

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED

ON THE 18 DAY OF November, 2024 .

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : 18 - PH7
LOT: 18 - PH7 BLOCK :
50M-361 Place St. Thomas 7
CIVIC ADDRESS: 927 Cologne Street

PURCHASERS: Anita Pokua Wiredu & Augustine Wiredu

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: November 18, 2024

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE: PURCHASE PRICE: \$915,000.00
BALANCE AT CLOSING: \$875,000.00
LESS H.S.T. AMOUNT: \$830,973.45
SCHEDULE "G" DATED: January 7, 2025
TARION SCHEDULE "B" DATED: January 7, 2025

INSERT: 680 dated: January 20, 2025 in the amount of: \$7,339.46
NEW PURCHASE PRICE: \$922,339.46
NEW BALANCE AT CLOSING: \$882,339.46
NEW LESS H.S.T. AMOUNT: \$837,468.55
SCHEDULE "G" DATED: January 20, 2025
TARION SCHEDULE "B" DATED: January 20, 2025
SCHEDULE "W2" DATED: January 20, 2025

Dated at Ottawa, ON this 20 day of January, 2025

In the presence of:

WITNESS

Signed by: Anita Pokua Wiredu
PURCHASER

WITNESS

DocuSigned by: [Signature]
PURCHASER

Dated at Ottawa, ON this 20 day of January, 2025

VALECRAFT HOMES (2019) LTD. (VENDOR)

PER: [Signature]
REV: September 3, 2020



NON STANDARD EXTRAS (680)
Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER		PHASE	HOUSE TYPE	CLOSING DATE	
18		7	1086 THE STEEL ELEV B	5-Aug-25	
ITEM	QTY	EXTRA / CHANGE		PRICE	INTERNAL USE
12		1 - - DECOR BONUS OF 46,117.00\$ HAS BEEN APPLIED IN FULL TO THE PURCHASE PRICE		-\$46,117.00	Each
44768		Note: - Decor bonus of \$46,117.00 applied in full to the purchase price.			
13		1 - <i>KITCHEN</i> - CUSTOM KITCHEN LAYOUT - LEVEL 2 SELECTIONS - TO INCLUDE MICROWAVE & WALL-OVEN CABINET - AS PER SKETCH		\$ 4,575.00	Each
44678		Note: - As per Kitchen Sketch dated January 20, 2025 See item #16 (fridge opening) See item #17 (pots & pans) See item #18 (UPC) See item #19 (fridge upper cabinet) See item #20 (recycle bin) See item #21 (2 cabinet colours) See item #29 (island extension) ** COST IS IN ADDITION TO ITEM #3 - STANDARD KITCHEN LAYOUT IN LEVEL 2 CABINETRY **			
14		1 - <i>KITCHEN/DINETTE</i> - CLARIFICATION: COOKTOP AND CHIMNEY HOODFAN TO BE APPROX. CENTERED WITHIN THE CABINETRY IN BETWEEN THE WALL OVEN/MICROWAVE CABINETRY AND THE EXTENDED PANTRY #1. CABINETS ON EACH SIDE TO BE APPROX THE SAME WIDTH.		\$ 0.00	Each
44837		Note: - See item #13 (custom kitchen layout) - See item #24 (chimney hoodfan)			
15		1 - <i>KITCHEN/DINETTE</i> - CLARIFICATION: ITEM #4 (RE; EXTENDED PANTRY OPTION #1) WILL HAVE 2 PANTRIES APPROX 28IN WIDE AND A LONGER COUNTERTOP SECTION WITH UPPERS AND LOWERS IN BETWEEN THE 2 PANTRY, APPROX. 56IN WIDE.		\$ 0.00	Each
44838		Note: - As per Extended Pantry Sketch dated January 20, 2025 - See item #4 (extended pantry 1) - See item #13 (custom kitchen layout) - See item #18 (UPC) **Pantry section is approx 112in wide**			
*16 871		1 - <i>KITCHEN</i> - NON-STANDARD REFRIGERATOR SIZE		*\$ 125.00	Each
44743		Note: - As per Kitchen Sketch dated Janaury 20, 2025 - Fridge opening approximately 37" (w) x 73" (h) - See item #13 (custom kitchen layout w/ microwave/wall oven) - See item #18 (UPC) - See item #19 (fridge upper cabinet) **Number & or size of doors may be reduced in the surrounding cabinetry to accommodate**			
*17 101		1 - <i>KITCHEN</i> - KITCHEN POTS & PANS - 3 DRAWER FRONTS 6/12/12 - ALL SERIES		*\$ 597.00	Each
44744		Note: - As per Kitchen Sketch dated January 20, 2025 See item #13 (custom kitchen layout w/ microwave/wall oven) - To be located under the cooktop - Includes 1 false drawer and 2 pots/pans drawer			

Vendor Initials:

DS
FN

 Purchaser Initials:

Initial
AW

DS
AW

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-1

InvoiceSQL.rpt 01sept21

CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____



NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER		PHASE	HOUSE TYPE	CLOSING DATE
18		7	1086 THE STEEL ELEV B	5-Aug-25
ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*18 142832		1 - <i>KITCHEN/DINETTE</i> - CABINETRY - UPC9-2B - STANDARD LAYOUT C/W EXTENDED PANTRY - LEVEL 2 CABINETRY - INCLUDES UPGRADE TO 42IN UPPERS WITH FILLER DETAIL ON UPPER KITCHEN CABINETRY TO UPGRADED BULKHEAD - APPROX. 26INDEEP X 10INH	*\$ 1,572.00	Each
44747		Note: - As per UPC Sketch dated January 20, 2025 - As per Kitchen Sketch dated January 20, 2025 - As per Extended Pantry Sketch dated January 20, 2025 See item #4 (extended pantry 1) See item #13 (custom kitchen layout w/ microwave/wall oven) See item #16 (fridge opening) - Purchaser Acknowledges and accepts that Upper Kitchen cabinetry upgraded wood doors will have center style.		
*19 117100		1 - <i>KITCHEN</i> - 2FT DEEP FRIDGE UPPER C/W 1 GABLE - LEVEL 2 SERIES	*\$ 856.00	Each
44748		Note: - As per Kitchen Sketch dated January 20, 2025 See item #13 (custom kitchen layout w/ microwave/wall oven) See item #16 (fridge opening) See item #18 (UPC)		
*20 83		1 - <i>KITCHEN</i> - KITCHEN RECYCLE BIN (300MM - 600MM) - ALL SERIES	*\$ 1,031.00	Each
44749		Note: - As per Kitchen Sketch dated January 20, 2025 See item #13 (custom kitchen layout w/ microwave/wall oven) See item #21 (2 cabinet colours) See item #29 (island extension) - 500MM (approx 20IN) - To be located in island, next to BOD		
*21 90924		1 - <i>KITCHEN/DINETTE</i> - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS	*\$ 500.00	Each
44742		Note: - As per Kitchen Sketch dated January 20, 2025 See item #13 (custom kitchen layout w/ microwave/wall oven) See item #29 (island extension) - If two colours are in different levels of cabinetry, highest level of cabinetry is to be applied first.		
22		1 - <i>KITCHEN</i> - KITCHEN - GAS LINE FOR COOKTOP C/W 120V OUTLET - AS PER SKETCH	\$ 910.00	Each
44661		Note: - As per Kitchen Sketch dated January 20, 2025 See item #13 (custom kitchen layout) - Locations are approximate & must be compliant with all applicable codes.		
*23 120309		1 - <i>KITCHEN</i> - KITCHEN - WATER LINE ROUGH - IN TO FRIDGE, DOES NOT INCLUDE CONNECTION	*\$ 533.00	Each
44662		Note: - As per Kitchen Sketch dated January 20, 2025 - See item #13 (custom kitchen layout w/ microwave/wall oven)		

Vendor Initials:

DS
FN

 Purchaser Initials:

Initial
AW

DS
AW

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-2

InvoiceSQL.rpt 01sept21

CONSTRUCTION SCHEDULING APPROVAL

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DATE: _____



NON STANDARD EXTRAS (680)




Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
18	7	1086 THE STEEL ELEV B	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*24 155701	1	<i>KITCHEN</i> - HOOD FAN - CHIMNEY - WHIRLPOOL 400 CFM - 30IN STAINLESS MODEL WVW57UC0FS	*\$ 605.00	Each
44664	Note:	- As per Kitchen Sketch dated January 20, 2025 - See item #13 (custom kitchen layout w/ microwave/wall oven) - See item #14 (chimney hoodfan centered) - Does not include modifications to cabinetry or electrical for new microwave location but includes extra std series backsplash tiles to ceiling. To be checked if Make-up Air system is required by Estimation Department		
25 44753	1	<i>KITCHEN</i> - DELETE ITEM # 5 (RE; COUNTERTOP - QUARTZ - LEVEL 6 - KITCHEN C/W FLUSH BREAKFAST BAR)	-\$8,499.00	Each
26 44754	1	<i>KITCHEN/DINETTE</i> - DELETE ITEM # 6 (RE: COUNTERTOP - QUARTZ - LEVEL 6 - EXTENDED PANTRY OPTION #1)	-\$1,044.00	Each
27 134550	1	<i>KITCHEN</i> - COUNTERTOP - QUARTZ - LEVEL 5 - KITCHEN C/W FLUSH BREAKFAST BAR	*\$ 6,071.00	Each
44755	Note:	- As per Kitchen Sketch dated January 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 See item #13 (custom kitchen layout w/ microwave/wall oven) See item #29 (island extension)		
*28 134553	1	<i>DINETTE</i> - COUNTERTOP - QUARTZ - LEVEL 5 - EXTENDED PANTRY OPT #1	*\$ 1,065.00	Each
44756	Note:	- As per Extended Pantry Sketch dated January 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 - See item #4 (extended pantry 1) - See item #15 (extended pantry clarification) - COUNTERTOP IS NOW APPROX 56IN WIDE		
29 44758	1	<i>KITCHEN/DINETTE</i> - EXTEND ISLAND LOWER CABINETRY APPROX 36IN - LEVEL 2 CABINETRY - LEVEL 5 QUARTZ COUNTERTOP - FLUSH BREAKFAST BAR - C/W 84MM GABLES ON BOTH ENDS (FULL DEPTH)	\$ 4,659.00	Each
	Note:	- As per Kitchen Sketch dated January 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 - See item #13 (custom kitchen layout w/ microwave/wall oven) - See item #21 (2 cabinet colours) - INCLUDES ENLARGING THE SINK CABINET TO 36IN, AND THE STD BANK OF DRAWERS TO 21IN - ISLAND TO BE APPROX. 107IN WIDE		
30 44757	1	<i>KITCHEN/DINETTE</i> - UPGRADE STANDARD BUILDER BACKSPLASH TO LEVEL 5 QUARTZ ON KITCHEN BACKPLASH - INCLUDES BEHIND CHIMNEY HOODFAN AND OPTIONAL PANTRY #1	\$ 9,238.00	Each
	Note:	- As per Kitchen Sketch dated January 20, 2025 - As per Extended Pantry Sketch dated January 20, 2025 - See item #4 (extended pantry 1) - See item #13 (custom kitchen layout) - See item #15 (extended pantry clarification)		
31 44762	1	<i>KITCHEN</i> - UPGRADE TO MADISON SMOOTH INTERIOR DOOR - KITCHEN PANTRY DOOR ONLY	\$ 64.00	Each
	Note:	- As per Floorplan Sketch dated January 20, 2025 - As per Kitchen Sketch dated January 20, 2025		

Vendor Initials:  Purchaser Initials:  

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-3

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NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
18	7	1086 THE STEEL ELEV B	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
32		1 - <i>ENSUITE BATH</i> - UPGRADE TO LEVEL 2 CABINETRY IN 5PC ENSUITE ELEVATION B	\$ 746.00	Each
44761		Note: - As per Floorplan Sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #33 (vanity extension) - See item #34 (BoD)		
*33	824	1 - <i>ENSUITE BATH</i> - EXTEND VANITY AND MIRROR ABOVE IN LEVEL 2 SERIES PER FOOT	*\$ 661.00	Each
44760		Note: - As per Floorplan Sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #32 (level 2 cabinetry) - See item #34 (BoD) - Light fixtures to be centered over sinks as per S&S sketch dated - Double vanity incl. 1 mirror above each sink)		
*34	872	1 - <i>ENSUITE BATH</i> - VANITY BANK OF DRAWERS (3 DRAWERS) 6-10-10	*\$ 790.00	Each
44677		Note: - As per Floorplan Sketch dated Janaury 20, 2025 - See item #2 (5pc ensuite) - See item #32 (level 2 cabinetry) - See item #33 (vanity extension) - Approximately centered between 2 sinks		
35		1 - <i>ENSUITE BATH</i> - UPGRADE TO LEVEL 1 QUARTZ IN 5PC ENSUITE ELEVATION B - INCLUDES THE 12IN EXTENSION	\$ 435.00	Each
44826		Note: - As per Floorplan Sketch dated January 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #33 (vanity extension)		
*36	117132	1 - <i>BEDROOM 2</i> - VANITY W/TOP DUMMY FACADE, 2 DRAWERS & 1 DOOR LEVEL STD SERIES	*\$ 790.00	Each
44676		Note: - As per Floorplan Sketch dated January 20, 2025 - As per Vanity Sketch dated January 20, 2025 - Ensuite in Bedroom #2 (single vanity) - Sink approximately centered - No extension to standard vanity required.		
*37	134512	1 - <i>BEDROOM 2</i> - COUNTERTOP - QUARTZ - LEVEL 1 - ENSUITE BATHROOM	*\$ 218.00	Each
44797		Note: - As per Floorplan Sketch dated January 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 - Ensuite in Bedroom #2 (single vanity) - See item #36 (vanity design)		
38		1 - <i>MAIN BATHROOM</i> - SUPPLY AND INSTALL A SECOND SINK IN JACK & JILL BATHROOM (MAIN)	\$ 1,404.00	Each
44830		Note: - As per Floorplan Sketch dated January 20, 2025 - See item #39 (BoD)		

Vendor Initials:

DS

FN

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Initial

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PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-4

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DATE: _____



NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
18	7	1086 THE STEEL ELEV B	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*39 872	1	MAIN BATHROOM - VANITY BANK OF DRAWERS (3 DRAWERS) 6-10-10	*\$ 790.00	Each
44829		Note: - As per Floorplan Sketch dated Janaury 20, 2025 - See item #38 (2nd sink in vanity) - To be located in between the two sinks		
*40 134511	1	MAIN BATHROOM - COUNTERTOP - QUARTZ - LEVEL 1 - MAIN BATHROOM	*\$ 435.00	Each
44796		Note: - As per Floorplan Sketch dated Janaury 20, 2025 - Eased Edge as per Edge Profile sketch dated January 20, 2025 - Jack & Jill bathroom		
41 9	1	FOYER - TILE - FLOOR - UPGRADE - GOLD - FOYER - GOLD	\$ 686.00	Each
44774		Note: - As per Floorplan Sketch dated January 20, 2025 - As per Floor Tile installation sketch dated January 20, 2025		
42 9	1	ENSUITE BATH - TILE - FLOOR - UPGRADE - GOLD - - ENSUITE BATHROOM OPTIONAL - GOLD	\$ 1,372.00	Each
44779		Note: - As per Floorplan Sketch dated January 20, 2025 - As per Floor Tile installation sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #53 (freestanding tub) - Includes tile under freestanding tub		
43 133	1	ENSUITE BATH - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - GOLD - SHOWER SURROUND - ENSUITE BATHROOM - OPTIONAL - GOLD	\$ 1,372.00	Each
44785		Note: - As per Wall Tile installation sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #51 (glass shower w/ return)		
44	1	ENSUITE BATH - UPGRADED COLOR - GROUT - FLOOR & WALL - ENSUITE BATHROOM 5PC ELEVATION B	\$ 103.00	Each
44833		Note: - See item #2 (5pc ensuite) - See item #51 (glass shower w/ return) - See item #53 (freestanding tub)		
45	1	BEDROOM 2 - UPGRADED COLOR - GROUT - WALL - TUB/SHOWER - ENSUITE BATHROOM #2	\$ 44.00	Each
44832		Note: - Ensuite in Bedroom #2		
46	1	MAIN BATHROOM - UPGRADED COLOR - GROUT - WALL - TUB/SHOWER - MAIN BATHROOM	\$ 44.00	Each
44831		Note: - Jack & Jill bathroom		
47	27	KITCHEN - LEVEL 3 CABINETRY HARDWARE - INSTALLED HORIZONTALLY	\$ 864.00	
44750		Note: - As per Hardware Sketch dated January 20, 2025 - CENTERED, HORIZONTAL INSTALLATION ON CABINET DOOR - To be located on the fridge cabinet (2), the upper wall oven cabinet (2) the lower cabinet located next to fridge (3) , the lower cabinet located on either side of the cooktop (4) , the 2 pantries (12) , and the lower cabinet located in between the 2 pantries (4)		

Vendor Initials:

DS
FN

 Purchaser Initials:

Initial
AW

DS
AW

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-5

InvoiceSQL.rpt 01sept21

CONSTRUCTION SCHEDULING APPROVAL

PER: _____

DATE: _____



NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER 18		PHASE 7	HOUSE TYPE 1086 THE STEEL ELEV B	CLOSING DATE 5-Aug-25
ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
48	13	KITCHEN - LEVEL 3 CABINETRY HARDWARE - STD VERTICAL INSTALLATION	\$ 416.00	
44751	Note:	- As per Hardware Sketch dated January 20, 2025 - To be installed on the upper cabinets located next to fridge (3), upper cabinets located on either side of chimneye hoodfan (4) , sink cabinet (2) , and upper cabinets located in between the 2 pantries (4)		
49	9	KITCHEN/DINETTE - LEVEL 4 CABINETRY HARDWARE	\$ 387.00	
44822	Note:	- As per Hardware Sketch dated January 20, 2025 - HORIZONTAL INSTALLATION - Includes pots and pans drawers (2) , drawer below wall oven (1) , BOD Of approx. 21IN wide (4) , and 500mm recycling bin with top drawer (2)		
*50 120307	1	KITCHEN - KITCHEN - SINK - FRANKE CUBE CUX110-30-CA SINGLE BOWL STAINLESS STEEL 9IN DEEP UNDERMOUNT SINK	*\$ 1,513.00	Each
44745	Note:			
51	1	ENSUITE BATH - UPGRADE 5PC ENSUITE SHOWER TO A GLASS SHOWER WITH FULL LENGHT GLASS RETURN C/W PIVOT DOOR - CHROME TRIM	\$ 1,798.00	Each
44770	Note:	- As per Floorplan Sketch dated January 20, 2025 - See item #2 (5pc ensuite) - See item #52 (matte black trim)		
52	1	ENSUITE BATH - UPGRADE GLASS SHOWER WITH RETURN AND PIVOT DOOR TO MATTE BLACK TRIM	\$ 125.00	Each
44828	Note:	- As per Floorplan Sketch dated Janaury 20, 2025 - See item #2 (5pc ensuite) - See item #51 (glass shower w/ return)		
53	1	ENSUITE BATH - UPGRADE TO MAAX SONOMA 58IN x 32IN x 27IN HIGH FREESTANDING CENTER DRAIN BATHTUB IN WHITE WITH WHITE SKIRT 106996-000-002-000	\$ 4,405.00	Each
44771	Note:	- As per Floorplan Sketch dated January 20, 2025 - See item #2 (5pc ensuite)		
54	1	GREAT ROOM - GREAT ROOM - FIREPLACE BUMPED INTO GREAT ROOM APPROX. 6IN - DRYWALL FRAMING EXTENDS FROM FLOOR TO 2ND STOREY CEILING - INCLUDES DELETION OF 2ND STOREY WINDOW	\$ 1,448.00	Each
44657	Note:	- As per Floorplan Sketch dated January 20, 2025 *** APPROX 5FT WIDE *** - See item #55 (linear fireplace) - See item #56 (delete fireplace tile)		
55	1	GREAT ROOM - GREAT ROOM - LINEAR ASCENT BL36 WITH 4-SIDED BLACK TRIM KIT & TOPAZ CRISTALINE EMBER BED - IN LIEU OF STANDARD	\$ 942.00	Each
44658	Note:	- As per Floorplan Sketch dated Janaury 20, 2025 ** Bottom of fireplace trim kit to be approximately 16 inches from floor ** - See item #54 (fireplace wall bumped in) - See item #56 (delete fireplace tile)		

Vendor Initials:

DS
FN

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AW

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AW

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-6

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CONSTRUCTION SCHEDULING APPROVAL

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DATE: _____



NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
18	7	1086 THE STEEL ELEV B	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
56	1	GREAT ROOM - DELETE FIREPLACE SURROUND TILE	\$ 0.00	Each
44834	Note:	- See item #54 (firpelace wall bumped in) - See item #55 (linear fireplace)		
*57	1	STD AREAS - RAILING - UPGRADE TO 1/2 SQUARE METAL SPINDLES IN SATIN BLACK	*\$ 1,630.00	Each
140354	Note:	- As per Floorplan Sketch dated January 20, 2025		
44773				
58	1	- UPGRADE TO A NON-DEEP PAINT COLOR ON WALLS - THROUGHOUT	\$ 1,065.00	Each
44789	Note:			
59	1	STD AREAS - TRIM PACKAGE 1 - THROUGHOUT	\$ 1,832.00	Each
45105	Note:	Trim Package 1 (casing #L3513-96168C, baseboard #2828-96192C)		
*60	1	- ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 2,272.43	Each
155717	Note:	- Orbital Estimate No#: OR8550 Rev.02 dated 1/20/2025		
44871				
*61	1	- S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH.	*\$ 713.03	Each
155716	Note:	- S&S Electric Estimate No#: SS6766 Rev.02 dated 01/20/2025		
44872				
*62	1	KITCHEN/DINETTE - HARDWOOD - OAK - 4 1/8 STAINED - KITCHEN / DINETTE	*\$ 1,298.00	Each
138389	Note:	- As per Floorplan Sketch dated January 20, 2025		
45106				

Sub Total	\$7,339.46
HST	\$0.00
Total	\$7,339.46

Payment Summary

Paid By Amount

Total Payment:

Vendor Initials: FN Purchaser Initials: AW

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 2,132-7

InvoiceSQL.rpt 01sept21

CONSTRUCTION SCHEDULING APPROVAL

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DATE:



NON STANDARD EXTRAS (680)
Place St. Thomas - Phase 7

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

Printed: 22-Jan-25 2:40 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
18	7	1086 THE STEEL ELEV B	5-Aug-25

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
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DocuSigned by:

Anita Pokua Wiredu

893EB1951723497

PURCHASER:

Anita Pokua Wiredu

20-Jan-25

DATE

DocuSigned by:

AD9F627301214EE

VENDOR:

PER: Valecraft Homes (2019) Limited

DocuSigned by:

Augustine Wiredu

F8D8F05E90749B

PURCHASER:

Augustine Wiredu

20-Jan-25

DATE

DocuSigned by:

DATE:

January 20, 2025

PREPARED BY: Valerie Gendron
LOCKED BY:
PE 2,132-8
InvoiceSQL.rpt 01sept21

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PER: _____


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SCHEDULE "G"

HARMONIZED SALES TAX AND NEW HOUSING REBATE

1. The parties acknowledge that as at the date of this Agreement, Harmonized Sales Tax ("HST") is applicable to this transaction pursuant to the Excise Tax Act (Canada) (the "**Legislation**") and that, the Purchaser may qualify for the GST/HST new housing rebate (as is authorized by the Legislation from time to time) (**the "New Housing Rebate"**) in respect of this transaction.
2. The Purchaser is hereby advised that the Purchase Price listed in "Purchase Price" Section of this Agreement includes all HST and the New Housing Rebate applicable to this transaction (refer to maximum rebate allowance in Clause 8) as at the date this Agreement is signed by the parties. All sales taxes applicable to the transaction (including any applicable New Housing Rebate) will be calculated as of the closing of the subject transaction and will be applied in accordance with the Legislation. In the event that there is a change to the Legislation after the execution of this Agreement but prior to the closing of this transaction, the Vendor shall make all applicable adjustments to the sales taxes payable in this transaction in accordance with all applicable Legislation.
3. The Purchaser hereby irrevocably assigns to the Vendor the benefit of the New Housing Rebate, if applicable to this transaction.
4. The Purchaser hereby warrants and agrees that:
 - (a) The Real Property is being purchased as the Purchaser's primary place of residence and that the Purchaser will take possession and occupy the Dwelling forthwith upon closing and will not allow occupancy of the Dwelling by any other individual (other than the Purchaser's immediate family) as a place of residence prior to occupancy by the Purchaser;
 - (b) Purchaser will execute and deliver on closing such documents as the Vendor may require to confirm the warranties and agreements contained in this Schedule; and
 - (c) Purchaser will submit to the Vendor on closing, prior to or after closing at the Vendor's request, an application or applications in the manner and in the form prescribed containing prescribed information required by the Legislation for the New Housing Rebate
5. The Purchaser acknowledges that the Vendor has calculated the Purchase Price on the assumption that the New Housing Rebate will be applicable to this transaction. If for any reason the Purchaser does not qualify for the New Housing Rebate, then the Purchaser shall be fully responsible for paying to the Vendor the amount of such New Housing Rebate plus interest at the Bank of Montreal prime rate from the date the statement of adjustments is calculated plus any fees, penalties or damages imposed on the Vendor under the Legislation. For greater certainty, the Purchaser acknowledges that the New Housing Rebate described above is for individuals buying a new house or residential condominium as a primary place of residence for themselves or a relation. It does not include the rebate for HST which may be available to investors buying a new house or residential condominium as a rental property (the **GST/HST "New Residential Rental Property Rebate"**). If the Property is being purchased for investment purposes, the Purchaser will not qualify for the New Housing Rebate and the Purchaser shall be responsible for paying to the Vendor an amount equal to the New Housing Rebate which has been included in the Purchase Price hereunder. All Purchasers buying a new house or residential condominium as a rental property are responsible for applying for the New Residential Rental Property Rebate after the closing of the subject transaction.


Purchaser


Purchaser


Vendor

Schedule "W2"

NON RESILIENT FLOORING WAIVER
for

HARDWOOD FLOORING

Hardwood flooring is both a practical and elegant flooring option suitable for use in many areas of the home.

Increasingly however inquiries into the use of hardwood flooring in non-conventional areas of the home such as kitchens have prompted a need to forewarn and to heed caution to this optional upgrade.

Valecraft Homes Limited recommends strongly against the use of hardwood flooring in kitchen areas due to the natural absorption properties of hardwood when in contact with water or high-humidity areas. Hardwood flooring which has taken on water or excessive moisture will cup and/or buckle and ultimately prove to be costly to repair.

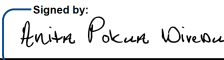
It is for this reason that VALECRAFT HOMES LIMITED will not guarantee nor provide warranty beyond manufacturing defect for installation of hardwood flooring in any of the aforementioned areas.

Should you decide to proceed against the Builder’s recommendations, extreme caution and care must be taken not to leave any standing water on these floors for any length of time. All other care and maintenance instructions with respect to hardwood flooring must further be followed.

I/We, Anita Pokua Wiredu & Augustine Wiredu have read and fully understand the aforementioned caution and recommendation set forth by the builder and as such hereby release VALECRAFT HOMES LIMITED from future responsibility with respect to flooring damage caused as a result of water and/or excessive moisture.

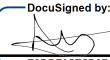
Project: Place St. Thomas 7

LOT NO: 18 - PH7

Signed by:

B93EB1551723497...

(Signature)

January 20, 2025
(Date)

DocuSigned by:

F0DBF05E5B074BB...

(Signature)

January 20, 2025
(Date)

DS

FN



Freehold Form
(Tentative Closing Date)

SCHEDULE B
Adjustments to Purchase Price or Balance Due on Closing

PART I Stipulated Amounts/Adjustments

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing, the dollar value of which is stipulated in the Purchase Agreement and set out below.


- 1. Preparation of transfer fee by Builder’s solicitor as stated in Clause #26 of the Agreement of Purchase & Sale. \$275.00 + HST= \$310.75

PART II All Other Adjustments – to be determined in accordance with the terms of the Purchase Agreement


These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing which will be determined after signing the Purchase Agreement, all in accordance with the terms of the Purchase Agreement.

- 1. Land Transfer Tax based on final purchase price less HST as stated in Clause #26 of the Agreement of Purchase & Sale.
- 2. Property Taxes as per final statement of adjustments as stated in Clause #11 of the Agreement of Purchase & Sale.
- 3. Real Estate Transaction Levy Surcharge as per final statement of adjustments as stated in Clause #13 of the Agreement of Purchase & Sale.
- 4. Administrative charges to set up assessment roll number and change of records as per final statement of adjustments as stated in Clause #14 of the Agreement of Purchase & Sale.
- 10. Delay in Closing by Purchaser of \$250.00 +HST per day as per final statement of adjustments as stated in Clause #20 of the Agreement of Purchase & Sale.
- 11. Maximum GST/HST rebate based on final purchase price less HST as stated in Schedule “G” Clause # 8 of the Agreement of Purchase & Sale.
- 12. Tarion Enrolment Fee based on final purchase price less HST as stated in Clause #12 of the Agreement of Purchase & Sale. Tarion Enrolment Calculation Table can be viewed on-line at tarion.com. See chart on page 11 as a guide.
- 13. Additional upgrades/deletions contained in the attached Amendment to the Agreement of Purchase and Sale dated January 20, 2025.

Signed at Ottawa, ON, this 20 day of January, 2025.

Signed by:

B03EB1551723497...
Purchaser

Valecraft Homes (2019) Limited

DocuSigned by:

E8DBF05E58074BB...
Purchaser

DocuSigned by:

A04F827301214EE...
Per:

January 20, 2025
Date:

Lot #: PST PH7 Lot 18

Project: Place St. Thomas 7



THE STEEL

MODEL 1086

ELEVATION A 3219 SQ. FT.
ELEVATION B 3177 SQ. FT.

Site: Place St. Thomas 7

Plan No.: 50M-361

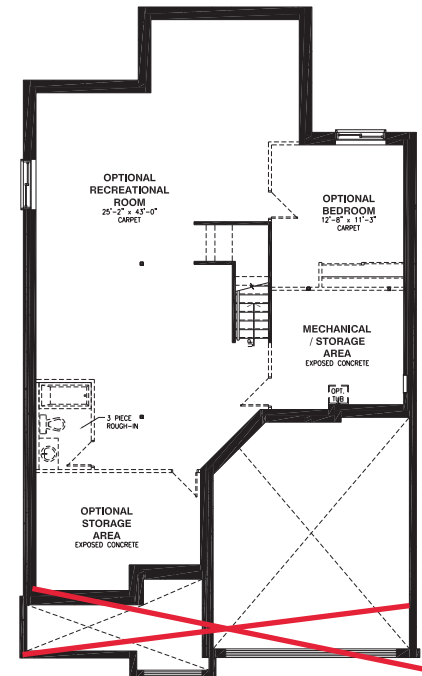
Lot: PST PH7 Lot 18

Date: January 20, 2025

Purchaser: Anita Pokua Wiredu

Purchaser: Augustine Wiredu

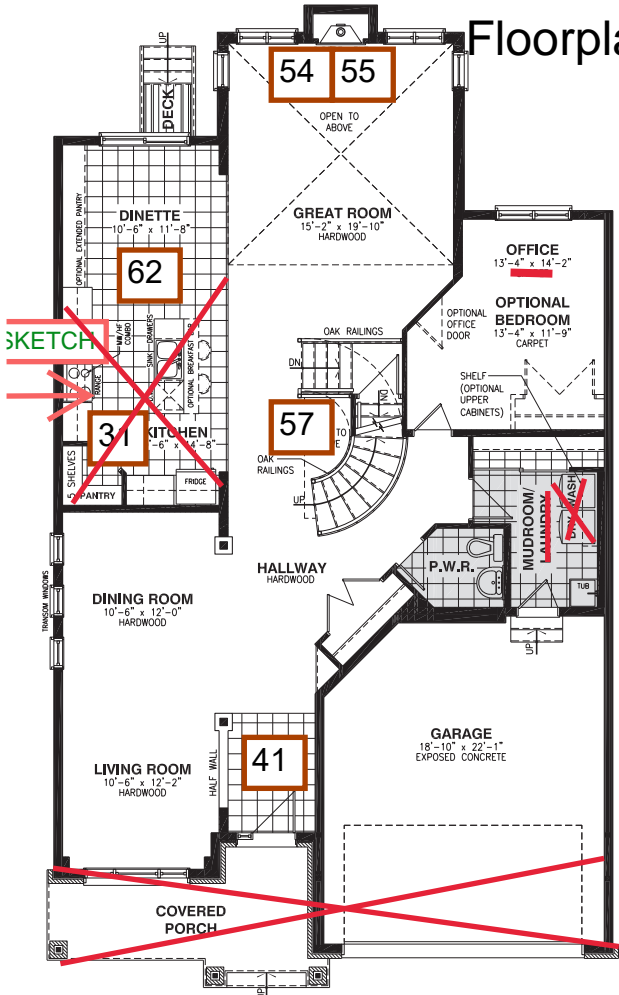
Floorplan Sketch - January 20, 2025



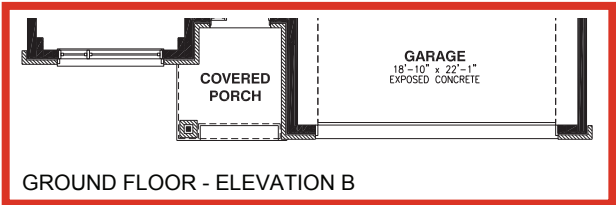
BASEMENT FLOOR - ~~ELEVATION A~~



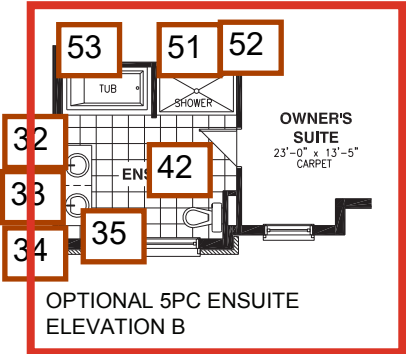
BASEMENT FLOOR - ELEVATION B



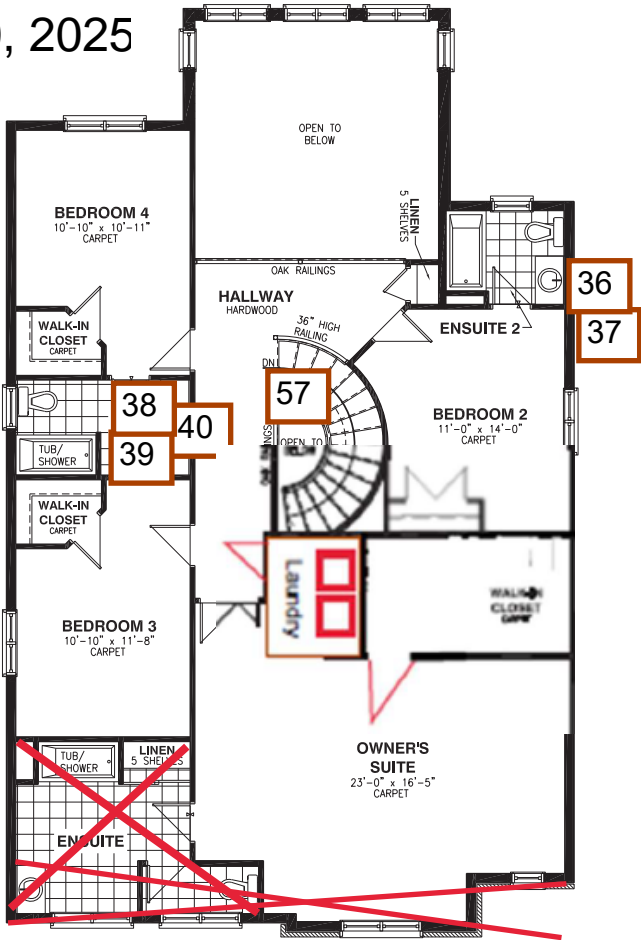
GROUND FLOOR - ~~ELEVATION A~~



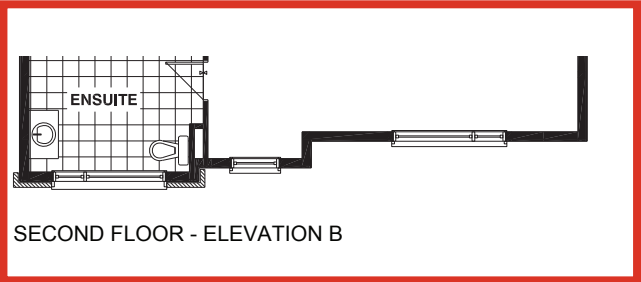
GROUND FLOOR - ELEVATION B



OPTIONAL 5PC ENSUITE
ELEVATION B



~~SECOND FLOOR - ELEVATION A~~



SECOND FLOOR - ELEVATION B

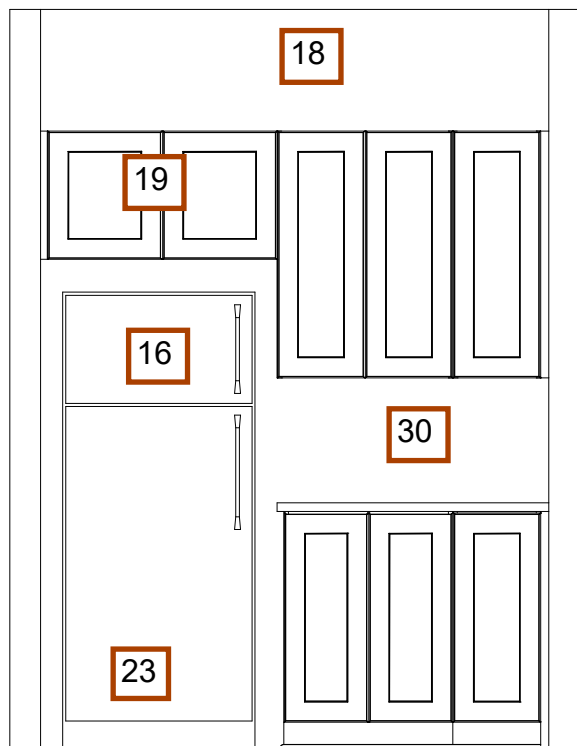


Site: Place St. Thomas 7
 Lot: 18 - PH7
 Plan: 50M-361
 Model: 1086 "B" Rev Steel

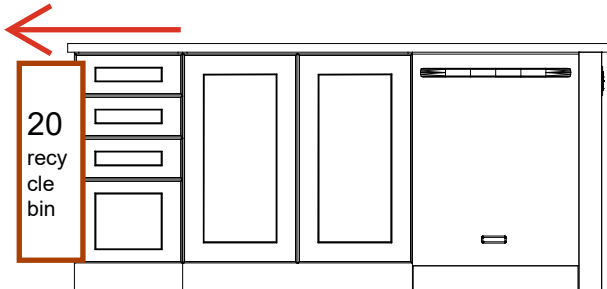
Purchaser: Anita Pokua Wiredu
 Purchaser: Augustine Wiredu
 Builder: Valecraft Homes (2019) Ltd.

Date:
 January 20, 2025

ITEM #13 - CUSTOM KITCHEN LAYOUT
 LEVEL 2 CABINETRY

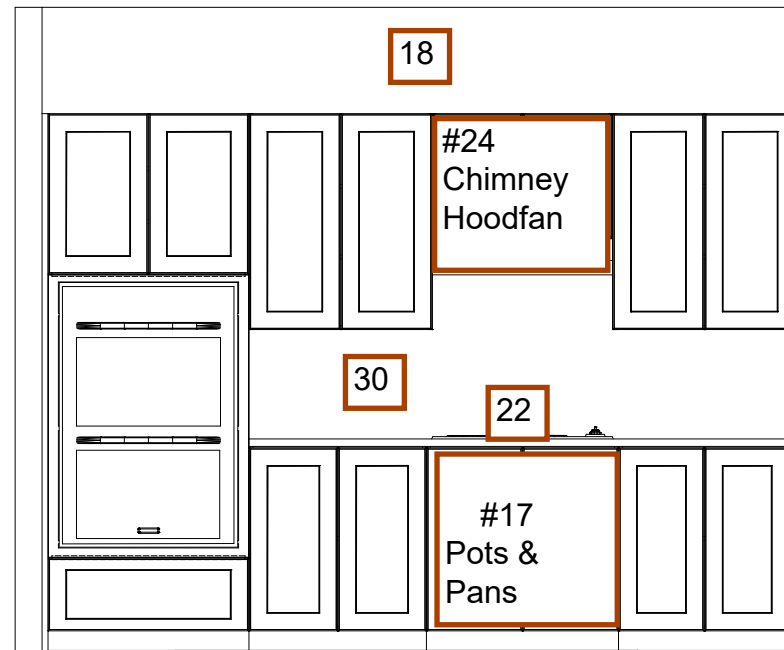


#29
 approx. 3'
 extension



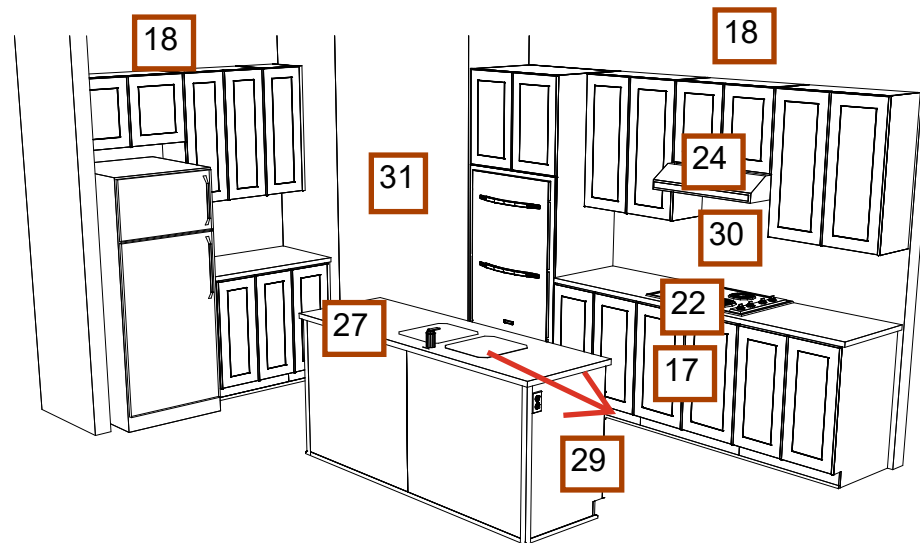
#21 (2nd colour - island)

Initial
 DS
 FN



#24
 Chimney
 Hoodfan

#17
 Pots &
 Pans



31

27

29

17

22

30

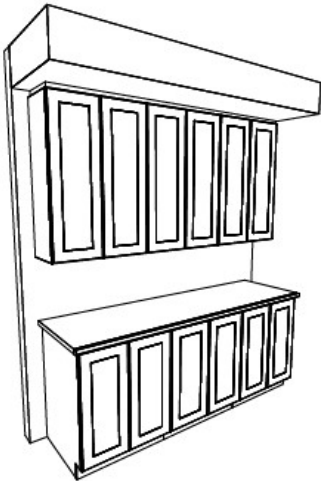
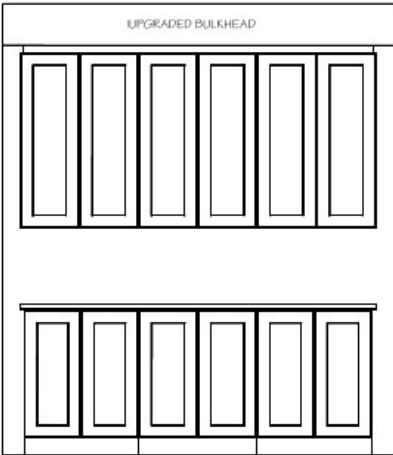
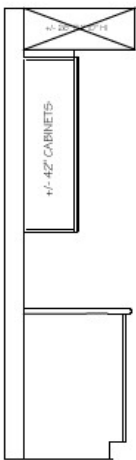
24

18

OPTIONAL KITCHEN CABINET CROWN MOULDING, FILLER &
UPGRADE BULKHEAD DETAILS

UPC9-2B Upgrade #: 18 See Item #13 & 18

- Includes upgrade to 42” uppers with filler detail on upper kitchen cabinetry to upgraded bulkhead.



Site: Place St. Thomas 7

Purchaser: Anita Pokua Wiredu

Plan No: 50M-361

Lot: PST PH7 Lot 18

Purchaser: Augustine Wiredu

Date: January 20, 2025

Initial
AW

DS
AW

DS
FN



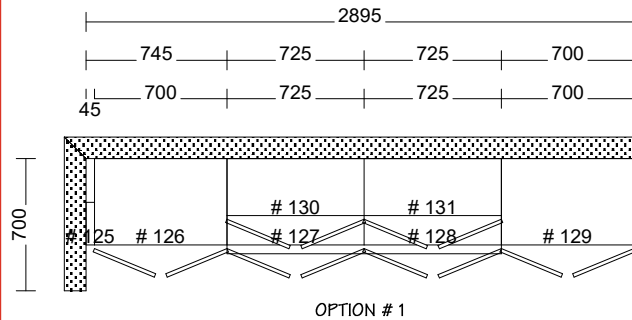
Site: Place St. Thomas 7
Lot: 18 - PH7
Plan: 50M-361
Model: 1086 "B" Rev Steel

Purchaser: Anita Pokua Wiredu
Purchaser: Augustine Wiredu
Builder: Valecraft Homes (2019) Ltd.

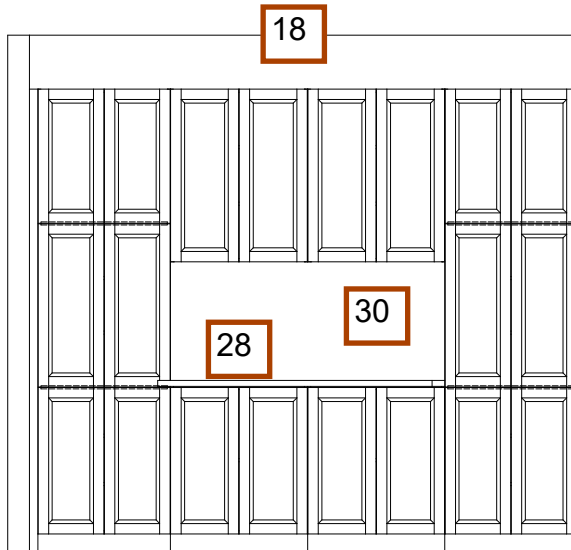
Date:
January 20, 2025

EXTENDED PANTRY #1 - Item #4 & #15

EXTENDED PANTRY OPTION



OPTION # 1



Initial
AW

DS
AW

DS
FN



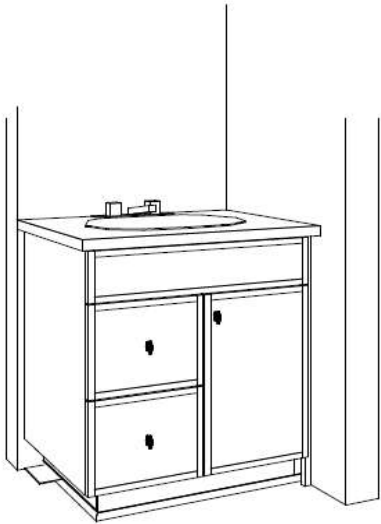
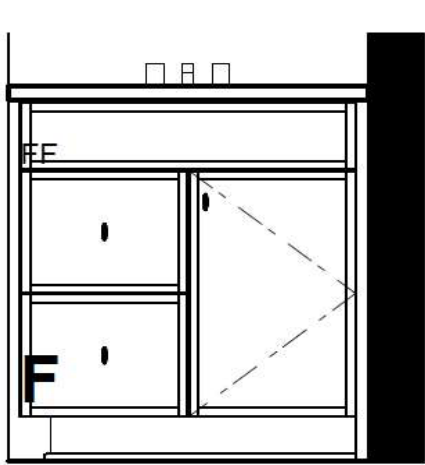
Valecraft
Homes (2019) Limited

Vanity Special
Drawer Configurations

OPTION 1

#36

Top dummy facade, back of drawers and single door.



ELEVATION 3D

Project: Place St. Thomas 7
Plan #: 50M-361
Lot: PST PH7 Lot 18
Model: #1086, "B", Rev. Steel

Purchaser: Anita Pokua Wiredu
Purchaser: Augustine Wiredu
Date: January 20, 2025
Upgrade #: 36

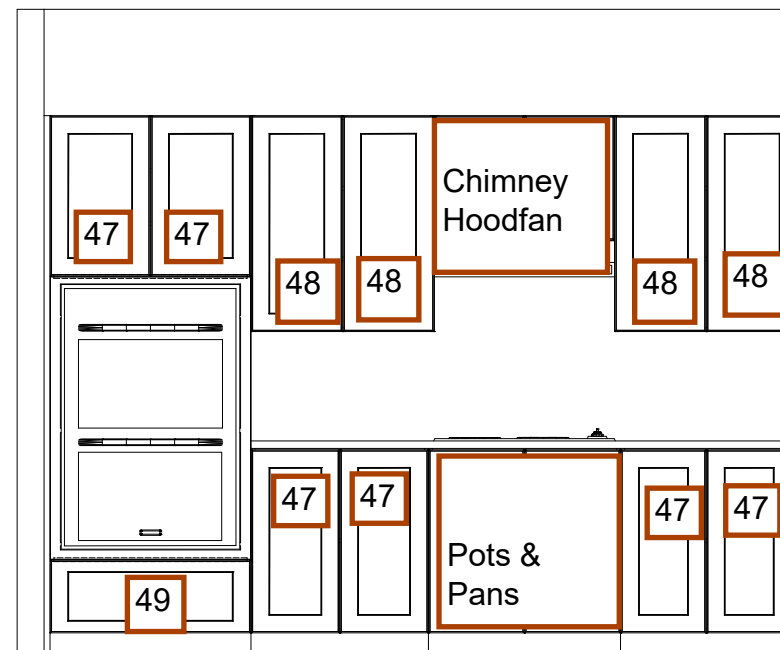
Purchaser: Anita Pokua Wiredu
Purchaser: Augustine Wiredu
Builder: Valecraft Homes (2019) Ltd.

Date:
January 20, 2025

The diagram shows a kitchen layout with the following numbered boxes:

- Two boxes labeled "47" in the upper left corner, each inside a square frame.
- Three boxes labeled "48" in the upper right corner, each inside a vertical rectangular frame.
- Three boxes labeled "47" in the lower right corner, each inside a vertical rectangular frame.

The floor plan shows a layout with several rooms. On the left, a vertical strip of four rooms is labeled 'recycle bin' and each contains the number 49. To the right of this strip are two larger rooms, each labeled with the number 48. Further right is a large open area with a small rectangular feature at the bottom. A red arrow points to the top-left corner of the plan.



Initial
AW

DS
Aw

DS
FN



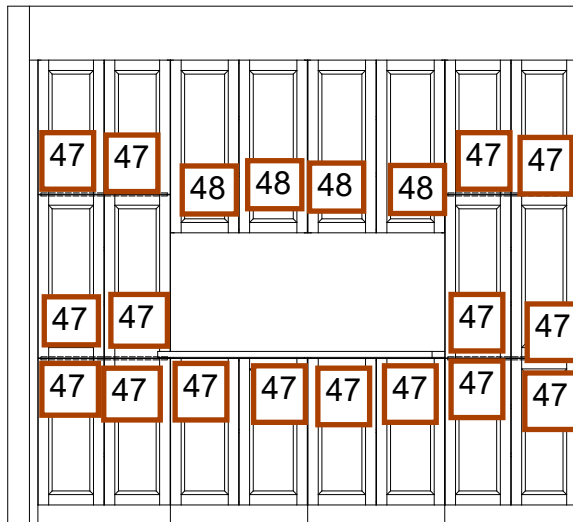
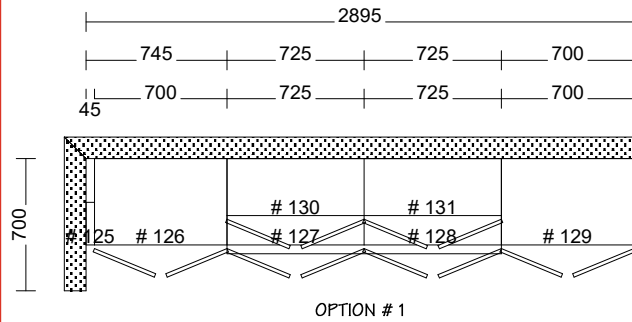
Site: Place St. Thomas 7
 Lot: 18 - PH7
 Plan: 50M-361
 Model: 1086 "B" Rev Steel

Purchaser: Anita Pokua Wiredu
 Purchaser: Augustine Wiredu
 Builder: Valecraft Homes (2019) Ltd.

Date:
 January 20, 2025

HARDWARE SKETCH - JANUARY 20, 2025

EXTENDED PANTRY OPTION



Initial
 #10

DS
 AW

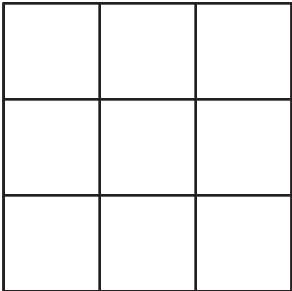
DS
 FN



Tile Installation Options

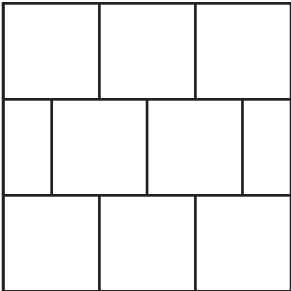
FLOOR TILE

Standard square

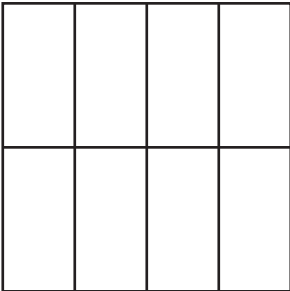


- Powder Room
- Mudroom
- Laundry
- Main Bathroom
- Bedroom 2 Ensuite #2

Square brick

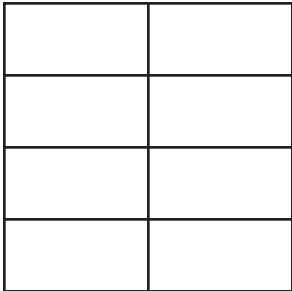


Rectangular
front to back of the house

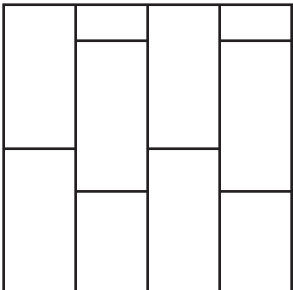


- Foyer,
- Ensuite Bathroom

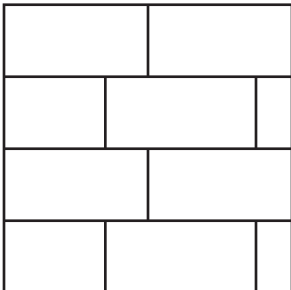
Rectangular
side to side of the house



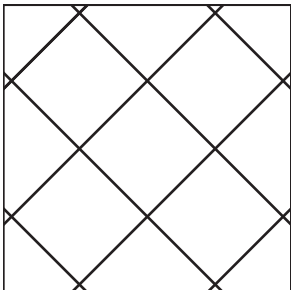
Rectangular 1/3 staggered
front to back of the house



Rectangular 1/3 staggered
side to side of the house



45 degree



Project: Place St. Thomas 7

Plan #: 50M-361

Lot: PST PH7 Lot 18

Model: #1086, "B", Rev. Steel

Purchaser: Anita Pokua Wiredu

Purchaser: Augustine Wiredu

Date: January 20, 2025

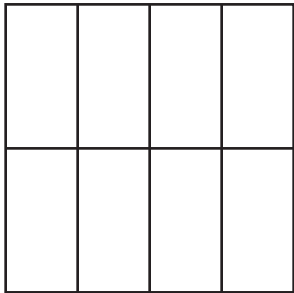
Upgrade #: 2, 10, 41, 42, 44,



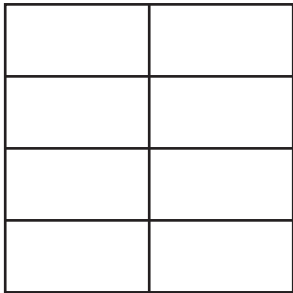
Tile Installation Options

WALL TILE

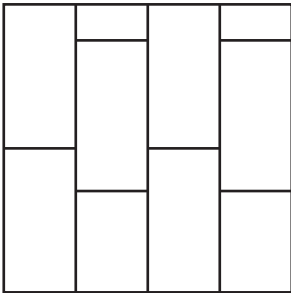
Vertical stacked



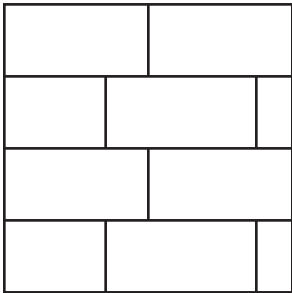
Horizontal stacked



Vertical 1/3 offset brick

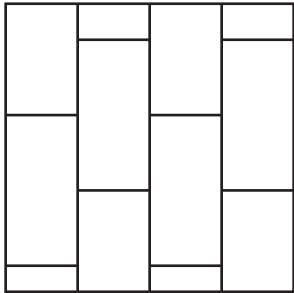


Horizontal 1/3 offset brick

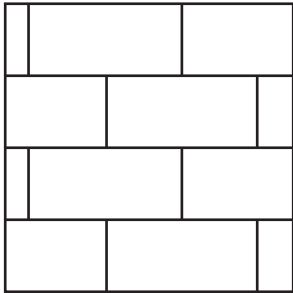


- Main Bathroom
Tub/Shower,
- Ensuite Bathroom
Walk-In Shower,
- Bedroom 2 Ensuite #2
Tub/Shower

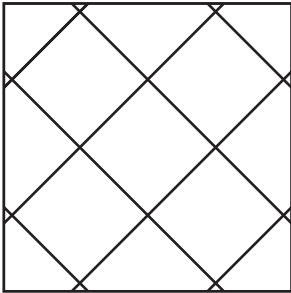
Vertical brick



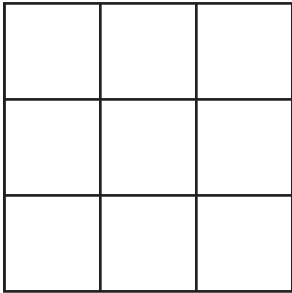
Horizontal brick



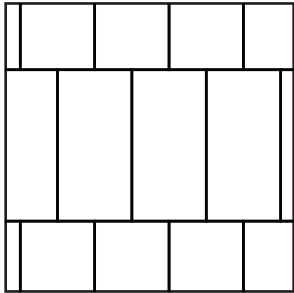
45 degree



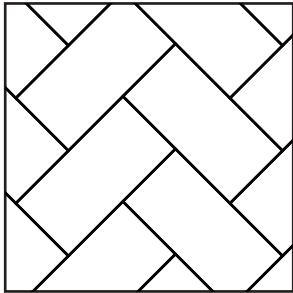
Standard square



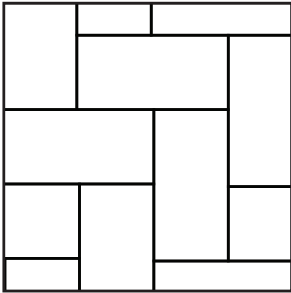
Vertical offset bond



Herringbone



Block herringbone



Project: Place St. Thomas 7

Plan #: 50M-361

Lot: PST PH7 Lot 18

Model: #1086, "B", Rev. Steel

Purchaser: Anita Pokua Wiredu

Purchaser: Augustine Wiredu

Date: January 20, 2025

Upgrade #: 2, 43, 44, 45, 46,



Valecraft
Homes (2019) Limited

Standard Edge Profiles for Granite & Quartz



Eased Edge

- Kitchen
- Main Bathroom
- 5pc Ensuite
- Bedroom 2 Ensuite #2

Project: Place St. Thomas 7

Plan #: 50M-361

Lot: PST PH7 Lot 18

Model: #1086, "B", Rev. Steel

Purchaser: Anita Pokua Wiredu

Purchaser: Augustine Wiredu

Date: January 20, 2025

Upgrade #: 27, 28, 29, 33, 35, 36, 37, 38, 40,



Tel: (613) 748-0432
Fax: (613) 748-0355

A Division of the S&S Bolton Group
www.ssbolton.com

Estimate No#: SS6766 Rev.02

Customer Copy

Customer:

Anita Pokua Wiredu & Augustine Wiredu

Home: 647-217-2424, 514-583-6519

Email: aawiredu19@gmail.com;

augustinewiredu82@hotmail.com

Builder: VALECRAFT HOMES (2019) LTD.

Project: PST Singles Ph7

Lot: PST PH7 Lot 18

Closing Date: 08/05/2025

Salesperson: Kyle Takman

Date: 01/20/2025

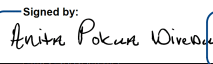
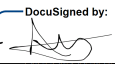
Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Great Room	1.00	15 Amp Standard Plug Add 15 AMP plug approx 72 inches from floor above fireplace beside conduit	A	\$175.00	\$175.00
Kitchen	1.00	Misc. Product Relocate standard fixture centered over island (extended 9 foot island) on existing switch	B	\$	\$0.00
Kitchen	1.00	Standard Light Outlet (Keyless) Add (1) Standard Light Outlet (Keyless) on added switch	C	\$160.00	\$160.00
Kitchen	1.00	Single Pole Switch Added Switch for keyless fixture	C	\$136.00	\$136.00
Various Locations	2.00	Misc. Product USB Charger Receptacle in kitchen and owner's suite (standard items)	E	\$	\$0.00
Living Room	1.00	Standard Light Outlet (Keyless) Add (1) Standard Light Outlet (Keyless) on existing switch (sever connection to switched outlets)	F	\$160.00	\$160.00

*** Total price includes all applicable taxes

Customer Subtotal:	\$631.00
HST:	\$82.03
Total:	\$713.03

Notes:

"Purchaser has acknowledged that they have discussed any kitchen layout modifications with their electrical representative. If modifications are made after signing off on electrical, this will incur additional charges."

Signed by: 
DocuSigned by: 
893EB1551723497... F8DBF05E9B074BB...

Customer Signature

January 20, 2025

Date

DS
FN

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@sandselectric.ca | Website: www.sandselectric.ca

5411 Canotek Road, Ottawa, Ontario K1J 9M3

Printed By: Kyle Takman - Page: 2



Tel: (613) 748-0432
Fax: (613) 748-0355

Estimate No#: OR8550 Rev.02







Customer Copy

Customer:

Anita Pokua Wiredu & Augustine Wiredu
Home: 647-217-2424, 514-583-6519
Email: aawiredu19@gmail.com;
augustinewiredu82@hotmail.com

Builder: VALECRAFT HOMES (2019) LTD.
Project: PST Singles Ph7
Lot: PST PH7 Lot 18
Closing Date: 08/05/2025




Salesperson: Kyle Takman (OR)
Date: 01/20/2025

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Various Locations	2.00	Vacuum Rough-In Outlet Vacuum Rough-In Outlets	VAC RI	\$	\$0.00
Great Room	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Office	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Owners Suite	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan		\$	\$0.00
Front Out	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Data CAT6 Outlet - Location as shown on floor plan - pre-wire for future security camera		\$	\$0.00
Great Room	1.00	Off-Set 2" Conduit w/ Wall Plates Off-Set 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV - approx 72 inches from floor above fire place	CONDUIT	\$190.00	\$190.00
Great Room	2.00	(1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) (1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) - Location as shown on floor plan - Includes ceiling bracket and wiring - Does not include A/V receiver		\$607.00	\$1,214.00
Living Room	1.00	(1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) (1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) - Location as shown on floor plan - Includes ceiling bracket and wiring - Does not include A/V receiver		\$607.00	\$607.00
Great Room	1.00	Master Jack - Speaker wiring unterminated Master Jack - Location as shown on floor plan - Speaker wiring unterminated	MJ	\$	\$0.00
Customer Subtotal:					\$2,011.00
HST:					\$261.43
Total:					\$2,272.43

*** Total price includes all applicable taxes

Phone: (613) 748-0432 | Fax: (613) 748-0355 | Email: info@orbitalti.com | Website: www.orbitalti.com

5411 Canotek Road, Ottawa, Ontario K1J 9M3

Initial DS FN
  



A Division of the S&S Bolton Group
www.ssbolton.com

Tel: (613) 748-0432
Fax: (613) 748-0355

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Customer Signature

January 20, 2025
Date



S&S / Orbital Sketch

Model Name: Steel "B" Rev. Model #: #1086 Plan #: 50M-361
Site: Place St. Thomas 7 Purchaser: Anita Pokua Wiredu
Lot: PST PH7 Lot 18
Date: January 20, 2025 Purchaser: Augustine Wiredu



ELEVATION B



S&S / Orbital Sketch

Model Name: Steel "B" Rev.

Model #: #1086

Plan #: 50M-361

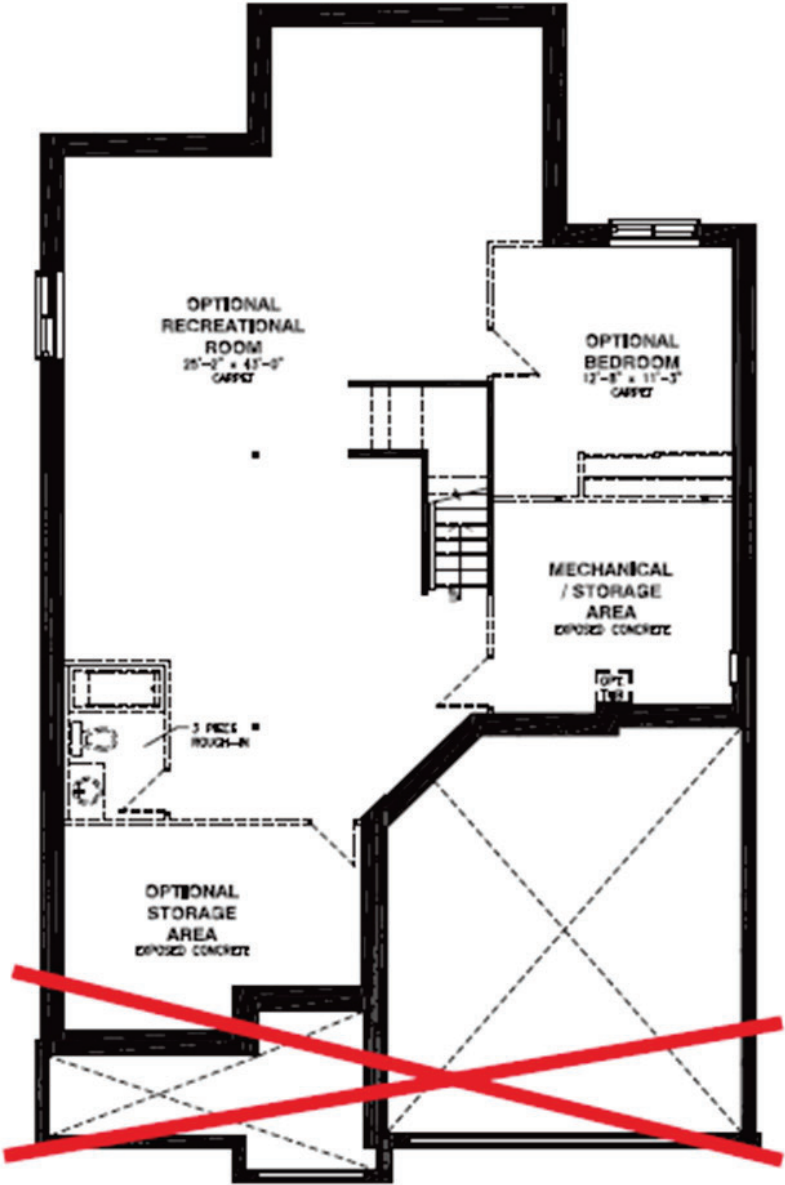
Site: Place St. Thomas 7

Purchaser: Anita Pokua Wiredu

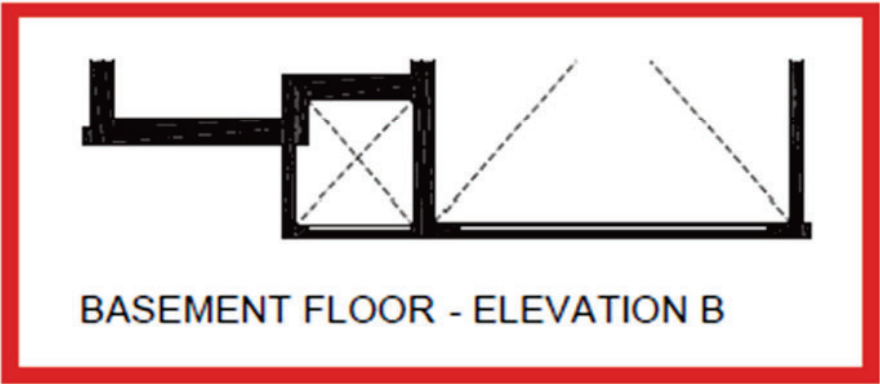
Lot: PST PH7 Lot 18

Date: January 20, 2025

Purchaser: Augustine Wiredu



~~BASEMENT FLOOR - ELEVATION A~~



BASEMENT FLOOR - ELEVATION B

Initial
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DS
AW

DS
FN



S&S / Orbital Sketch

Model Name: Steel "B" Rev.

Model #: #1086

Plan #: 50M-361

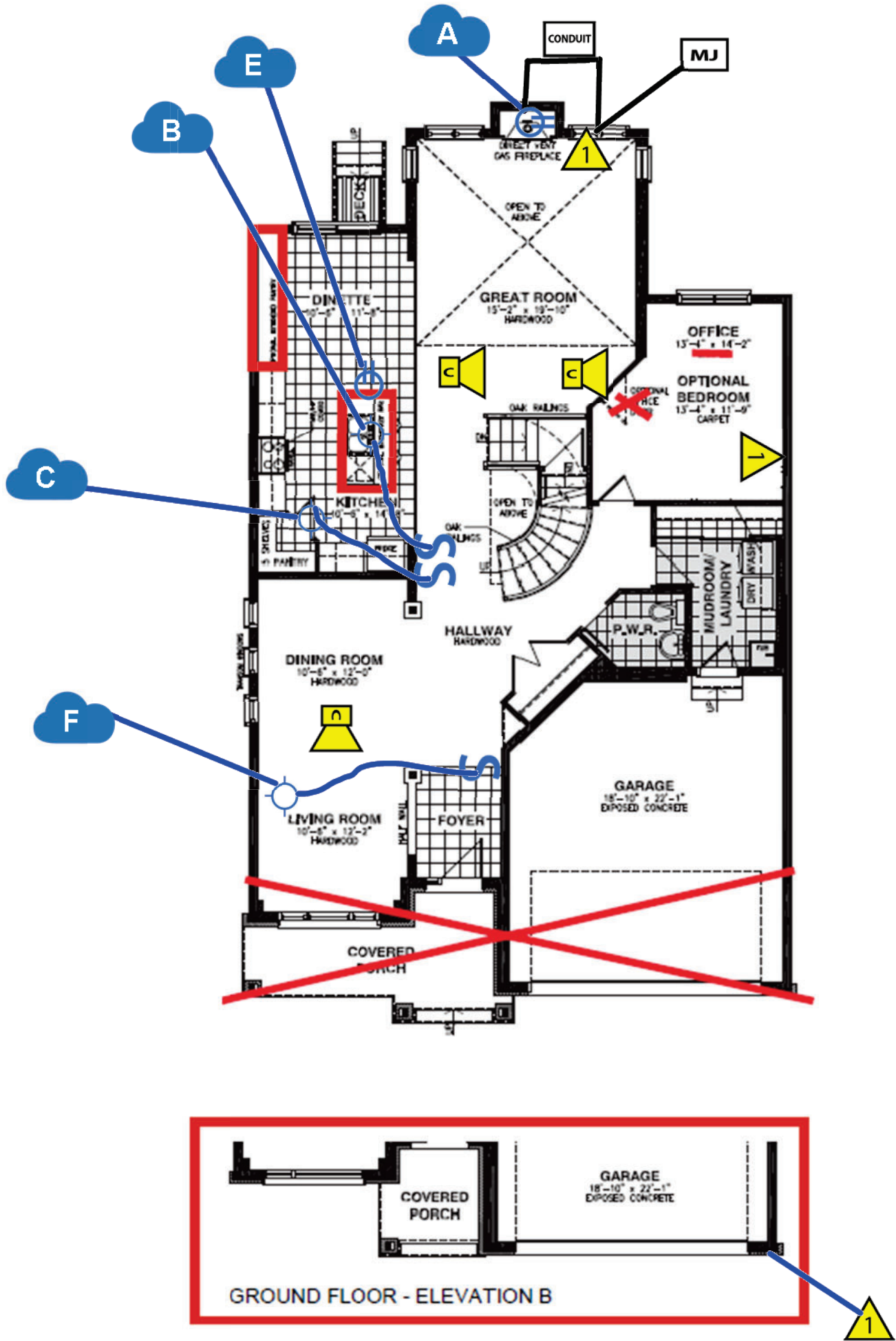
Site: Place St. Thomas 7

Purchaser: Anita Pokua Wiredu

Lot: PST PH7 Lot 18

Date: January 20, 2025

Purchaser: Augustine Wiredu



Initial DS
AW FN



S&S / Orbital Sketch

Model Name: Steel "B" Rev.

Model #: #1086

Plan #: 50M-361

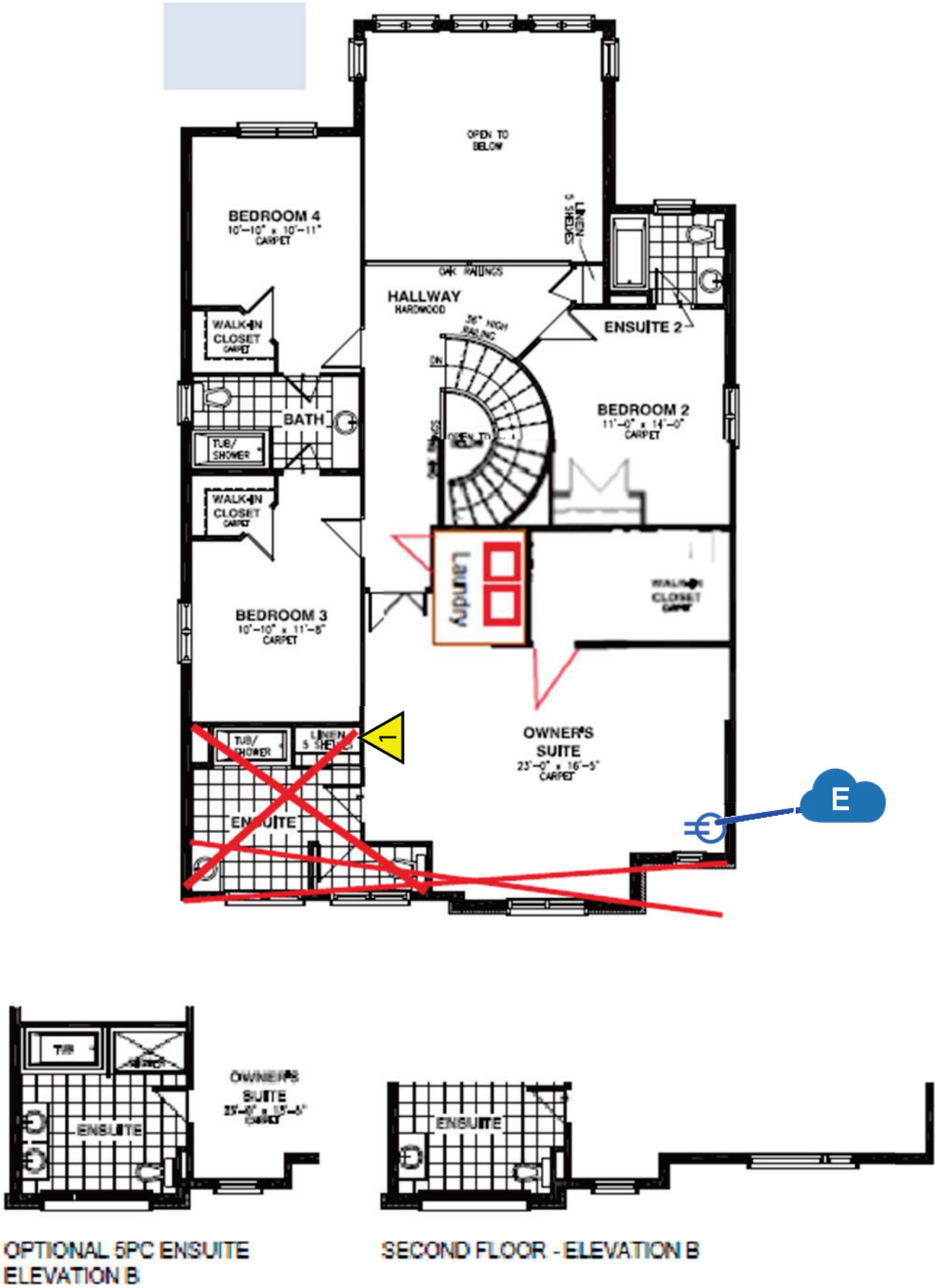
Site: Place St. Thomas 7


Purchaser: Anita Pokua Wiredu

Lot: PST PH7 Lot 18

Date: January 20, 2025

Purchaser: Augustine Wiredu




	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
INTERIOR FINISHES						
DESCRIPTION						STD/UPG #
TRIM STYLE	Trim Package 1 (casing #L3513-96168C, baseboard #2828-96192C)					59
DOOR STYLE	Standard throughout + Kitchen pantry door to be Madison smooth					STD, 31
INTERIOR HARDWARE	Standard					STD
INTERIOR LIGHTING PACKAGE	Standard SOHO Light Package + S&S Electric Quote					STD, 61,
BATHROOM ACCESSORIES & MIRRORS	Standard					STD
FIREPLACE MANTLE	Standard					STD, 54, 55, 56

INTERIOR HANDRAILS AND SPINDLES				
	WOOD	STYLE	STAIN/COLOUR	STD/UPG #
HANDRAIL	Red Oak	Colonial	Stain # 403	1, 7, 57,
BRACKET	Metal	N/A	Satin black	1, 57
SPINDLES	Metal	Square	Satin black	1, 57
POSTS	Red Oak	Standard 3in routed	Stain # 403	1, 7, 57
NOSINGS	Red Oak	N/A	Stain # 403	1, 7, 57
HARDWOOD STAIRCASE <i>(WHERE APPLICABLE)</i>	Red Oak	N/A	Stain # 403	1, 7, 57

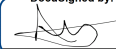
APPLIANCES				
TYPE	SIZE	STD/UPG #	APPLIANCE UPG LEVEL	STD/UPG #
FRIDGE <i>(Standard Minimum Opening is 35"(w) x maximum 73" (h))</i>	Non-standard fridge opening (approximately 37" wide by 73" high) (See Specification Sheet)	16	Water Line to Fridge (connection not included)	23
COOKTOP	Cutout Height 7 1/2" Maximum Cutout Width 29 5/16" Minimum Cutout Width 27 1/4" Maximum Cutout Depth 20" Minimum Cutout Depth 19" (See Specification Sheet)	13, 14	Gas Line for Cooktop	22
DISHWASHER	Standard Opening (See Specification Sheet)	STD	\	\
BUILT-IN MICROWAVE/STOVE	Minimum Cutout Height 41 1/4" Minimum Cutout Width 28 1/2" Maximum Cutout Height 42" Maximum Cutout Width 28 3/4" (See Specification Sheet)	13	\	\
WASHING MACHINE/DRYER	Standard Opening	10	\	\
CHIMNEY HOODFAN	Standard Opening	13, 14, 24	Whirlpool 400 CFM - 30IN stainless Steel #WVW57UC0FS	24

Signed by:



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Purchaser's Signature(s) :


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Approved By :

Date: January 20, 2025

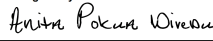
Date: January 20, 2025

Date: January 20, 2025

	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
CABINETRY						
ROOM	SELECTION				LEVEL	STD/UPG #
KITCHEN	STYLE AND COLOUR	MDF edelweiss Frost + MDF Edelweiss Black for island only			level 2, 2 colors	3, 4, 13, 14, 15, 16, 17, 18, 19, 20, 21, 29
	HARDWARE CODE	Choice #3 : POI-R7040-192-NM (L.3) on 11 uppers/2 lowers, POI-R7040-256-NM (L.4) on the 9 drawers, POI-R7040-160-NM (L.3) or POI-R7040-192-NM (L.3) installed horizontally (centered) on 4 uppers/11 lower/ 12 cabinet door located in the 2 pantries NOTE - potvin to select the best size between 160mm and 192mm for each horizontal installation.	TYPE	handles , installed vertically and horizontally	Level 3 & 4	47, 48, 49
	COUNTERTOP	Silestone Calacatta Gold Polished	COUNTERTOP EDGE PROFILE	Eased edge profile	level 5 quartz	27, 28, 29
MAIN BATHROOM (JACK & JILL)	STYLE AND COLOUR	PM-100i Summer drop V202S			STD	STD, 38, 39
	HARDWARE CODE	20596-195	TYPE	handles	STD	STD
	COUNTERTOP	Silestone Grey Expo Polished	COUNTERTOP EDGE PROFILE	Eased edge profile	Level 1 quartz	40
5PC ENSUITE BATHROOM	STYLE AND COLOUR	MDF Edelweiss Black			Level 2	32, 33, 34, 2
	HARDWARE CODE	20596-195	TYPE	handles	STD	STD, 2
	COUNTERTOP	Silestone Miami Vena Polished	COUNTERTOP EDGE PROFILE	Eased edge profile	Level 1 quartz	35, 2
POWDER ROOM	STYLE AND COLOUR	PEDESTAL			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\
ENUITE BATHROOM #2	STYLE AND COLOUR	PM-100i Summer drop V202S			STD	STD, 36
	HARDWARE CODE	20596-195	TYPE	handles	STD	STD
	COUNTERTOP	Silestone Grey Expo Polished	COUNTERTOP EDGE PROFILE	Eased edge profile	Level 1 quartz	37
LAUNDRY ROOM	STYLE AND COLOUR	\			\	\
	HARDWARE CODE	\	TYPE	\	\	\
	COUNTERTOP	\	COUNTERTOP EDGE PROFILE	\	\	\

Purchaser's Signature(s) :

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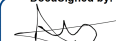
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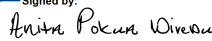
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
PAINT COLOUR(S)						
ROOM	MAIN COLOUR		STD/UPG #	ACCENT WALL		STD/UPG #
TRIM	Semi Gloss DLX1025-1 Commercial white		STD			
FOYER	Eggshell DLX1025-1 Commercial White		58			
POWDER ROOM	Eggshell DLX1025-1 Commercial White		58			
MAIN FLOOR HALLWAY	Eggshell DLX1025-1 Commercial White		58			
LIVING/DINING ROOM	Eggshell DLX1025-1 Commercial White		58			
FLEX ROOM	\					
GREAT ROOM	Eggshell DLX1025-1 Commercial White		58			
FAMILY ROOM	\					
HOME OFFICE	Eggshell DLX1025-1 Commercial White		58			
KITCHEN/DINETTE	Eggshell DLX1025-1 Commercial White		58			
LAUNDRY/MUDROOM	Eggshell DLX1025-1 Commercial White		58			
2nd FLOOR HALLWAY	Eggshell DLX1025-1 Commercial White		58			
MAIN BATH (JACK & JILL)	Eggshell DLX1025-1 Commercial White		58			
BEDROOM #2	Eggshell DLX1025-1 Commercial White		58			
BEDROOM #3	Eggshell DLX1025-1 Commercial White		58			
BEDROOM #4	Eggshell DLX1025-1 Commercial White		58			
OWNERS SUITE	Eggshell DLX1025-1 Commercial White		58			
OWNERS SUITE WALK-IN CLOSET	Eggshell DLX1025-1 Commercial White		58			
OWNERS SUITE ENSUITE 5PC	Eggshell DLX1025-1 Commercial White		58, 2			
FIREPLACE WALL & RETURNS	Eggshell DLX1025-1 Commercial White		58, 54			
ENSUITE BATHROOM #2	Eggshell DLX1025-1 Commercial White		58			


Purchaser's Signature(s) :

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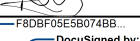
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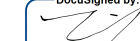
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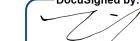
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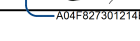
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Date: January 20, 2025

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Date: January 20, 2025

Subject to change by Valecraft Homes in the event of unavailability of materials.
Prices, terms and specifications are subject to change without notice E/O.E
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
CERAMIC & GROUT SELECTIONS (1)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE	GROUT SELECTION	LEVEL	STD/UPG #	
FOYER	FLOOR	Ceratec Gaia White Semi-Polished 11.6 x 23.4 (rectangular front to back of the house installation)	Profix 25 polar grey	Gold floor tile + STD grout	41, STD	
POWDER ROOM	FLOOR	Centura linen white 13x13 K939574 (standard square installation)	Profix 25 polar grey	STD floor tile + STD grout	STD, STD	
	WALL	\	\	\	\	
	INSERT OR BORDER	\				
MUDROOM	FLOOR	Centura linen white 13x13 K939574 (standard square installation)	Profix 25 polar grey	STD floor tile + STD grout	STD, STD	
	WALL	\	\	\	\	
	INSERT OR BORDER	\				
LAUNDRY ROOM (2ND LEVEL)	FLOOR	Centura linen white 13x13 K939574 (standard square installation)	Profix 25 polar grey	STD floor tile + STD grout	STD, STD, 10	
	WALL	\	\	\	\	
	INSERT OR BORDER	\				
KITCHEN	FLOOR	See hardwood selection	\	UPG	62	
	BACKSPLASH	Quartz Silestone Calacatta Gold Polished 2cm	\	UPG - Quartz	30	
	INSERT OR BORDER	\				
DINETTE	FLOOR	See hardwood selection	\	UPG	62	
FIREPLACE	HEARTH	\	\	\	\	
	SURROUND	Delete surround tile	\	\	56	
ADDITIONAL FIREPLACE	HEARTH	\	\	\	\	
	SURROUND	\	\	\	\	

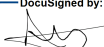
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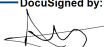
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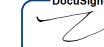
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
CERAMIC & GROUT SELECTIONS (2)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #
MAIN BATHROOM (JACK & JILL)	FLOOR	Centura linen white 13x13 K939574 (standard suquare installation)		Profix 25 polar grey	STD floor tile + STD grout	STD, STD
	WALL	Centura linen white 10x16 K832152 (vertical stacked installation)		Profix 59 Alpine	STD wall tile + UPG grout	STD, 46
	INSERT OR BORDER	\				
ENSUITE BATHROOM #2 (BEDROOM 2)	FLOOR	Centura linen white 13x13 K939574 (standard suquare installation)		Profix 25 polar grey	STD floor tile + STD grout	STD, STD
	WALL	Centura linen white 10x16 K832152 (vertical stacked installation)		Profix 59 Alpine	STD wall tile + UPG grout	STD, 45
	INSERT OR BORDER	\				
5PC ENSUITE BATHROOM	FLOOR	Ceratec Glamour Calacatta polished 11.6x23.6 (rectangular front to back of the house installation)		Profix 59 Alpine	UPG wall tile + UPG grout	42, 44, 2
	TUB DECK	N/A		\	\	53, 2
	TUB BACKSPLASH	N/A		\	\	53, 2
	INSERT OR BORDER	\				
	WALLS IN SHOWER	Ceratec Glamour Calacatta polished 11.6x23.6 (vertical stacked installation)		Profix 59 Alpine	UPG wall tile + UPG grout	43, 44, 51, 2
BASEMENT/OTHER BATHROOM	FLOOR	\		\	\	\
	WALL	\		\	\	\
	INSERT OR BORDER	\				

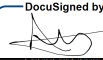
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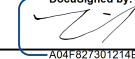
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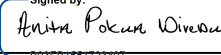
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	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
FLOORING SELECTIONS						
ROOM	CARPET/UNDERPAD OR HARDWOOD				LEVEL	STD/UPG #
MAIN FLOOR HALLWAY	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	7
LIVING/DINING ROOM	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	7
FLEX ROOM	\				\	\
FAMILY ROOM	\				\	\
GREAT ROOM	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	7
HOME OFFICE	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	8
REAR HALLWAY	\				\	\
KITCHEN	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	62
DINETTE	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	62
MAIN STAIRS TO BEDROOMS	Red Oak stain # 403				UPG	1
UPPER HALLWAY	Lauzon expert Essential tradition smooth Red Oak Gobi engineered hardwood 4 1/8"				UPG	7
BEDROOM # 2	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
BEDROOM # 3	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
BEDROOM # 4	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
OWNERS SUITE	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
OWNERS SUITE WALK-IN CLOSET	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
1/2 STAIRS TO BASEMENT	A4531 spartacus 87354 overcast + STD underpad				STD carpet + STD underpad	STD, STD
FINISHED BASEMENT RECREATION ROOM	\				\	\

Purchaser's Signature(s) :

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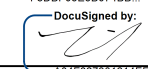
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Date:

January 20, 2025

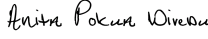
Date:

January 20, 2025

	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place ST. Thomas 7	Reg'd Plan #:	50M-361	Sales Rep:	A. Bowman
	Lot No:	PST PH7 Lot 18	Civic Address:	927 Cologne Street, Embrun ON K0A 1W0		
	Purchaser(s):	Anita Pokua Wiredu			Model Name:	Steel #1086 "B" Rev.
	Purchaser(s):	Augustine Wiredu			Closing Date:	August 5th, 2025
PLUMBING FIXTURES						
ROOM	FIXTURE	STYLE			FINISH	STD/UPG#
KITCHEN	SINK	Franke cube CUX110-30-CA single bowl			stainless steel	50
	FAUCET	Standard			Chrome	STD
MAIN BATHROOM (JACK & JILL)	SINK (x2)	Standard (2nd sink added)			white	STD, 38
	VANITY FAUCET	Standard			Chrome	STD
	WATER CLOSET	Standard			white	STD
	TUB/SHOWER	Standard			white	STD
	TUB/SHOWER FAUCET	Standard			Chrome	STD
ENSUITE BATHROOM	SINK(S)	Standard			white	STD, 2
	VANITY FAUCET(S)	Standard			Chrome	STD, 2
	WATER CLOSET	Standard			white	STD, 2
	SHOWER	Glass shower with full length return panel c/w pivot door - matte black trims			White base, clear glass, matte black trims	51, 52, 2
	SHOWER FAUCET	Standard			Chrome	STD, 2
	BATHTUB	Maax Sonoma 58inx32inx27in high freestanding center drain bathtub in white with white skirt			white	53, 2
	BATHTUB FAUCET	Standard			Chrome	STD, 2
POWDER ROOM	PEDESTAL	Standard			white	STD
	SINK FAUCET	Standard			Chrome	STD
	WATER CLOSET	Standard			white	STD
ENSUITE BATHROOM #2 (BEDROOM 2)	SINK	Standard			white	STD
	VANITY FAUCET	Standard			Chrome	STD
	WATER CLOSET	Standard			white	STD
	TUB/SHOWER	Standard			white	STD
	TUB/SHOWER FAUCET	Standard			Chrome	STD
NOTE: All fixtures are white as standard						

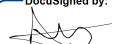
Purchaser's Signature(s) :

Signed by:




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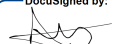
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Date:

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Purchaser's Signature(s) :

Signed by:



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Date:

January 20, 2025

Approved By :

Signed by:



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Date:

January 20, 2025



Valecraft Homes Décor Disclaimers

Lot#: 18 Model:1086 THE STEEL ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited
PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

TEL:

Through years of doing business, we at Valecraft Homes have encountered issues beyond our control. The following disclaimers apply to all instances of Schedule B1A and 680 forms and all Colour Chart forms.

HOUSE EXTERIORS

The Vendor has the right to exercise full architectural control over exterior finishes and as such, the Vendor shall have final approval of all colour selections. This includes but is not limited to additional brick to external side yard walls to enhance the streetscape and/or to comply to municipal agreements.

Variations in subcontractors across different sites and varying site conditions may result in house exteriors that differ from the artist renderings. The Builder cannot be responsible for results which differ from the artists renderings of elevations.

ADDITIONAL WINDOWS

Additional windows to side elevations are subject to limiting distance as per Current Ontario Building Code and Municipal Zoning.

MULTI-MEDIA

The Purchaser understands that all Multi Media locations are approximate and vary from chosen locations.

IN-WALL CONDUIT FOR AUDIO/VIDEO CABLES

The Purchaser acknowledges and accepts that due to the variation in framing requirements in different parts of the Purchaser's home, conduit lengths and routing can vary. In virtually all instances of ground floor installation (i.e. above a fireplace), conduit will first travel down into the basement below the floor joists, over to the termination point and back up into the main floor. As a result, it is best to measure the length of the conduit after occupancy with a "pull wire" before purchasing The Purchaser's cables. For above fireplace installations, the conduit wall plate will be installed approximately 10" above the Fireplace Mantle, unless otherwise specified in the Client Upgrades.

PLANS

Plans are subject to change without notice. Actual usable floor space may vary from the stated floor area. Layout for the services, kitchen, furnace, HWT and laundry tub may vary from plan. Vertical and horizontal bulkhead, which are not shown on plan, may be required for plumbing and heating runs. E.& O.E.

For townhomes, Purchasers Agree to sign an exterior block plan layout when available. Purchaser(s) acknowledge that rooflines may be altered at this time from the brochure due to block assembly.

INVENTORY AND MODEL HOMES:

Purchaser(s) Acknowledge And Accept That All Interior Colours And Wiring Have Been Selected And Installed By The Vendor And Will Remain As Installed. (Ie: Cabinetry, Flooring And Paint Colours But Not Limited To.)

SELECTIONS AND APPOINTMENTS:

All colour and material selections are to be made from Vendor's standard samples unless otherwise paid for as an upgrade.

In the event the work on the house has progressed beyond the point where the items covered by these invoices cannot be installed without entailing any unusual expense, then this order is to be cancelled and any deposit paid in connection with the same is to be refunded to the Purchaser.

The vendor will undertake to incorporate the work covered by the sales extra in the construction of the house but will not be liable to the Purchaser in any way, if for any reason the work covered by the extra is not carried out. In that event, any monies paid in connection with the same shall be returned to the Purchaser.

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Valecraft Homes Décor Disclaimers

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PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

TEL:

It is understood and agreed that if for any reason whatsoever the transaction of Purchase and Sale is not completed, the total cost of extras ordered are not refundable to the Purchaser(s). Extras or changes will not be processed unless signed by the Vendor. These extras may not be amended without the written consent of Valecraft Homes.

The Purchaser(s) acknowledge and accept that failure to finalize the structural or colour selections by their cut-off date may result in a delay in construction and the builder has the right to extend the closing date. Due to failure to complete the above-mentioned selections and at no fault of us, the builder reserves the right to hold The Purchaser responsible for a delayed closing, including charging extra administration cost and interest on the balance due on closing.

ADMINISTRATION FEES

Purchaser(s) Acknowledge That An Administration Fee Will Be Charged For All Change Orders Received Later Than 14 Days After Firm Up. No estimates or orders will be accepted once construction has commenced.

Should a refund be requested on any extras purchased, an 80% reimbursement of the purchase price will be given. (a \$50.00 minimum charge and a maximum \$250.00 charge will apply)

Prices and specifications which do not form part of this Agreement are subject to change without notice at the sole discretion of the vendor. Should a change in price occur, Valecraft Homes reserves the right to request from the Purchaser an adjustment of the price or a refund limited to that item.

The Purchaser acknowledges and accepts that ANY changes made to upgrades after signing the 680's are subject to a minimum administration fee of \$300. PLUS a 10% holdback fee.

Purchasers are aware that any request to add a percentage of upgrades from the 680's will be processed only after the builder receives approval letter from the bank.

GENERAL:

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The number of steps required at entrances into the home and the garage entrance may vary from the model home/plans depending on individual lot grading requirements. Due to these steps, exterior railings may be required. Purchaser(s) acknowledge the requirement to install an approximate 3' x 3' landing with stairs at the garage entrance to the house as a result of the 2006 Building Code Requirement OBC 9.8.6.2. if 3 or more risers are required as a result of grading.

Basement window wells may or may not be required depending upon individual lot grading requirements.

Zoning bylaws specify maximum driveway widths which are based upon frontages. A tapering of The Purchaser's driveway may be required depending upon the frontage and specifically if the frontage is less than average as in the case of a pie-shaped lot.

The grading and drainage of The Purchaser's lot has been designed and engineered to ensure that surface water is directed away from The Purchaser's home and into swales. These swales run at the side and rear of The Purchaser's property lines. Swales generally have more aggressive slopes relative to the general lot and will always occupy a portion of the useable space of The Purchaser's lot to serve their function properly.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

**STAIRCASE VS FLOORING
WOOD SPECIES DIFFERENCE**

The Purchaser acknowledges and accepts that the wood species of the staircase and flooring chosen do not match. This difference might result in an undesirable colour variance. The Purchaser acknowledges and accepts that though the flooring is of the same species as the staircase the difference in product finishing may result in a stain colour variance. The Purchaser agrees that the vendor is to be exempt from any and all claims by the Purchaser regarding this colour variance.

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Valecraft Homes Décor Disclaimers

Lot#: 18 Model:1086 THE STEEL ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited
PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

TEL:

RAILINGS

All railings, spindles, posts, nosing’s and stairs come from solid wood and veneered wood materials sourced from multiple locations and suppliers. As such there will be variations in grains and shades between the various natural components beyond our control. Due to this variance in material, all components will stain with colour or natural finish differently. Iron spindles are wrought in nature and depending on the manufacturing process will have differences from spindle to spindle which is normal. Also the finish of the iron spindles is of a powder coated nature. This process can produce minor colour variations or tones. Furthermore, the assembly of the metal spindles can develop a natural rattle over time from vibration in the railing. Minor rattling is normal and is a part of the wrought iron spindle assembly.

FIREPLACE MANTLE

Due To Extremely High Heat Temperatures Exiting The Top Vent Of The Fireplace And The Potential For Damages To Heat Sensitive Electronics And/OR Wall Décor Installed Above The Fireplace, The Purchaser(s) Acknowledge(s) That The Builder Recommends Installing A Fireplace Fan Kit As well As Maintaining The Mantle Installed Above The Fireplace.

STAIN COLOURS

Due to the many variables that can affect the outcome of a stain colour on wood, staircases, railings, and fireplace mantles, the colour may not be identical to samples. Factors such as density, age, humidity, air temperature, and the uniqueness of each piece of wood can result in wide variations in darkness or lightness. The builder will make every attempt to come as close to the sample as possible, but cannot be responsible for results which differ from the samples.
Stain on pre-finished hardwood floors will not be an exact match to the stain colours available on stairs, spindles and rails. The Purchaser is to choose from the builder’s stain samples for these areas to their satisfaction.

APPLIANCE SPECIFICATIONS

All appliance openings are set to the builder's standard openings. Please advise the Sales Representative at time of the structural appointment if custom sizing of cabinets is required for any built - in appliances. The Purchaser is responsible for costs and fees associated with changes to pre-manufactured kitchens made subsequent to colour appointments.

The Purchaser acknowledges and accepts that in order to accommodate upgraded appliances, all appliance specifications should be provided at the time of their structural appointment. Should this not occur they must be provided to the Décor Center within one (1) week of completion of structural chart. Failure to do so, may result in the need to revert to the standard appliance openings or in a delay in construction of The Purchaser’s dwelling, as a cost of \$150 to re-open The Purchaser’s structural file should changes be required. As a result, the builder may be forced to extend the closing of The Purchaser’s transaction. Due to failure to complete the above-mentioned selections and at no fault of our own, the builder reserves the right to hold The Purchaser responsible for this delayed closing, including charging extra administration cost and interest on the balance due on closing.

Purchaser(s) acknowledge that High Efficiency Washing machines have the potential to create vibrations due to the tub spinning at very high speeds.

Purchasers Accept Standard Appliance Openings (unless otherwise specified):
Fridge - 35"W x 73"H Approx.
Range - 30-1/2"D x 31-1/2"W Approx.
Dishwasher - 24" W Approx.

GRANITE, MARBLE ENGINEERED SURFACES WAIVER

Due to the natural composition of such materials as Granite and Marble, inherent variations in texture, colour and consistency are to be expected and considered normal. As such, the client is given an opportunity to view the slab prior to installation (W4) and the Purchaser agrees not to hold the Vendor liable for such variations. All countertop surfaces which may have seams, the product pattern & shades can change in these areas.

CERAMIC BACKSPLASHES:

The Purchaser(s) Acknowledge & Accept That The Vendor Does Not Recommend The Deletion Of The Ceramic Kitchen Backsplash & That The Vendor Will Not Be Liable For Any Damage To The Drywall, Paint, Cabinets Or Countertops Resulting From The Deletion Of The Backsplash.

FILE COMPLETION:

Purchaser has attended a Colour appointment at the Decor Centre & has DECLINED any additional upgrades and accepts and acknowledges that there will be no further structural changes/additions/deletions to be made upon signing.

RESELECTIONS

It is not uncommon for flooring, such as tile, to become discontinued prior to its installation. Therefore, it may be necessary to make a reselection of certain materials sometime during the building process. The builder cannot assure The Purchaser that another choice approximating The Purchaser’s selection will be available.

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Valecraft Homes Décor Disclaimers

Lot#: 18 Model:1086 THE STEEL ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited

PURCHASERS: Anita Pokua Wiredu and Augustine Wiredu

TEL:

GENERAL:

The vendor may substitute materials of equal or greater value without consent.

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The Purchaser understands that due to normal manufacturing production, materials which are installed in the home may vary slightly in colour from the vendor's samples and/or model homes.

The wood used in the finishing products of The Purchaser’s home such as wood flooring, cabinetry and railings exhibit natural variations in colour tone, graining pattern and consistency. As no two pieces of wood are identical, these natural variations will create colour variations upon staining thereby making it virtually impossible to achieve true colour consistency.

Any hardwood flooring installed in the Real Property is made of kiln-dried natural material which is subject to natural shrinkage (typically in winter when humidity levels tend to be low) and expansion (typically in summer when humidity levels tend to be high) for which the Purchaser(s) agrees is not the responsibility of the Vendor and agrees that the Vendor shall not be liable in respect of such issues. The Purchaser(s) also acknowledges being advised by the Vendor that ceramic tile rather than hardwood flooring is recommended at entry points to the home due to the possibility of water exposure. The Purchaser(s) is advised that the Ontario Building Code recommends against the installation of wood flooring in kitchens, bathrooms, entrance halls, laundry, and general storage areas (the "Designated Areas"). Wood flooring is water permeable and over time such flooring and sub-flooring beneath it could deteriorate if moisture persists. Should the Purchaser(s) selections for materials for the dwelling include wood flooring in the designated areas, the Purchaser(s) assumes the risks described herein voluntarily.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

I hereby acknowledge reading and understanding the above copy and will not hold Valecraft Homes responsible for any issues in relation to above.

Purchaser's Signatures

Signed by:
Anita Pokua Wiredu
B93EB1551723497...
DocuSigned by:
F8DBF05E5B074BB...

Date Jan 20, 2025

Date Jan 20, 2025



Frigidaire Gallery



Microwave Combination Wall Oven

30" Wall Oven and Microwave Combination

GCWM3067AF, GCWM3067AD

Available Colors : Stainless Steel, Black Stainless Steel

Version : 12/21

Cooking Controls

Air Fry	Yes
Air Sous Vide	Yes
Bake	Yes
Bake Time	Yes
Bread Proof	Yes
Broil	Yes
Cancel	Yes
Child Lock	Yes
Clear Off	Yes
Clock	Yes
Convection Bake	Yes
Convection Roast	Yes
Cook Time	Yes
Dehydrate	Yes
Delay Clean	Yes
Delay Start	Yes
Fast Preheat	Yes
Keep Warm	Yes
Kitchen Timer	Yes
Light	Yes
My Favorite	Yes
Off	Yes
Oven Light	Yes
Perfect Turkey	Yes
Preheat	Yes
Probe	Yes
Self Clean	Yes
Set Clock	Yes
Slow Cook	Yes
Start	Yes
Start Time	Yes
Steam Bake	Yes
Steam Clean	Yes
Steam Roast	Yes
Stop	Yes

Temperature Display	Yes
Timed Bake	Yes
Timer On / Off	Yes
User Preferences	Yes

Cooking Controls Function

Change between Continuous Bake Setting or 12-Hour Energy Saving Feature	Yes
Delayed Bake	Yes
Program Fahrenheit or Celsius	Yes
Silent Control Panel	Yes
Timed Cooking	Yes

Oven

Bake Element	2,600 Watts
Bake Element Pass	4
Bake Element Type	Hidden
Broil Element	4,000 Watts
Broil Element Pass	6
Broil System	Yes
Cleaning System	Yes
Convection	Yes
Convection Element	3,800 Watts
Convection Type	Total
Number of Convection Fans	1
Number of Rack Positions	6
Oven Interior Color	Midnight Black
Oven Light Quantity	2
Oven Light Type	Halogen
Oven Light Watts	40 Watts
Rack Position Type	Embossed
Rack Type 1	Handle
Rack Type 1 Quantity	2
Rack Type 2	Glide
Rack Type 2 Quantity	1

Microwave Cooking

Initial DS
AW AW

Note: For planning purposes only. Always consult local and national electric, gas and plumbing codes. Refer to Product Installation Guide for detailed installation instructions on the web at frigidaire.com / frigidaire.ca. Specifications subject to change. Accessories information available on the web at frigidaire.com / frigidaire.ca.

USA • 10200 David Taylor Drive • Charlotte, NC 28262 • 1-800-FRIGIDAIRE • frigidaire.com
CANADA • 5855 Terry Fox Way • Mississauga, ON L5V 3E4 • 1-800-265-8352 • frigidaire.ca

Project: Place St. Thomas 7
Plan No: 50M-361
Lot No: 18 - Phase 7
Model: #1086 "B" Rev. Steel
Date: January 20, 2025
Purchaser: Anita Pokua Wiredu
Purchaser: Augustine Wiredu

Frigidaire Gallery

30" Wall Oven and Microwave Combination

GCWM3067AF, GCWM3067AD

Version : 12/21

Bacon	Yes
Beverage	Yes
Defrost	Yes
Melt / Soften	Yes
Popcorn	Yes
Reheat	Yes
Rice	Yes
Top Grill Mode	Yes
Veggies	Yes

Convection Cooking

Convection Cooking - Bake	Yes
Convection Element	1650 Watts

Controls

Control Lock	Yes
Sabbath Mode	Yes

Microwave Control Features

+ 30 Seconds	Yes - One Touch
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Display

Control Location	Front
Display Interface Color	White
Display Light Color	White
Display Type	Capacitive Touch

Internal Specifications

Rack	Yes
Turntable Diameter	14"
Turntable Material	Glass

Dimensions and Volume

Height	41 9/16"
Width	30"
Depth	25 3/16"
Depth With Door 90° Open	48 3/16"
Depth With Handle	27 6/10"
Cutout Depth	23 5/8"
Oven Interior Height	18 1/8"
Oven Interior Width	25 3/16"
Oven Interior Depth	19 7/8"
Microwave Interior Height	9 5/16"
Microwave Interior Width	18 7/8"

Microwave Interior Depth	16 1/8"
Minimum Cutout Height	41 1/4"
Minimum Cutout Width	28 1/2"
Maximum Cutout Height	42"
Maximum Cutout Width	28 3/4"
Microwave Capacity	1.7 Cu. Ft.
Oven Capacity	5.3 Cu. Ft.

Electrical Specifications

Connected Load @ 240V	7.6 kW
Voltage Rating	240 V

Installation

Power Supply Connection Location	Top Left
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General Specifications

Prop 65 Label	Yes
Warranty - Labor	1 Year
Warranty - Parts	1 Year
Frigidaire Fit Promise	Yes

Certifications and Approvals

Star-K Certification	Yes
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Safety Certifications and Approvals

CSA Listed	Yes
UL Listed	Yes
RoHS	Yes

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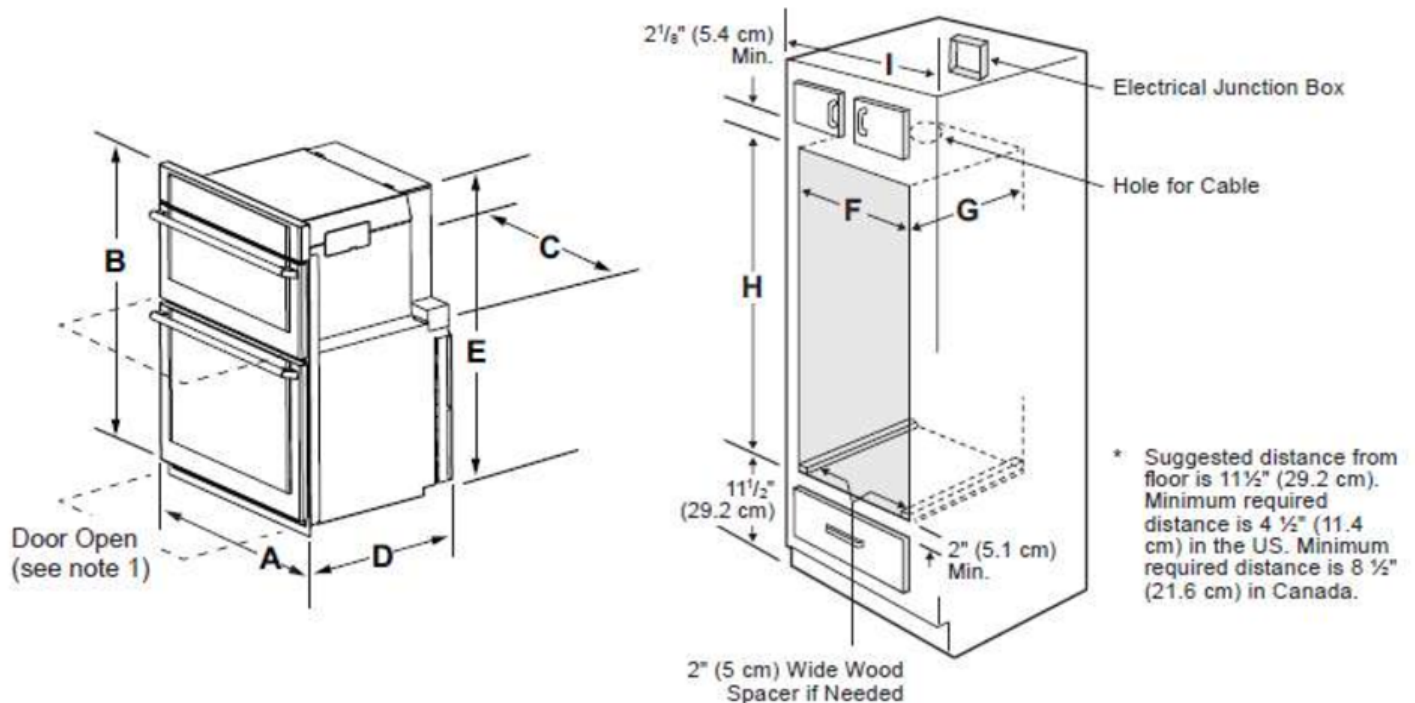
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30" Wall Oven and Microwave Combination

GCWM3067AF, GCWM3067AD

Version : 12/21



NOTES:

1. Allow at least 22" (55.9cm) clearance in front of oven for door depth when it is open.
2. Dimension G (cutout depth) is critical to the proper installation of the built-in oven. If the oven decorative trim does not butt against the cabinet verify dimension G to assure it is the required depth.
3. For a cutout height greater than the maximum (H), add one 2"(5 cm) wide wood shim of appropriate height to each side of the opening under the appliance side rails. A trim kit may be purchased through a dealer, service, or on the brand website.

Figure 1: Product and Cutout Dimensions

PRODUCT DIMENSIONS					
A	B	C	D		E
29 ⁷ / ₈ " (76.2 cm)	41 ¹ / ₁₆ " (105.6 cm)	28 ⁷ / ₁₆ " (72.2 cm)	25 ³ / ₁₆ " (63.9 cm)		40 ⁹ / ₁₆ " (102.9 cm)
CUTOUT DIMENSIONS AND CABINET WIDTH					
F		G. Min.	H		I
Min.	Max.		Min.	Max.	
28 ¹ / ₂ " (72.4 cm)	29" (73.7 cm)	23 ¹ / ₂ " (59.7 cm)	40 ⁹ / ₈ " (103.1 cm)	41 ¹ / ₂ " (105.4 cm)	30 ¹ / ₈ " (76.5 cm) Min

Initial DS
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Note: For planning purposes only. Always consult local and national electric, gas and plumbing codes. Refer to Product Installation Guide for detailed installation instructions on the web at frigidaire.com. Specifications subject to change. Accessories information available on the web at frigidaire.com / f

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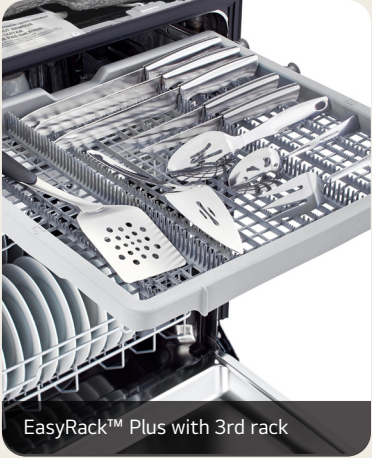
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Purchaser: Augustine Wiredu



LG Dishwashers

LDPN454_ S W

Top control dishwasher with QuadWash™



Capacity

Total place settings	15
Upper rack dish height limit	7.1"
Lower rack dish height limit	12.5"

Racks and Baskets

Cutlery baskets	Yes
Fold down tines	Upper Half Lower Half (normal)
BPA-free nylon coated racks and tines	Yes
EasyRack™ Plus system	Yes
Height adjustable	Easy one touch (3 levels)
Rack handle	Yes
3rd rack	Yes
Rack glide system	Standard

Style and Design

Control panel location	Top control
Control panel material	ABS
Touch control	Yes
Tub material	NeveRust™ stainless steel
Handle	Pocket handle
All available colours	Smudge resistant stainless steel / white

Features

NFC function	Yes
Wash system	QuadWash™
STS deco	Yes
Spray arm	Yes
Number of spray arms	3 (Top, upper, lower)
SenseClean™ wash system	Yes
Detergent and rinse-aid dispenser	Yes
Drying system	Dynamic dry
Number of wash cycles	9 (Auto, heavy, delicate, normal, turbo, download cycle - machine clean, rinse, express)
Number of options	8 (Dual zone, half load, energy saver, high temp, extra dry, delay start - up to 12 hours, control lock, night dry)
End of cycle indicator	Yes (beeper + end indication on display)
Hidden water heater	Yes
Leak protection base	Yes
Safety float switch (leaks)	Yes
Soil (Turbidity) sensor	Yes
DirectDrive Motor™	Yes
LoDecibel™ quiet operation	48 dBA
Tub insulation	Damping sheet, sound absorbing material (felt), base
Anti-bacterial treatment (Drain hose)	Yes
Balanced door	Yes

Power Ratings

Energy Star® qualified	Yes
CEE tier	1
Energy use (kWh/year)	238 kWh/Year
Water use (gallons/cycle)	2.9

Dimensions / Clearances / Weight

Unit dimensions (W x D x H)	23 3/4" x 24 5/8" x 33 5/8"
Depth with door closed (Handle)	24 5/8"
Depth with door open	49 1/4"
Carton dimensions (W x D x H)	28 1/32" x 29 5/8" x 34 7/8"
Clearances (W x D x H)	24" x 24" x 33 5/8"
Weight (unit / carton)	75.8 lbs. / 88.8 lbs.

Limited Warranty

Labour / parts (internal / functional parts only)	1 year
Main control board, rack, stainless steel door liner, tub	2 years (parts only)
Direct Drive motor	10 years (part only)

UPC Codes

LDPN454HT smudge resistant stainless steel	195174085097
LDPN4542W white	195174089019

Initial DS

Project: Place St. Thomas 7
Plan No: 50M-361
Lot No: 18 - Phase 7
Model: #1086 "B" Rev. Steel
Date: January 20, 2025
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Purchaser: Augustine Wiredu

LG REFRIGERATION

LRFXC2606_

26 cu. ft. Counter Depth MAX Refrigerator

- Industry's Largest 26 cu. ft. Counter Depth Capacity
- Dual Ice maker – Cubed and Crush
- Cool Guard
- Door Cooling+
- Flat Door Design with Handle
- Smart Inverter

AVAILABLE COLORS



PRINTPROOF™ STAINLESS STEEL



PRINTPROOF™ BLACK STAINLESS STEEL



Proactive Smart Alerts to Keep Your Appliances Running Smoothly

ThinQ Care

- Preventative Alerts help you stay a step ahead of potential issues to find proactive solutions before problems arise.
- Avoid preventable repairs and service calls with real-time diagnostics for a hassle-free experience.
- Integrated within LG's ThinQ app—a smart home hub for managing your smart devices and appliances.

CAPACITY		REFRIGERATOR		DIMENSIONS/CLEARANCES/WEIGHTS	
Refrigerator (cu. ft.)	16.9 cu. ft.	No. of Shelves	4 split (4 Fixed)	Product (W x H x D)	35 3/4" x 70 1/4" x 31 5/8"
Freezer (cu. ft.)	8.6 cu. ft.	Shelf Construction	Spill Protector/Tempered Glass	Width	35 3/4"
Total Capacity (cu. ft.)	25.5 cu. ft.	Shelf Trim	White Décor	Height (to Top of Hinge)	70 1/4"
ENERGY		No. of Crisper Bins	2	Depth (with Handles)	31 5/8"
ENERGY STAR® Qualified	Yes	Pantry (Glide N Serve)	Yes (Normal)	Width (Door Open 90° without Handle)	40"
Energy Consumption (kWh/Year)	699	Cool Guard	Yes	Width (Door Open 90° with Handle)	44 7/8"
WATER & ICE SYSTEM		Fresh Air Filter	Yes	Width (Door Fully Open without Handle)	56 3/4"
Ice & Water Dispenser	Yes	Light	Yes	Height (to Top of Case)	68 7/8"
In-door Ice maker	Yes (1)	REFRIGERATOR DOOR		Depth without Door	24 3/4"
In-door Ice maker Ice Type	Cubed / Crushed	No. of Bins	4 (Left Door), 4 (Right Door)	Depth without Handles	29 1/8"
In-door Ice maker Daily Production	3.0 / 3.3 (IcePlus) lbs.	Door Shape	Flat	Depth (to Hinge Cover)	18 1/4"
In-door Ice maker Storage Capacity	3.0 lbs.	Handle Type	Bar	Depth (Total with Door Open)	43 5/8"
FREEZER		Drawers / Shelves	2-Tier Organization	Depth (Draw Open Fully without Handle)	48 7/8"
No. Freezer Ice maker	Yes (1)	Freezer Light	Upper LED Lighting	Installation Clearance	Sides 1/8", Top 1", Back 2"
Freezer Ice maker Ice Type	Cubed		Lower No	Carton Dimensions (WxHxD)	38" x 72" x 31"
Freezer Ice maker Daily Production	2.5 / 2.7 (IcePlus) lbs.	SMART TECHNOLOGY		Weight (Unit/Carton)	291 lbs. / 313 lbs.
Freezer Ice maker Storage Capacity	4.0 lbs.	Smart Diagnosis	Yes	LIMITED WARRANTY	
Ice Plus	Yes	Wi-Fi	Yes	Parts & Labor	1 Year
Filteration System	1 stage	ThinQ®	Yes	Sealed System (Parts & Labor)	5 Years
Filter	LT1000P	ThinQ® Care	Yes	Compressor (Parts & Labor)	5 Years
COOLING		MATERIALS AND FINISHES		Linear Compressor (Parts & Labor)	6 - 10 Years
Compressor Type	Smart Inverter	Hidden Hinges	Yes	UPC CODES	
Evaporator	Yes (1)	Surface	Smooth	LRFXC2606S (PrintProof™ Stainless Steel)	195174057339
Multi Air Flow Cooling	Yes	Handles	Matching Commercial Handles	LRFXC2606D (PrintProof™ Black Stainless Steel)	TBD
Temperature Sensors	2		PrintProof™ Stainless Steel, PrintProof™ Black Stainless Steel		
Refrigerant	Low GWP, Zero ODP and More Energy Efficient Refrigerant (R600a / 57g / 2.01oz)	All Available Colors			
		Insulation	Low GWP and Zero ODP Blowing Agent		
CONVENIENCE					
Display Type	Smooth Touch Control / White LED				
Temperature Controls	Electronic/Digital				
Door Alarm	Yes				
Child Lock	Yes				
Auto Closing Door Hinge	Yes				
Decibel™ Quiet Operation	Yes				
Sabbath Mode	Yes				
ADA Compliant	Yes				

Initial

DS

Project: Place St. Thomas 7

Plan No: 50M-361

Initial

AW

DS

AW

Project: Place St. Thomas 7
Plan No: 50M-361
Lot No: 18 - Phase 7
Model: #1086 "B" Rev. Steel
Date: January 20, 2025
Purchaser: Anita Pokua Wiredu
Purchaser: Augustine Wiredu



30" Gas Cooktop

Gas Cooktop

Available Products: GCCG3048AB, GCCG3048AS

Available Colors: Black, Stainless Steel

Version: 06/22

Product Specifications

Cooktop

Cooking Surface Type	Gas
Grate Material	Cast Iron
Grate Quantity	3
Grate Style	Continuous

Display

Control Location	Front
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Dimensions and Volume

Height	2 7/16"
Width	30"
Depth	21"
Cutout Height	7 1/2"
Maximum Cutout Width	29 5/16"
Minimum Cutout Width	27 1/4"
Maximum Cutout Depth	20"
Minimum Cutout Depth	19"

Installation

Power Cord Included	Yes
Gas Supply Connection Location	Top Right
Installed Over a Wall Oven	Yes
LP Conversion Kit Included	Yes
Power Supply Connection Location	Top Right

Certifications and Approvals

ADA Compliant	Yes
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Cooktop Performance

Right Front Element Burner	12,000 BTU
Right Rear Element Burner	5,000 BTU
Left Front Element Burner	9,500 BTU
Left Rear Element Burner	7,500 BTU
Center Front Element Burner	18,000 BTU

Exterior

Backlit Knobs	Yes
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Electrical Specifications

Minimum Circuit Required	5 Amps
Voltage Rating	120 V

General Specifications

Prop 65 Label	Yes
Warranty - Labor	1 Year
Warranty - Parts	1 Year
Frigidaire Fit Promise	Yes

Safety Certifications and Approvals

CSA Listed	Yes
UL Listed	Yes

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Installation Diagram

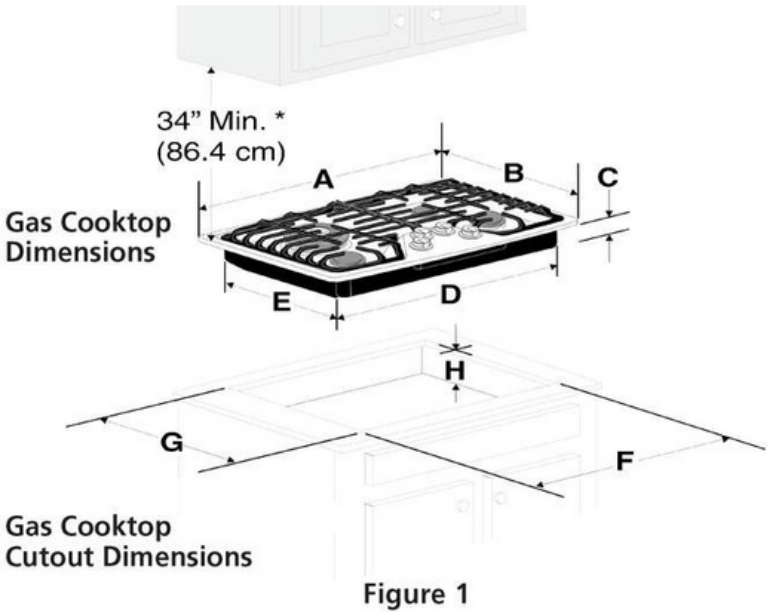


Figure 1

PRODUCT DIMENSIONS					
MODEL	A. WIDTH	B. DEPTH	C. HEIGHT	D. BOX WIDTH	E. BOX DEPTH
30" Gas Cooktop	30" (76.2 cm)	21" (53.3 cm)	2 7/16" (6.2 cm)	27" (68.6 cm)	18 7/8" (47.9 cm)

CUTOUT DIMENSIONS					H. HEIGHT BELOW COOKTOP
MODEL	F. WIDTH		G. DEPTH		
	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM	
30" Gas Cooktop	27 ¼ (69.2 cm)	29 5/16" (74.3 cm)	19" (48.3 cm)	20" (50.8 cm)	7.5" (19.0 cm)

Initial

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CONFIRMATION OF FILE COMPLETION

PROJECT:

Place St. Thomas 7

PURCHASER #1:

Anita Pokua Wiredu

LOT:

PST PH7 Lot 18

PURCHASER #2:

Augustine Wiredu

MODEL:

1086 "B" Rev Steel

FIRM UP DATE:

Nov 23, 2024

CLOSING DATE: August 5, 2025

I/WE HEREBY CONFIRM THAT ALL OF OUR COLOUR SELECTIONS, MULTI MEDIA & ELECTRICAL SELECTIONS AND ALL UPGRADES (680'S) ARE NOW FULLY COMPLETED:

Signed by:

Anita Pokua Wiredu

PURCHASER'S SIGNATURE

Jan 20, 2025

DATE

DocuSigned by:

PURCHASER'S SIGNATURE

Jan 20, 2025

DATE

ITEMS THAT MUST BE COMPLETED AND SENT TO HEAD OFFICE:

APS:

Nov 18, 2024

INTERIOR COLOURS:

Jan 20, 2025

FIRM UP:

Nov 23, 2024

EXTERIOR COLOURS (if applicable):

Nov 23, 2024

BANK LETTER:

Nov 23, 2024

ORBITAL/S&S/KITCHENCRAFT (if applicable):

Jan 20, 2025

SOLICITOR INFO:

Nov 23, 2024

680 & AMENDMENT:

Jan 20, 2025

ALL PAGES SENT FOR INITIALS RETURNED TO HEAD OFFICE:

Complete

Sales Consultant's Signature

Jan 20, 2025

Date

Sales Assistant's Signature

Date

Approved by:

Jan 20, 2025

Date

Certificate Of Completion

Envelope Id: CA5CC23E-96C9-4065-8916-024E76C9154E

Status: Completed

Subject: Please Docusign: Design & Electrical Amendment (Lot 18 - 927 Cologne Street)

Source Envelope:

Document Pages: 49

Signatures: 44

Envelope Originator:

Certificate Pages: 5

Initials: 96

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682 Danaca Private

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Ottawa, ON K1K 2V7

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Anita Pokua Wiredu

aawiredu19@gmail.com

Security Level: Email, Account Authentication
(None)

Signature

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Signature Adoption: Pre-selected Style
Using IP Address: 174.115.94.39
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Timestamp

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Resent: 1/26/2025 11:57:28 AM

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Electronic Record and Signature Disclosure:

Accepted: 1/23/2025 10:37:31 AM

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Augustine Wiredu

augustinewiredu82@hotmail.com

Security Level: Email, Account Authentication
(None)

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Signed: 1/26/2025 9:00:34 PM

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Frank Nieuwkoop

frank@valecraft.com

Vice President

Valecraft Homes

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Envelope Updated	Security Checked	1/22/2025 3:31:54 PM
Certified Delivered	Security Checked	1/26/2025 9:48:42 PM
Signing Complete	Security Checked	1/26/2025 9:50:04 PM
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