

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE  
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED  
ON THE 24 DAY OF February , 2025 .

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : PH1 B08  
LOT: PH1 B08 BLOCK : B  
4M-1740  
CIVIC ADDRESS: 1140 Cope Dr., Stittsville, ON.

PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: February 24, 2025

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE: PURCHASE PRICE: \$672,000.00  
BALANCE AT CLOSING: \$622,000.00  
LESS H.S.T. AMOUNT: \$615,929.20  
SCHEDULE "G" DATED: February 24, 2025  
TARION SCHEDULE "B" DATED: February 24, 2025

INSERT: 680 dated: March 5, 2025 in the amount of: \$5,588.00  
NEW PURCHASE PRICE: \$677,588.00  
NEW BALANCE AT CLOSING: \$627,588.00  
NEW LESS H.S.T. AMOUNT: \$620,874.34  
SCHEDULE "G" DATED: March 5, 2025  
TARION SCHEDULE "B" DATED: March 5, 2025

Dated at Ottawa this 5 day of March , 2025

In the presence of:

WITNESS

DocuSigned by:  
E. Sridhar Kumar  
28C70E2ACE334BC...

PURCHASER

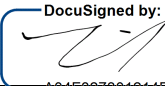
WITNESS

DocuSigned by:  
KOTAM, MOUNIKA  
42A003FF6543469...

PURCHASER

Dated at Ottawa this 5 day of March , 2025

VALECRAFT HOMES LIMITED (VENDOR)

PER:   
A04F827301214EE... REV: September 3, 2020

SCHEDULE "G"

HARMONIZED SALES TAX AND NEW HOUSING REBATE

1. The parties acknowledge that as at the date of this Agreement, Harmonized Sales Tax ("HST") is applicable to this transaction pursuant to the Excise Tax Act (Canada) (the "**Legislation**") and that, the Purchaser may qualify for the GST/HST new housing rebate (as is authorized by the Legislation from time to time) (**the "New Housing Rebate"**) in respect of this transaction.
2. The Purchaser is hereby advised that the Purchase Price listed in "Purchase Price" Section of this Agreement includes all HST and the New Housing Rebate applicable to this transaction (refer to maximum rebate allowance in Clause 8) as at the date this Agreement is signed by the parties. All sales taxes applicable to the transaction (including any applicable New Housing Rebate) will be calculated as of the closing of the subject transaction and will be applied in accordance with the Legislation. In the event that there is a change to the Legislation after the execution of this Agreement but prior to the closing of this transaction, the Vendor shall make all applicable adjustments to the sales taxes payable in this transaction in accordance with all applicable Legislation.
3. The Purchaser hereby irrevocably assigns to the Vendor the benefit of the New Housing Rebate, if applicable to this transaction.
4. The Purchaser hereby warrants and agrees that:

(a) The Real Property is being purchased as the Purchaser's primary place of residence and that the Purchaser will take possession and occupy the Dwelling forthwith upon closing and will not allow occupancy of the Dwelling by any other individual (other than the Purchaser's immediate family) as a place of residence prior to occupancy by the Purchaser;

(b) Purchaser will execute and deliver on closing such documents as the Vendor may require to confirm the warranties and agreements contained in this Schedule; and

(c) Purchaser will submit to the Vendor on closing, prior to or after closing at the Vendor's request, an application or applications in the manner and in the form prescribed containing prescribed information required by the Legislation for the New Housing Rebate
5. The Purchaser acknowledges that the Vendor has calculated the Purchase Price on the assumption that the New Housing Rebate will be applicable to this transaction. If for any reason the Purchaser does not qualify for the New Housing Rebate, then the Purchaser shall be fully responsible for paying to the Vendor the amount of such New Housing Rebate plus interest at the Bank of Montreal prime rate from the date the statement of adjustments is calculated plus any fees, penalties or damages imposed on the Vendor under the Legislation. For greater certainty, the Purchaser acknowledges that the New Housing Rebate described above is for individuals buying a new house or residential condominium as a primary place of residence for themselves or a relation. It does not include the rebate for HST which may be available to investors buying a new house or residential condominium as a rental property ( the **GST/HST "New Residential Rental Property Rebate"**). If the Property is being purchased for investment purposes, the Purchaser will not qualify for the New Housing Rebate and the Purchaser shall be responsible for paying to the Vendor an amount equal to the New Housing Rebate which has been included in the Purchase Price hereunder. All Purchasers buying a new house or residential condominium as a rental property are responsible for applying for the New Residential Rental Property Rebate after the closing of the subject transaction.

Initial

S k E

Purchaser

Initial

Mk

Purchaser

DS

FN

Vendor

6. The Purchaser acknowledges and agrees that the Purchase Price set forth in this Agreement has been arrived at on the basis that the Purchase Price includes all Extras, premiums and bonuses and excludes any Extras ordered pursuant to a Change Order following the date of execution of this Agreement. The Purchaser acknowledges that the purchase of additional Extras following the date of execution of this Agreement may push the Purchase Price of the Real Property into a different sales tax category for the purposes of determining the amount of the New Housing Rebate, and that this may lower the amount of said New Housing Rebate applicable to the transaction. If a reduced New Housing Rebate is applicable under the Legislation due to the purchase of Extras following the date of execution of this Agreement, the Purchaser agrees to compensate the Vendor for the, amount by which the New Housing Rebate used to calculate the Purchase Price listed in the "Purchase Price" section herein exceeds the actual applicable New Housing Rebate, such amount to be credited to the Vendor as an adjustment on closing.
7. The Parties acknowledge that for purposes of Land Transfer Tax, the total consideration to be inserted in the Transfer/Deed of Land for this transaction shall be the total Purchase Price including Extras excluding HST and the New Housing Rebate, namely the amount of **\$620,874.34**. The Purchaser is responsible for payment in full of the Land Transfer Tax and the cost of registration of the transfer. The consideration value is subject to change, pursuant to any and all extras that are ordered pursuant to a Change Order following the date of the execution of this Agreement.
8. The Purchaser agrees to execute all further documents required by the Vendor after closing to give effect to this Schedule.

Signed at **Ottawa** this **5** day of **March**, **2025**

DocuSigned by:  
E. Sridhar Jammal  
28C76E2ACE354BC...


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**PURCHASER**

**VALECRAFT HOMES (2019) LIMITED**

DocuSigned by:  
kotam, MAUMKA  
47A003EE6543469

**PURCHASER**

DocuSigned by:  
  
 A04F823201214EE

**PER:**

**March 5, 2025**

DATE: \_\_\_\_\_

**PROJECT:** **LOT: PH1 B08**

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE  
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED

ON THE 24 DAY OF February , 2025 .

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : PH1 B08  
LOT: PH1 B08 BLOCK : B  
4M-1740  
CIVIC ADDRESS: 1140 Cope Dr., Stittsville, ON.

PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: February 24, 2025

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE:

INSERT: Future Development levies/fees Vendor/Builder are capped off at \$2,000.00

Dated at Ottawa this 5 day of March , 2025

In the presence of:

WITNESS PURCHASER

WITNESS PURCHASER

Dated at Ottawa this 5 day of March , 2025

VALECRAFT HOMES LIMITED (VENDOR)

PER:



**Freehold Form  
(Firm Closing Date)**

**SCHEDULE B**

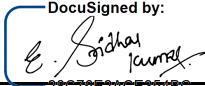
**Adjustments to Purchase Price or Balance Due on Closing**

**PART I      Stipulated Amounts/Adjustments**

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing, the dollar value of which is stipulated in the Purchase Agreement and set out below.

- 1. Land Transfer Tax based on final purchase price less HST as stated in Clause #22 of the Agreement of Purchase & Sale.
- 2. Property Taxes as per final statement of adjustments as stated in Clause #11 of the Agreement of Purchase & Sale.
- 3. Real Estate Transaction Levy Surcharge as per final statement of adjustments as stated in Clause #13 of the Agreement of Purchase & Sale.
- 4. Administrative charges to set up assessment roll number and change of records as per final statement of adjustments as stated in Clause #14 of the Agreement of Purchase & Sale.
- 5. Delay in Closing by Purchaser of \$150.00 +HST per day as per final statement of adjustments as stated in Clause #15 of the Agreement of Purchase & Sale.
- 6. Maximum GST/HST rebate based on final purchase price less HST as stated in Schedule “G” Clause # 8 of the Agreement of Purchase & Sale.
- 7. Tarion Enrolment Fee based on final purchase price less HST as stated in Clause #12 of the Agreement of Purchase & Sale. Tarion Enrolment Calculation Table can be viewed on-line at tarion.com. See chart on page 11 as a guide.
- 8. Additional upgrades/deletions contained in the attached Amendment to the Agreement of Purchase and Sale dated March 5, 2025.

Signed at Ottawa, this 5 day of March, 2025.

DocuSigned by:  
  
28C70E2ACE354BC...  
**Purchaser**

**Valecraft Homes (2019) Limited**

DocuSigned by:  
  
474003EE6543469  
**Purchaser**

DocuSigned by:  
  
404E827301214EE...  
**Frank Nieuwkoop**  
**Per:**

**March 5, 2025**  
**Date:**

**Lot #:** PH1 B08

**Project: Shea Village**



NON STANDARD EXTRAS (680)			
Shea Village - Phase 1			
PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam			Printed: 4-Mar-25 11:20 am
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B08	1	160 THE STANLEY 2	5-Aug-25
ITEM	QTY	EXTRA / CHANGE	PRICE
17		1 - <i>KITCHEN</i> - DELETE ITEM #15 (RE: CABINETRY UPC9-2A OPTIONAL KITCHEN LAYOUT 1 - LEVEL 1 CABINETRY INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD APPROX 26IN DEEP X 10IN H.)	\$0.00
45573		Note:	Each
18		1 - <i>KITCHEN</i> - CABINETRY UPC9-2A OPTIONAL KITCHEN LAYOUT 1 - STANDARD LEVEL CABINETRY INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO STANDARD BULKHEAD APPROX 26IN DEEP X 10IN H.)	\$0.00
45577		Note: Purchasers acknowledges and accepts that upper kitchen cabinetry upgraded wood doors will have center style. As per UPC sketch dated March 5, 2025 As per floor plan and kitchen sketch dated March 5, 2025 See item #2 (Optional kitchen layout #1) See item #19 (upgraded 2 ft deep fridge uppers)	Each
*19		1 - <i>KITCHEN</i> - 2FT DEEP FRIDGE UPPER - STD SERIES	* \$211.00
143902			Each
45578		Note: As per kitchen sketch dated March 5, 2025 See item #2 (Optional kitchen layout #1) See item #18 (UPC9-2A in kitchen layout #1)	
*20		1 - <i>KITCHEN</i> - OTR - UPGRADE STD WHITE TO STAINLESS	* \$75.00
143896			Each
45579		Note: As per kitchen sketch, dated March 5, 2025 See item #2 (Optional kitchen layout #1)	
21		1 - - TILE - WALL - BACKSPLASH - UPGRADE - SILVER - KITCHEN OPT #1 - SILVER	\$240.00
264			Each
45608		Note: Horizontal stacked installation, as per wall tile installation sketch dated March 5, 2025 See item #2 (optional kitchen layout #1)	
22		1 - - UPGRADED GROUT ON FLOOR IN FOYER, POWDER ROOM, KITCHEN AND KITCHEN BACKSPLASH IN OPTIONAL KITCHEN LAYOUT #1.	\$195.00
45581		Note: As per interior colour chart dated March 5, 2025	Each
23		1 - <i>MASTER BEDROOM</i> - UNDERPAD - UPGRADE - LEVEL 1 - - MASTER BEDROOM / WIC - LEVEL 1	\$243.00
272			Each
45582		Note: As per floor plan sketch dated March 5, 2025	
24		1 - <i>BEDROOM 2</i> - UNDERPAD - UPGRADE - LEVEL 1 - - BEDROOM 2 - LEVEL 1	\$141.00
272			Each
45584		Note: As per floor plan sketch dated March 5, 2025	
25		1 - <i>BEDROOM 3</i> - UNDERPAD - UPGRADE - LEVEL 1 - - BEDROOM 3 - LEVEL 1	\$160.00
272			Each
45585		Note: As per floor plan sketch dated March 5, 2025	
26		1 - <i>FAMILY ROOM</i> - UNDERPAD - UPGRADE - LEVEL 1 - - FAMILY ROOM - LEVEL 1	\$269.00
272			Each
45586		Note: As per floor plan sketch dated March 5, 2025	
27		1 - <i>LOWER STAIRCASE</i> - UNDERPAD - UPGRADE - LEVEL 1 - - BASEMENT STAIRCASE - LEVEL 1	\$90.00
272			Each
45587		Note: As per floor plan sketch dated March 5, 2025	

DS  
FN

Initial  
S k

Initial  
Mk

Vendor Initials:

Purchaser Initials:

PREPARED BY: Nicole Trudel

LOCKED BY: Lisa Ballard

PE 2,159-1

CONSTRUCTION SCHEDULING APPROVAL

PER: \_\_\_\_\_

DATE: \_\_\_\_\_



NON STANDARD EXTRAS (680)

Shea Village - Phase 1

PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

Printed: 4-Mar-25 11:20 am

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
B08	1	160 THE STANLEY 2	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*28 121358	1	- PAINT ADDITIONAL COLOUR (NON DEEP BASE) BUILDERS STANDARD PAINT. PER COLOUR FOR COMPLETE HOUSE	* \$1,065.00	Each
45588	Note:	Does not include doors and trim. As per interior colour chart dated March 5, 2025		
*29 150903	1	- STD AREAS - HARDWOOD - OAK - 3 1/8 STAINED - STD AREAS	* \$2,539.00	Each
45589	Note:	As per floor plan sketch dated March 5, 2025		
30	1	- UPPER STAIRCASE - SUPPLY AND INSTALL 6 1/4" WIDE WHITE OAK MOORLAND HARDWOOD ON UPPER STAIRS LANDING ONLY. (LIGHT STAINED COLOURED HARDWOOD TO MATCH EXISTING STAIRCASE).	\$235.00	Each
45590	Note:	As per interior colour chart dated March 5, 2025. As per floor plan sketch dated March 5, 2025.		
31	1	- - SUPPLY A SECOND COLOUR STAIN FOR FLOOR NOSING, COLONIAL HANDRAIL, 3 " WIDE ROUTED POSTS AND MODERN SQUARE WOOD SPINDLES. ALL TO BE SIMILAR TO THE DARK STAIN OF THE HARDWOOD FLOORS.	\$125.00	Each
45591	Note:	As per interior colour chart dated March 5, 2025.		

Sub Total	\$5,588.00
HST	\$0.00
Total	\$5,588.00

Payment Summary

Paid By Amount

Total Payment:

PURCHASER:

DocuSigned by:  
  
28C76F2ACE354BC  
Sridhar Kumar Ettkepalli

5-Mar-25

DATE

PURCHASER:

DocuSigned by:  
  
47A003EE6543469...  
Mounika Kotam

5-Mar-25

DATE

VENDOR:

DocuSigned by:  
  
A04E827301214FF  
PER: Valecraft Homes (2019) Limited

March 5, 25

DATE:

PREPARED BY: Nicole Trudel

LOCKED BY: Lisa Ballard

PE 2,159-2

InvoiceSQL.rpt 01sept21

CONSTRUCTION SCHEDULING APPROVAL

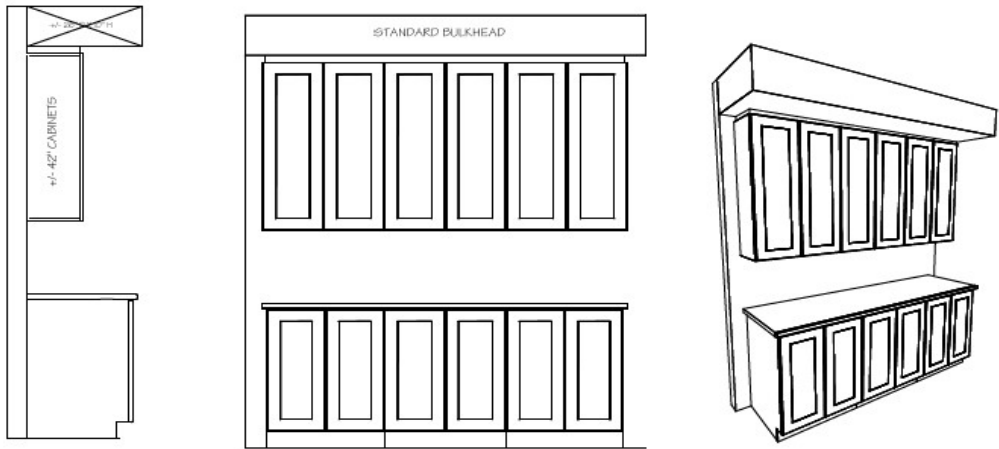
PER: \_\_\_\_\_

DATE: \_\_\_\_\_

OPTIONAL KITCHEN CABINET CROWN MOULDING, FILLER &  
**STANDARD BULKHEAD DETAILS**

UPC9-2A Upgrade #: 18

- Includes upgrade to 42” uppers with filler detail on upper kitchen cabinetry to standard bulkhead.



Initial

S k

Initial

M k

DS

FN

Site: SHEA VILLAGE

Purchaser: Sridhar Kumar Ettkepalli

Plan No: 4M-1740

Lot: SV PH1 B08 The Stanley

Purchaser: Mounika Kotam

Date: March 5, 2025





Valecraft  
Homes (2019) Limited

Standard Edge Profiles for Granite & Quartz



Eased Edge

Kitchen & kitchen island with  
flush breakfast bar.  
Main Bathroom Countertop.  
3 Pce Ensuite Countertop.

Initial

S k e

Initial

Mk

DS

FN

Project: Shea Village

Plan #: 4M-1740

Lot: SV PH1 B08

Model: 160-2 The Stanley 2 Std

Purchaser: Sridhar Kumar Ettkepalli

Purchaser: Mounika Kotam

Date: March 5, 2025

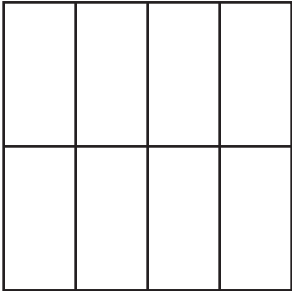
Upgrade #: 2, 10, 11, 12, 13,



Tile Installation Options

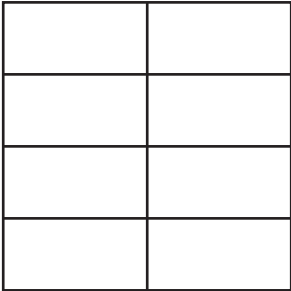
WALL TILE

Vertical stacked



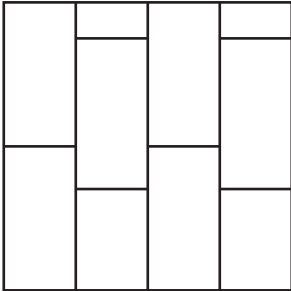
Main Bathroom  
tub/shower surround  
3 pce Ensuite bathroom

Horizontal stacked

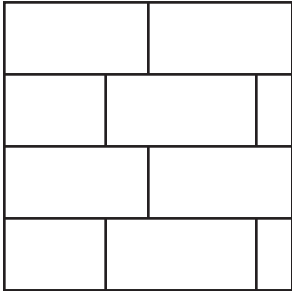


Kitchen backsplash

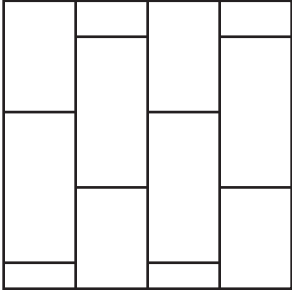
Vertical 1/3 offset brick



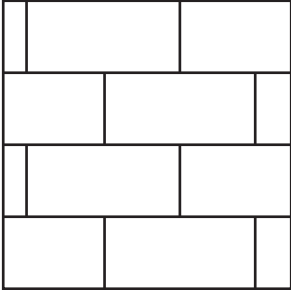
Horizontal 1/3 offset brick



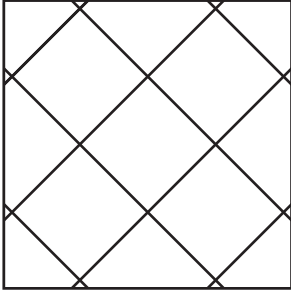
Vertical brick



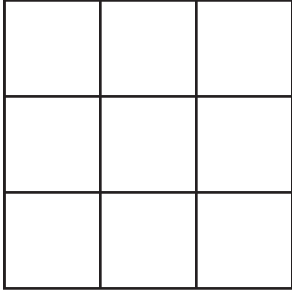
Horizontal brick



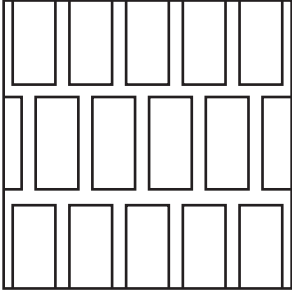
45 degree



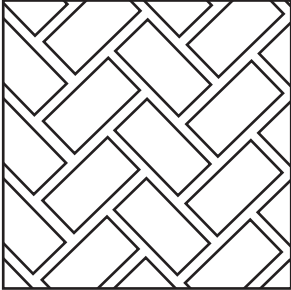
Standard square



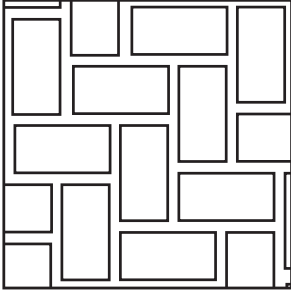
Vertical offset bond



Herringbone



Block herringbone



Project: Shea Village  
Plan #: 4M-1740  
Lot: SV PH1 B08  
Model: The Stanley 2 - 160-2

Purchaser: Sridhar Kumar Ettkepalli  
Purchaser: Mounika Kotam  
Date: March 5, 2025  
Upgrade #: 2, 3, 9, 21

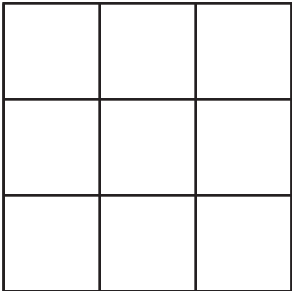


Valecraft  
Homes (2019) Limited

Tile Installation Options

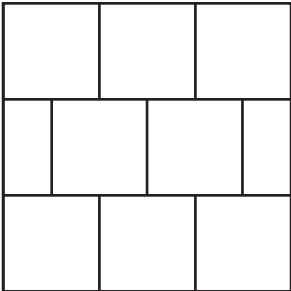
FLOOR TILE

Standard square



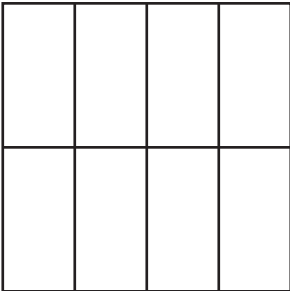
Foyer & Powder Room

Square brick

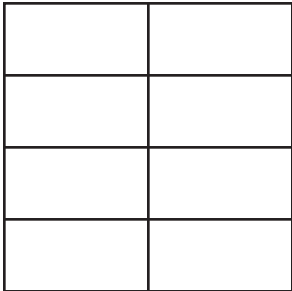


Laundry Room, Main  
Bathroom, 3 Pce  
Ensuite Bathroom

Rectangular  
front to back of the house

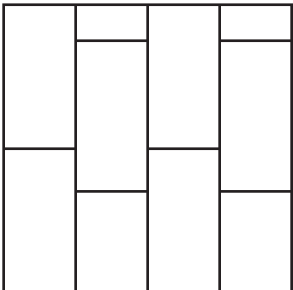


Rectangular  
side to side of the house

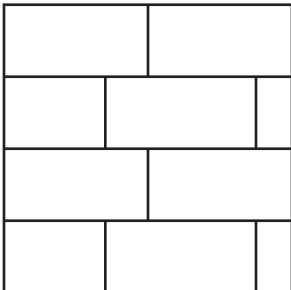


Initial Initial DS  
S k E M k FN

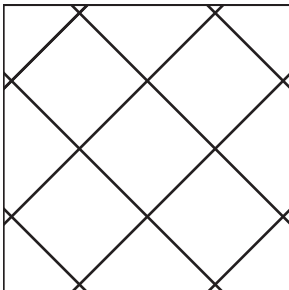
Rectangular 1/3 staggered  
front to back of the house



Rectangular 1/3 staggered  
side to side of the house



45 degree



Project: SHEA VILLAGE  
Plan #: 4M-1740  
Lot: SV PH1 B08  
Model: THE STANLEY(160-2)

Purchaser: Sridhar Kumar Ettkepalli  
Purchaser: Mounika Kotam  
Date: March 5, 2025  
Upgrade #: 3, 10, 12

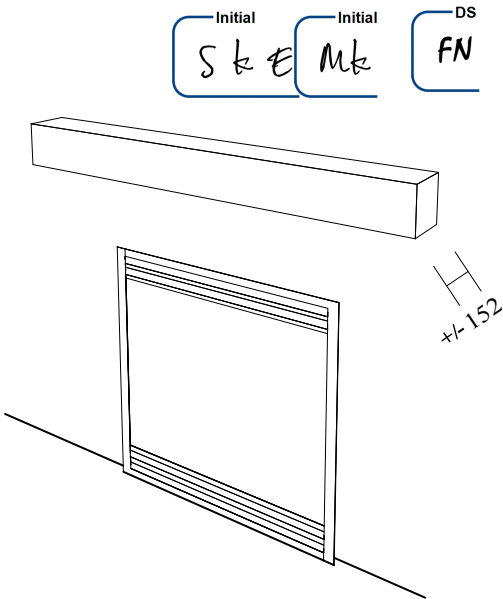
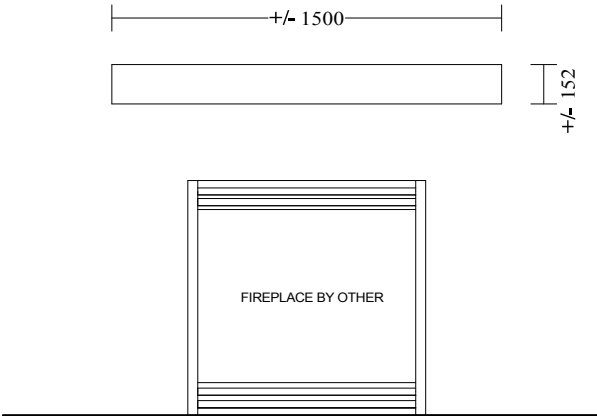


Valecraft  
Homes (2019) Limited

FIREPLACE MANTLES

FINAL MANTLE DIMENSIONS WILL VARY BASED ON FIREPLACE SPECIFICATIONS AND PRESCRIBED CLEARANCES

MODERN TYPE 1 Upgrade #: 1  
(Beam Mantle)



Site: SHEA VILLAGE

Purchaser: Sridhar Kumar Ettkepalli

Plan No: 4M-1740

Lot: SV PH1 B08

Date: March 5, 2025

Purchaser: Mounika Kotam



THE STANLEY 2

MODEL 160-2

2135 sq.ft  
(370 sq.ft. finished basement)

Site: Shea Village

Plan No.: 4M-1740

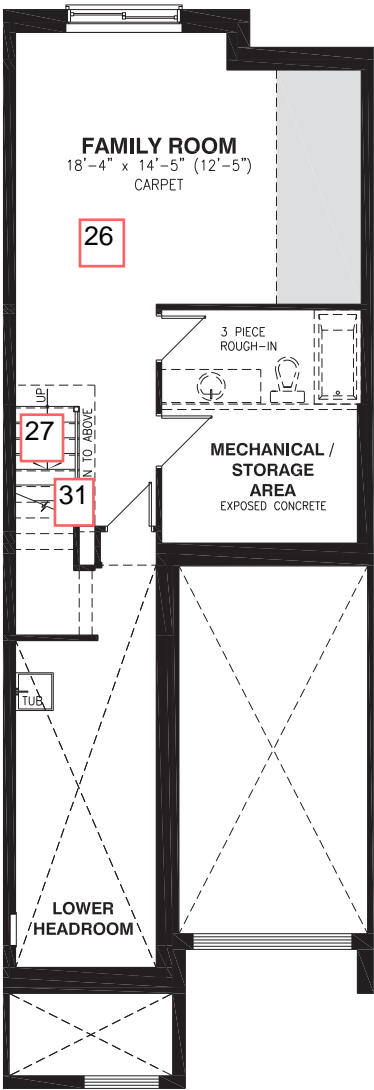
Lot: PH1 B08

Date: March 5, 2025

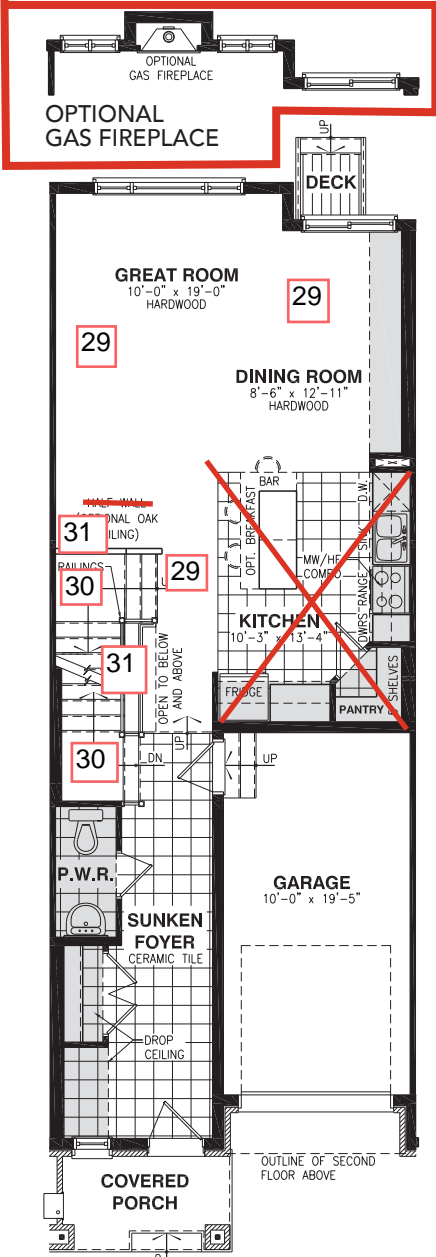
Purchaser: Sridhar Kumar Ettkepalli

Purchaser: Mounika Kotam

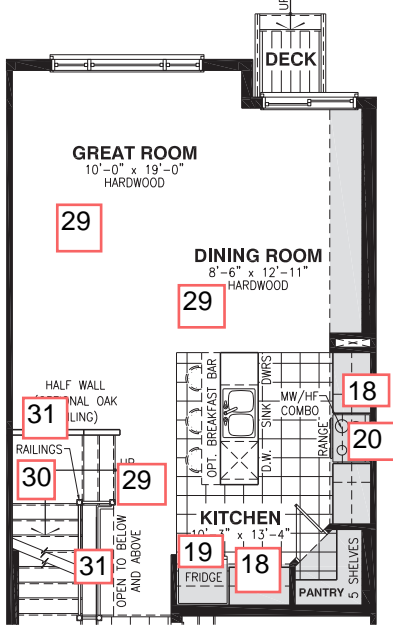
Initial  
S k & M k  
Initial  
DS  
FN



BASEMENT FLOOR

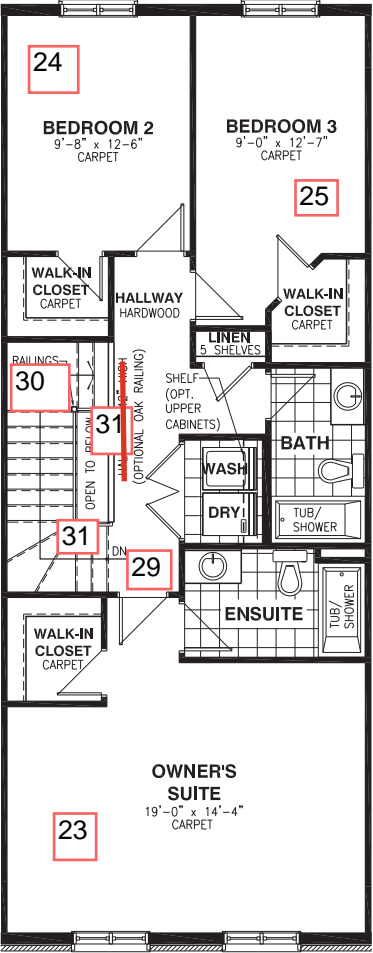


GROUND FLOOR



OPTIONAL KITCHEN #1

Floor Plan Sketch



SECOND FLOOR

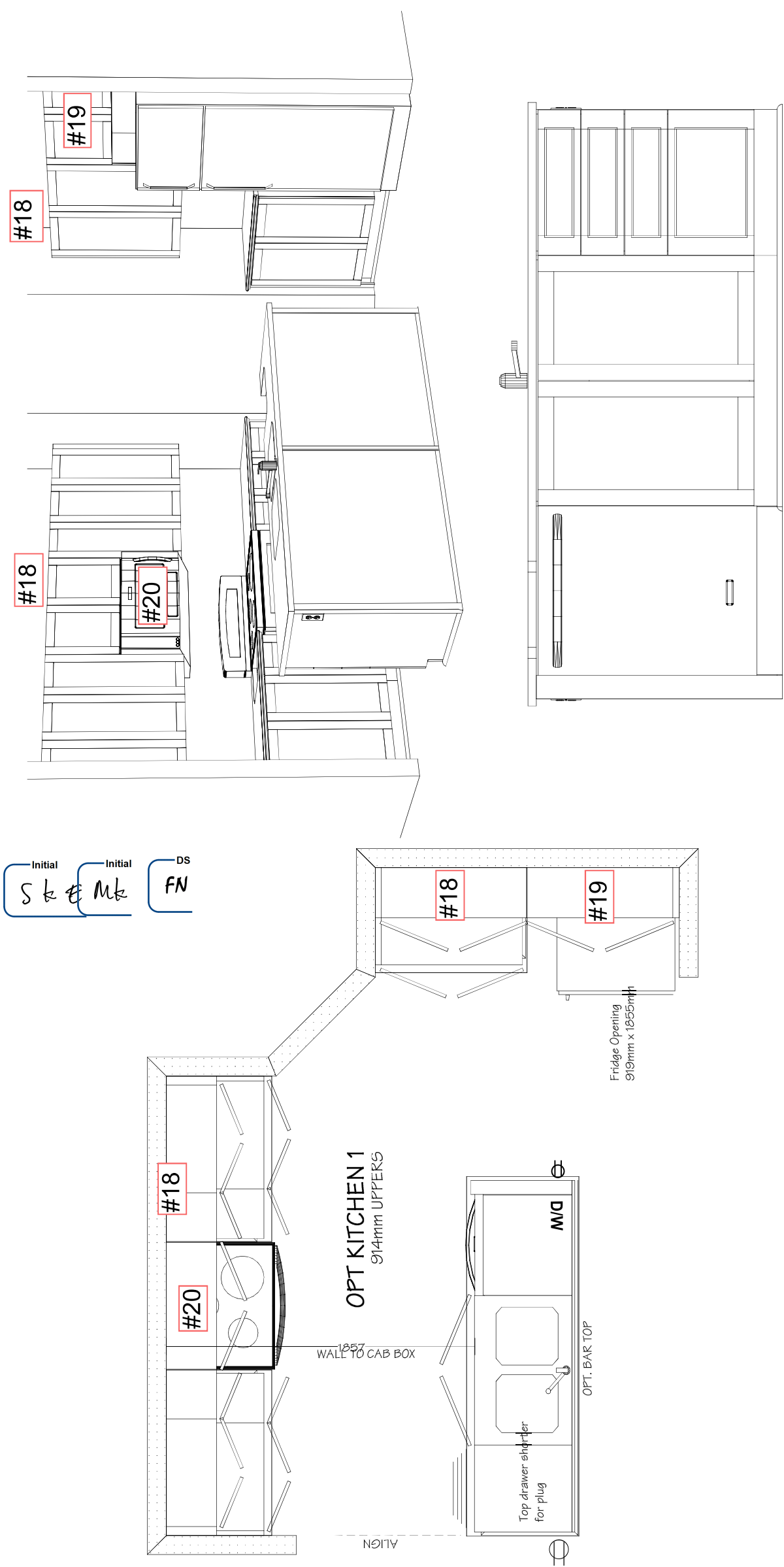


Vertical and/or horizontal bulkheads (chaseways) may be required to contain mechanical piping. Bulkhead shown in grey areas.  
All dimensions are approximate. E. & O.E., plans, materials and specifications are subject to change without notice. Actual useable floor space may vary from the stated floor area. \*Note: Number of steps varies due to site grading.


Site: Shea Village  
Plan: 4M-1740  
Lot: PH1 B08  
Model: 160-2 The Stanley 2  
Date: March 5, 2025  
Purchasers: Sridhar Kumar Ettkepalli and Mounika Kotam

# KITCHEN SKETCH

## SV PH1 B08



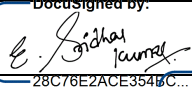
\*DIMENSIONS MAY VARY ON SITE MEASURES/CONDITIONS\*

	SINGLES AND TOWNS COLOUR CHART					
	Community:	Shea Village	Reg'd Plan #:	4M-1740	Sales Rep:	Nicole Trudel
	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
INTERIOR FINISHES						
DESCRIPTION						STD/UPG #
TRIM STYLE	Standard Nivaga 5706A 4 1/8" Baseboard and Standard Nivaga 7706 Casing 2 3/4"					STD
DOOR STYLE	Standard					STD
INTERIOR HARDWARE	Standard					STD
INTERIOR LIGHTING PACKAGE	Standard Soho Lighting Package + S&S & Orbital Upgrades					STD + UPG 7, 8
BATHROOM ACCESSORIES	Standard					STD
FIREPLACE MANTLE	Standard Painted White MDF Mantle					STD + UPG 1

INTERIOR HANDRAILS AND SPINDLES				
	WOOD	STYLE	STAIN/COLOUR	STD/UPG #
HANDRAIL	Red Oak	Colonial	SB #404	UPG 4, 5, 31
BRACKET	Metal	N/A	Stainless steel	UPG 4, 5
SPINDLES	Red Oak	Standard Modern Square	SB #404	UPG 4, 5, 31
POSTS	Red Oak	Modern 3" Wide Routed Top	SB #404	UPG 4, 5, 31
NOSINGS	Red Oak	N/A	SB #504 on stairs square landing to second floor ( 2 nosing), SB #404 everywhere else	UPG 6, 31
HARDWOOD STAIRCASE <small>(WHERE APPLICABLE)</small>	Red Oak	N/A	SB #504	UPG 6, 30

APPLIANCES				
TYPE	SIZE	STD/UPG #	APPLIANCE UPG LEVEL	STD/UPG #
FRIDGE <small>(Standard Minimum Opening is 35"(w) x maximum 73" (h))</small>	Standard Opening	STD	N/A	N/A
RANGE	Standard Opening	STD	N/A	N/A
DISHWASHER	Standard Opening	STD	N/A	N/A
MICROWAVE/ HOODFAN <small>(Specify if convection)</small>	Standard Opening	STD	OTR - Stainless Steel Microwave hoodfan	UPG 20
WASHING MACHINE/DRYER	Standard Opening	STD	N/A	N/A

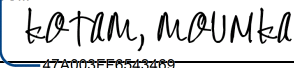
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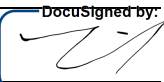
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Purchaser's Signature(s) :

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Date:

March 5, 2025


Date:

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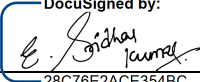
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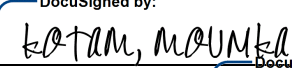
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	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
CABINETRY						
ROOM	SELECTION				LEVEL	STD/UPG #
KITCHEN	STYLE AND COLOUR	PM-100i white B10R including kitchen island c/w flush breakfast bar, UPC9-2A			STD	UPG 2, 18, 19
	HARDWARE CODE	BP 1076-900	TYPE	Handles	STD	UPG 2, 18, 19
	COUNTERTOP	Quorastone Cotton Knit QS 7944 c/w Flush Breakfast Bar	COUNTERTOP EDGE PROFILE	Eased Edge	STD	UPG 2
MAIN BATHROOM	STYLE AND COLOUR	Lastra Tete-a-tete TA-M2001			STD	UPG 12, 13
	HARDWARE CODE	20596-195	TYPE	Handles	STD	UPG 12, 13
	COUNTERTOP	Quorastone Cotton Knit QS 7944	COUNTERTOP EDGE PROFILE	Eased Edge	STD	UPG 12, 13
3 PCE ENSUITE BATHROOM	STYLE AND COLOUR	Lastra Casting First Light TA-M2007			STD	UPG 3,10, 11
	HARDWARE CODE	20596-195	TYPE	Handles	STD	UPG 3, 10, 11
	COUNTERTOP	Quorastone Cotton Knit QS 7944	COUNTERTOP EDGE PROFILE	Eased Edge	STD	UPG 3, 10, 11
POWDER ROOM	STYLE AND COLOUR	PEDESTAL			STD	STD
	HARDWARE CODE	N/A	TYPE	N/A	N/A	N/A
	COUNTERTOP	N/A	COUNTERTOP EDGE PROFILE	N/A	N/A	N/A
BASEMENT/OTHER BATHROOM	STYLE AND COLOUR	N/A			N/A	N/A
	HARDWARE CODE	N/A	TYPE	N/A	N/A	N/A
	COUNTERTOP	N/A	COUNTERTOP EDGE PROFILE	N/A	N/A	N/A
LAUNDRY ROOM	STYLE AND COLOUR	N/A			N/A	N/A
	HARDWARE CODE	N/A	TYPE	N/A	N/A	N/A
	COUNTERTOP	N/A	COUNTERTOP EDGE PROFILE	N/A	N/A	N/A

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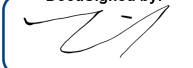
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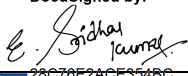
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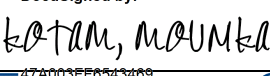
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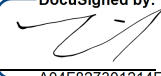
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	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
PAINT COLOUR(S)						
ROOM	MAIN COLOUR		STD/UPG #	ACCENT WALL		STD/UPG #
TRIM	Semi Gloss DLX1025-1 Commercial white		STD	N/A		N/A
FOYER	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
POWDER ROOM	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
MAIN FLOOR HALLWAY	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
DINING ROOM	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
FLEX ROOM	N/A		N/A	N/A		N/A
GREAT ROOM	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
	N/A		N/A	N/A		N/A
DEN/STUDY/HOME OFFICE	N/A		N/A	N/A		N/A
KITCHEN	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
LAUNDRY/MUDROOM	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
2nd FLOOR HALLWAY	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
MAIN BATH	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
BEDROOM #2	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
BEDROOM #3	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
BEDROOM #4	N/A		N/A	N/A		N/A
OWNERS SUITE	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
OWNERS SUITE WALK-IN CLOSET	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
OWNERS SUITE 3 PCE ENSUITE	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
FINISHED BASEMENT FAMILLY ROOM	Eggshell DLX1025-1 Commercial White		UPG 28	N/A		N/A
BASEMENT BATHROOM	N/A		N/A	N/A		N/A

Purchaser's Signature(s) :  
  
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Purchaser's Signature(s) :  
  
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Approved By :  
  
Frank Nieuwkoop  
  
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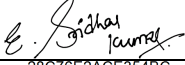
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Shea Village	Reg'd Plan #:	4M-1740	Sales Rep:	Nicole Trudel
	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
CERAMIC & GROUT SELECTIONS (1)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE	GROUT SELECTION	LEVEL	STD/UPG #	
FOYER	FLOOR	Euro- Pasha Collection Cinq White 13x13 pas cin whi (standard square installation)	54 Pearl	STD floor tile + UPG grout	UPG 22	
POWDER ROOM	FLOOR	Euro- Pasha Collection Cinq White 13x13 pas cin whi (standard square installation)	54 Pearl	STD floor tile + UPG grout	UPG 22	
	WALL	N/A	N/A	N/A	N/A	
	INSERT OR BORDER	N/A				
MUDROOM	FLOOR	N/A	N/A	N/A	N/A	
	WALL	N/A	N/A	N/A	N/A	
	INSERT OR BORDER	N/A				
SECOND FLOOR LAUNDRY ROOM	FLOOR	Centura Jefferson White 13x13 JFR30051 (standard square installation)	25 polar grey	STD floor tile + STD grout	STD	
	WALL	N/A	N/A	N/A	N/A	
	INSERT OR BORDER	N/A				
KITCHEN	FLOOR	Euro- Pasha Collection Cinq White 13x13 pas cin whi (standard square installation)	54 Pearl	STD floor tile + UPG grout	UPG 2, 22	
	BACKSPLASH	Olympia colour & dimension collection bright arctic white 12" x 16" QT.CD.ARW.0216.BR (horizontal stacked installation)	54 Pearl	SILVER wall tile + UPG grout	UPG 2, 21, 22	
	INSERT OR BORDER	N/A				
BREAKFAST AREA	FLOOR	N/A	N/A	N/A	N/A	
FIREPLACE	HEARTH	No tiles	N/A	STD	STD	
	SURROUND	No tiles	N/A	STD	STD	
ADDITIONAL FIREPLACE	HEARTH	N/A	N/A	N/A	N/A	
	SURROUND	N/A	N/A	N/A	N/A	

Purchaser's Signature(s) :

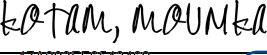
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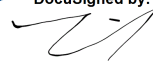
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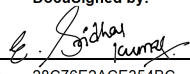
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	Community:	Shea Village	Reg'd Plan #:	4M-1740	Sales Rep:	Nicole Trudel
	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
CERAMIC & GROUT SELECTIONS (2)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE	GROUT SELECTION	LEVEL	STD/UPG #	
MAIN BATHROOM	FLOOR	Centura Jefferson White 13x13 JFR30051 (standard square installation)	25 polar grey	STD floor tile + STD grout	STD	
	WALL	Olympia construct series white glossy 8x12 TH.CT.WHT.0812.GL (vertical stacked installation)	25 polar grey	STD wall tile + STD grout	STD	
	INSERT OR BORDER	N/A				
3PC ENSUITE BATHROOM	FLOOR	Centura Jefferson White 13x13 JFR30051 (standard square installation)	25 polar grey	STD floor tile + STD grout	STD	
	WALL	Olympia construct series white glossy 8x12 TH.CT.WHT.0812.GL (vertical stacked installation)	25 polar grey	STD wall tile + STD grout	UPG 3	
	INSERT OR BORDER	N/A				
4PC/5PC ENSUITE BATHROOM	FLOOR	N/A	N/A	N/A	N/A	
	TUB DECK	N/A	N/A	N/A	N/A	
	TUB BACKSPLASH	N/A	N/A	N/A	N/A	
	INSERT OR BORDER	N/A				
	WALL OVER TUB	N/A	N/A	N/A	N/A	
BASEMENT/OTHER BATHROOM	FLOOR	N/A	N/A	N/A	N/A	
	WALL	N/A	N/A	N/A	N/A	
	INSERT OR BORDER	N/A				

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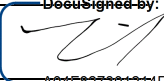


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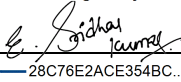
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	Lot No:	PH 1 B08	Civic Address:	1136 Cope Drive, Stittsville, ON. K2S 3C3		
	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
FLOORING SELECTIONS						
ROOM	CARPET/UNDERPAD OR HARDWOOD			LEVEL	STD/UPG #	
MAIN FLOOR HALLWAY	Lauzon Expert Essential Tradition Smooth mat finish Engineered Harwood Red Oak Castano 3 1/8" wide			UPG	UPG 29	
DINING ROOM	Lauzon Expert Essential Tradition Smooth mat finish Engineered Harwood Red Oak Castano 3 1/8" wide			UPG	UPG 29	
FLEX ROOM	N/A			N/A	N/A	
LANDINGS IN STAIRS TO SECOND FLOOR	Lauzon Designer collection Estate series character grade ultra matte finish pure genius engineered hardwood White Oak Moorland 6 1/4 " wide			UPG	UPG 30	
GREAT ROOM	Lauzon Expert Essential Tradition Smooth mat finish Engineered Harwood Red Oak Castano 3 1/8" wide			UPG	UPG 29	
DEN/HOME OFFICE	N/A			N/A	N/A	
REAR HALLWAY	N/A			N/A	N/A	
KITCHEN	See tile selection			N/A	N/A	
BREAKFAST AREA	N/A			N/A	N/A	
MAIN STAIRS TO BEDROOMS	Red Oak Stained #504			UPG	UPG 6	
UPPER HALLWAY	Lauzon Expert Essential Tradition Smooth mat finish Engineered Harwood Red Oak Castano 3 1/8" wide			UPG	UPG 29	
BEDROOM # 2	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 24	
BEDROOM # 3	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 25	
BEDROOM # 4	N/A			N/A	N/A	
OWNERS SUITE	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 23	
OWNERS SUITE WALK-IN CLOSET	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 23	
STAIRS TO BASEMENT	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 27	
FINISHED BASEMENT FAMILY ROOM	Beaulieu A4531 Spartacus 14253 Provincial white + Upgraded underpad level 1			STD carpet + Level 1 underpad	UPG 26	

Purchaser's Signature(s) :

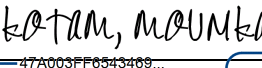
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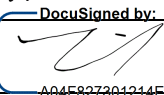
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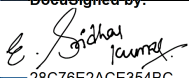
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	Purchaser(s):	Sridhar Kumar Ettkepalli			Model Name:	The Stanley 2
	Purchaser(s):	Mounika Kotam			Closing Date:	5-Aug-25
PLUMBING FIXTURES						
ROOM	FIXTURE	STYLE			FINISH	STD/UPG#
KITCHEN	SINK	Reginox ND 1831UA/9-SS - Undermount Double Bowl Stainless Steel Sink			SS	STD
	FAUCET	Standard 1 hole faucet			Chrome	STD
MAIN BATHROOM	SINK	Standard Undermount			White	STD
	VANITY FAUCET	Standard 1 hole faucet			Chrome	STD
	WATER CLOSET	Standard			White	STD
	TUB/SHOWER	Standard			White	STD
	TUB/SHOWER FAUCET	Standard			Chrome	STD
3 PCE ENSUITE BATHROOM	SINK	Standard Undermount			White	STD
	VANITY FAUCET	Standard 1 hole faucet			Chrome	STD
	WATER CLOSET	Standard			White	STD
	SHOWER	Standard Ensuite shower base and doors + Zitta Niche			White base, chrome trims, clear glass, chrome	UPG 3, 9
	SHOWER FAUCET	Standard			Chrome	STD
	BATHTUB	N/A			N/A	N/A
	BATHTUB FAUCET	N/A			N/A	N/A
POWDER ROOM	PEDESTAL	American Standard Boulevard pedestal			White	STD
	SINK FAUCET	Standard 1 hole faucet			Chrome	STD
	WATER CLOSET	Standard			White	STD
BASEMENT/OTHER BATHROOM	SINK	N/A			N/A	N/A
	VANITY FAUCET	N/A			N/A	N/A
	WATER CLOSET	N/A			N/A	N/A
	TUB/SHOWER	N/A			N/A	N/A
	TUB/SHOWER FAUCET	N/A			N/A	N/A
NOTE: All fixtures are white as standard						

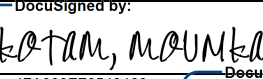
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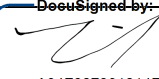
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Date: March 5, 2025

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Subject to change by Valecraft Homes in the event of unavailability of materials.  
Prices, terms and specifications are subject to change without notice E/O.E  
K:\Sales\Sales Legal Docs\Site - Shea Village\SV PH1 - Townhomes\Block B\SV PH1 Lot B08 (The Sta



***Valecraft Homes Décor Disclaimers***

**Lot#: B08 Model:160 THE STANLEY 2 in Shea Village - Valecraft Homes (2019) Limited**

**PURCHASERS:** Sridhar Kumar Ettkepalli and Mounika Kotam

**TEL:** RES.: 514-970-1026

*Through years of doing business, we at Valecraft Homes have encountered issues beyond our control. The following disclaimers apply to all instances of Schedule B1A and 680 forms and all Colour Chart forms.*

**HOUSE EXTERIORS**

The Vendor has the right to exercise full architectural control over exterior finishes and as such, the Vendor shall have final approval of all colour selections. This includes but is not limited to additional brick to external side yard walls to enhance the streetscape and/or to comply to municipal agreements.

Variations in subcontractors across different sites and varying site conditions may result in house exteriors that differ from the artist renderings. The Builder cannot be responsible for results which differ from the artists renderings of elevations.

**ADDITIONAL WINDOWS**

Additional windows to side elevations are subject to limiting distance as per Current Ontario Building Code and Municipal Zoning.

**MULTI-MEDIA**

The Purchaser understands that all Multi Media locations are approximate and vary from chosen locations.

**IN-WALL CONDUIT FOR AUDIO/VIDEO CABLES**

The Purchaser acknowledges and accepts that due to the variation in framing requirements in different parts of the Purchaser's home, conduit lengths and routing can vary. In virtually all instances of ground floor installation (i.e. above a fireplace), conduit will first travel down into the basement below the floor joists, over to the termination point and back up into the main floor. As a result, it is best to measure the length of the conduit after occupancy with a "pull wire" before purchasing The Purchaser's cables. For above fireplace installations, the conduit wall plate will be installed approximately 10" above the Fireplace Mantle, unless otherwise specified in the Client Upgrades.

**PLANS**

Plans are subject to change without notice. Actual usable floor space may vary from the stated floor area. Layout for the services, kitchen, furnace, HWT and laundry tub may vary from plan. Vertical and horizontal bulkhead, which are not shown on plan, may be required for plumbing and heating runs. E.& O.E.

For townhomes, Purchasers Agree to sign an exterior block plan layout when available. Purchaser(s) acknowledge that rooflines may be altered at this time from the brochure due to block assembly.

**INVENTORY AND MODEL HOMES:**

Purchaser(s) Acknowledge And Accept That All Interior Colours And Wiring Have Been Selected And Installed By The Vendor And Will Remain As Installed. (Ie: Cabinetry, Flooring And Paint Colours But Not Limited To.)

**SELECTIONS AND APPOINTMENTS:**

All colour and material selections are to be made from Vendor's standard samples unless otherwise paid for as an upgrade.

In the event the work on the house has progressed beyond the point where the items covered by these invoices cannot be installed without entailing any unusual expense, then this order is to be cancelled and any deposit paid in connection with the same is to be refunded to the Purchaser.

The vendor will undertake to incorporate the work covered by the sales extra in the construction of the house but will not be liable to the Purchaser in any way, if for any reason the work covered by the extra is not carried out. In that event, any monies paid in connection with the same shall be returned to the Purchaser.

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*Valecraft Homes Décor Disclaimers*

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PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

TEL: RES.: 514-970-1026

It is understood and agreed that if for any reason whatsoever the transaction of Purchase and Sale is not completed, the total cost of extras ordered are not refundable to the Purchaser(s). Extras or changes will not be processed unless signed by the Vendor. These extras may not be amended without the written consent of Valecraft Homes.

The Purchaser(s) acknowledge and accept that failure to finalize the structural or colour selections by their cut-off date may result in a delay in construction and the builder has the right to extend the closing date. Due to failure to complete the above-mentioned selections and at no fault of us, the builder reserves the right to hold The Purchaser responsible for a delayed closing, including charging extra administration cost and interest on the balance due on closing.

ADMINISTRATION FEES

Purchaser(s) Acknowledge That An Administration Fee Will Be Charged For All Change Orders Received Later Than 14 Days After Firm Up. No estimates or orders will be accepted once construction has commenced.

Should a refund be requested on any extras purchased, an 80% reimbursement of the purchase price will be given. (a \$50.00 minimum charge and a maximum \$250.00 charge will apply)

Prices and specifications which do not form part of this Agreement are subject to change without notice at the sole discretion of the vendor. Should a change in price occur, Valecraft Homes reserves the right to request from the Purchaser an adjustment of the price or a refund limited to that item.

The Purchaser acknowledges and accepts that ANY changes made to upgrades after signing the 680’s are subject to a minimum administration fee of \$150. PLUS a 10% holdback fee.

Purchasers are aware that any request to add a percentage of upgrades from the 680’s will be processed only after the builder receives approval letter from the bank.

GENERAL:

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The number of steps required at entrances into the home and the garage entrance may vary from the model home/plans depending on individual lot grading requirements. Due to these steps, exterior railings may be required. Purchaser(s) acknowledge the requirement to install an approximate 3' x 3' landing with stairs at the garage entrance to the house as a result of the 2006 Building Code Requirement OBC 9.8.6.2. if 3 or more risers are required as a result of grading.

Basement window wells may or may not be required depending upon individual lot grading requirements.

Zoning bylaws specify maximum driveway widths which are based upon frontages. A tapering of The Purchaser’s driveway may be required depending upon the frontage and specifically if the frontage is less than average as in the case of a pie-shaped lot.

The grading and drainage of The Purchaser’s lot has been designed and engineered to ensure that surface water is directed away from The Purchaser’s home and into swales. These swales run at the side and rear of The Purchaser’s property lines. Swales generally have more aggressive slopes relative to the general lot and will always occupy a portion of the useable space of The Purchaser’s lot to serve their function properly.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

STAIRCASE VS FLOORING

WOOD SPECIES DIFFERENCE

The Purchaser acknowledges and accepts that the wood species of the staircase and flooring chosen do not match. This difference might result in an undesirable colour variance. The Purchaser acknowledges and accepts that though the flooring is of the same species as the staircase the difference in product finishing may result in a stain colour variance. The Purchaser agrees that the vendor is to be exempt from any and all claims by the Purchaser regarding this colour variance.

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Valecraft Homes Décor Disclaimers

Lot#: B08 Model:160 THE STANLEY 2 in Shea Village - Valecraft Homes (2019) Limited

PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

TEL: RES.: 514-970-1026

RAILINGS

All railings, spindles, posts, nosing’s and stairs come from solid wood and veneered wood materials sourced from multiple locations and suppliers. As such there will be variations in grains and shades between the various natural components beyond our control. Due to this variance in material, all components will stain with colour or natural finish differently. Iron spindles are wrought in nature and depending on the manufacturing process will have differences from spindle to spindle which is normal. Also the finish of the iron spindles is of a powder coated nature. This process can produce minor colour variations or tones. Furthermore, the assembly of the metal spindles can develop a natural rattle over time from vibration in the railing. Minor rattling is normal and is a part of the wrought iron spindle assembly.

FIREPLACE MANTLE

Due To Extremely High Heat Temperatures Exiting The Top Vent Of The Fireplace And The Potential For Damages To Heat Sensitive Electronics And/Or Wall Décor Installed Above The Fireplace, The Purchaser(s) Acknowledge(s) That The Builder Recommends Installing A Fireplace Fan Kit As well As Maintaining The Mantle Installed Above The Fireplace.

STAIN COLOURS

Due to the many variables that can affect the outcome of a stain colour on wood, staircases, railings, and fireplace mantles, the colour may not be identical to samples. Factors such as density, age, humidity, air temperature, and the uniqueness of each piece of wood can result in wide variations in darkness or lightness. The builder will make every attempt to come as close to the sample as possible, but cannot be responsible for results which differ from the samples.

Stain on pre-finished hardwood floors will not be an exact match to the stain colours available on stairs, spindles and rails. The Purchaser is to choose from the builder’s stain samples for these areas to their satisfaction.

APPLIANCE SPECIFICATIONS

All appliance openings are set to the builder's standard openings. Please advise the Sales Representative at time of the structural appointment if custom sizing of cabinets is required for any built - in appliances. The Purchaser is responsible for costs and fees associated with changes to pre-manufactured kitchens made subsequent to colour appointments.

The Purchaser acknowledges and accepts that in order to accommodate upgraded appliances, all appliance specifications should be provided at the time of their structural appointment. Should this not occur they must be provided to the Décor Center within one (1) week of completion of structural chart. Failure to do so, may result in the need to revert to the standard appliance openings or in a delay in construction of The Purchaser’s dwelling, as a cost of \$150 to re-open The Purchaser’s structural file should changes be required. As a result, the builder may be forced to extend the closing of The Purchaser’s transaction. Due to failure to complete the above-mentioned selections and at no fault of our own, the builder reserves the right to hold The Purchaser responsible for this delayed closing, including charging extra administration cost and interest on the balance due on closing.

Purchaser(s) acknowledge that High Efficiency Washing machines have the potential to create vibrations due to the tub spinning at very high speeds.

Purchasers Accept Standard Appliance Openings (unless otherwise specified):  
Fridge - 33"W x 70.75" High Approx.  
Range - 30-1/2"D x 31-1/2"W Approx.  
Dishwasher - 24" W Approx.

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GRANITE, MARBLE ENGINEERED SURFACES WAIVER

Due to the natural composition of such materials as Granite and Marble, inherent variations in texture, colour and consistency are to be expected and considered normal. As such, the client is given an opportunity to view the slab prior to installation (W4) and the Purchaser agrees not to hold the Vendor liable for such variations. All countertop surfaces which may have seams, the product pattern & shades can change in these areas.

CERAMIC BACKSPLASHES:

The Purchaser(s) Acknowledge & Accept That The Vendor Does Not Recommend The Deletion Of The Ceramic Kitchen Backsplash & That The Vendor Will Not Be Liable For Any Damage To The Drywall, Paint, Cabinets Or Countertops Resulting From The Deletion Of The Backsplash.

FILE COMPLETION:

Purchaser has attended a Colour appointment at the Decor Centre & has DECLINED any additional upgrades and accepts and acknowledges that there will be no further structural changes/additions/deletions to be made upon signing.

RESELECTIONS

It is not uncommon for flooring, such as tile, to become discontinued prior to its installation. Therefore, it may be necessary to make a reselection of certain materials sometime during the building process. The builder cannot assure The Purchaser that another choice approximating The Purchaser’s selection will be available.





Valecraft Homes Décor Disclaimers

Lot#: B08 Model:160 THE STANLEY 2 in Shea Village - Valecraft Homes (2019) Limited

PURCHASERS: Sridhar Kumar Ettkepalli and Mounika Kotam

TEL: RES.: 514-970-1026

GENERAL:

The vendor may substitute materials of equal or greater value without consent.

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The Purchaser understands that due to normal manufacturing production, materials which are installed in the home may vary slightly in colour from the vendor's samples and/or model homes.

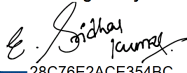
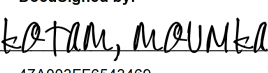
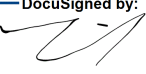
The wood used in the finishing products of The Purchaser’s home such as wood flooring, cabinetry and railings exhibit natural variations in colour tone, graining pattern and consistency. As no two pieces of wood are identical, these natural variations will create colour variations upon staining thereby making it virtually impossible to achieve true colour consistency.

Any hardwood flooring installed in the Real Property is made of kiln-dried natural material which is subject to natural shrinkage (typically in winter when humidity levels tend to be low) and expansion (typically in summer when humidity levels tend to be high) for which the Purchaser(s) agrees is not the responsibility of the Vendor and agrees that the Vendor shall not be liable in respect of such issues. The Purchaser(s) also acknowledges being advised by the Vendor that ceramic tile rather than hardwood flooring is recommended at entry points to the home due to the possibility of water exposure. The Purchaser(s) is advised that the Ontario Building Code recommends against the installation of wood flooring in kitchens, bathrooms, entrance halls, laundry, and general storage areas (the "Designated Areas"). Wood flooring is water permeable and over time such flooring and sub-flooring beneath it could deteriorate if moisture persists. Should the Purchaser(s) selections for materials for the dwelling include wood flooring in the designated areas, the Purchaser(s) assumes the risks described herein voluntarily.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

I hereby acknowledge reading and understanding the above copy and will not hold Valecraft Homes responsible for any issues in relation to above.

Purchaser's Signatures

DocuSigned by:  
  
28C76E2ACE354BC...  
DocuSigned by:  
  
47A003FF6543469...  
DocuSigned by:  
  
A04F827301214EE...

March 5, 2025  
Date  
March 5, 2025  
Date  
March 5, 2025



CONFIRMATION OF FILE COMPLETION

PROJECT: Shea Village PURCHASER #1: Sridhar Kumar Ettkepalli  
LOT: PH1 B08 PURCHASER #2: Mounika Kotam  
MODEL: 160-2 The Stanley 2 Std FIRM UP DATE: March 1, 2025

CLOSING DATE: August 5, 2025

I/WE HEREBY CONFIRM THAT ALL OF OUR COLOUR SELECTIONS, MULTI MEDIA & ELECTRICAL SELECTIONS AND ALL UPGRADES (680'S) ARE NOW FULLY COMPLETED:

DocuSigned by:  
  
28C76E2ACE354BC...  
PURCHASER'S SIGNATURE

March 5, 2025  
DATE

DocuSigned by:  
  
47A003FF6543469...  
PURCHASER'S SIGNATURE

March 5, 2025  
DATE

ITEMS THAT MUST BE COMPLETED AND SENT TO HEAD OFFICE:

APS: Feb 24, 2025 INTERIOR COLOURS: March 5, 2025  
FIRM UP: March 1, 2025 EXTERIOR COLOURS (if applicable): N/A  
BANK LETTER: March 1, 2025 ORBITAL/S&S/KITCHENCRAFT (if applicable): Feb 24, 2025  
SOLICITOR INFO: Feb 24, 2025 680 & AMENDMENT: March 5, 2025

ALL PAGES SENT FOR INITIALS RETURNED TO HEAD OFFICE: \_\_\_\_\_

Nicole Trudel  
Sales Consultant's Signature

March 5, 2025  
Date

Approved by: Frank Nieuwkoop Owner/ Vice President

DocuSigned by:  
  
A04F827301214EE...

March 5, 2025  
Date

## Certificate Of Completion

Envelope Id: CC918AA3-DC81-42F3-9A50-CC47605419BD

Status: Completed

Subject: Complete with Docusign: sv ph1 b08 Amendment - NEW March 5-25.pdf, SV PH1 B08 SchB of Taron Ma...

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Document Pages: 26

Signatures: 42

Envelope Originator:

Certificate Pages: 5

Initials: 36

Nicole Trudel

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sheavillage@valecraft.com

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## Record Tracking

Status: Original

Holder: Nicole Trudel

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sheavillage@valecraft.com

## Signer Events

Sridhar Kumar Ettkepalli

sridharkumarettkepalli@gmail.com

Concordia

Security Level: Email, Account Authentication  
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## Signature

DocuSigned by:  
  
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Signature Adoption: Drawn on Device  
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Sent: 3/4/2025 4:36:46 PM

Viewed: 3/5/2025 12:43:59 AM

Signed: 3/5/2025 1:29:01 PM

## Electronic Record and Signature Disclosure:

Accepted: 2/24/2025 8:44:24 PM

ID: 783724c2-a071-4bbd-85b4-128b41579789

KOTAM, MOUNIKA

mounikareddykotam@gmail.com

Security Level: Email, Account Authentication  
(None)

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Signature Adoption: Pre-selected Style  
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Viewed: 3/5/2025 1:32:13 PM

Signed: 3/5/2025 1:33:37 PM

## Electronic Record and Signature Disclosure:

Accepted: 2/24/2025 11:00:33 PM

ID: 7940fc78-5c91-4c4d-a705-f11abd79cbd6

Frank Nieuwkoop

frank@valecraft.com

Vice President

Valecraft Homes

Security Level: Email, Account Authentication  
(None)

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Signed: 3/7/2025 7:53:41 AM

## Electronic Record and Signature Disclosure:

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## In Person Signer Events

## Signature

## Timestamp

## Editor Delivery Events

## Status

## Timestamp

## Agent Delivery Events

## Status

## Timestamp

## Intermediary Delivery Events

## Status

## Timestamp

## Certified Delivery Events

## Status

## Timestamp

Carbon Copy Events	Status	Timestamp
<div>Lisa Ballard lballard@valecraft.com Administrative Coordinator Valecraft Homes Ltd Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign</div>	<div>COPIED</div>	<div>Sent: 3/7/2025 7:53:51 AM Viewed: 3/7/2025 7:59:51 AM</div>
<div>Nicole Trudel sheavillage@valecraft.com Sales Consultant Valecraft Homes (2019) Ltd. Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign</div>	<div>COPIED</div>	<div>Sent: 3/7/2025 7:53:52 AM Resent: 3/7/2025 7:54:03 AM</div>
<div>Arjunkumar Boddu arjunkumarboddu@royalpage.ca Security Level: Email, Account Authentication (None) <b>Electronic Record and Signature Disclosure:</b> Not Offered via DocuSign</div>	<div>COPIED</div>	<div>Sent: 3/7/2025 7:53:53 AM</div>
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	3/4/2025 4:36:46 PM
Certified Delivered	Security Checked	3/7/2025 7:52:57 AM
Signing Complete	Security Checked	3/7/2025 7:53:41 AM
Completed	Security Checked	3/7/2025 7:53:54 AM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

## **ELECTRONIC RECORD AND SIGNATURE DISCLOSURE**

From time to time, Valecraft Homes (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to this Electronic Record and Signature Disclosure (ERSD), please confirm your agreement by selecting the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

### **Getting paper copies**

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after the signing session and, if you elect to create a DocuSign account, you may access the documents for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

### **Withdrawing your consent**

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

### **Consequences of changing your mind**

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

### **All notices and disclosures will be sent to you electronically**

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

#### **How to contact Valecraft Homes:**

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: [frank@valecraft.com](mailto:frank@valecraft.com)

#### **To advise Valecraft Homes of your new email address**

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at [frank@valecraft.com](mailto:frank@valecraft.com) and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

#### **To request paper copies from Valecraft Homes**

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to [frank@valecraft.com](mailto:frank@valecraft.com) and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

#### **To withdraw your consent with Valecraft Homes**

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an email to [frank@valecraft.com](mailto:frank@valecraft.com) and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

### **Required hardware and software**

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

### **Acknowledging your access and consent to receive and sign documents electronically**

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

By selecting the check-box next to 'I agree to use electronic records and signatures', you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify Valecraft Homes as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by Valecraft Homes during the course of your relationship with Valecraft Homes.