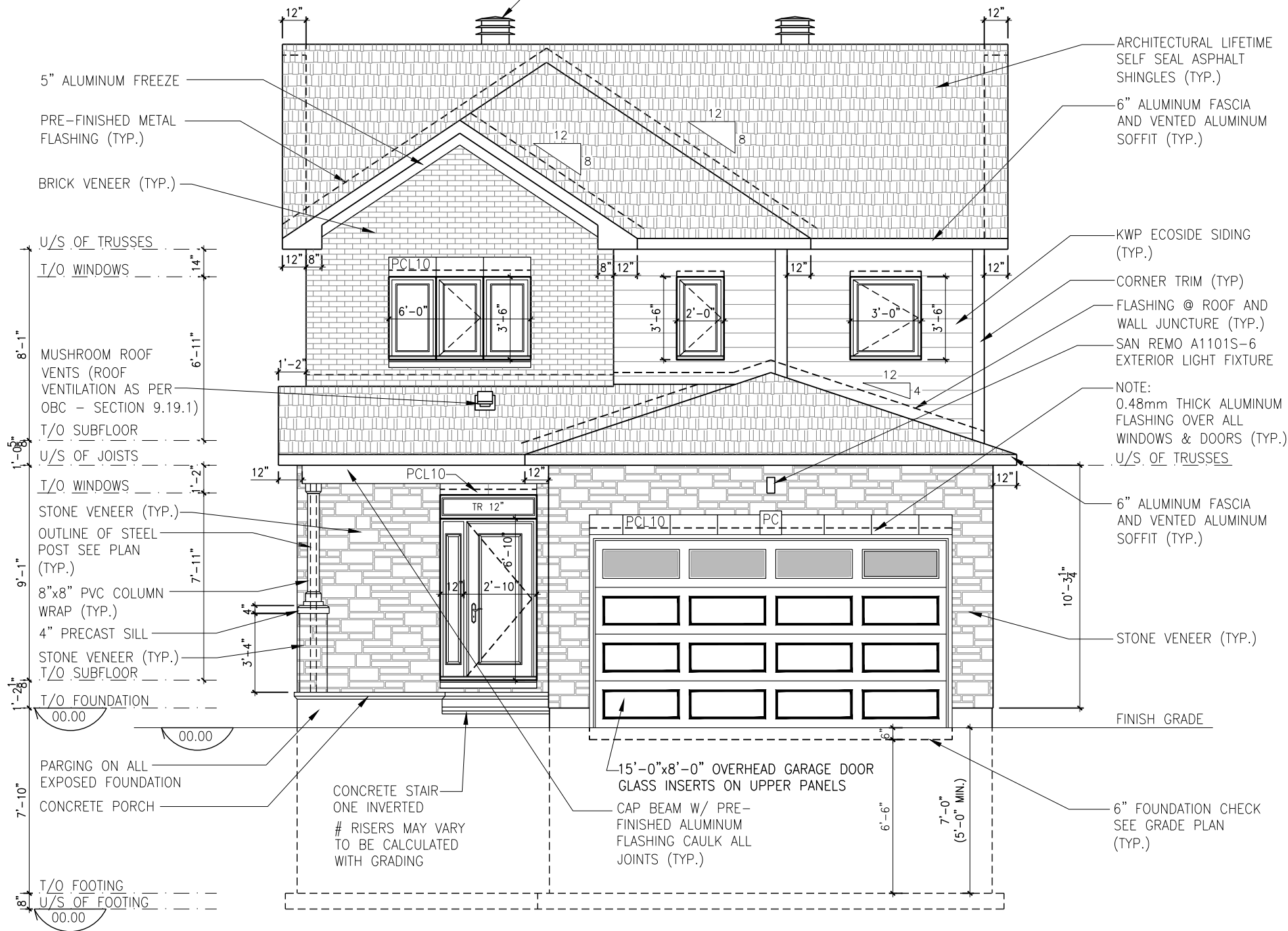


GROSS INSULATED = 253 M. SQ.  
WALL AREA  
  
GROSS WINDOW = 19.92 M. SQ.  
AREA  
  
PERCENT GLASS TO WALL AREA = 7.9%

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



FRONT ELEVATION - ELEVATION A  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
  - TARIION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

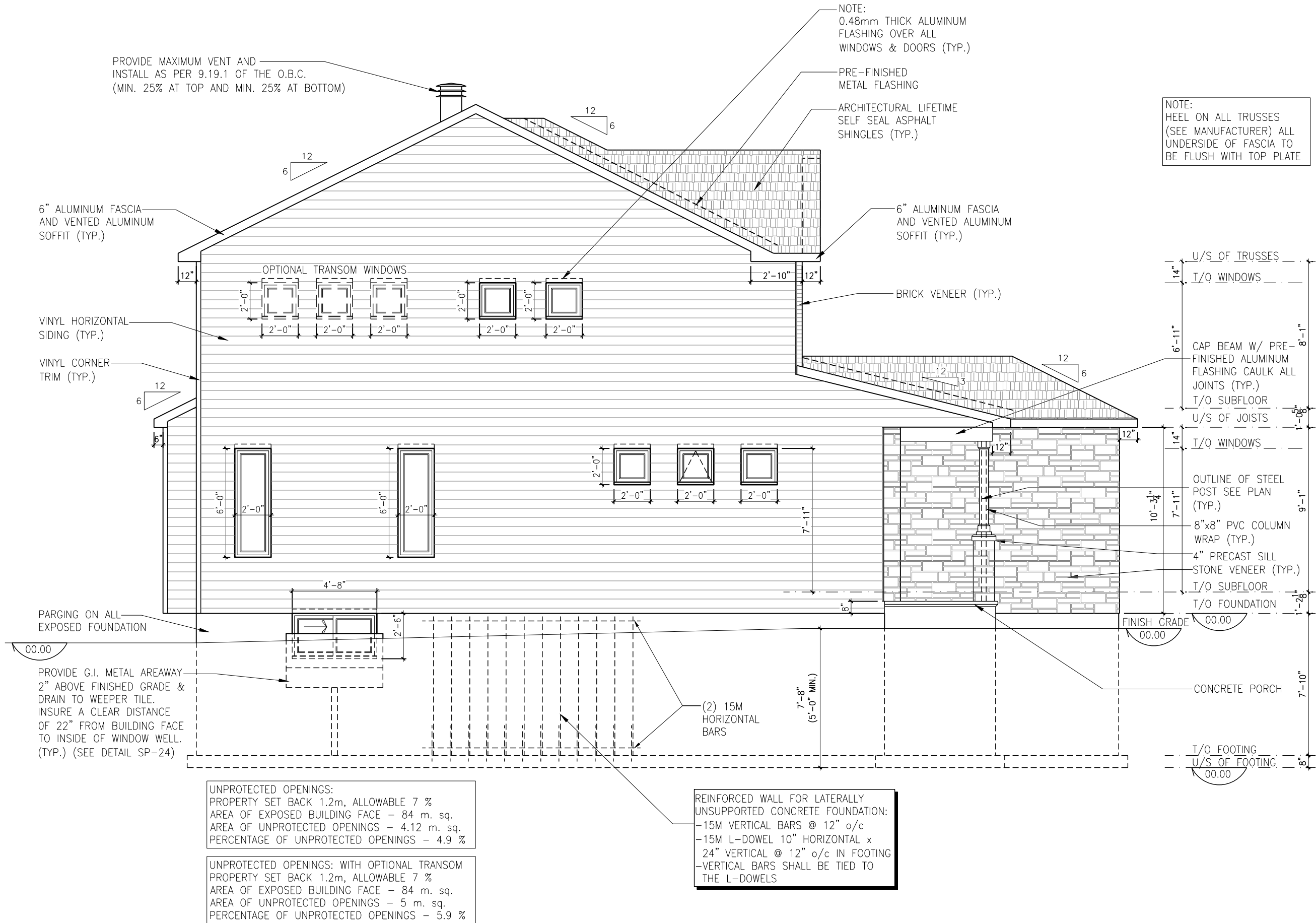
DRAWING: FRONT ELEVATION  
ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A1a





LEFT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A3a



**Valecraft**  
Homes (2019) Limited

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- TARIFF REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL



DRAWING: **REAR ELEVATION  
ELEVATION A**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
----------------	-------------------------	---------------------

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

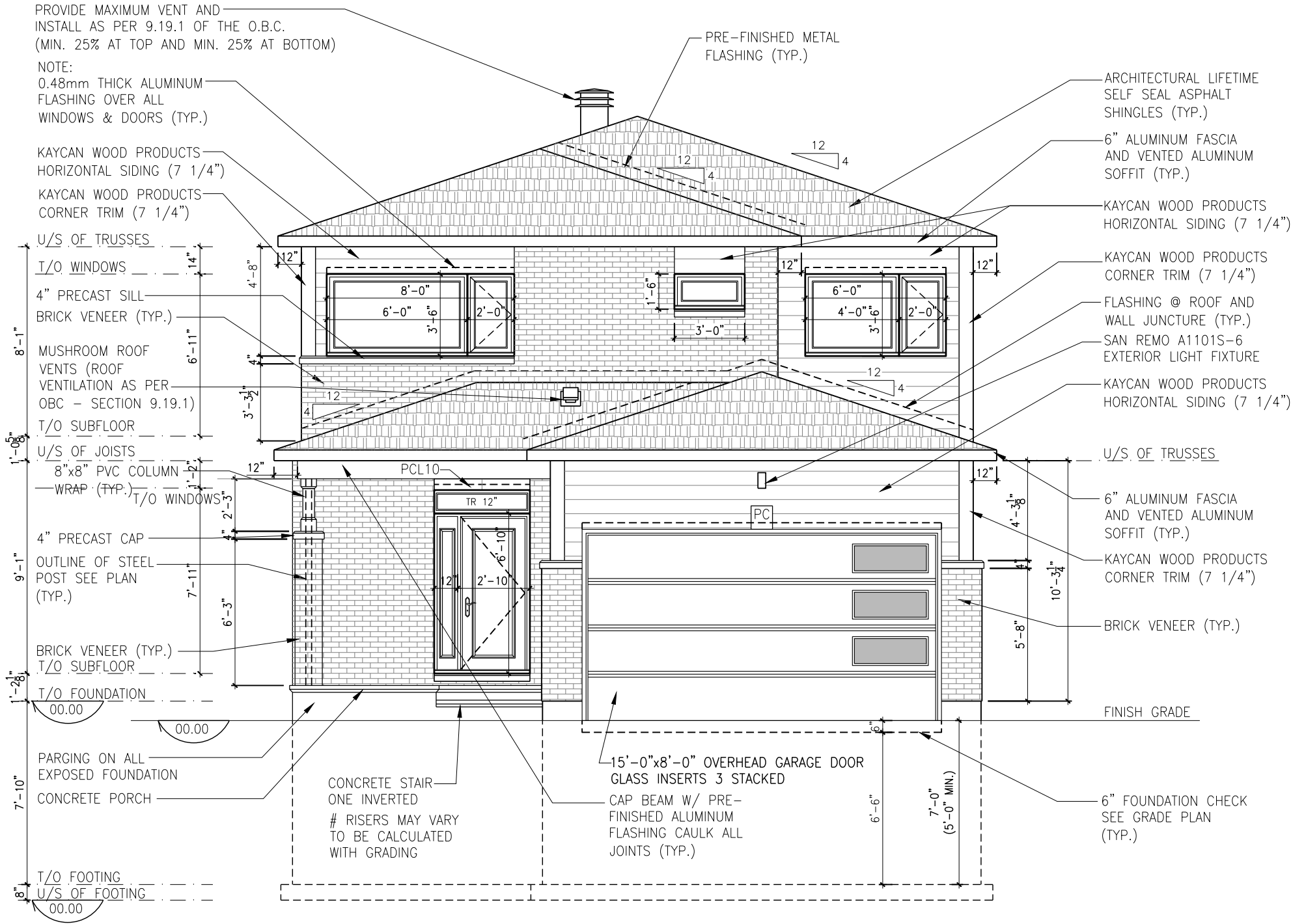


GROSS INSULATED = 253 M. SQ.  
WALL AREA

GROSS WINDOW = 21.35 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 8.4%

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



LOT: XXXX  
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

### 2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

### FRONT ELEVATION ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A1b**



**Valecraft**  
Homes (2019) Limited

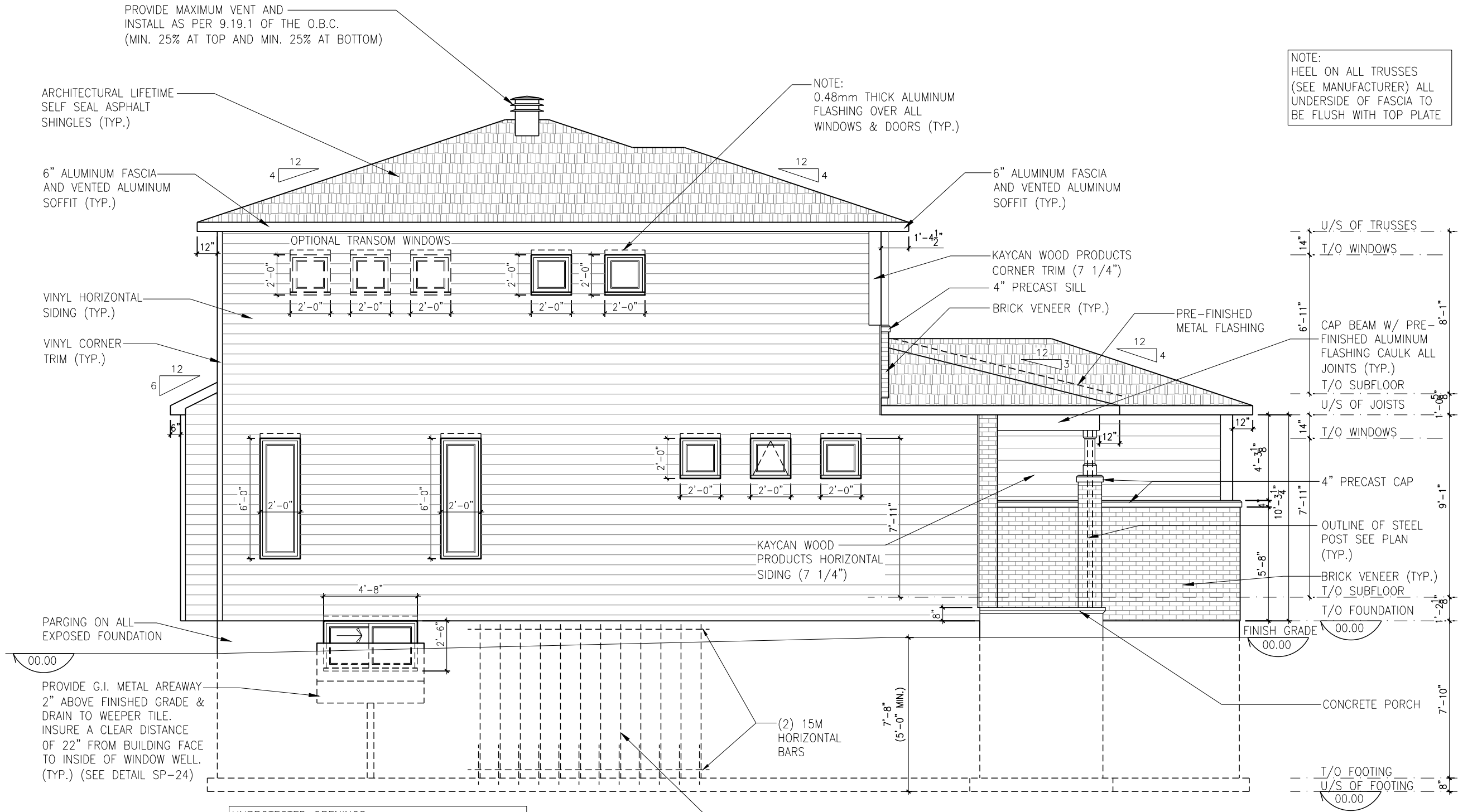
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

**810 - THE KEMP**  
**2023 FOOTPRINT**  
 (STANDARD DRAWINGS)



LOT: XXXX  
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

REINFORCED WALL FOR Laterally  
UNSUPPORTED CONCRETE FOUNDATION:  
-15M VERTICAL BARS @ 12" o/c  
-15M L-DOWEL 10" HORIZONTAL x  
24" VERTICAL @ 12" o/c IN FOOTING  
-VERTICAL BARS SHALL BE TIED TO  
THE L-DOWELS

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 84 m. sq.  
AREA OF UNPROTECTED OPENINGS - 4.12 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 4.9 %

UNPROTECTED OPENINGS: WITH OPTIONAL TRANSOM  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 84 m. sq.  
AREA OF UNPROTECTED OPENINGS - 5 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 5.9 %

LEFT ELEVATION - ELEVATION B  
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION B

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

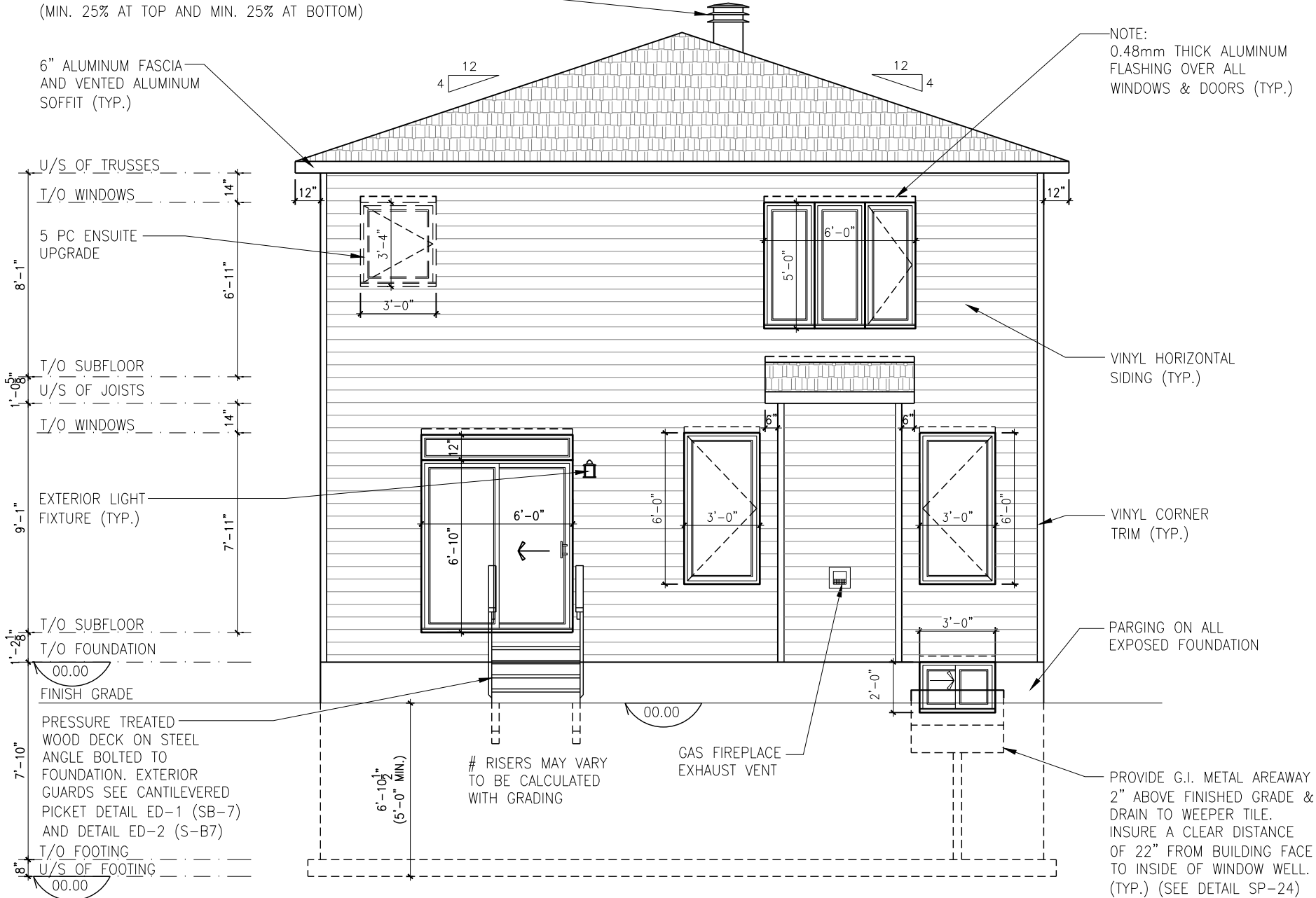
810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A3b

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)



REAR ELEVATION - ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

#### 2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: REAR ELEVATION ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A4b

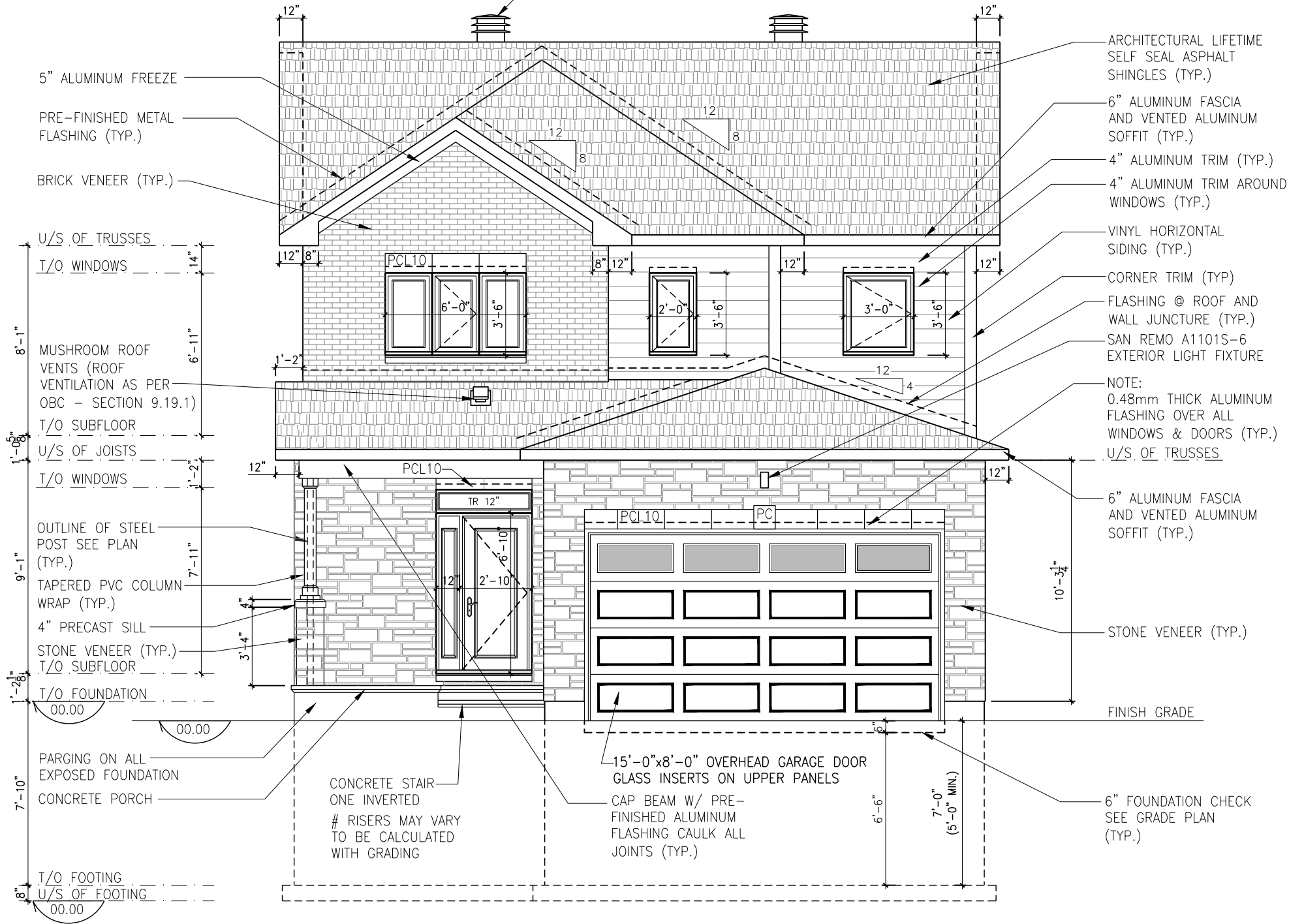
GROSS INSULATED = 253 M. SQ.  
WALL AREA

GROSS WINDOW = 21.72 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 8.6%

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



LOT: XXXX

DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

#### 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: FRONT ELEVATION ELEVATION A - 4 BED OPTION

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A1c

#### FRONT ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

PRE-FINISHED  
METAL FLASHING

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

BRICK VENEER  
(TYP.)

KWP ECOSIDE  
SIDING

MUSHROOM ROOF  
VENTS (ROOF  
VENTILATION AS PER  
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

STONE VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE  
00.00

T/O FOOTING

U/S OF FOOTING  
00.00

PARGING ON ALL  
EXPOSED FOUNDATION

VINYL HORIZONTAL  
SIDING (TYP.)

PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)

PATIO STONE  
# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

T/O SUBFLOOR  
T/O FOUNDATION  
00.00

T/O FOOTING  
U/S OF FOOTING  
00.00

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 84 m. sq.  
AREA OF UNPROTECTED OPENINGS - 0 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

14"

6'-11"

8'-1"

VINYL CORNER  
TRIM (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

1'-2"

9'-1"

1'-0"

6"

12

T/O SUBFLOOR

T/O FOUNDATION

00.00

00.00

00.00

7'-10"

1'-2"

8"

## RIGHT ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

## 2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-2	2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

## RIGHT ELEVATION ELEVATION A

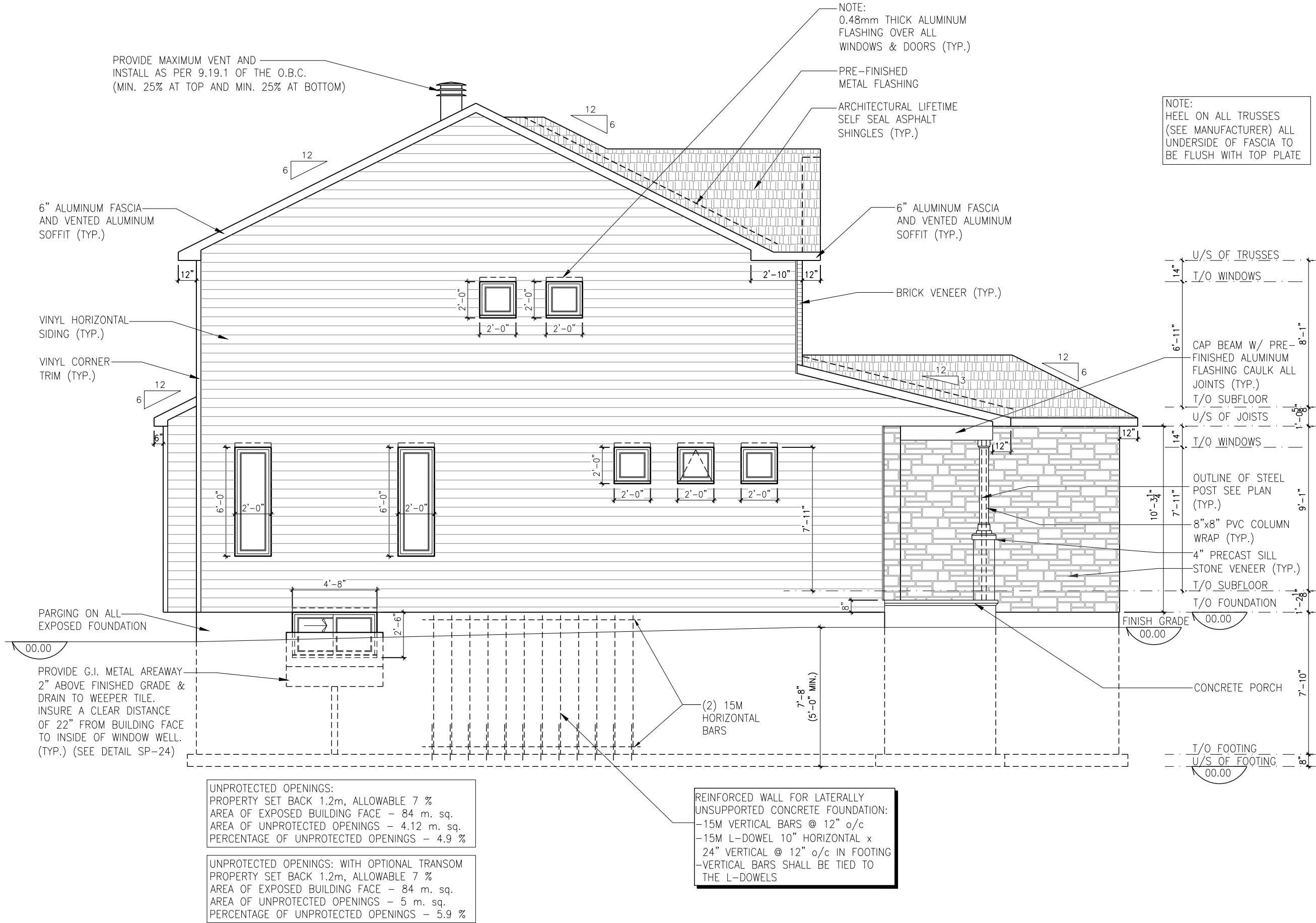
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2c



LEFT ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3c

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES  
T/O WINDOWS  
8'-1"  
6'-11"  
T/O SUBFLOOR  
U/S OF JOISTS  
1'-0 5/8"  
T/O WINDOWS  
14"  
9'-1"  
EXTERIOR LIGHT  
FIXTURE (TYP.)  
7'-11"  
T/O SUBFLOOR  
T/O FOUNDATION  
1'-2 3/8"  
00.00  
FINISH GRADE  
7'-10"  
PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)  
T/O FOOTING  
U/S OF FOOTING  
8"  
00.00



NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

VINYL HORIZONTAL  
SIDING (TYP.)

VINYL CORNER  
TRIM (TYP.)

PARGING ON ALL  
EXPOSED FOUNDATION

PROVIDE G.I. METAL AREAWAY  
2" ABOVE FINISHED GRADE &  
DRAIN TO WEEPER TILE.  
INSURE A CLEAR DISTANCE  
OF 22" FROM BUILDING FACE  
TO INSIDE OF WINDOW WELL.  
(TYP.) (SEE DETAIL SP-24)

LOT: XXXX  
DATE: XX/XX/XXXX



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B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES  
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW  
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ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

#### 2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: REAR ELEVATION ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A4c

#### REAR ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

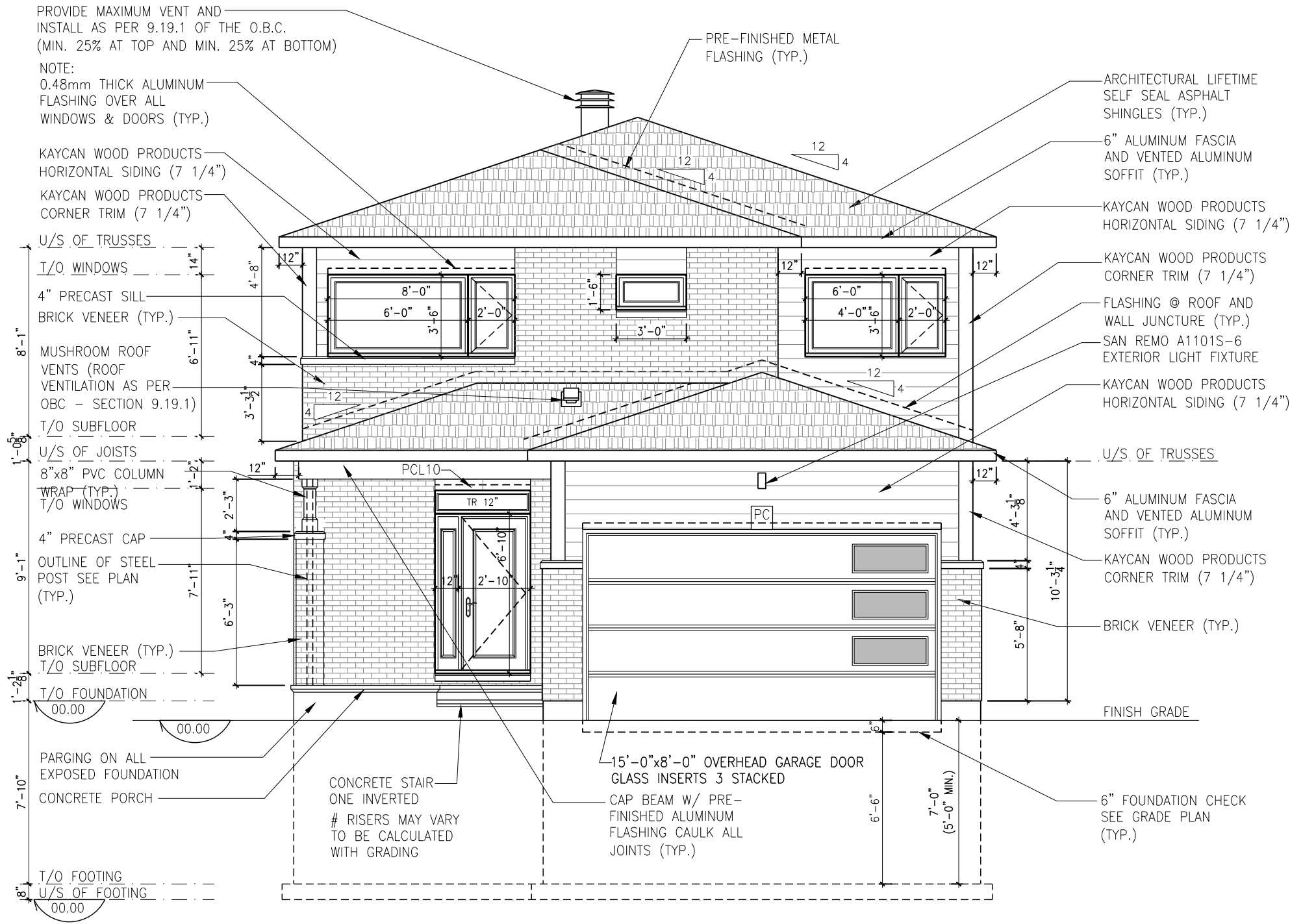


GROSS INSULATED = 253 M. SQ.  
WALL AREA

GROSS WINDOW = 23.15 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 9.1%

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



FRONT ELEVATION - ELEVATION B - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
  - TARIION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION  
ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A1d

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

PRE-FINISHED  
METAL FLASHING

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

KAYCAN WOOD PRODUCTS  
HORIZONTAL SIDING (7 1/4")  
KAYCAN WOOD PRODUCTS  
CORNER TRIM (7 1/4")  
BRICK VENEER (TYP.)

MUSHROOM ROOF  
VENTS (ROOF  
VENTILATION AS PER  
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

KAYCAN WOOD  
PRODUCTS CORNER  
TRIM (7 1/4")

BRICK VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE

PARGING ON ALL  
EXPOSED FOUNDATION

VINYL HORIZONTAL  
SIDING (TYP.)

PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)

PATIO STONE  
# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 84 m. sq.  
AREA OF UNPROTECTED OPENINGS - 0 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

VINYL CORNER  
TRIM (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

T/O SUBFLOOR

T/O FOUNDATION

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## RIGHT ELEVATION - ELEVATION B - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

## RIGHT ELEVATION ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2d


**Valecraft**  
Homes (2019) Limited

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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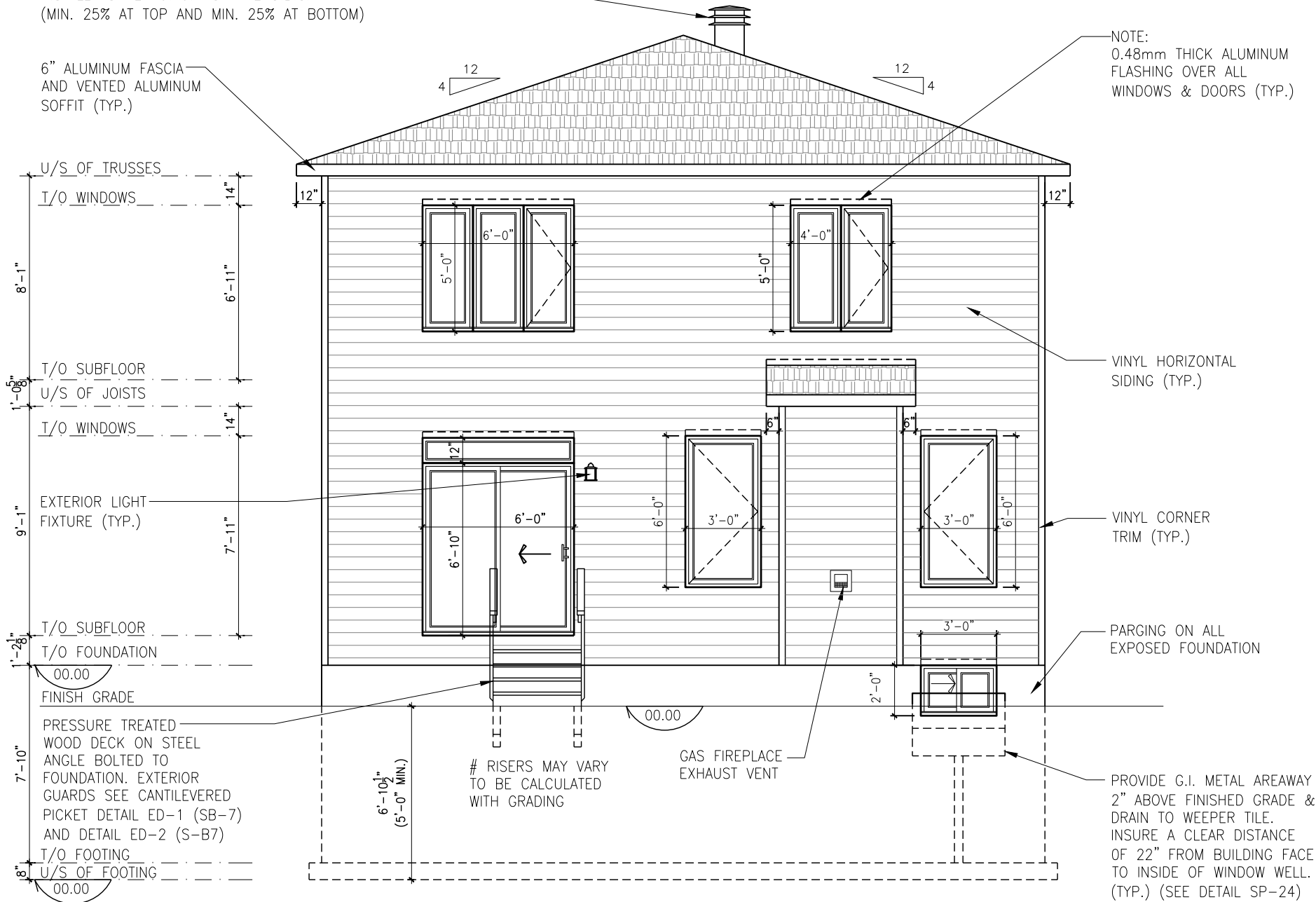
SHEET:  
**A3d**

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)



LOT: XXXX  
DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

#### 2012 O.B.C. DRAWINGS


REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### REAR ELEVATION ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

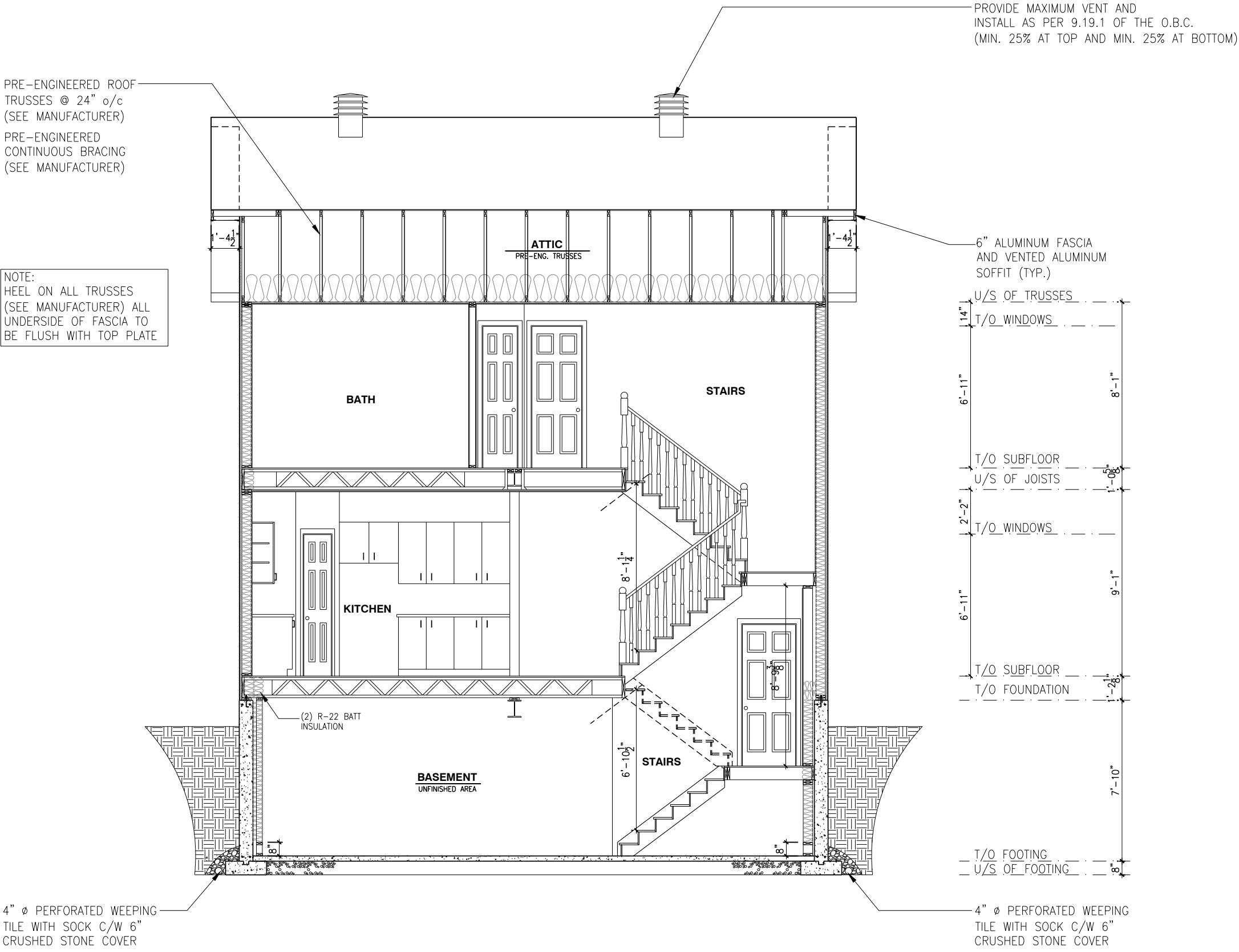
810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A4d

#### REAR ELEVATION - ELEVATION B - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"



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- EXTERIOR FINISH LEGEND:
- B - BRICK (MAIN)
  - B1 - BRICK SOLDIER COURSE (ACCENT)
  - B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
  - B3 - BRICK SLEEPER COURSE
  - B4 - STACK BOND (ACCENT)
  - B5 - BRICK SILL (ACCENT)
  - B6 - BRICK ROW LOCK (ACCENT)
  - B7 - BRICK CORBELLING
  - B8 - BRICK COINING 20mm PROUD
  - +20 - BRICK 20mm PROUD
  - 20 - BRICK 20mm RECESSED
  - S - SIDING (HORIZONTAL)
  - SV - SIDING (VERTICAL)
  - ST - STONE VENEER
  - T - TRIM 200mm COVE SIDING
  - AF - ALUMINUM FASCIA
  - AC - ALUMINUM CLADDING
  - AB - 48" ALUMINUM BAND
  - AS - ASPHALT SHINGLES
  - F - FLASHING
  - V - ROOF VENT (MAXIMUM)
  - P - PARGING
  - PC - PARGING
  - PCH10 - PRECAST HEADER 10"
  - PCH8 - PRECAST HEADER 8"
  - PCS - PRECAST SILL
  - PCB - PRECAST BAND
  - VS - VINYL SHAKES
  - VEC - SIDING (VERTICAL CORNER)
  - KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS


REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BUILDING SECTION  
ELEVATION A AND B

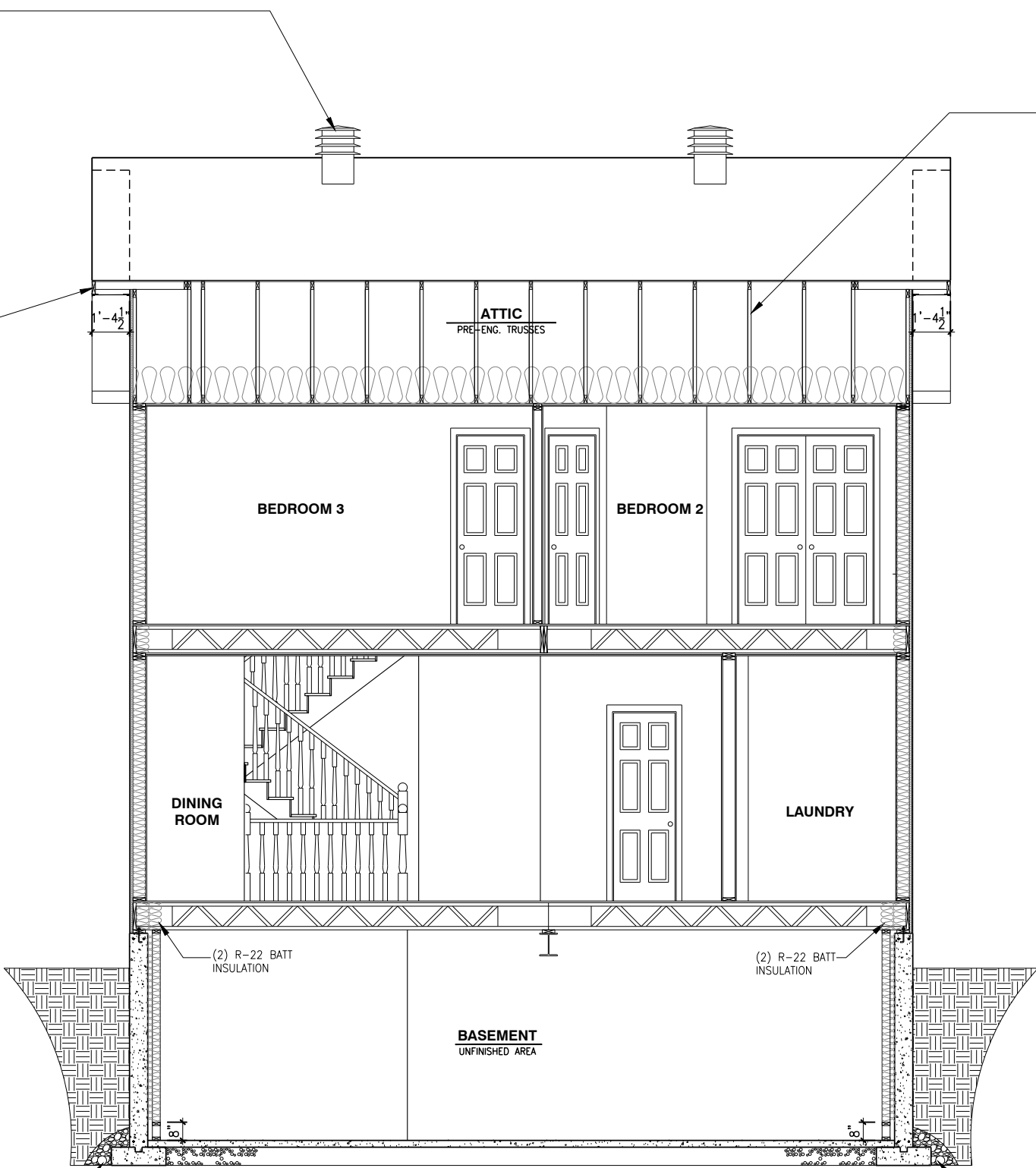
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

MAXIMUM ROOF VENT  
(ROOF VENTILATION AS PER  
OBC - SECTION 9.19.1) (TYP.)

PRE-ENGINEERED ROOF  
TRUSSES @ 24" o/c  
(SEE MANUFACTURER)  
PRE-ENGINEERED  
CONTINUOUS BRACING  
(SEE MANUFACTURER)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)  
U/S OF TRUSSES  
T/O WINDOWS  
8'-1"  
6'-11"  
T/O SUBFLOOR  
U/S OF JOISTS  
1'-0 5/8"  
2'-2"  
T/O WINDOWS  
9'-1"  
6'-11"  
T/O SUBFLOOR  
T/O FOUNDATION  
1'-2 1/8"  
7'-10"  
T/O FOOTING  
U/S OF FOOTING  
8"



4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

**BUILDING SECTION - ELEVATION A AND B**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)  
+ 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

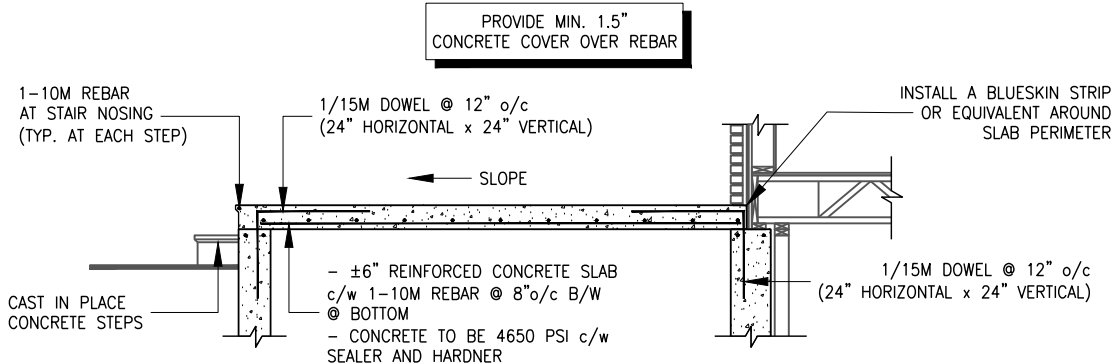
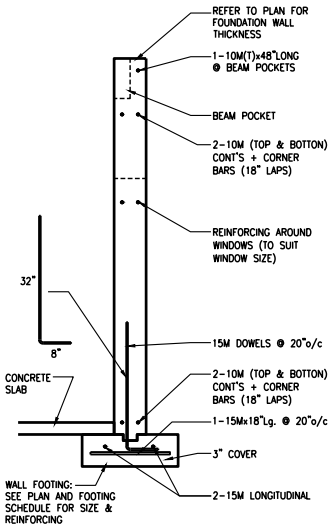
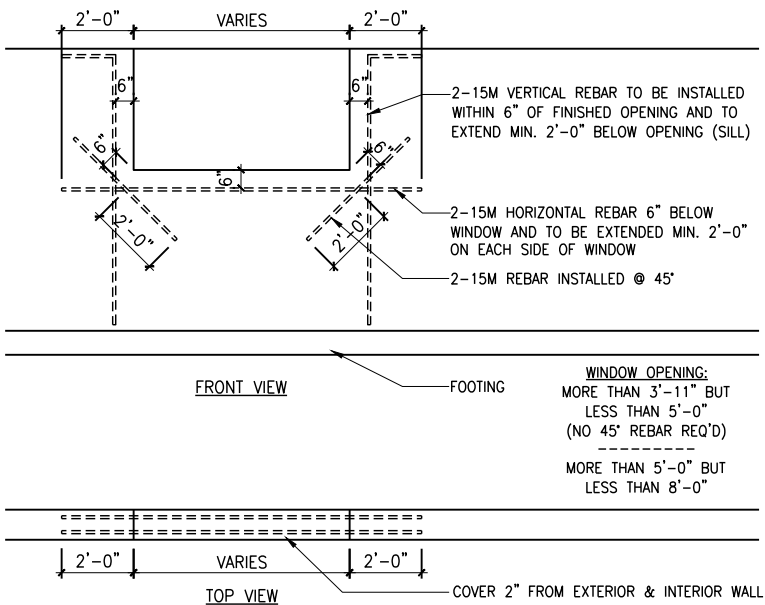
DRAWING: **BUILDING SECTION  
ELEVATION A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP  
2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A5b**

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



- THIS DRAWING IS TO BE READ IN  
CONJUNCTION WITH THE ARCHITECTURAL  
FOUNDATION PLAN FOR THE SPECIFIC  
MODEL AND ARCHITECTURAL SPECIFICATION.

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

(\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)  
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

## STANDARD DRAWINGS

NOTES:  
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;  
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);  
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;  
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;  
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

**BASEMENT NOTE:**  
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:  
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:  
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

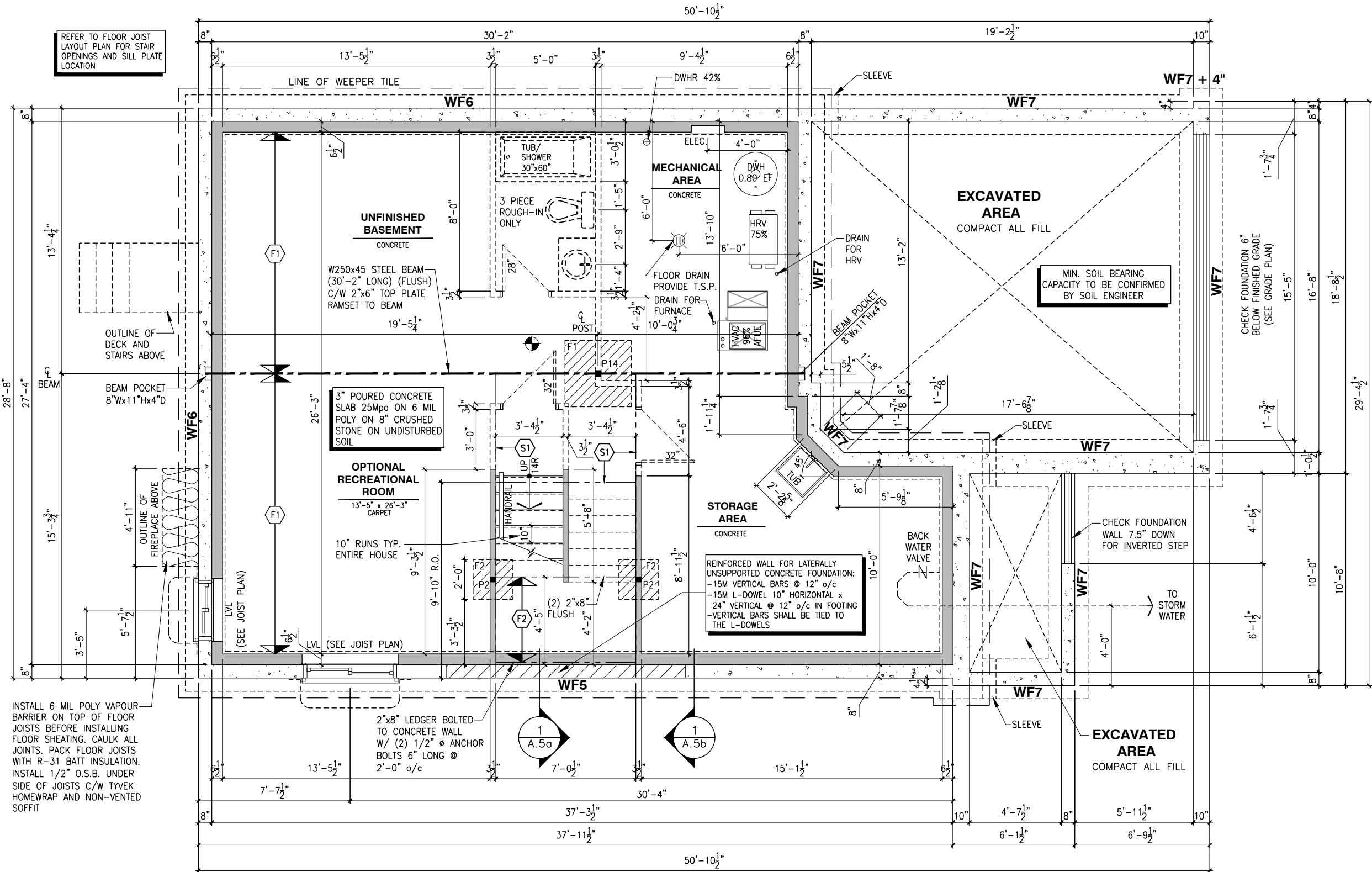
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**SINGLE DWELLING STAIRS:**

RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN



**BASEMENT FLOOR PLAN - ELEVATION A AND B**

SCALE: 3/16" = 1'-0"

**LOT: XXXX**

**DATE: XX/XX/XXXX**

**Valecraft**  
**Homes (2019) Limited**

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: **BASEMENT FLOOR PLAN**  
**ELEV. A AND B**

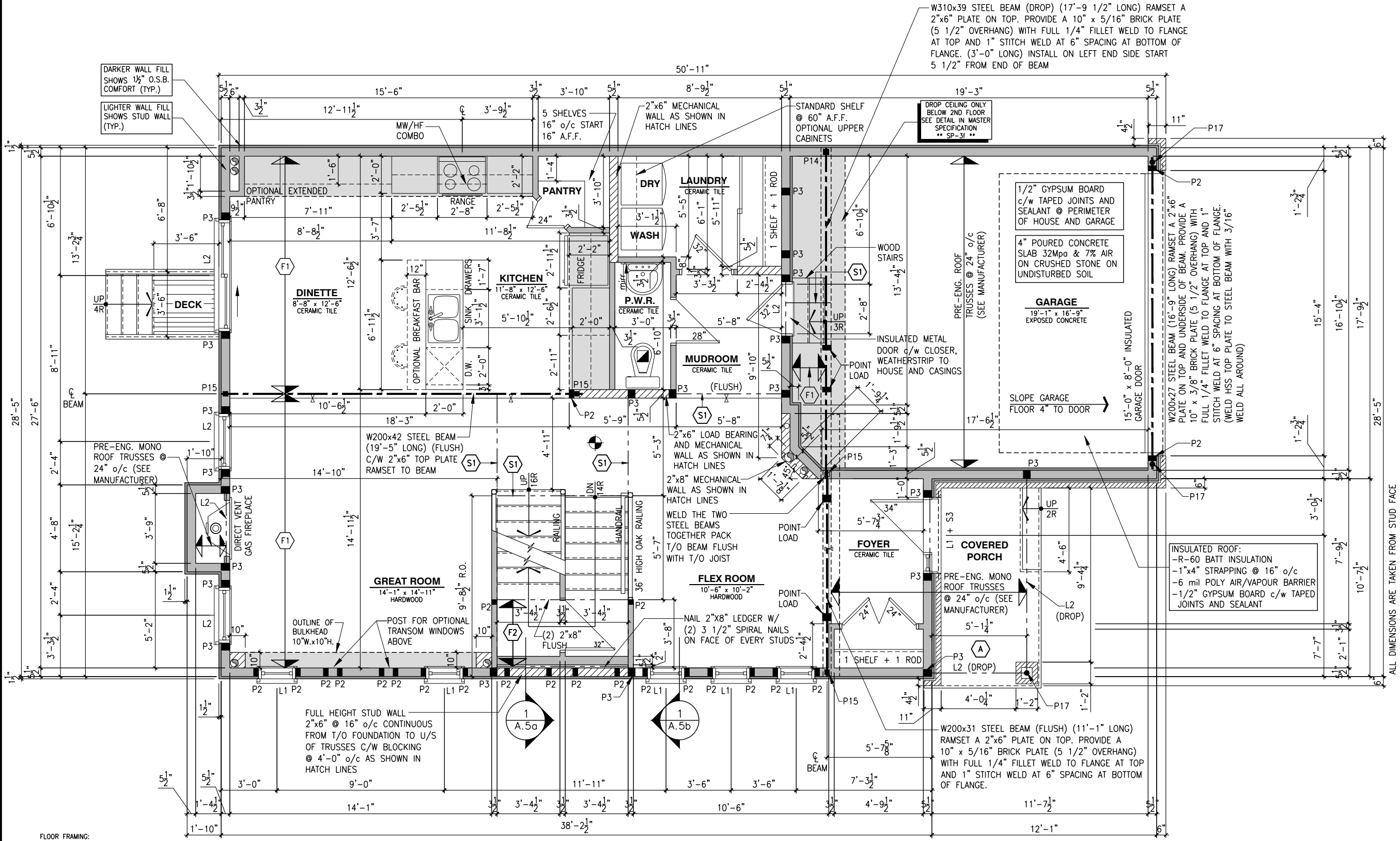
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
**A6a**





**FLOOR FRAMING:**

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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**GENERAL NOTES:**

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HEADROOM = 6'-5" MIN

**ROOF AND FLOOR LAYOUT NOTES:**

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

**NOTE:**

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

**NOTES:**

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

**GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A**

SCALE: 3/16" = 1'-0"

**LOT: XXXX**  
**DATE: XX/XX/XXXX**

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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**2012 O.B.C. DRAWINGS**

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

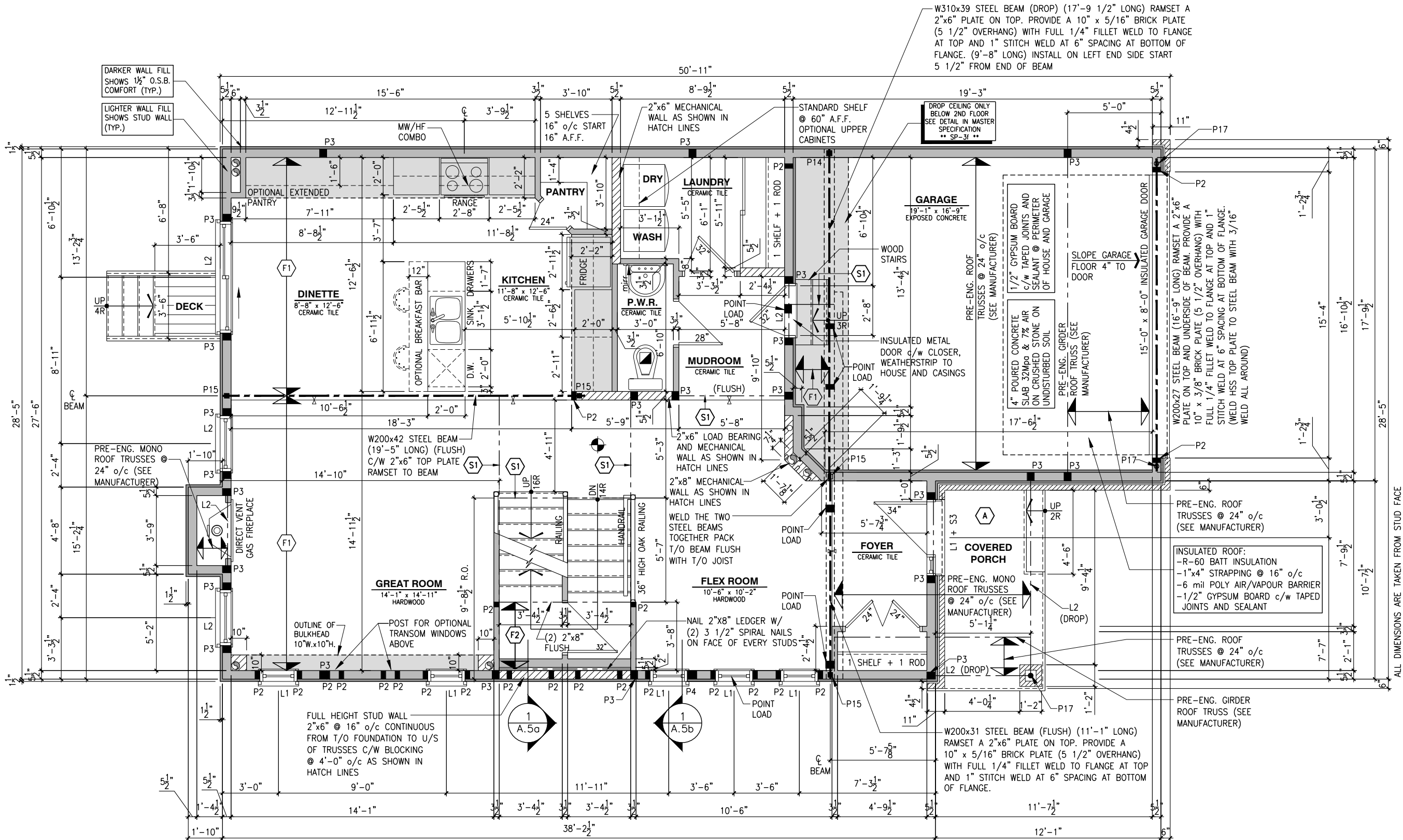
DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP**  
**2023 FOOTPRINT**

SHEET: **A7a**

(STANDARD DRAWINGS)



FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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SINGLE DWELLING STAIRS:

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## GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: **GROUND FLOOR PLAN**

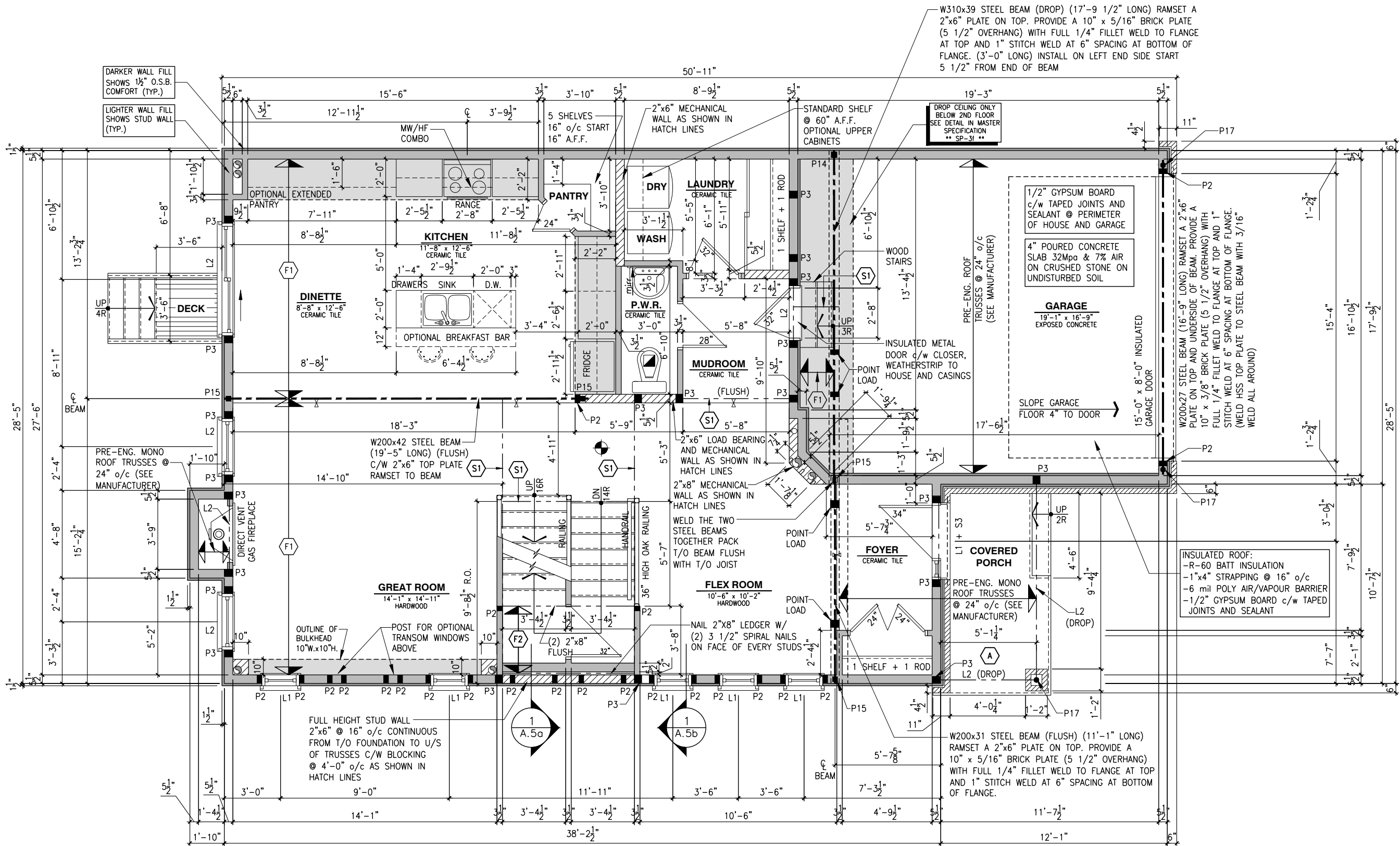
**STANDARD KITCHEN - ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP 2023 FOOTPRINT

SHEET: A7b

(STANDARD DRAWINGS)



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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SINGLE DWELLING STAIRS:

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## GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

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- SHALL HAVE A VISUAL SIGNALING DEVICE;
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

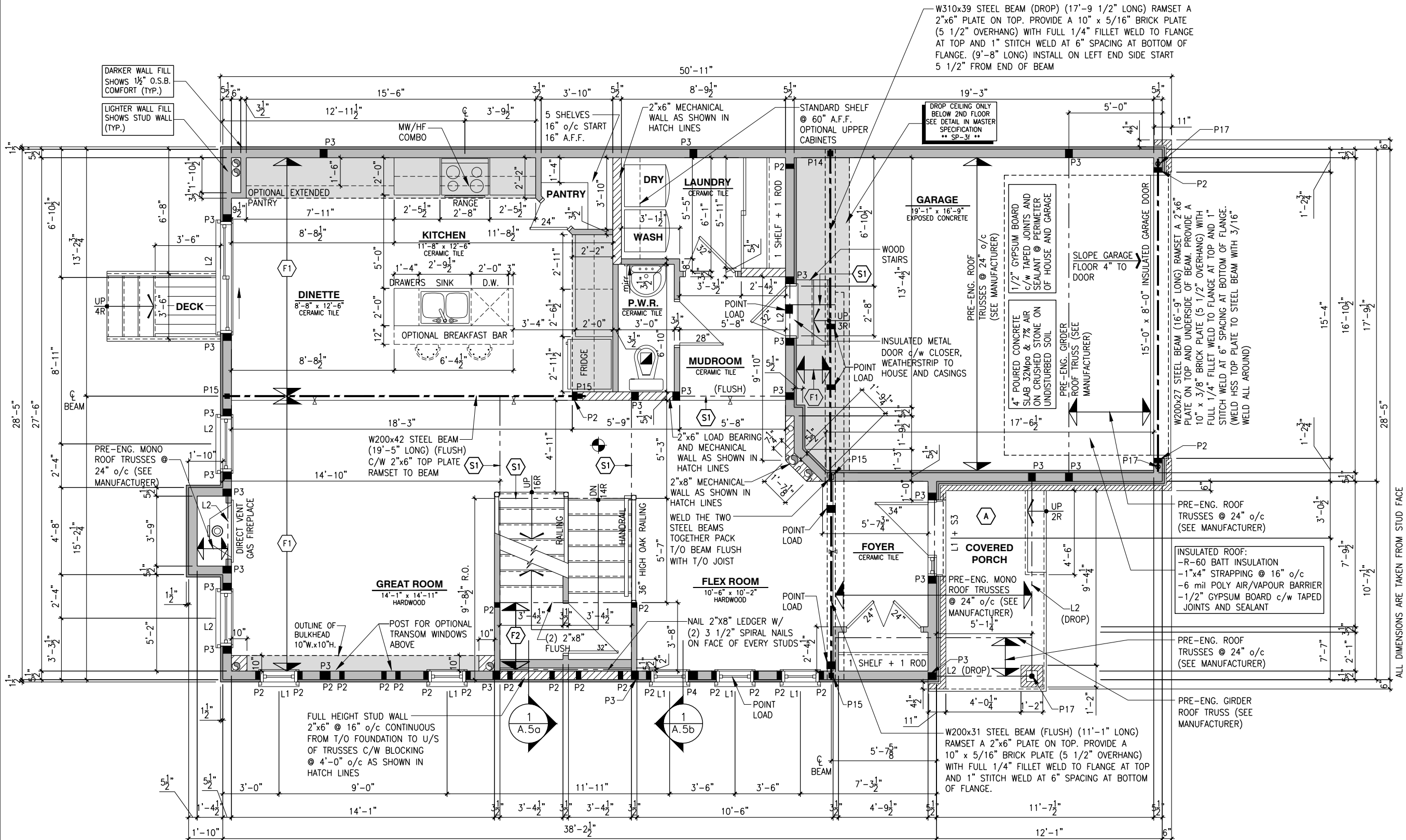
DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #1 - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP**  
**2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:  
**A7c**



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #1 - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

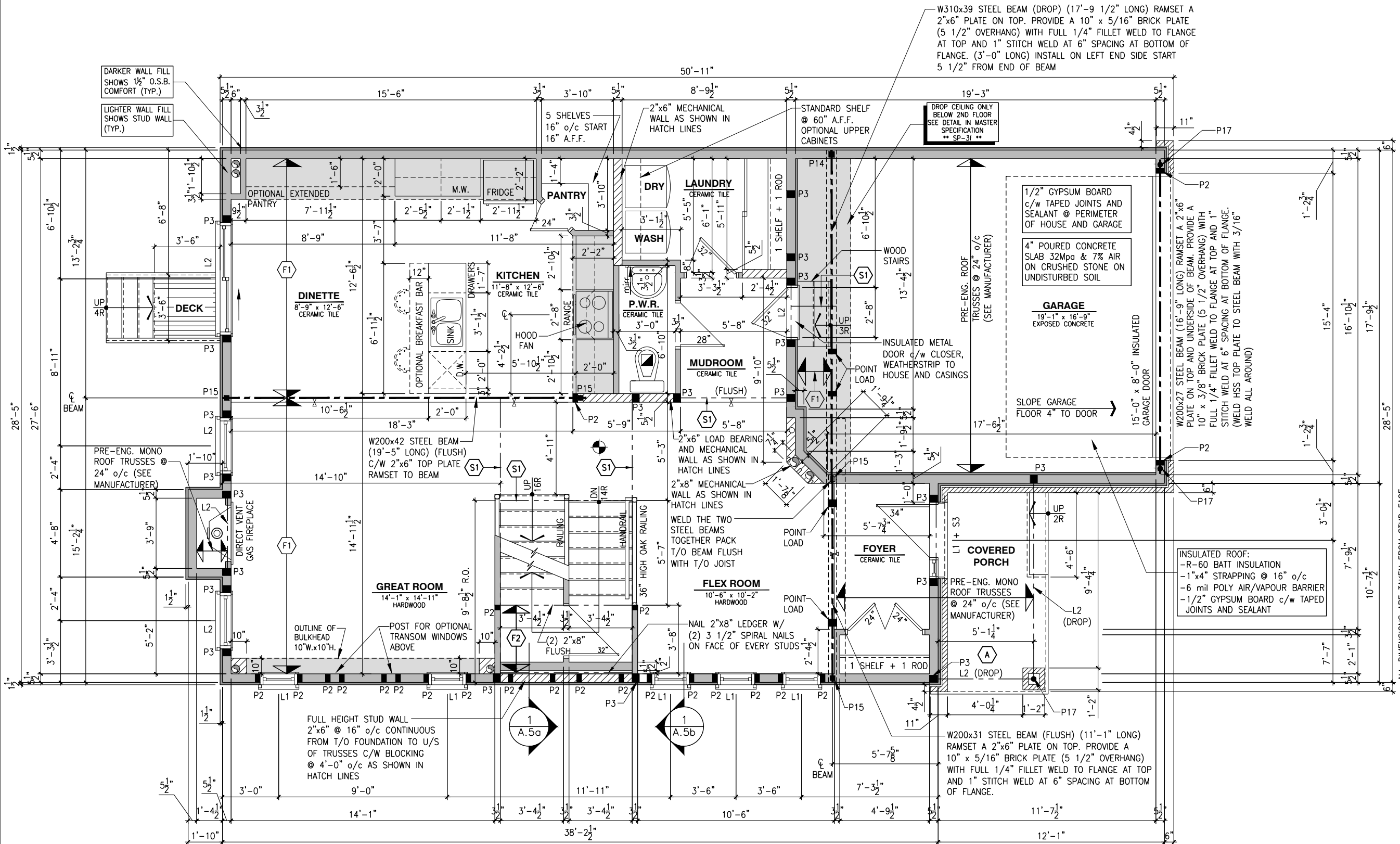
810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A7b

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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LINTEL TABLE:

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #2 - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT

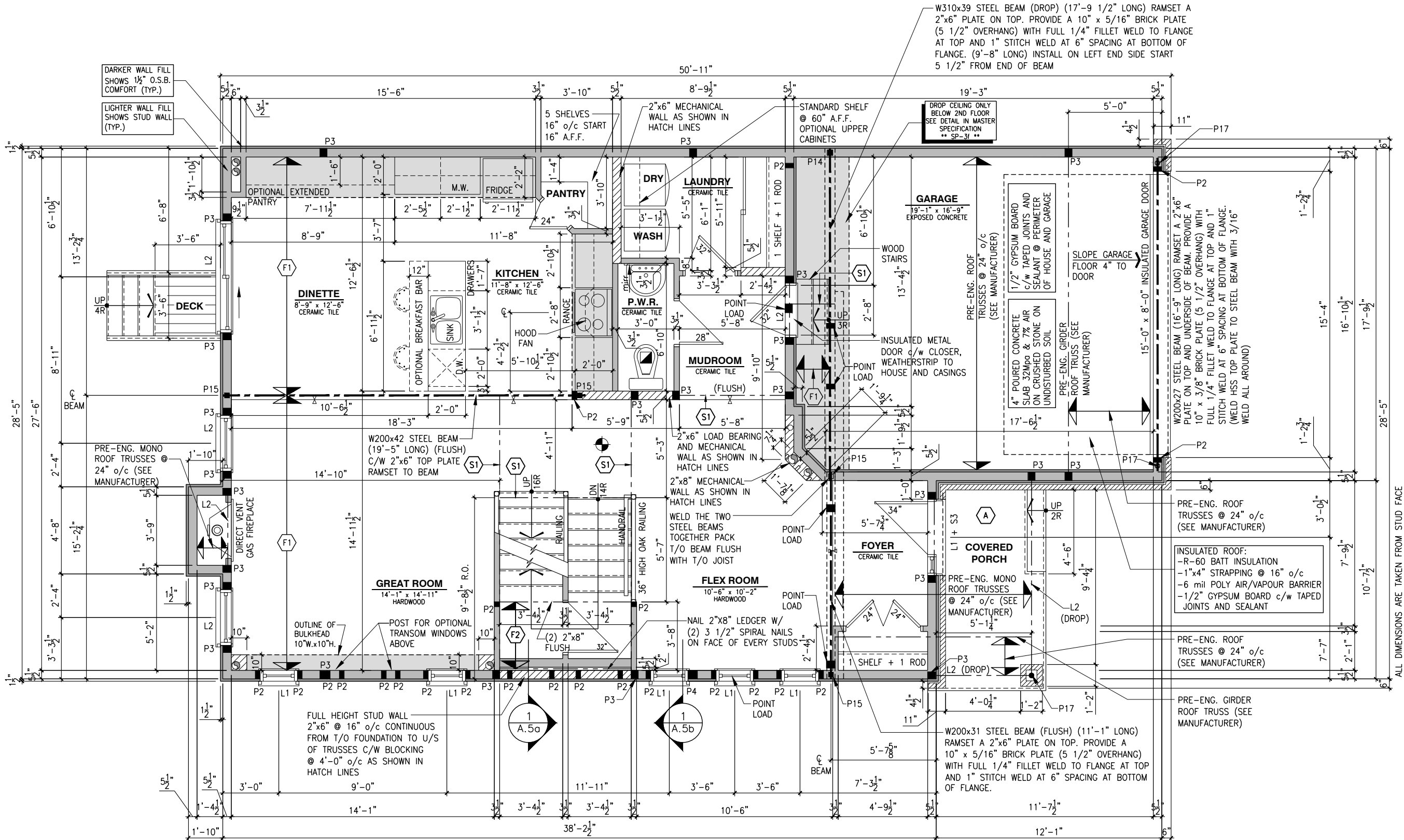
(STANDARD DRAWINGS)

SHEET:  
A7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"





FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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SINGLE DWELLING STAIRS:

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## GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN

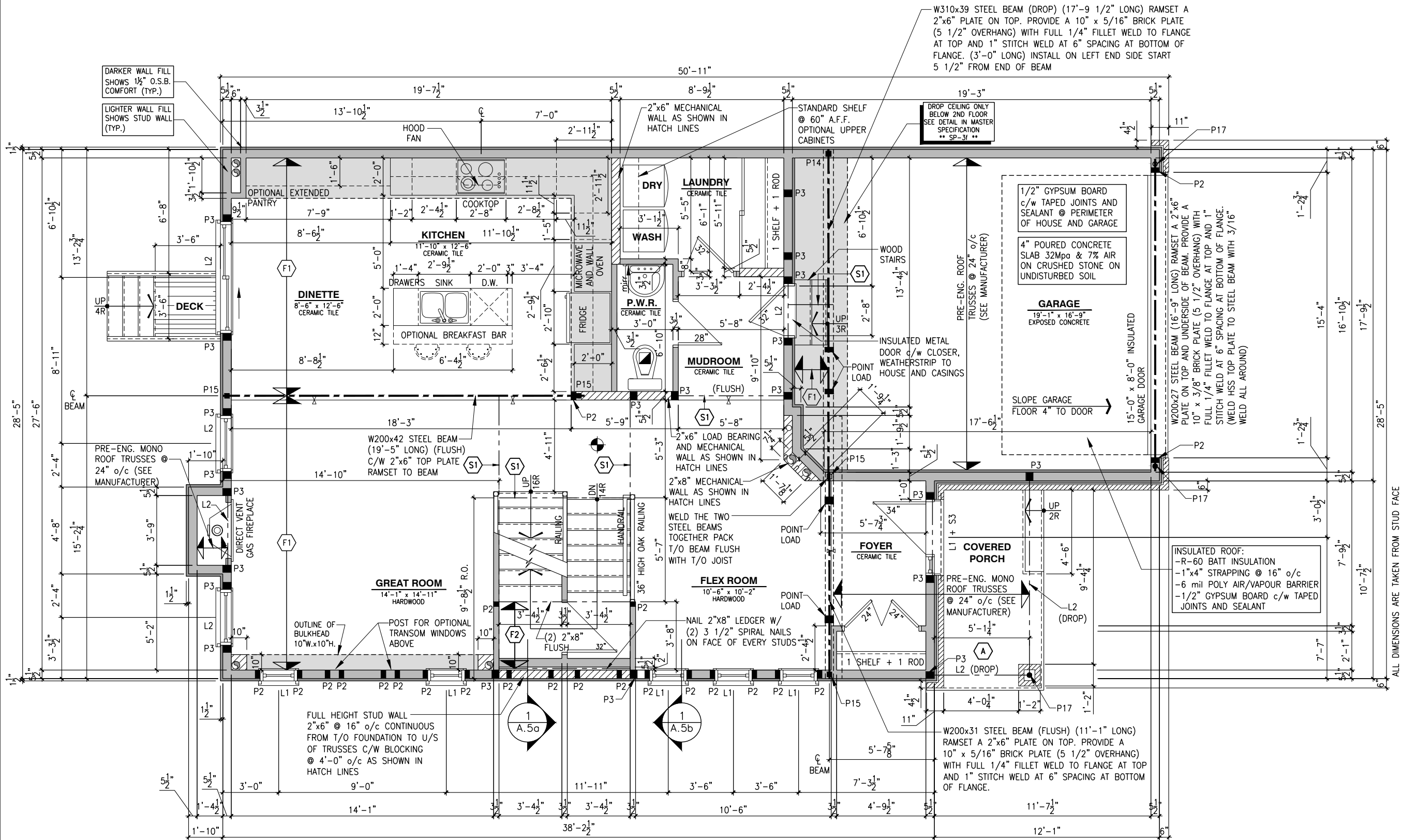
OPT. KITCHEN #2 - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
**A7f**



FLOOR FRAMING:

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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS


REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #3 - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

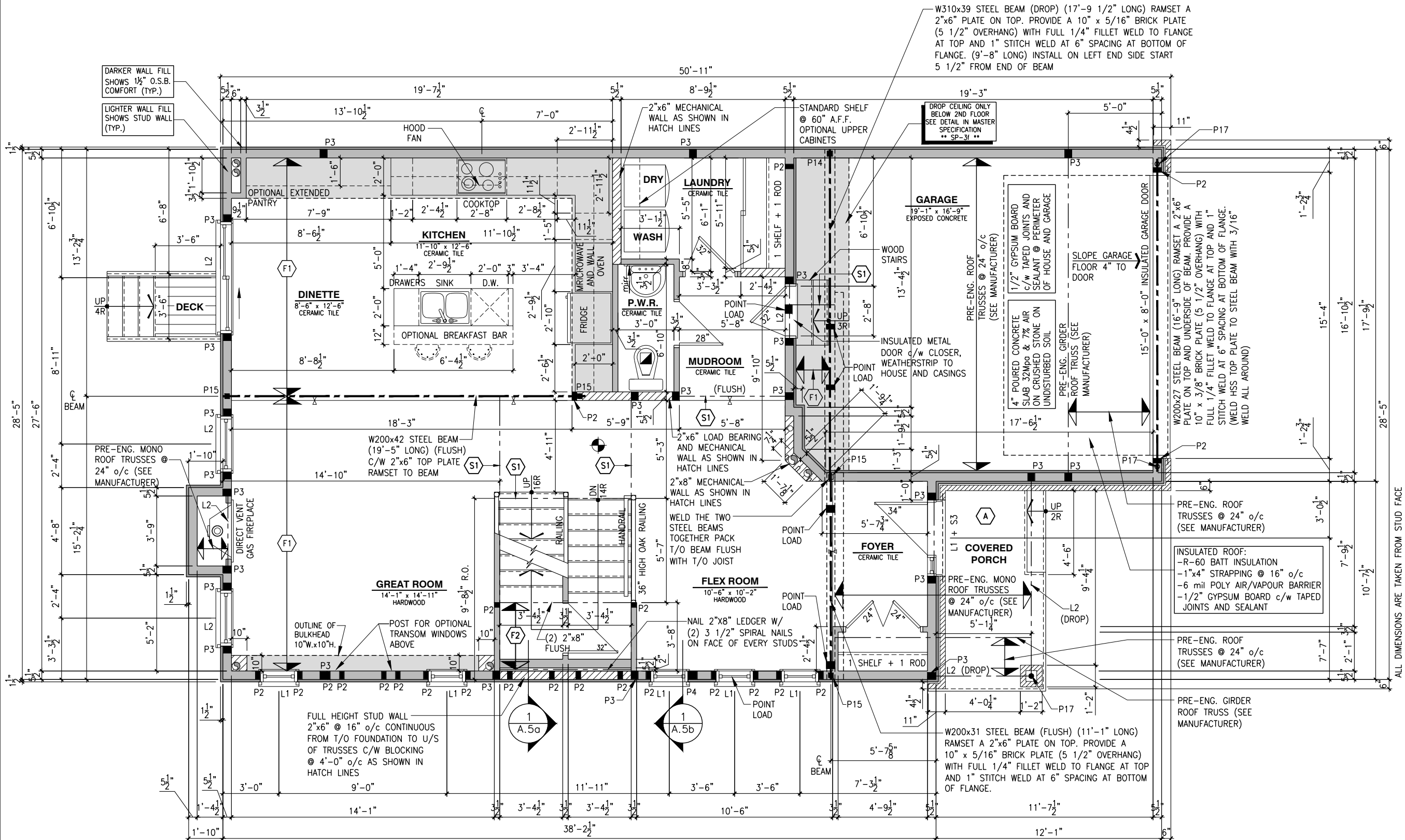
810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A7g

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #3 - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
**A7h**



810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)



**STAIRS AND RAILINGS:**

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
- RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
- TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
- WIDTH: MIN 860mm (2'-10")
- HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
- LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

SCALE: 3/16" = 1'-0"

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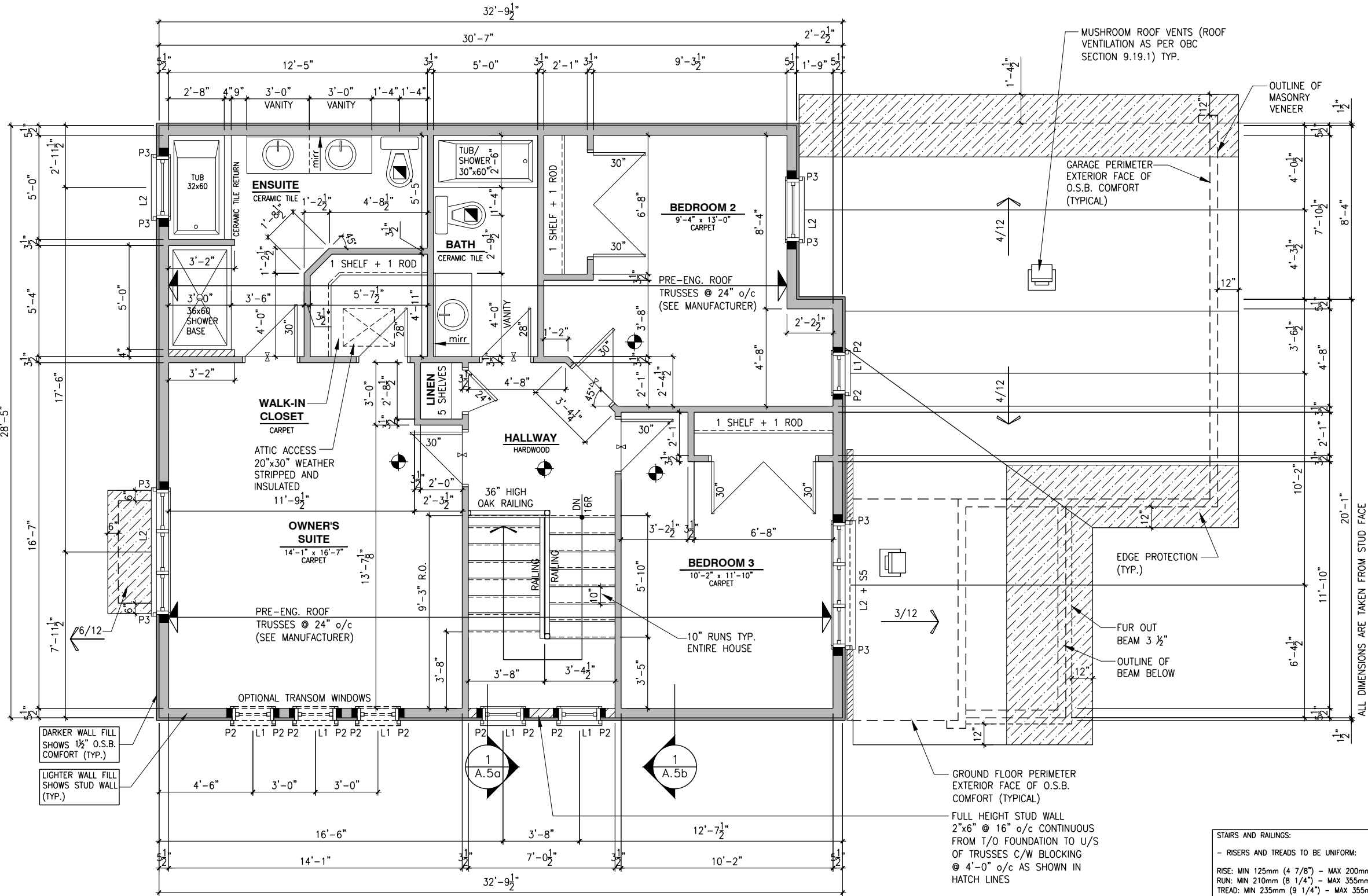
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SECOND FLOOR PLAN - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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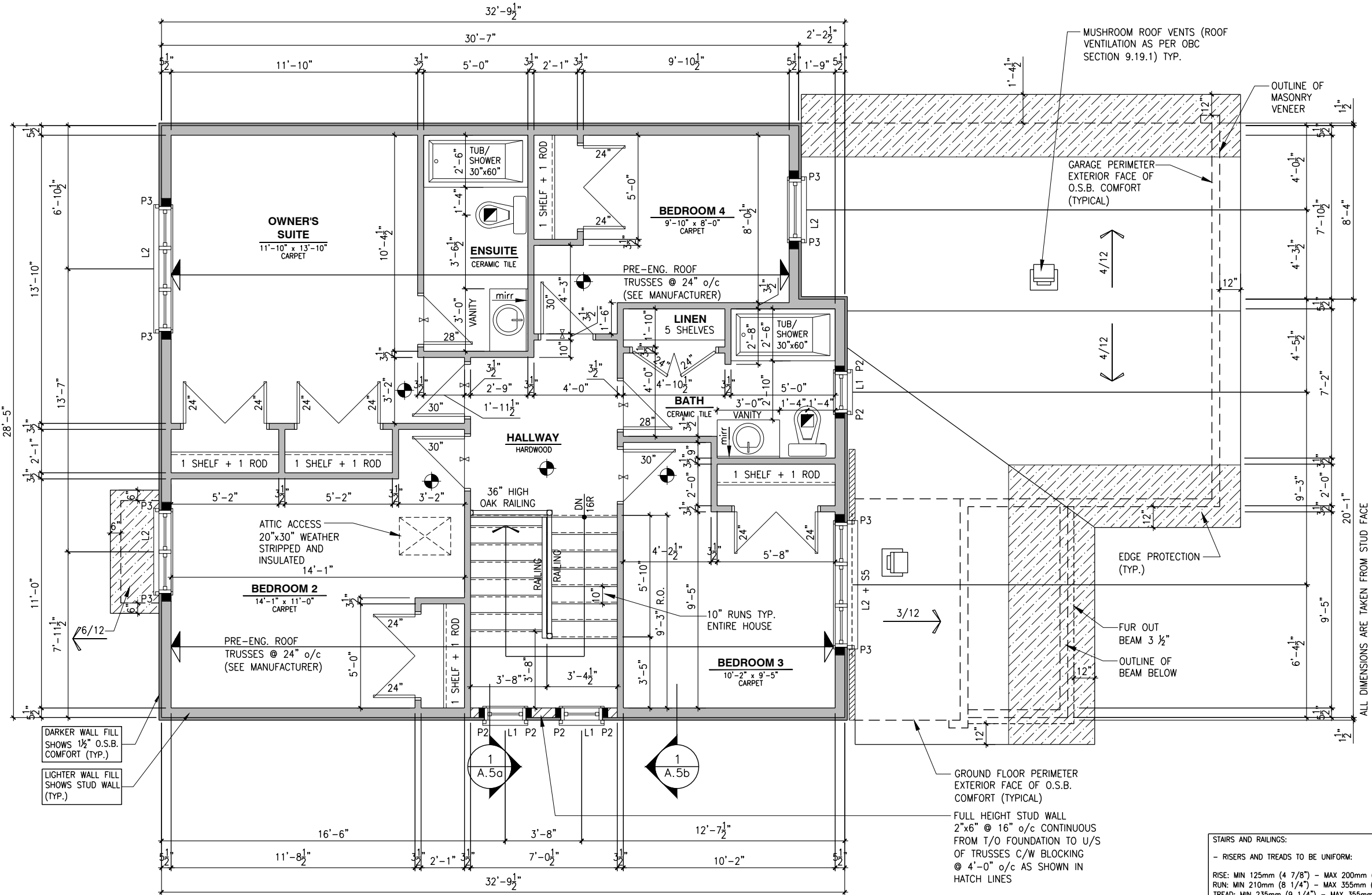

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**  
**ELEV. A (5 PC ENSUITE UPGRADE)**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

SECOND FLOOR PLAN - ELEVATION A (4 BEDROOM OPTION)

SCALE: 3/16" = 1'-0"



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WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS  
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");  
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";  
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;  
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

**LOT: XXXX**  
**DATE: XX/XX/XXXX**

**Valecraft Homes (2019) Limited**  
I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

**NOTES:**

**STEEL LINTEL:**

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

**LINTEL TABLE:**

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

P1	= 3" ADJUSTABLE STEEL COLUMN
P14	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*)	= 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

**SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:**  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

**PROVIDE MECHANICAL EXHAUST TO OUTSIDE**

**2012 O.B.C. DRAWINGS**

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**  
**ELEV. A (4 BEDROOM OPTION)**

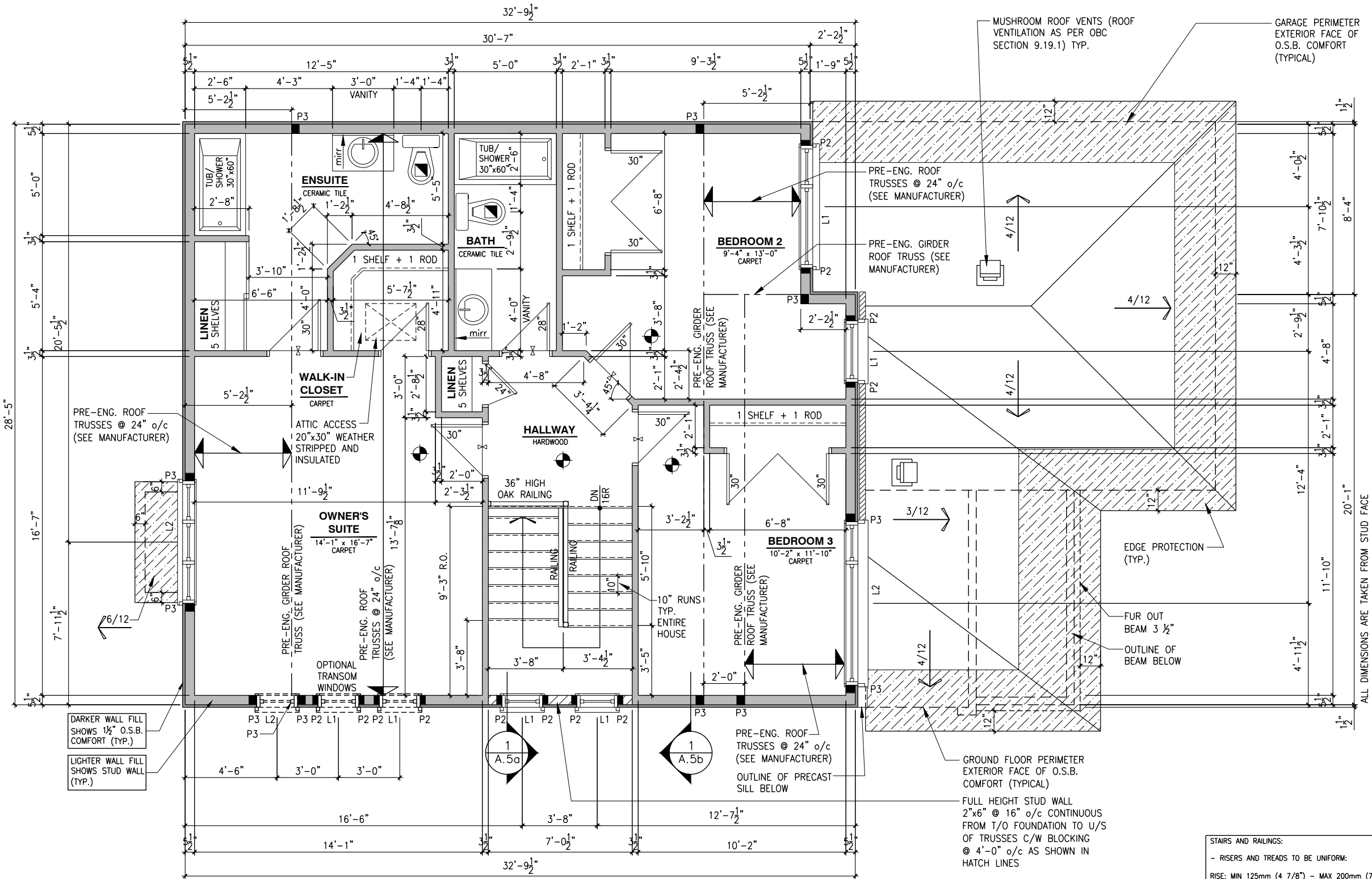
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP**  
**2023 FOOTPRINT**  
(STANDARD DRAWINGS)

**A8d**

SECOND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"



**SINGLE DWELLING STAIRS:**  
RISER = 5" MIN / 7'-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

**ROOF AND FLOOR LAYOUT NOTES:**  
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

**NOTE:**  
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

**NOTES:**  
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;  
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;  
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;  
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;  
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

**STAIRS AND RAILINGS:**  
- RISERS AND TREADS TO BE UNIFORM:  
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS  
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");  
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";  
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;  
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

**LOT: XXXX**  
**DATE: XX/XX/XXXX**

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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- NOTES:**  
**STEEL LINTEL:**  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x12 (8" BEARING)
- LINTEL TABLE:**  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:**  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:**  
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

**PROVIDE MECHANICAL EXHAUST TO OUTSIDE**

2012 O.B.C. DRAWINGS

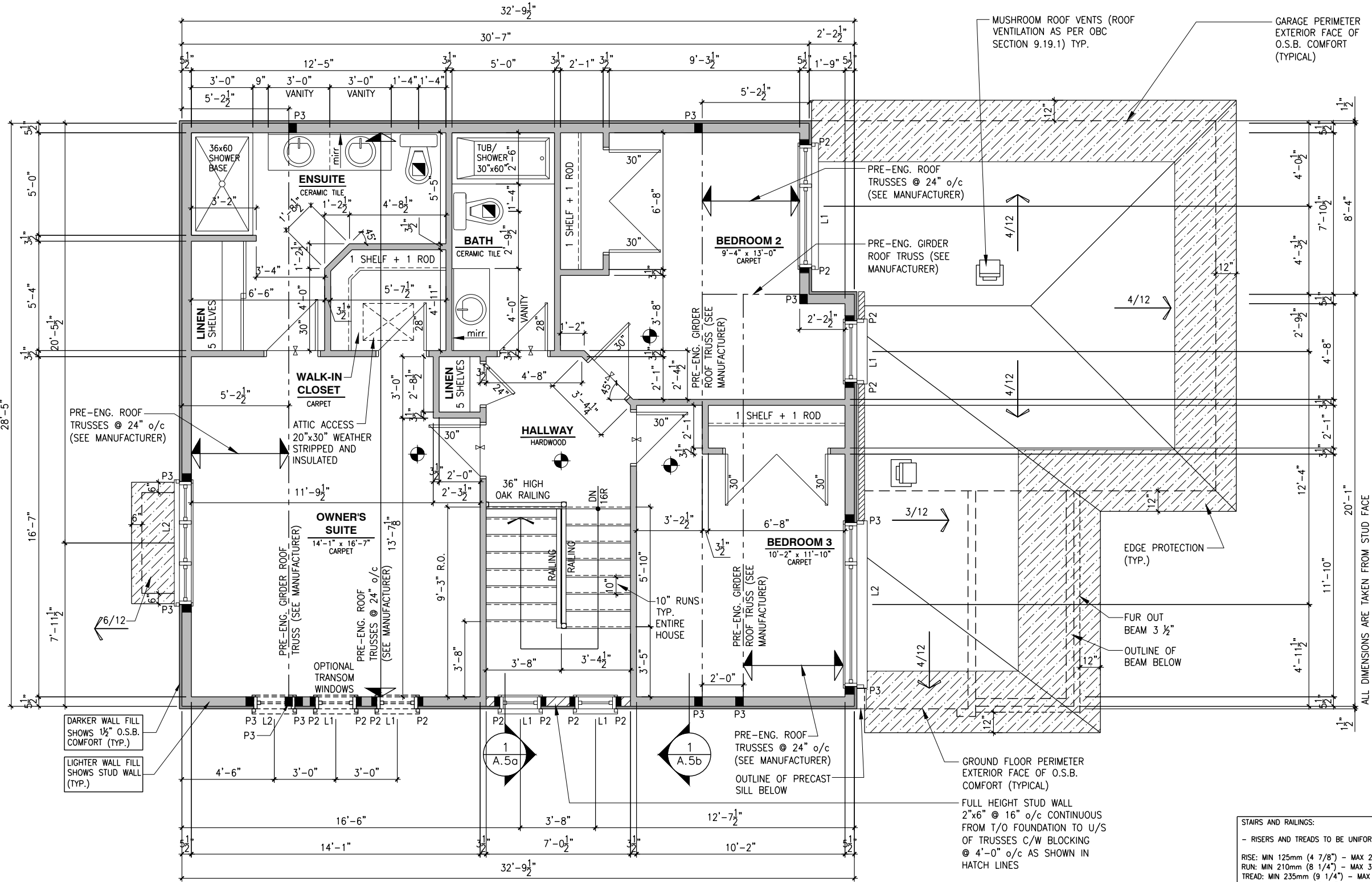

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

SECOND FLOOR PLAN - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



**SINGLE DWELLING STAIRS:**  
RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

**ROOF AND FLOOR LAYOUT NOTES:**  
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

**NOTE:**  
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**NOTES:**  
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**STAIRS AND RAILINGS:**  
- RISERS AND TREADS TO BE UNIFORM:  
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RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS  
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");  
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;  
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**NOTES:**  
STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

**LINTEL TABLE:**  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
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- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**  
**ELEV. B (4 PC ENSUITE UPGRADE)**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = Heavy Duty, Type 2, Adjustable Red Jack  
POST BY USP  
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P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 4-2x6  
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 10 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

[illegible]

DRAWING: **SECOND FLOOR PLAN**  
**ELEV. B (5 PC ENSUITE UPGRADE)**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:  
**A8g**



SCALE: 3/16" = 1'-0"

### SINGLE DWELLING STAIRS

RISER = 5" MIN / 7-7/8" MAX  
 RUN = 10" MIN / 14" MAX  
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
 THE CLEARANCE BETWEEN A HANDRAIL AND ANY  
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 HEADROOM = 6'-5" MIN

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INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF  
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MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE:

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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")

TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")

WIDTH: MIN 860mm (2'-10")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

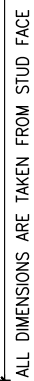
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11":

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT:

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

**STAIRS AND RAILINGS:**

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

**NOTE:**

– DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY  
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

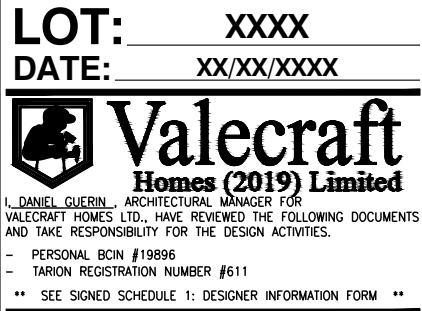
### SECOND FLOOR PLAN - ELEVATION B (4 BEDROOM OPTION)

SCALE:  $3/16'' = 1'-0''$



- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

SCALE:  $3/16" = 1'-0"$



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REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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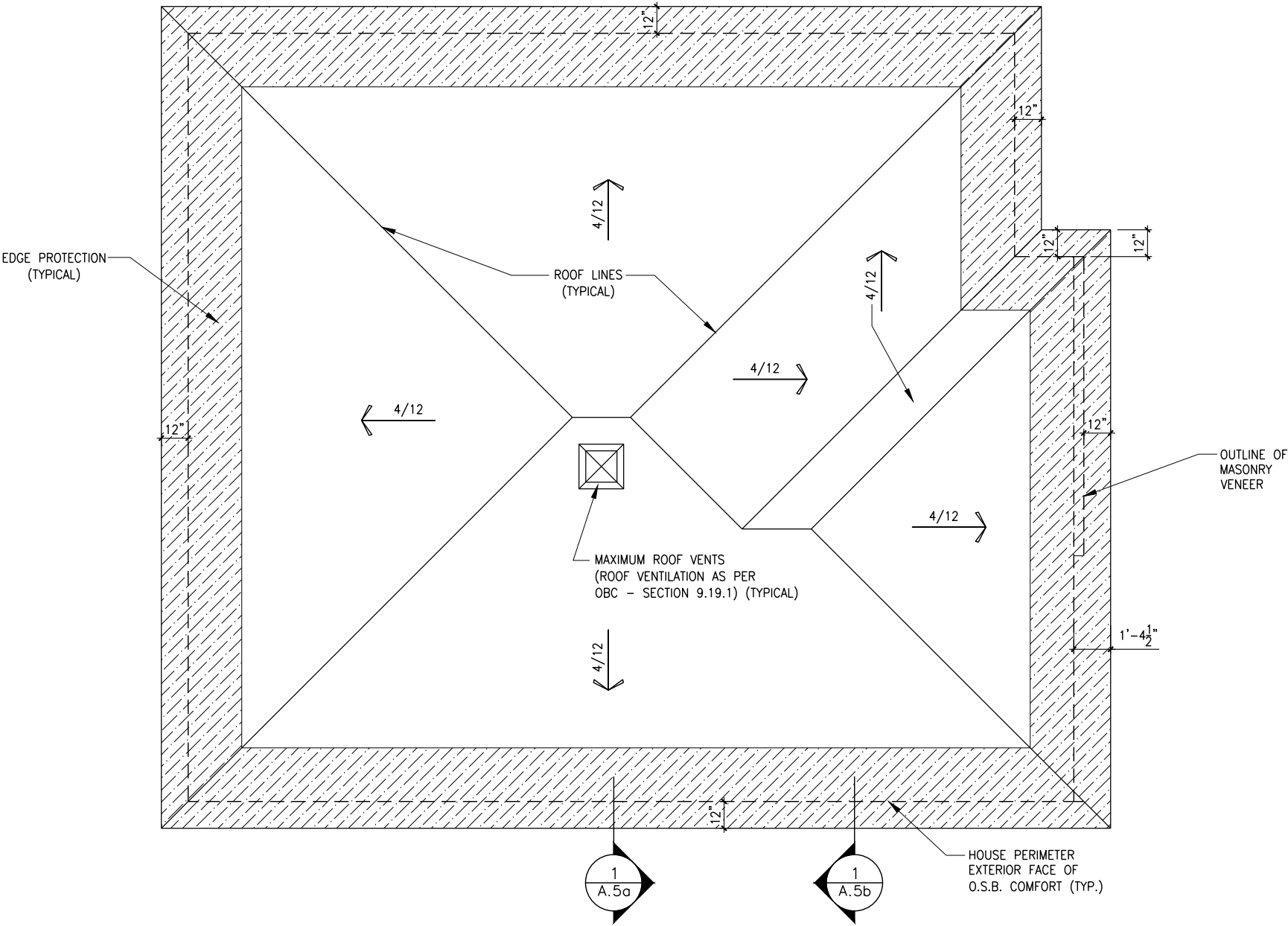
(STANDARD DRAWINGS)

SHEET:

## A9a

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

ROOF PLAN  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

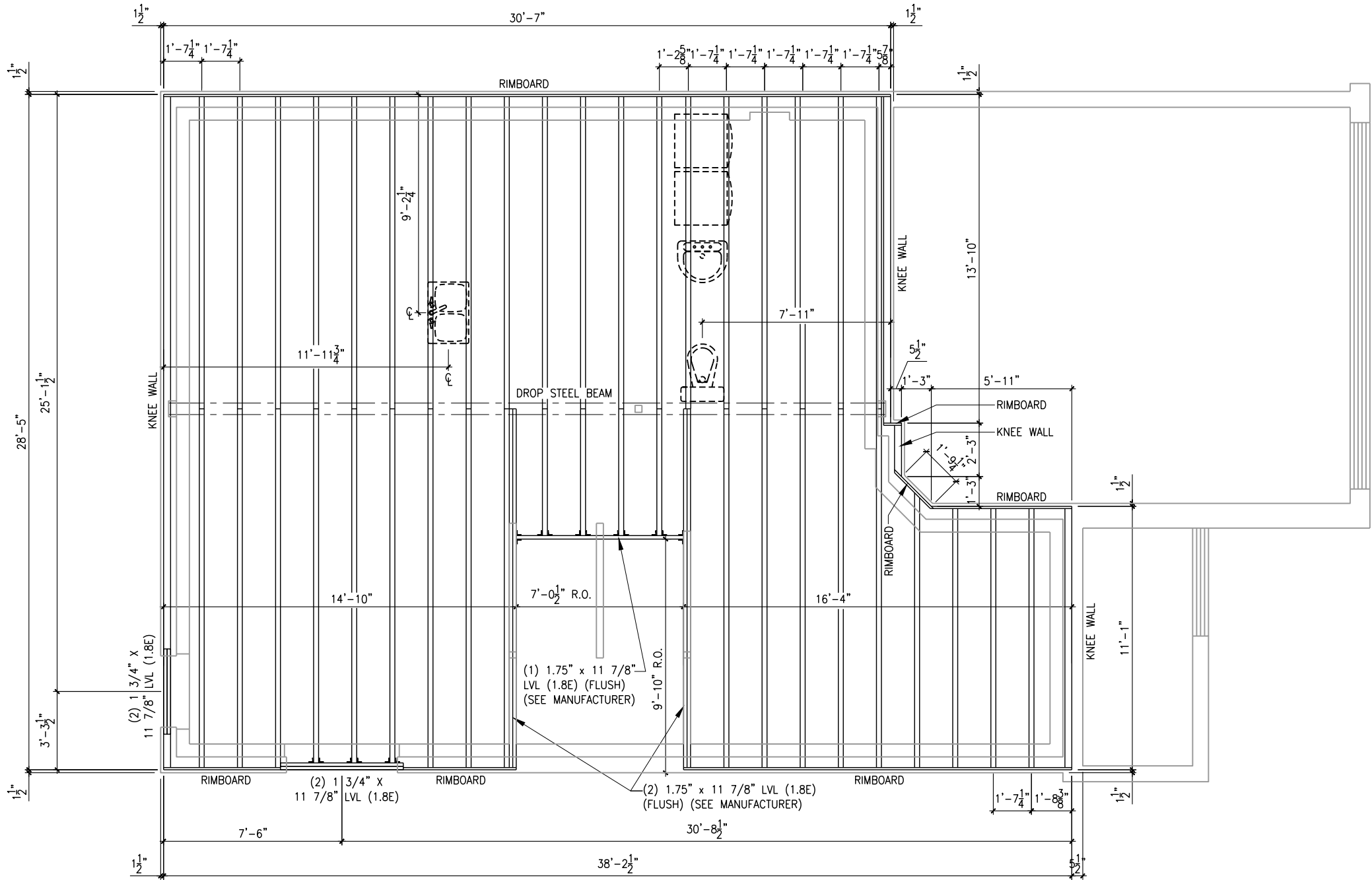
810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9b

GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

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LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

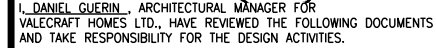
DRAWING: GROUND - JOIST LAYOUT  
ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A10a

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

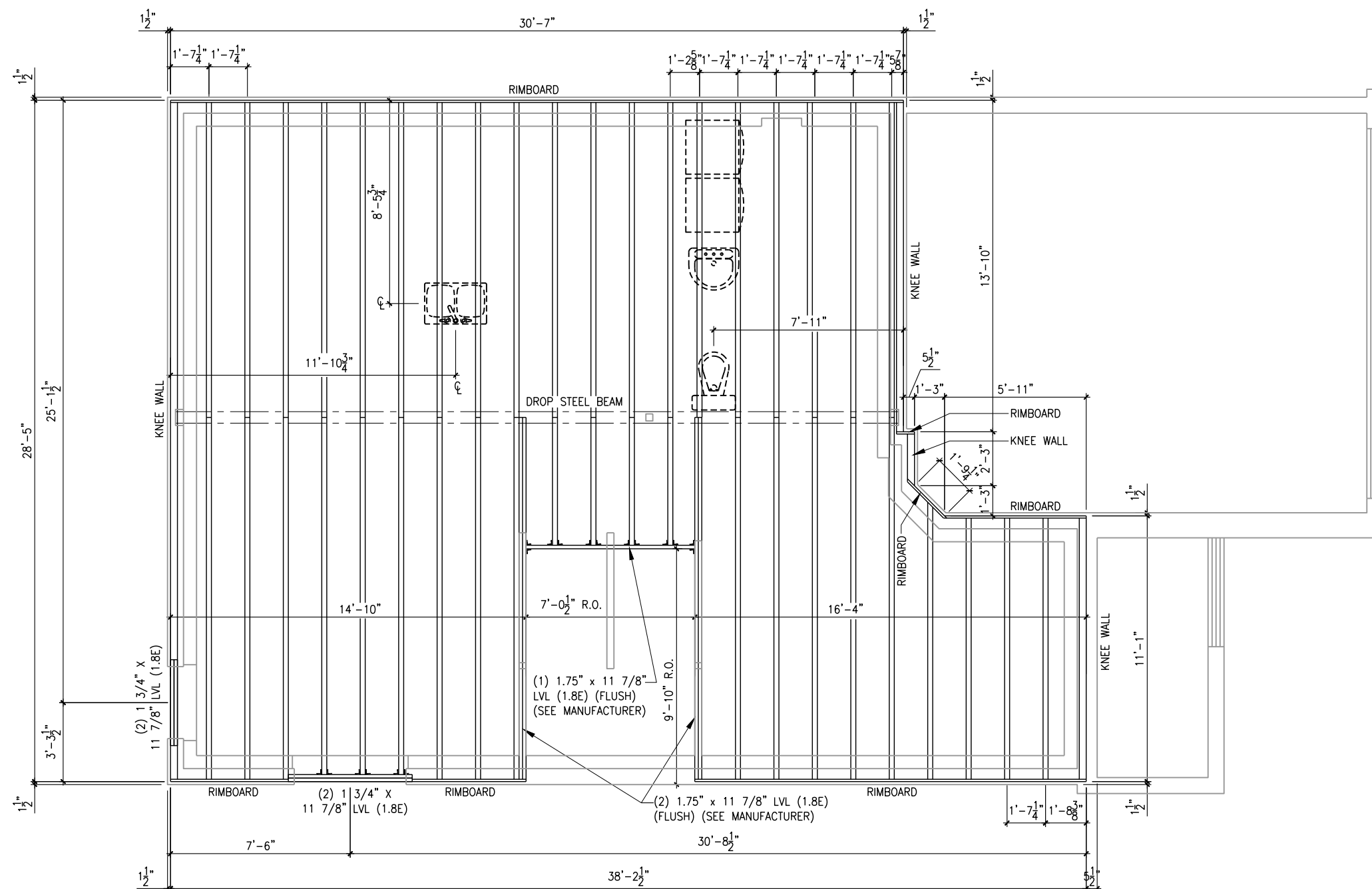
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SCALE: 3/16" = 1'-0"

## 2012 O.B.C. DRAWINGS

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**  
**ELEV. A AND B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

## 810 - THE KEMP 2023 FOOTPRINT

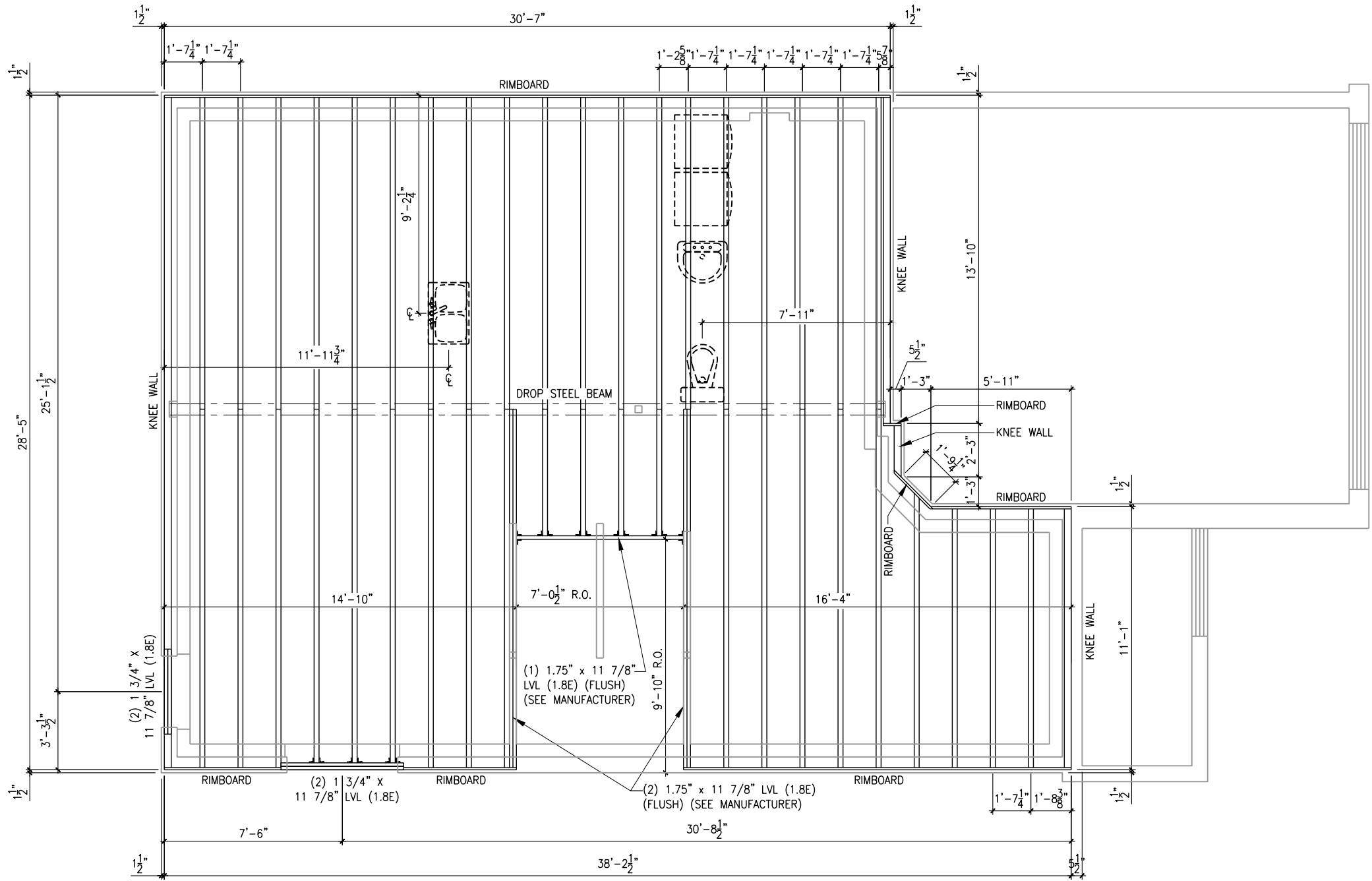
(STANDARD DRAWINGS)

SHEET:

## A10b

GROUND FLOOR - JOIST LAYOUT - OPTIONAL KITCHEN #2 - ELEVATION A AND B

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

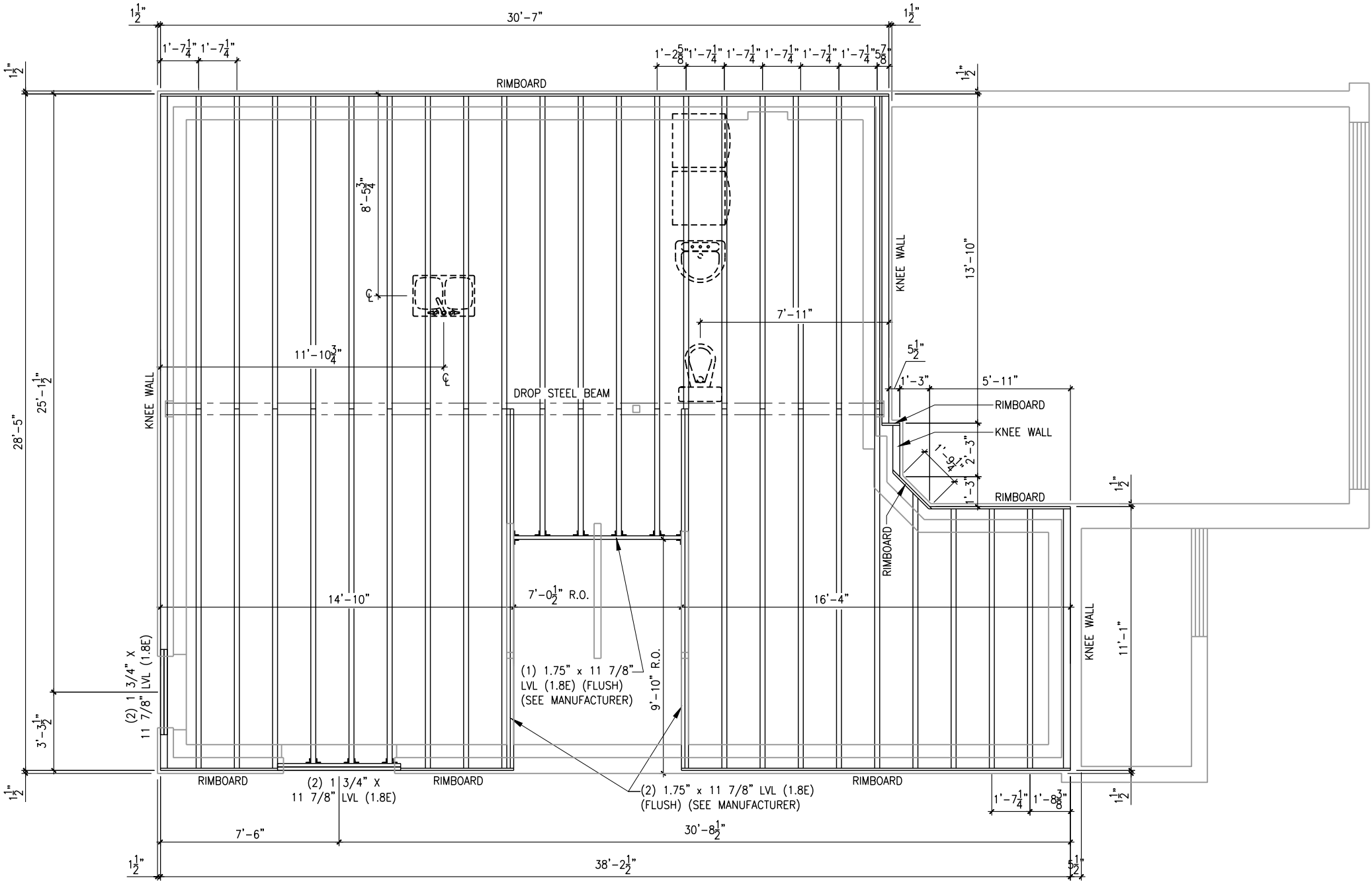
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP**  
**2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET: **A10c**



ROOF AND FLOOR LAYOUT NOTES:

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LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT  
ELEV. A AND B

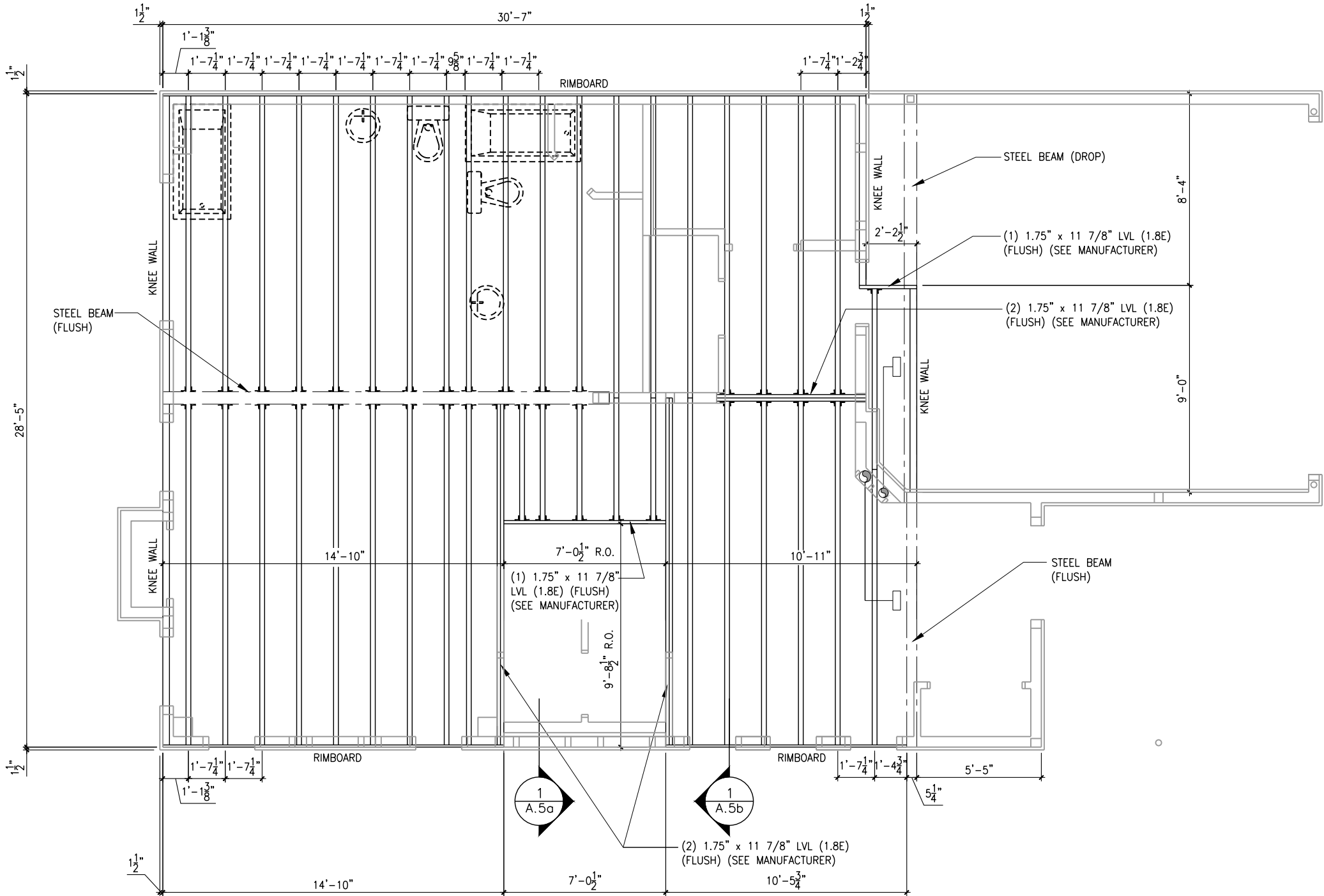
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A10d

SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:  
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LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: **A11a**



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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SCALE: 3/16" = 1'-0"

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT  
ELEV. A AND B**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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810 - THE KEMP  
2023 FOOTPRINT

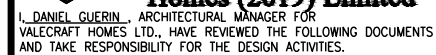
(STANDARD DRAWINGS)

SHEET:

## A11b



**DATE:** XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

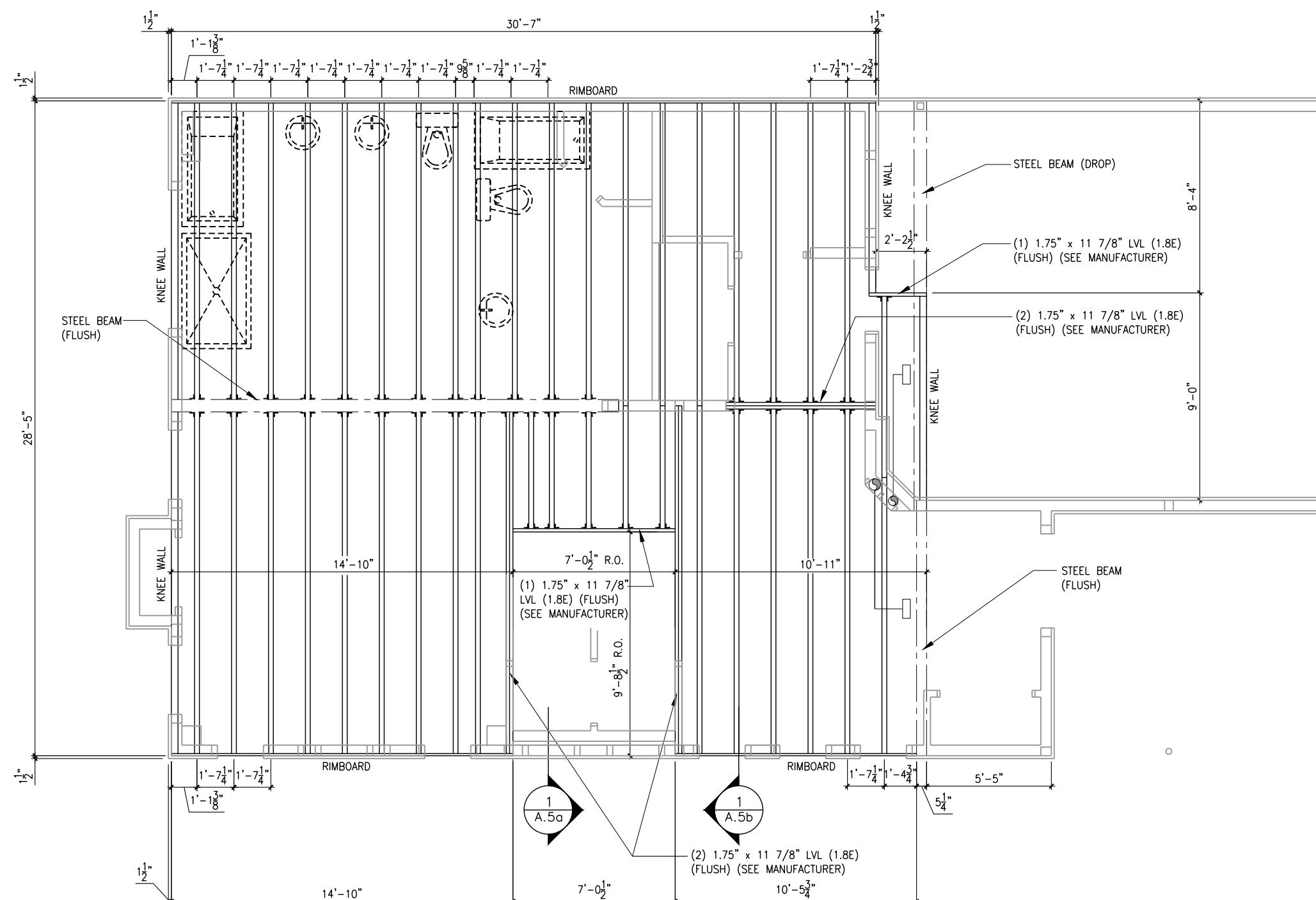
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SCALE: 3/16" = 1'-0"


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NO.	DESCRIPTION	DATE	BY

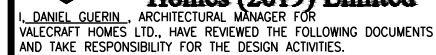
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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(STANDARD DRAWINGS)

SHEET:

**A11c**

**DATE:** XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

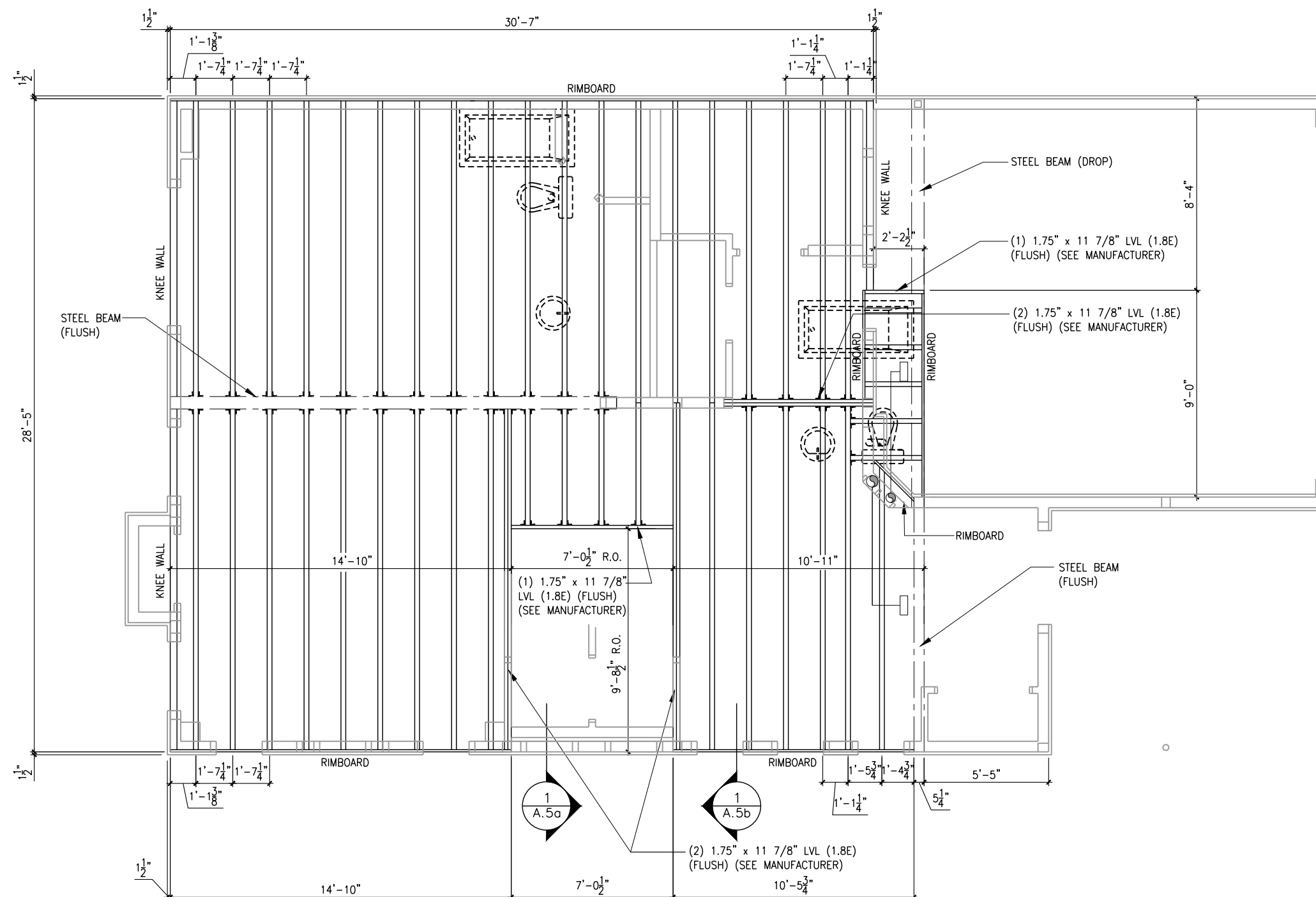
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SCALE: 3/16" = 1'-0"

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

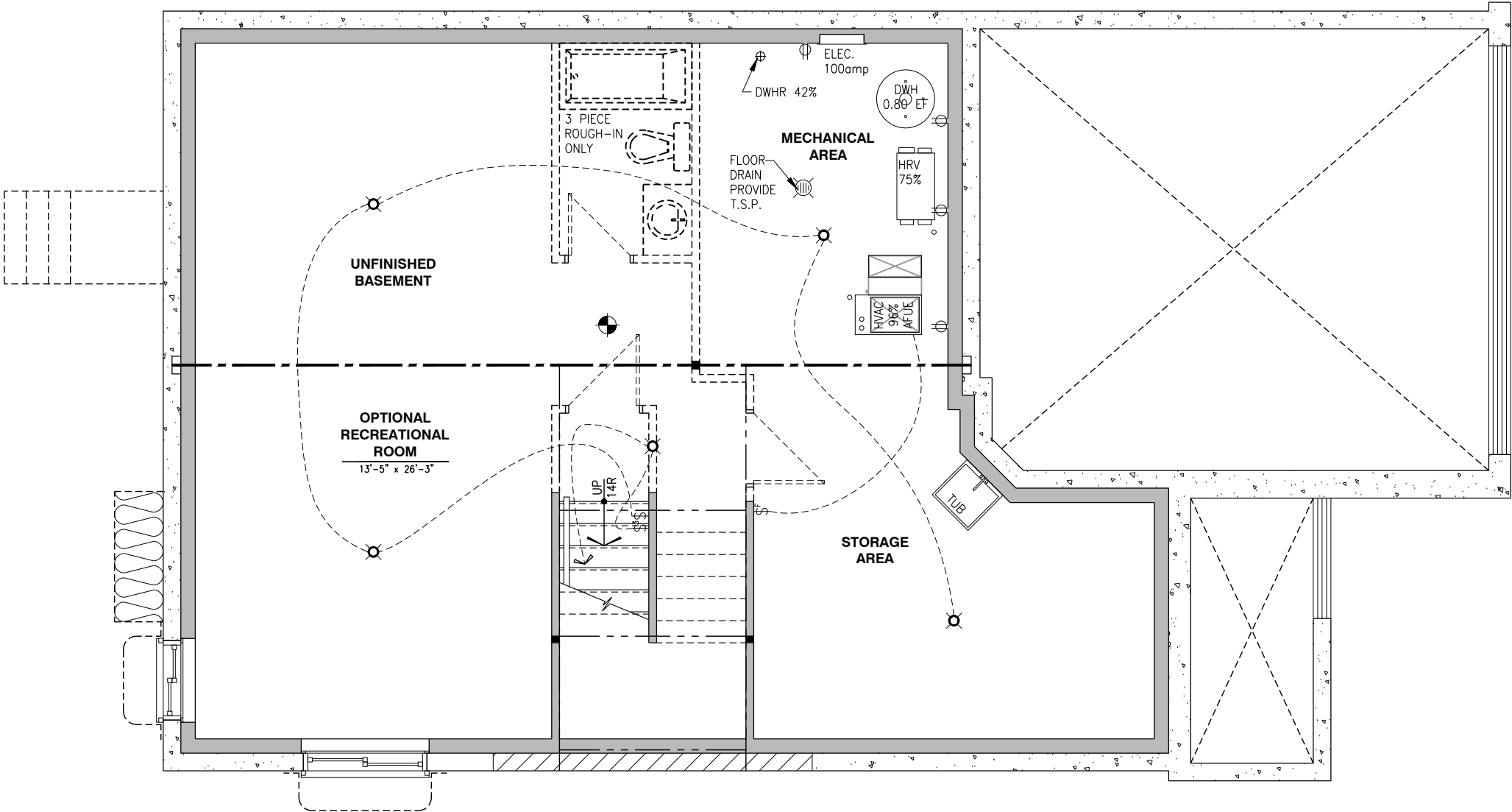
(STANDARD DRAWINGS)

SHEET:

## A11d

ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN - BASEMENT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E.1

LOT: XXXX  
DATE: XX/XX/XXXX



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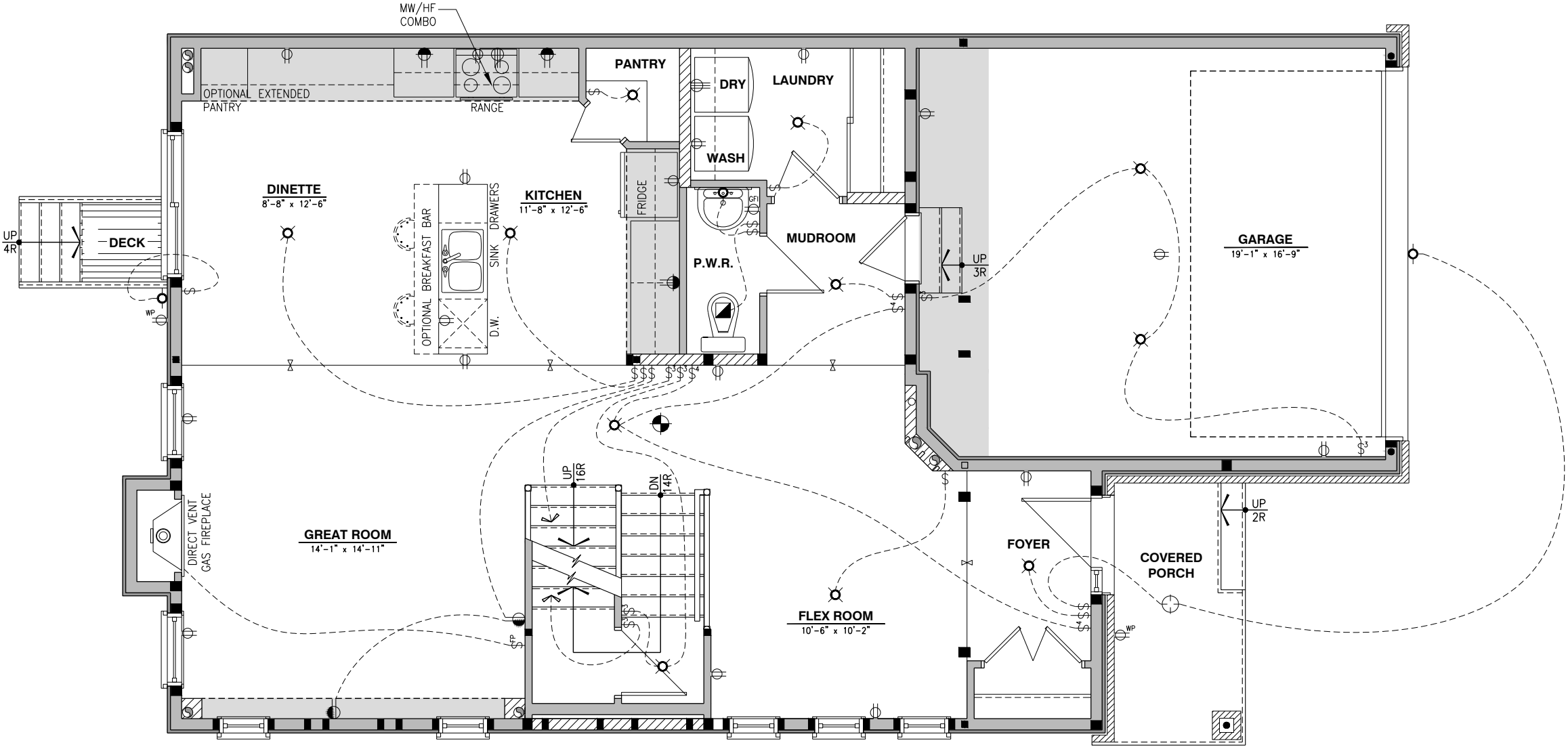
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12\"/>
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
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- \$ 220 VOLT OUTLET
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### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

### DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	3/16\"/>	XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.2a**

### ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A AND B

SCALE: 3/16\"/>

LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
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- \$ 220 VOLT OUTLET
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#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

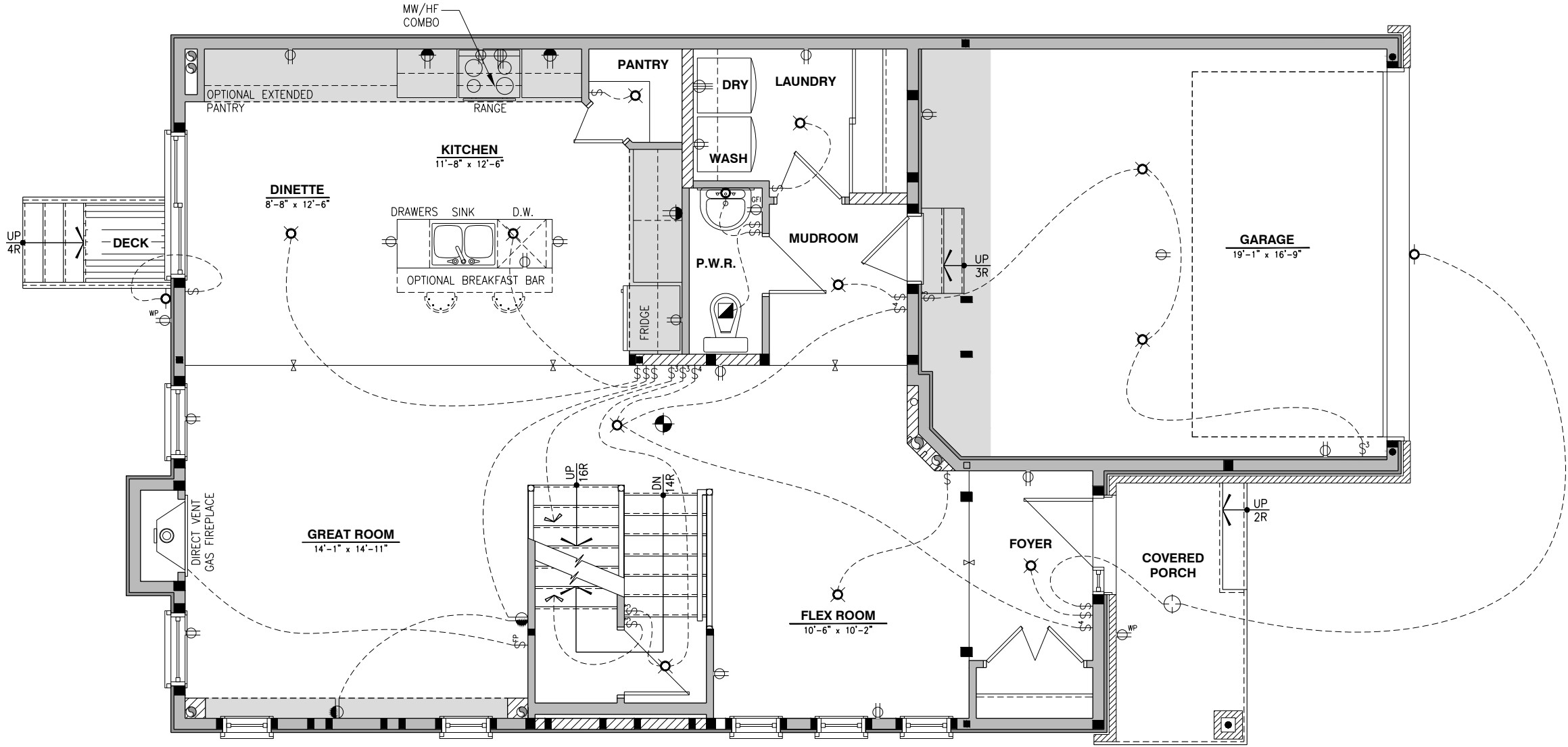
DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. A AND B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.2b



#### ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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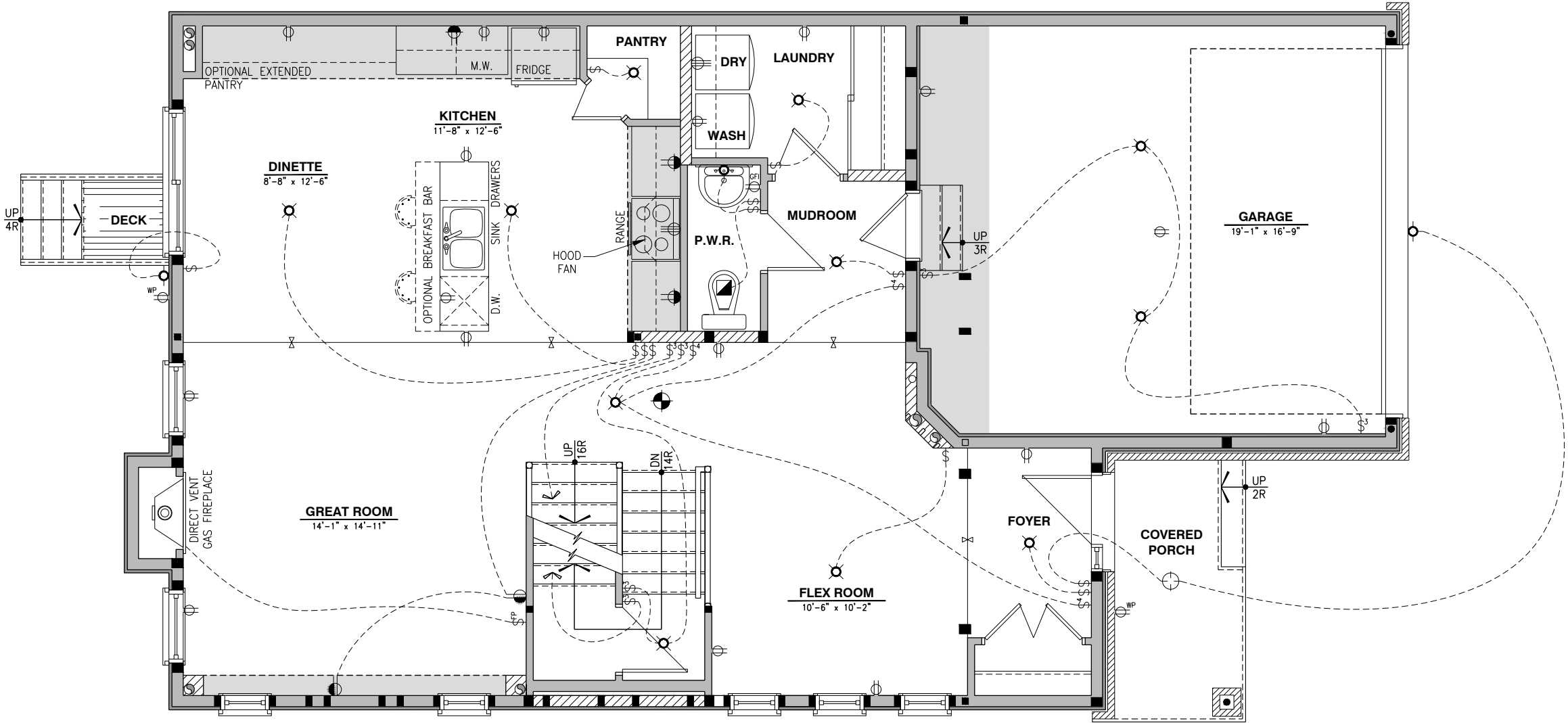
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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. A AND B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**810 - THE KEMP**  
**2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**E.2c**

LOT: XXXX  
DATE: XX/XX/XXXX



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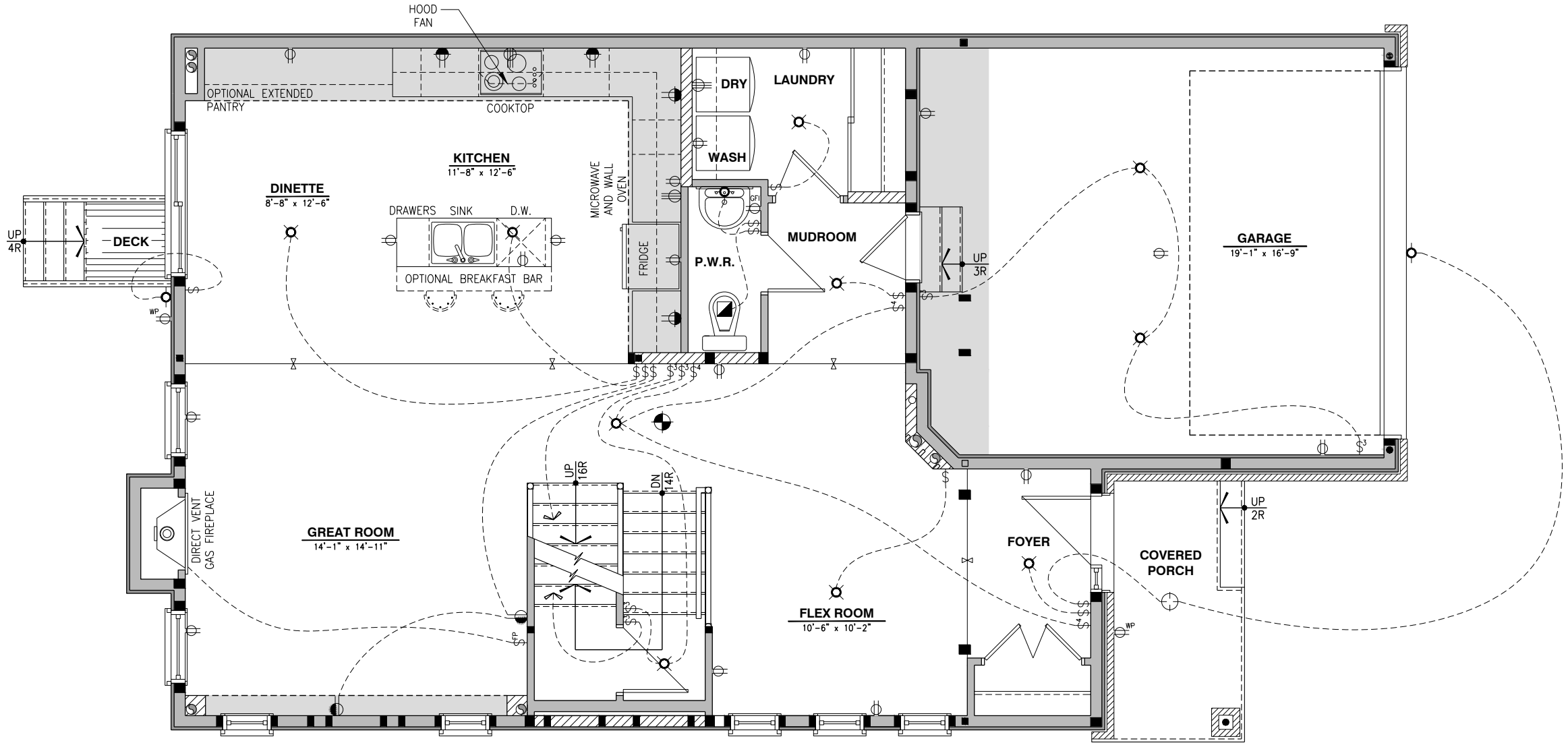
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- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$W WALL MOUNTED LIGHT FIXTURE
- \$C CEILING MOUNTED LIGHT FIXTURE
- \$P POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ME = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

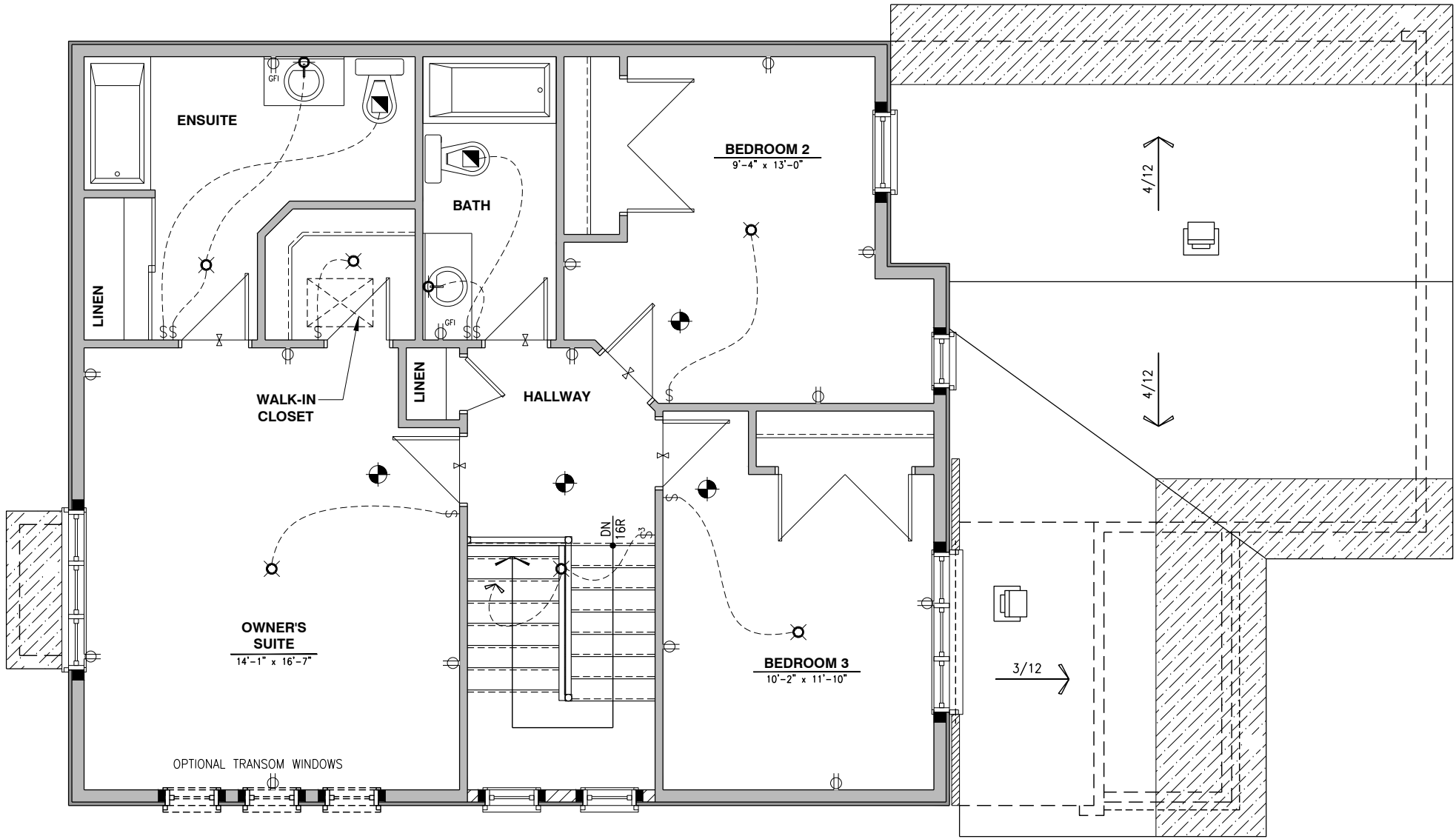
SHEET:  
**E.2d**

#### ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

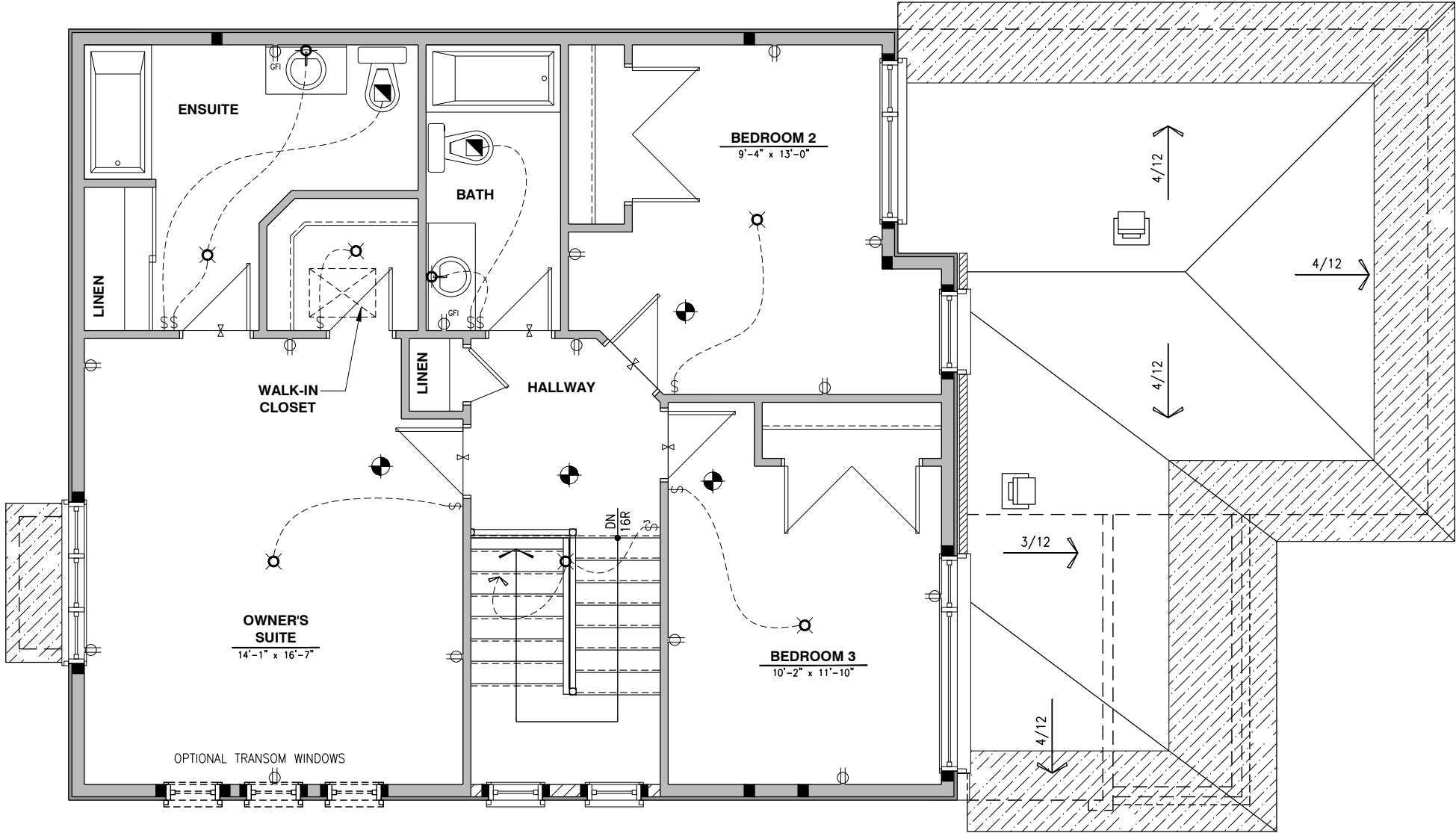
810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3a**



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

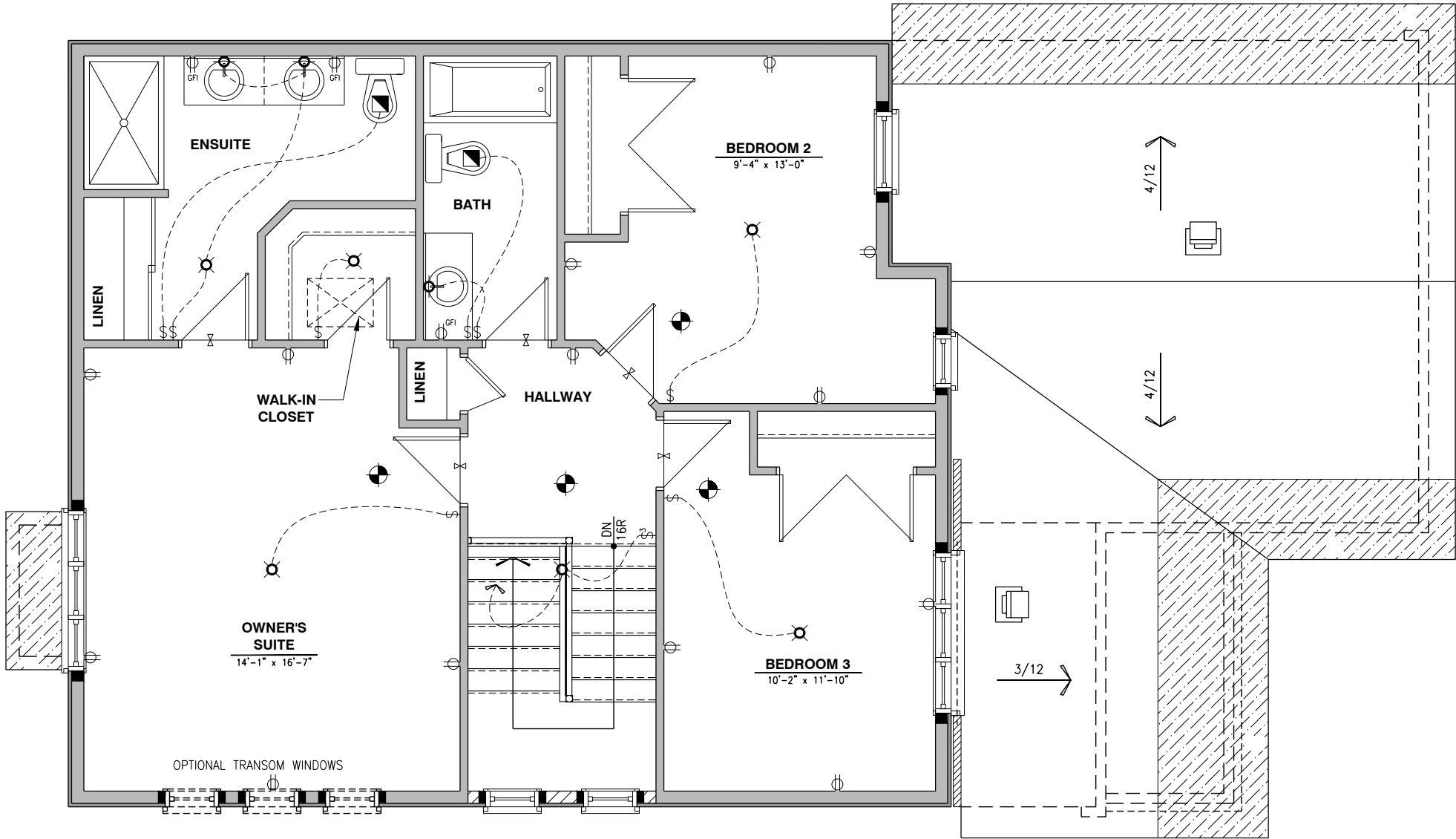
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.3b



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
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DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E.3c

LOT: XXXX  
DATE: XX/XX/XXXX



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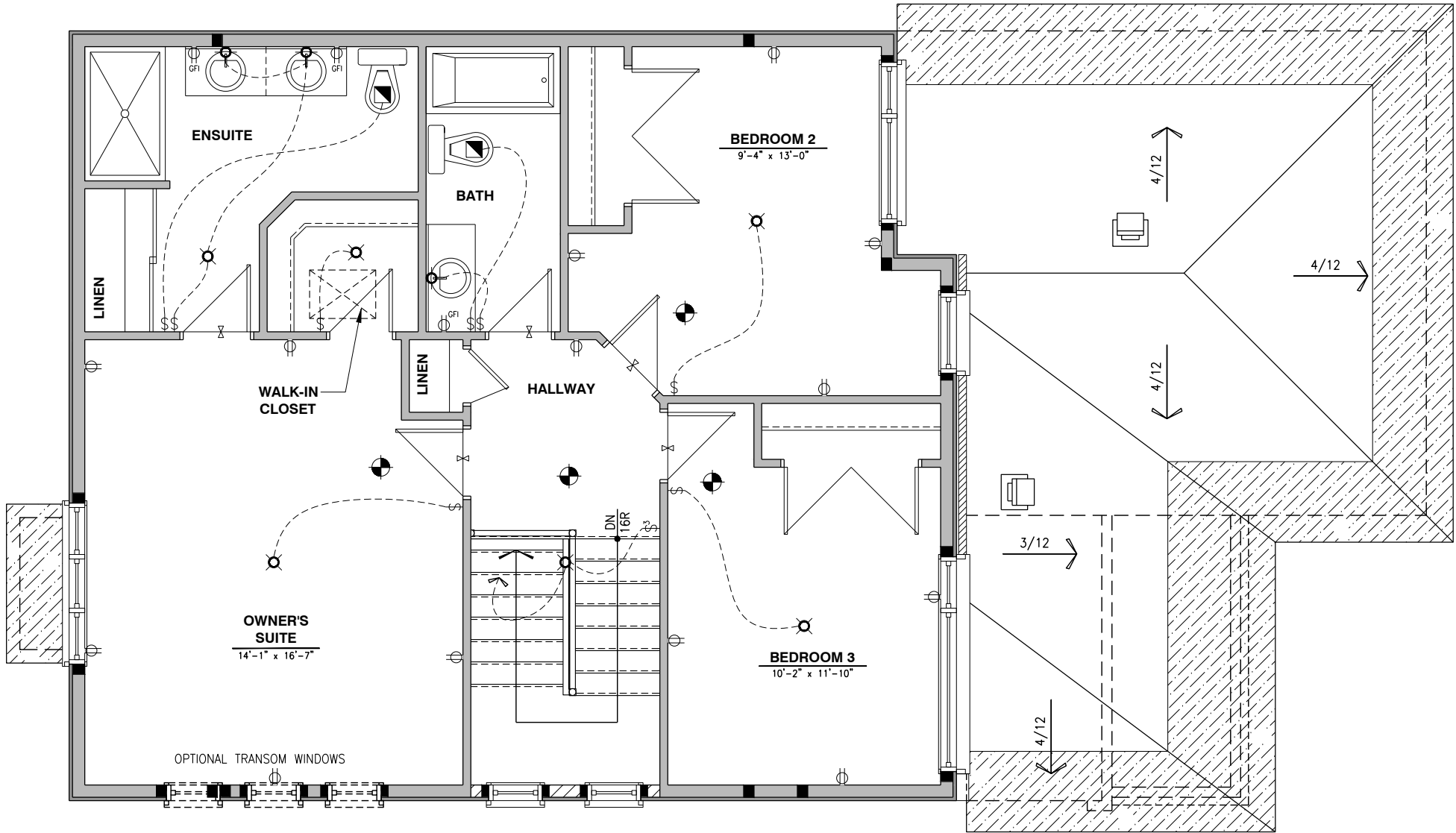
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- \$ SINGLE POLE SWITCH
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- \$4 4 WAY SWITCH
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- \$FP FIREPLACE SWITCH
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- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
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- \$ WALL MOUNTED LIGHT FIXTURE
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

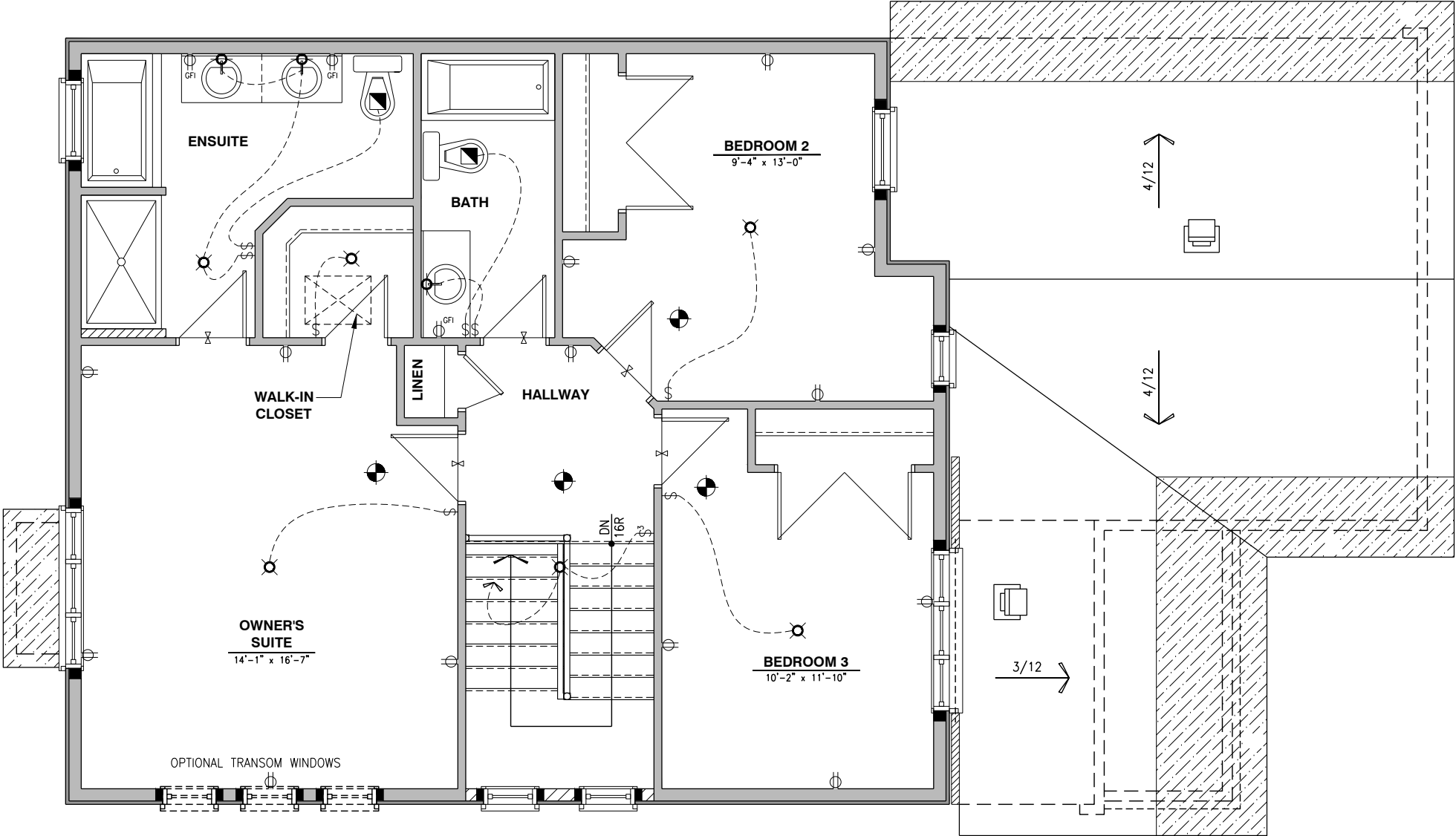
SHEET: **E.3d**

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3e

LOT: XXXX  
DATE: XX/XX/XXXX



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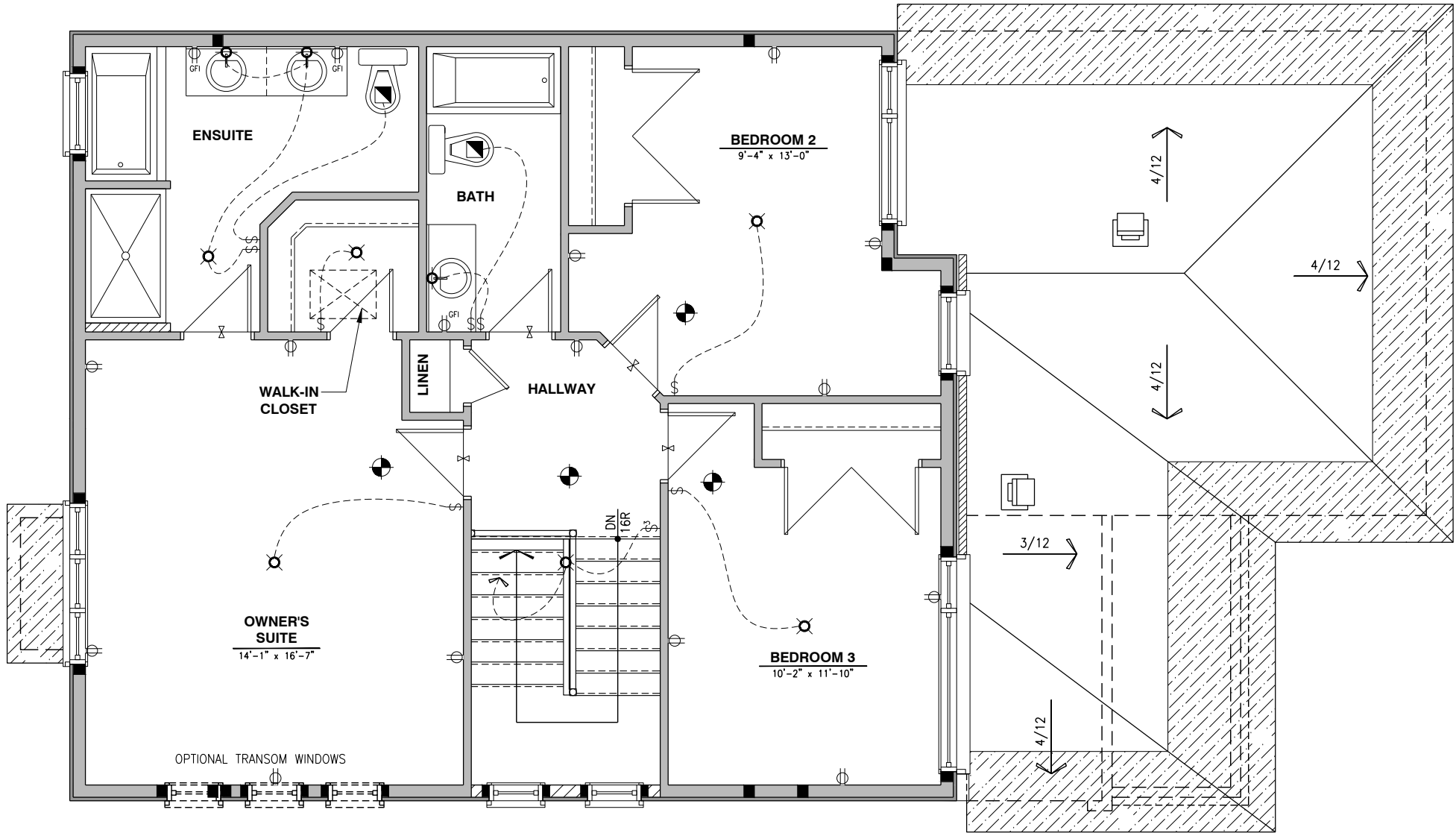
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## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

## DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

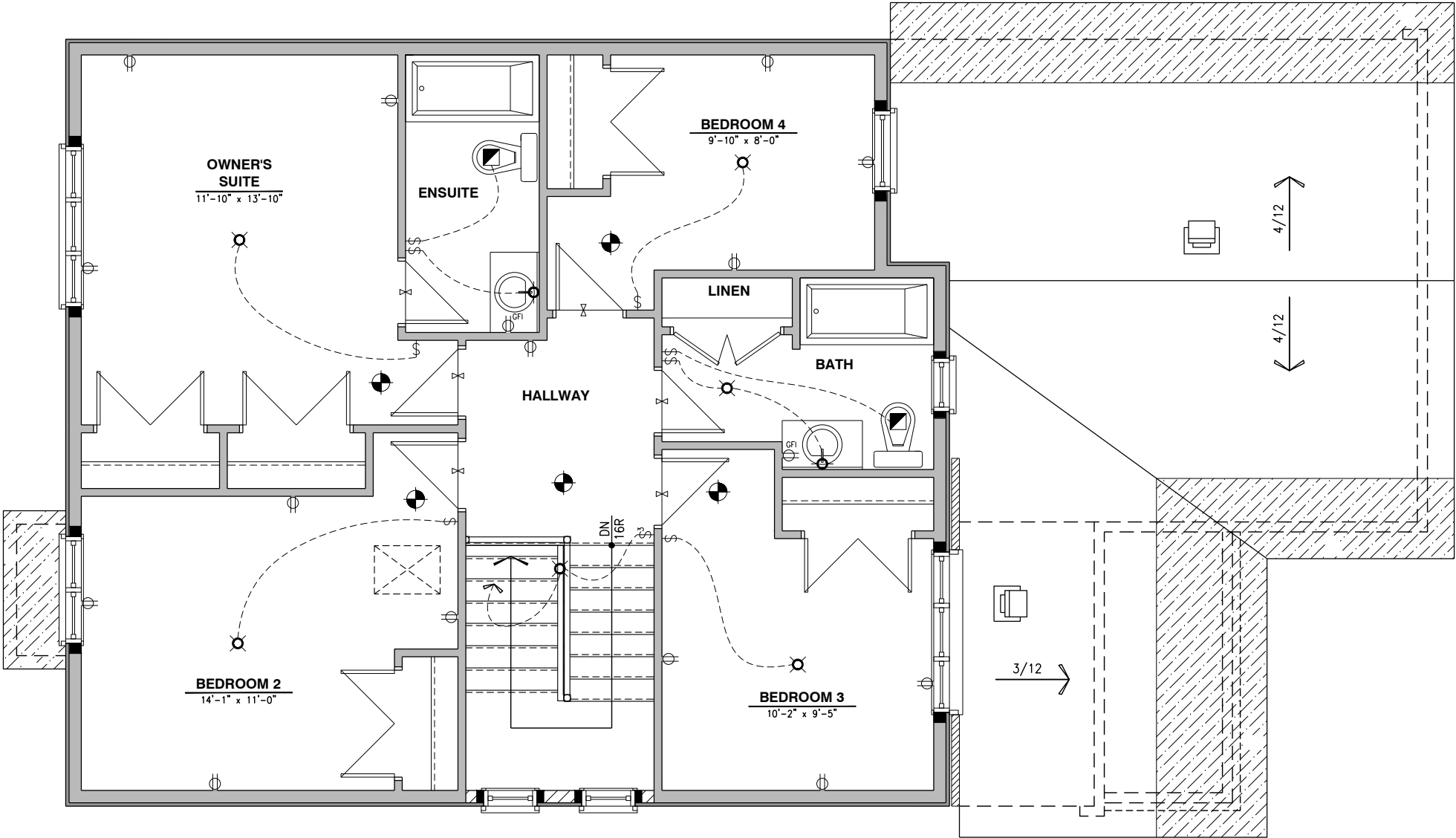
E.3f

## ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (4 BEDROOM OPTION)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3g

LOT: XXXX  
DATE: XX/XX/XXXX



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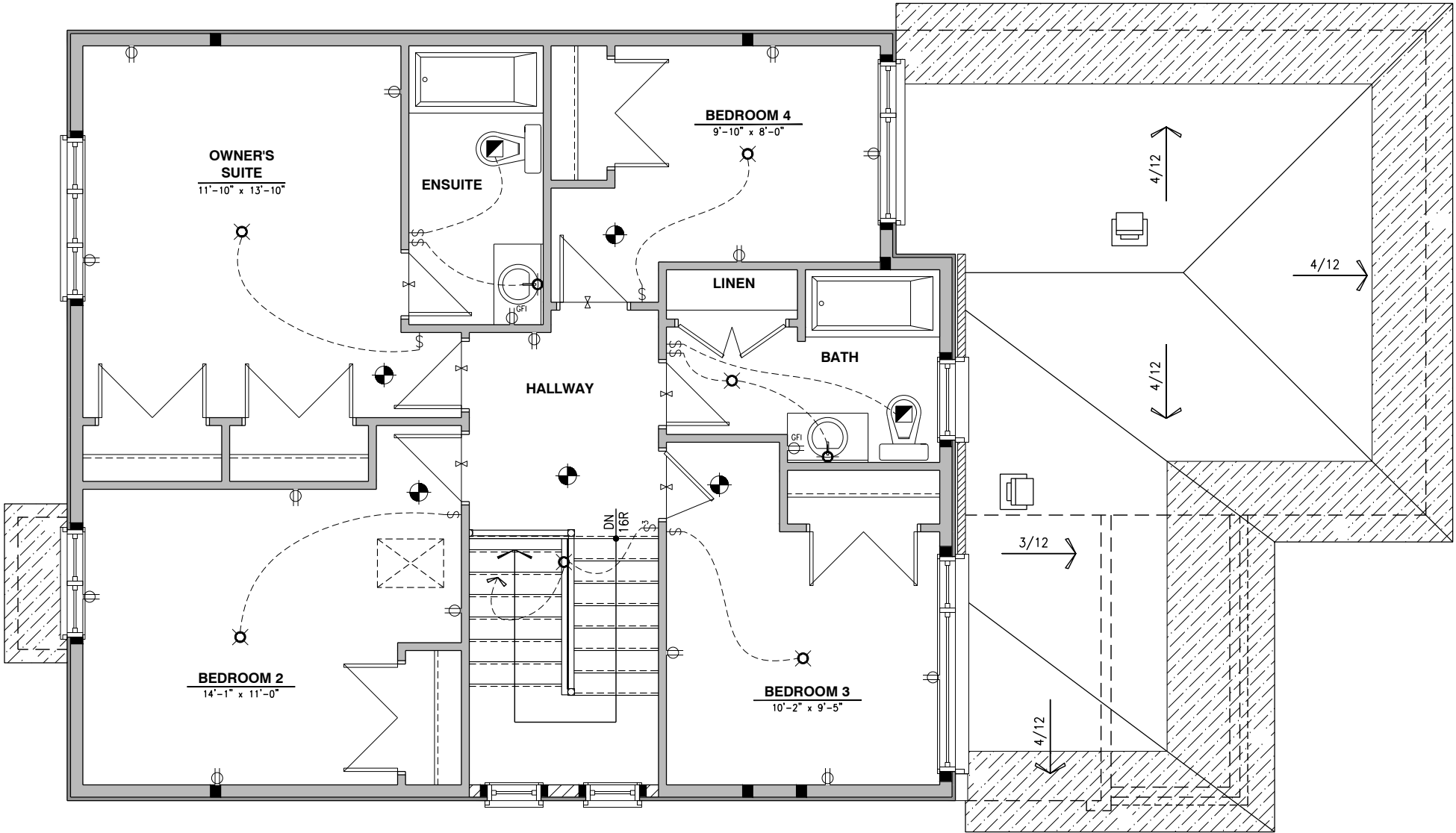
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#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

810 - THE KEMP  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3f**

#### ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (4 BEDROOM OPTION)

SCALE: 3/16" = 1'-0"