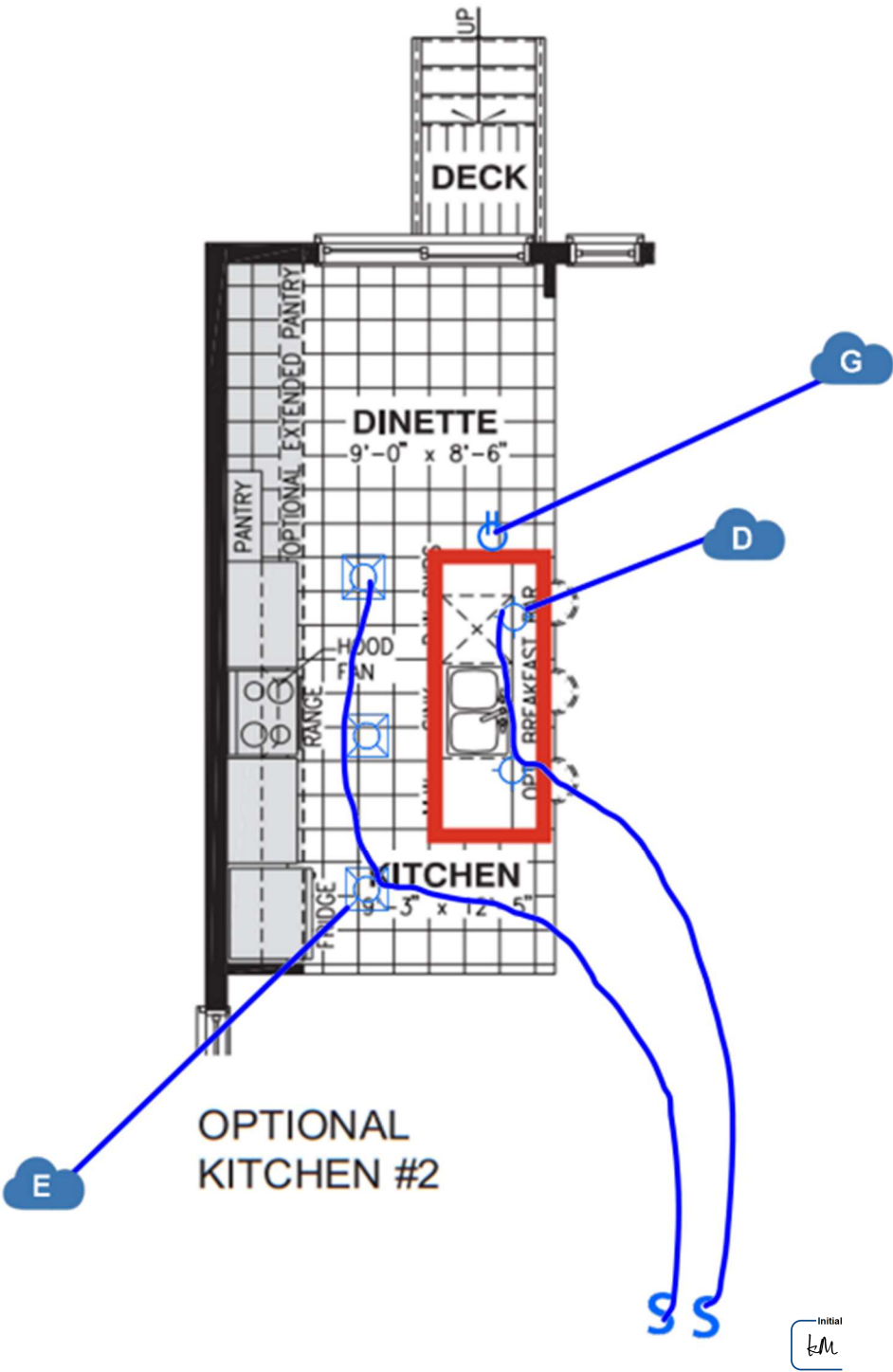
Initial  
LM

DS  
FN



S&S / Orbital Sketch

Model Name:	Murry w/ SD	Model #:	#1015 "A"	Plan #:	50M-361
Site:	Place St. Thomas 7	Purchaser:	Krista McRoberts		
Lot:	PST PH7 Lot 22	Purchaser:			
Date:	April 7, 2025	Purchaser:			





## Certificate Of Completion

Envelope Id: C8DCC5F7-455E-4F33-9BF5-49BEF00C5004

Status: Completed

Subject: Please Docusign: PST PH7 Lot 22 - Decor & Electrical (Primary - Main Floor)

Source Envelope:

Document Pages: 27

Signatures: 25

Envelope Originator:

Certificate Pages: 5

Initials: 29

Place St.Thomas Sales

AutoNav: Enabled

682 Danaca Private

Envelopeld Stamping: Enabled

Ottawa, ON K1K 2V7

Time Zone: (UTC-05:00) Eastern Time (US & Canada)

place-st-thomas@valecraft.com

IP Address: 20.175.152.220

## Record Tracking

Status: Original

Holder: Place St.Thomas Sales

Location: DocuSign

4/23/2025 12:20:02 PM

place-st-thomas@valecraft.com

## Signer Events

Krista McRoberts

kristamcroberts@gmail.com

Security Level: Email, Account Authentication  
(None)

## Signature

Signed by:

  
2562D97764194CC...

## Timestamp

Sent: 4/23/2025 12:52:00 PM

Viewed: 4/23/2025 12:54:14 PM

Signed: 4/23/2025 12:55:44 PM

Signature Adoption: Pre-selected Style

Using IP Address: 174.91.158.44

Signed using mobile

## Electronic Record and Signature Disclosure:

Accepted: 4/23/2025 12:54:14 PM

ID: 32dfd70d-5c5e-4b1f-ab3a-d0224787ad56

Frank Nieuwkoop

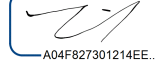
frank@valecraft.com

Vice President

Valecraft Homes

Security Level: Email, Account Authentication  
(None)

DocuSigned by:

  
A04F827301214EE...

Sent: 4/23/2025 12:55:48 PM

Viewed: 4/24/2025 8:06:49 AM

Signed: 4/24/2025 8:07:25 AM

Signature Adoption: Drawn on Device

Using IP Address: 24.137.59.94

## Electronic Record and Signature Disclosure:

Not Offered via Docusign

## In Person Signer Events

## Signature

## Timestamp

## Editor Delivery Events

## Status

## Timestamp

## Agent Delivery Events

## Status

## Timestamp

## Intermediary Delivery Events

## Status

## Timestamp

## Certified Delivery Events

## Status

## Timestamp

## Carbon Copy Events

## Status

## Timestamp

Lisa Ballard

lballard@valecraft.com

Administrative Coordinator

Valecraft Homes Ltd

Security Level: Email, Account Authentication  
(None)

**COPIED**

Sent: 4/24/2025 8:07:30 AM

Viewed: 4/24/2025 10:09:45 AM

## Electronic Record and Signature Disclosure:

Not Offered via Docusign



Carbon Copy Events	Status	Timestamp
Joanne Huppe jhuppe@valecraft.com Sales Administrator Valecraft Homes Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/24/2025 8:07:31 AM
Place St.Thomas Sales place-st-thomas@valecraft.com Sales Team Valecraft Home 2019 Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign	COPIED	Sent: 4/24/2025 8:07:31 AM Resent: 4/24/2025 8:07:35 AM
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	4/23/2025 12:52:00 PM
Certified Delivered	Security Checked	4/24/2025 8:06:49 AM
Signing Complete	Security Checked	4/24/2025 8:07:25 AM
Completed	Security Checked	4/24/2025 8:07:31 AM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

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