

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 58 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

LEFT ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: 24 PST7

DATE: 12/24/2024

Valecraft
Homes (2019) Limited

I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES (2019) LTD., HAVE REVIEWED THE FOLLOWING
DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
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ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S
ARCHITECTURAL DEPARTMENT.

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RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-3	AS PER STRUCTURAL	01/09/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

LEFT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.2a

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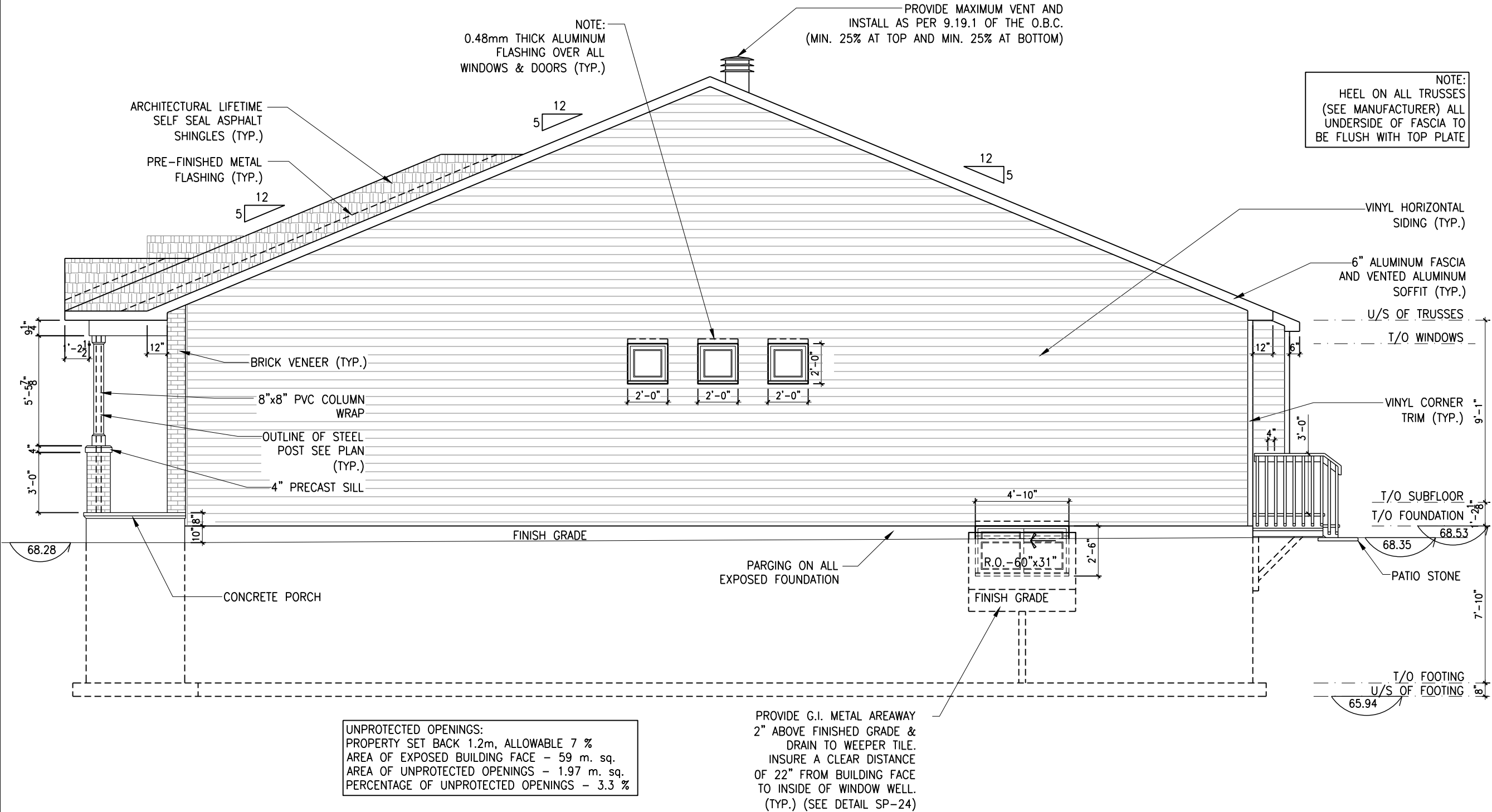
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NO.	DESCRIPTION	DATE	BY

DRAWING: RIGHT ELEVATION A

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.3a



RIGHT ELEVATION A

SCALE: 3/16" = 1'-0"



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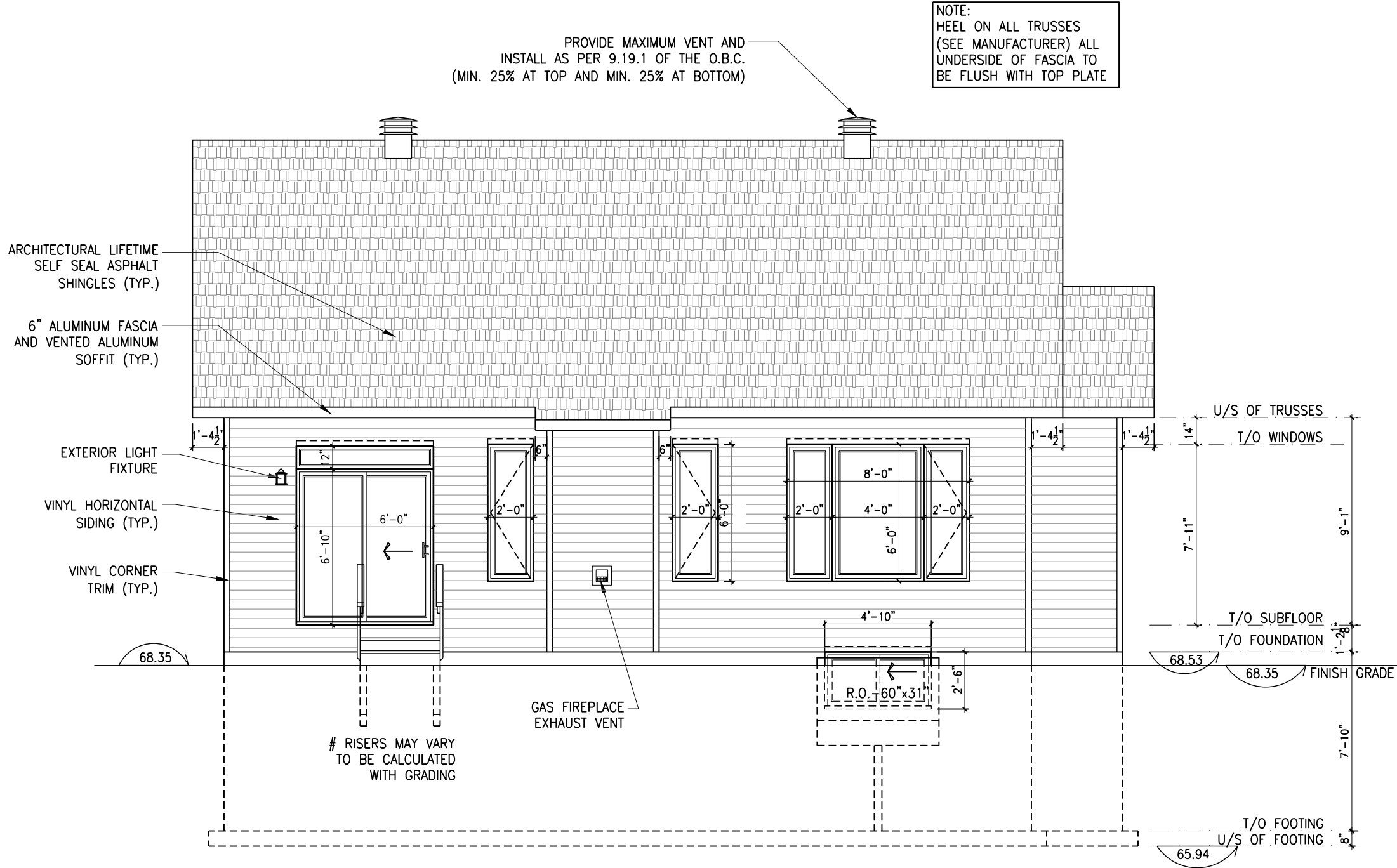
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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL



REAR ELEVATION A AND B
SCALE: 3/16" = 1'-0"

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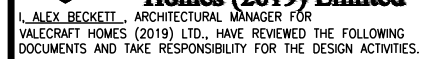
DRAWING: REAR ELEVATION A AND B

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2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.4a

DATE: 12/24/2024



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— PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

—DOUBLE BAFFLE EACH
TRUSS TO CREATE A 2"
AIR SPACE

COVERED
PORCH

FOYER

GREAT ROOM

U/S OF TRUSSES
T/O WINDOWS

T/O SUBFLOOR
T/O FOUNDATION

____ T/O FOOTING
____ U/S OF FOOTING

—(2) R-22 BATT
INSULATION

STAIRS

BASEMENT
UNFINISHED AREA

SINGLE DWELLING STAIRS:

RISER = 4'-7/8" MIN / 7'-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

INSTALL 2" HD RIGID INSULATION FROST
PROTECTION IF UNDERSIDE OF FOOTINGS
ARE LESS THEN 5'-0" BELOW FINISH
GRADE OR FOR WINTER MONTHS

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

SCALE: $3/16" = 1'-0"$

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(STANDARD DRAWINGS)

SHEET:

A.5a



Valecraft

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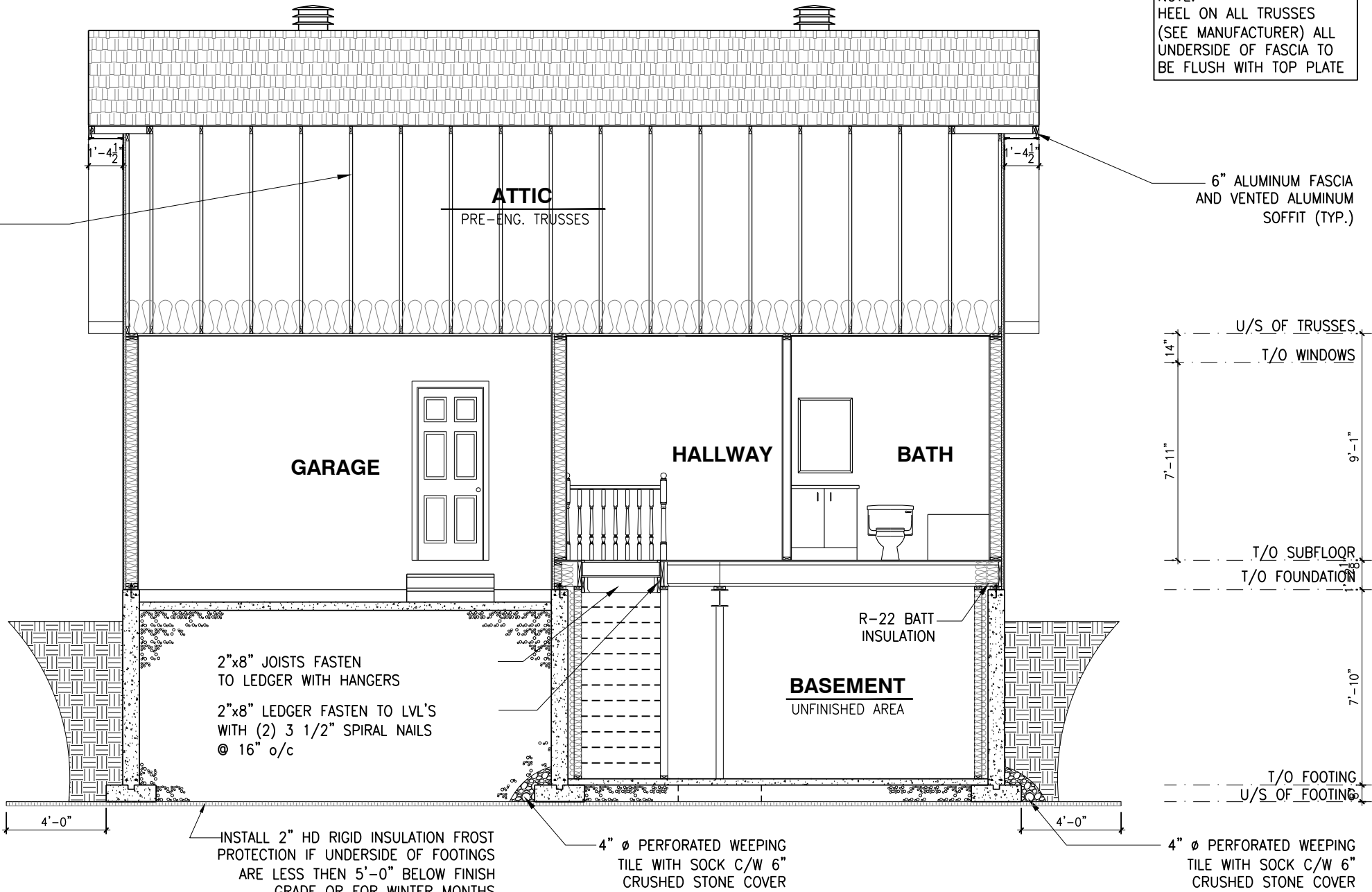
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PRE-ENGINEERED ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)
PRE-ENGINEERED CONTINUOUS BRACING (SEE MANUFACTURER)

NOTE:
HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

U/S OF TRUSSES
T/O WINDOWS
7'-11"
T/O SUBFLOOR
T/O FOUNDATION
7'-10"
T/O FOOTING
U/S OF FOOTING



SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

BUILDING SECTION ELEVATION A AND B
SCALE: 3/16" = 1'-0"

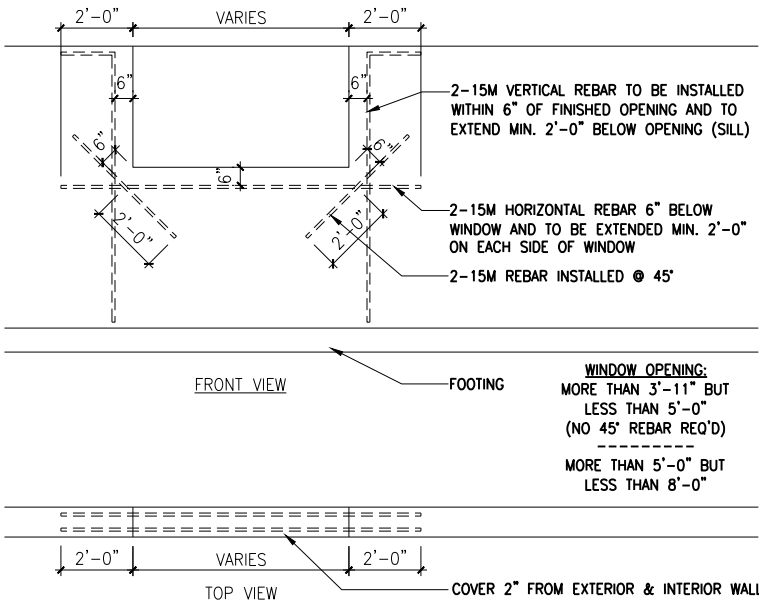
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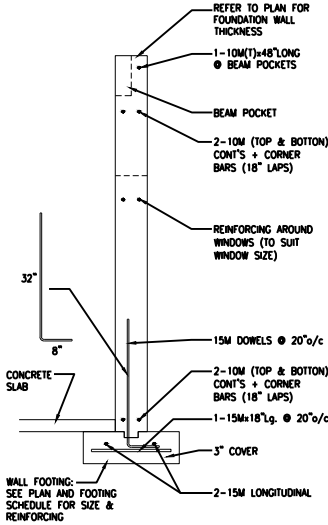
DRAWING: BUILDING SECTION ELEVATION A AND B

ADDRESS:	SCALE:	DATE:
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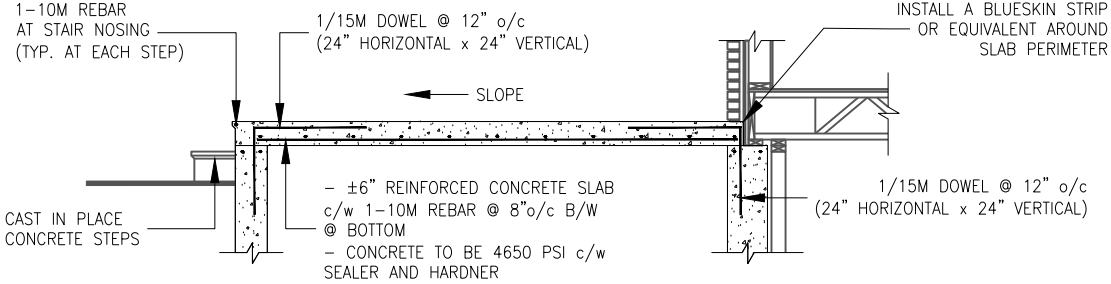
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	76"x76"x12" w/ 6-15M 66" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



1 BASEMENT WINDOW REINFORCING
A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING
A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING
A.6 SCALE: 1/4" = 1'-0"

NOTES:

FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: 24 PST7
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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

SHALL HAVE A VISUAL SIGNALING DEVICE;

ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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FOOTING TABLE & DETAILS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
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SHEET:
A6

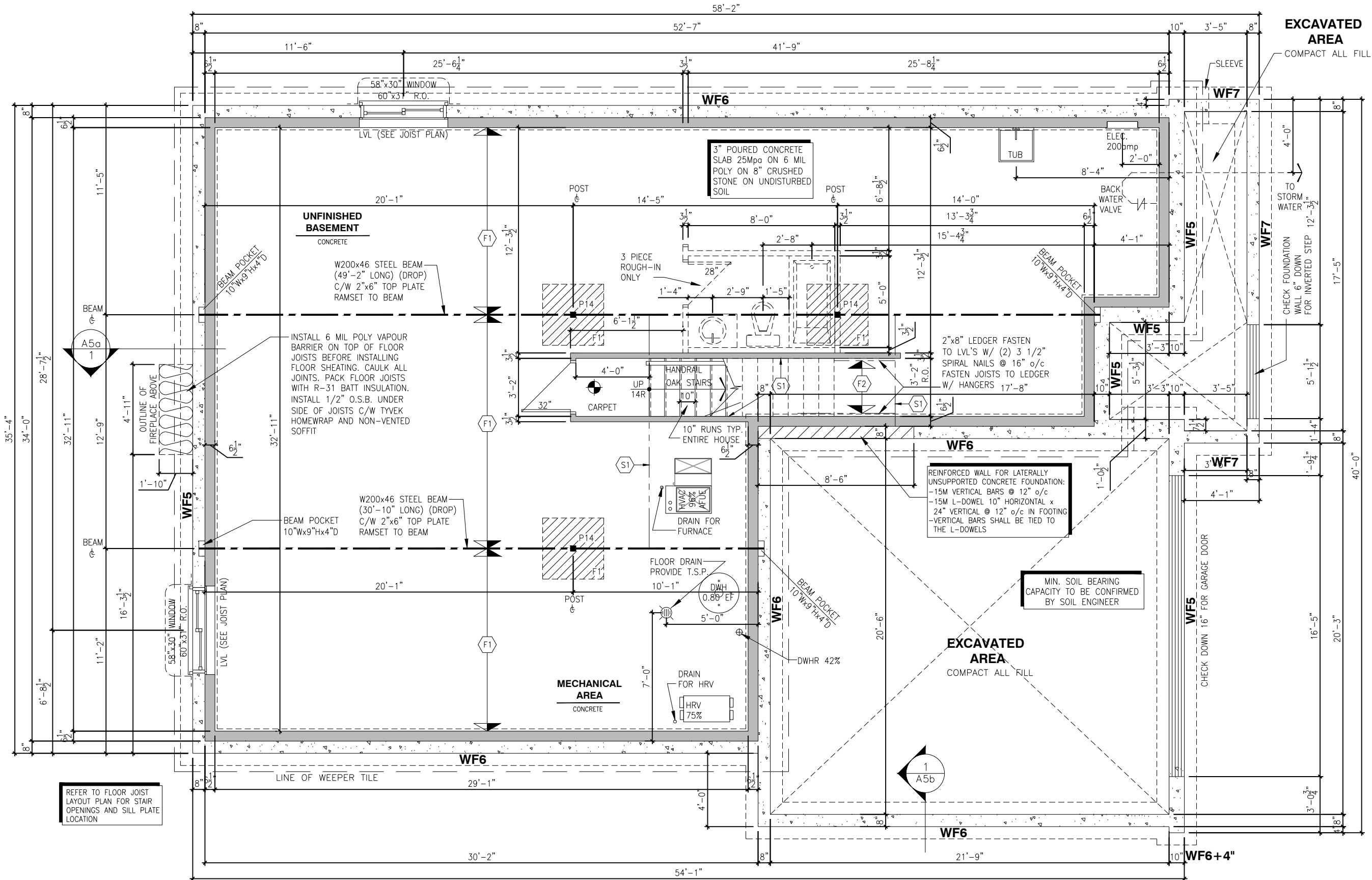
NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTING DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN
SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: 24 PST7
DATE: 12/23/2024

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S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	AS PER STRUCTURAL	01/09/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT FLOOR PLAN ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1016 - THE McCABE 2023 FOOTPRINT
(STANDARD DRAWINGS)

A6a

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.2. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:

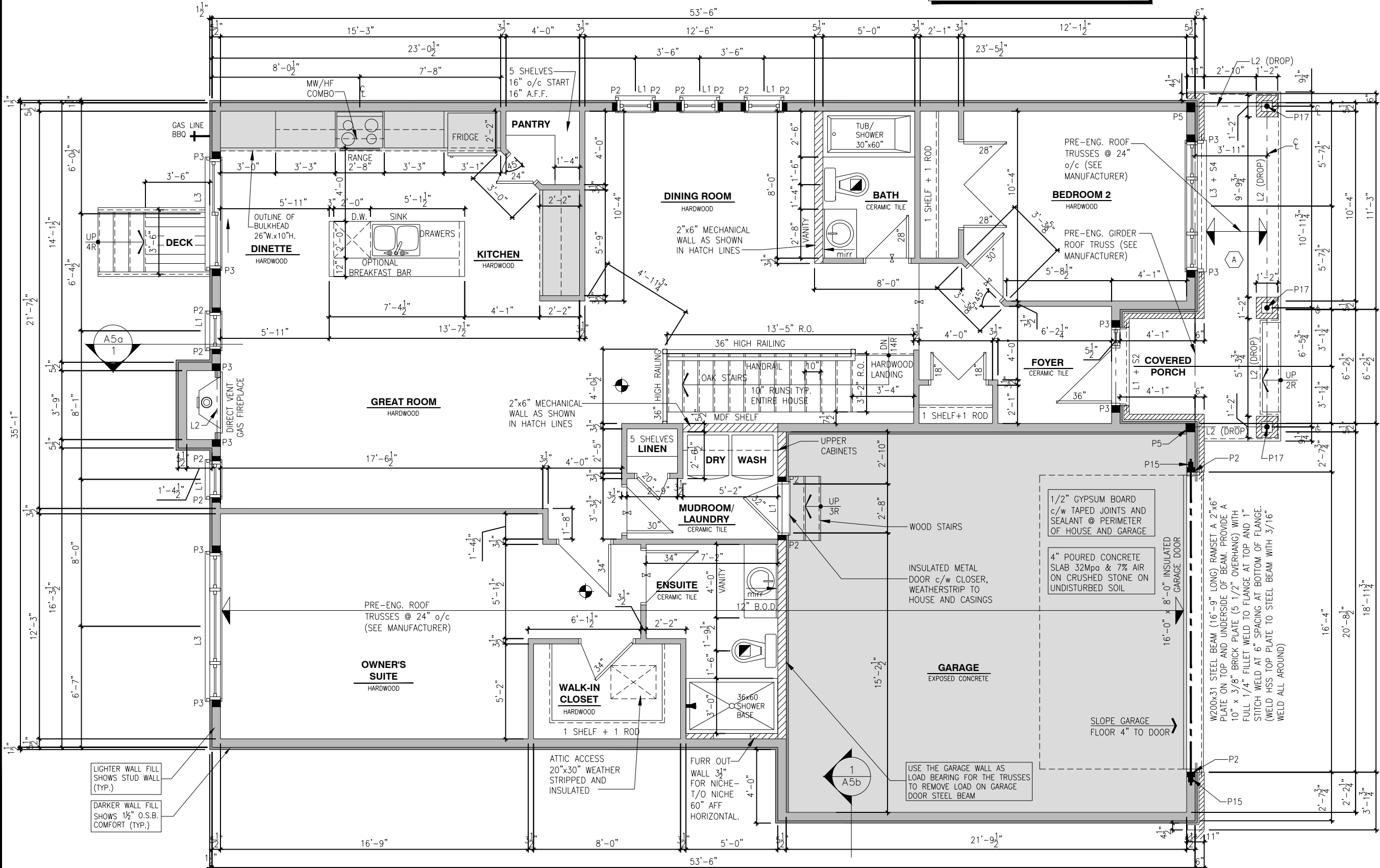
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

A PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.



LOT: 24 PST7

DATE: 12/23/2024

Valecraft
Homes (2019) Limited

I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES (2019) LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #122537
- TARIOR REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

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- L2 = 3-2x10 + P3 ON BOTH SIDES
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	AS PER STRUCTURAL	01/09/2025	AB
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN STANDARD KITCHEN - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

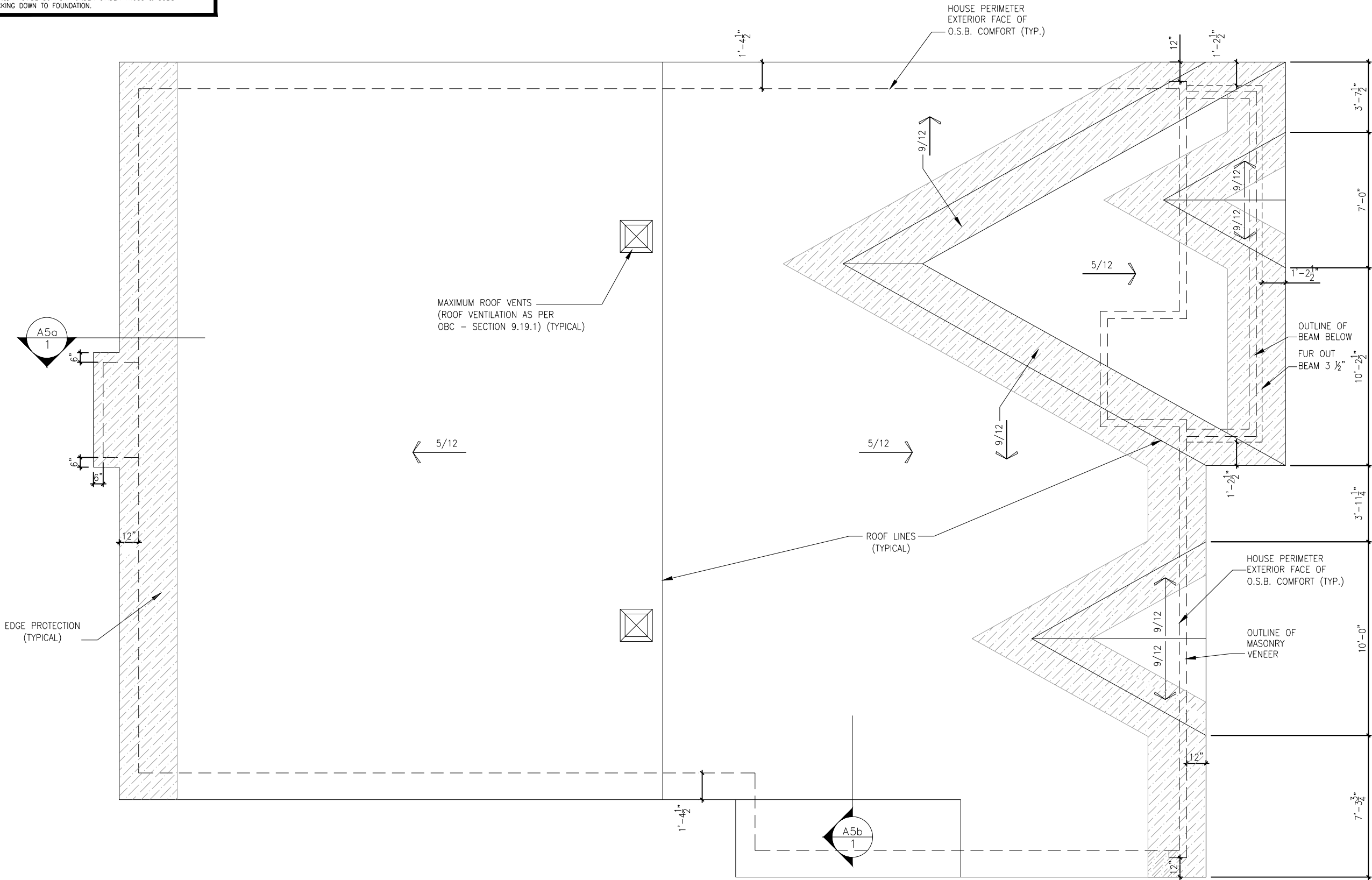
1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7a

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: 24 PST7

DATE: 12/23/2024



I, ALEX BECKETT, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES (2019) LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

ROOF PLAN
ELEVATION A

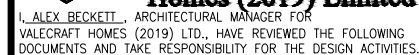
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9a

DATE: 12/23/2024



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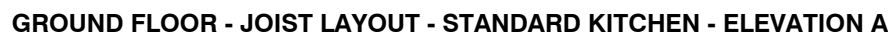
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SCALE: 3/16" = 1'-0"

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NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**
ELEV. A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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1016 - THE McCABE
2023 FOOTPRINT

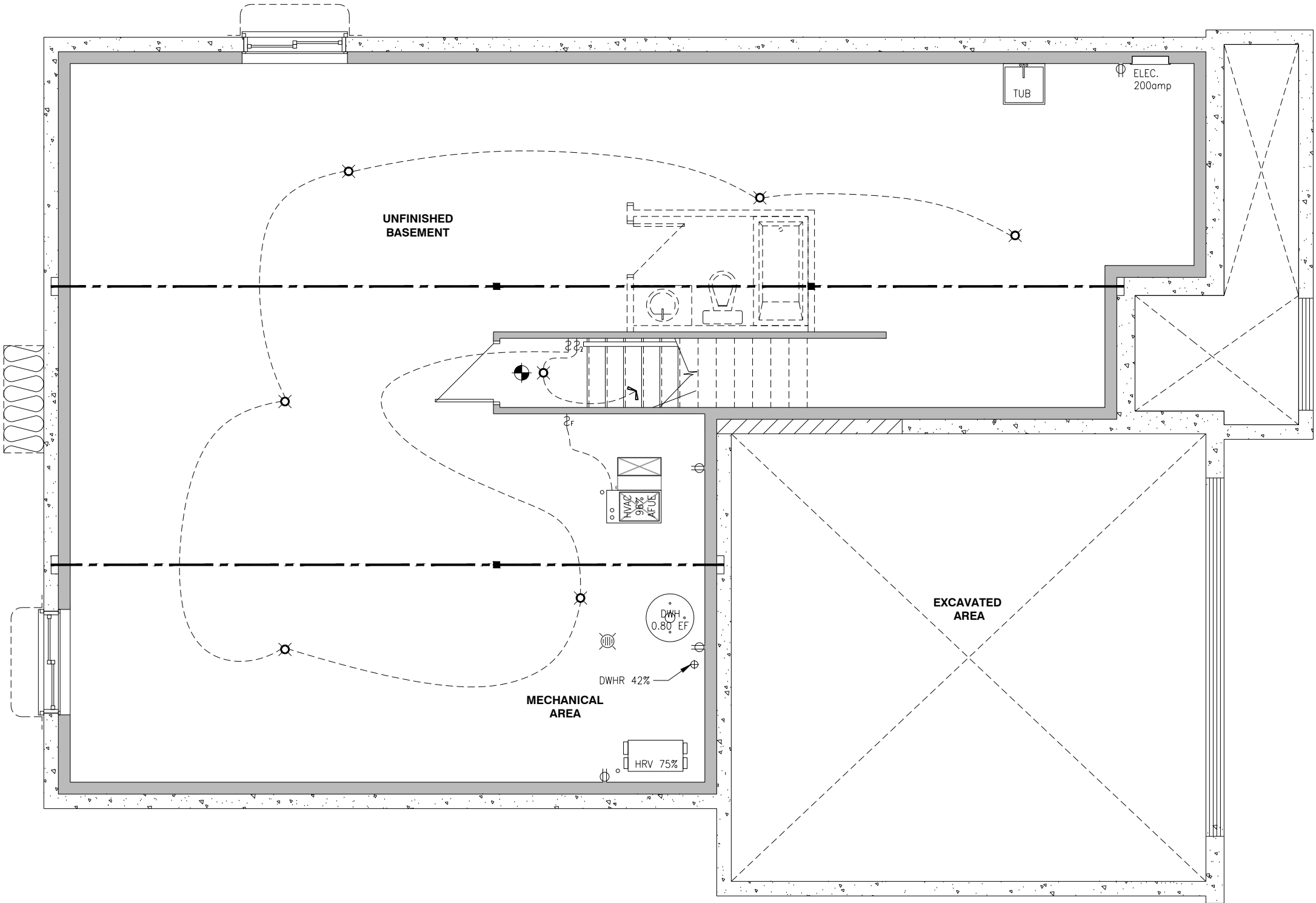
(STANDARD DRAWINGS)

SHEET:

A10a

ELECTRICAL PLAN BASEMENT - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: 24 PST7
DATE: 12/23/2024



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- PERSONAL BCIN #122537
- TARIION REGISTRATION NUMBER #47491

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
BASEMENT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1a



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEVATION A

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

