

PROVIDE MAXIMUM VENT AND _____
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA—
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

VINYL HORIZONTAL SIDING (TYP.)

VINYL CORNER TRIM (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

6'-11"

6'-11"

6'-11"

18'-0"

RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

T/O FOOTING _____
U/S OF FOOTING _____
00.00

-PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

REINFORCED WALL FOR Laterally
UNSUPPORTED CONCRETE FOUNDATION:

- 15M VERTICAL BARS @ 12" o/c
- 15M L-DOWEL 10" HORIZONTAL x
24" VERTICAL @ 12" o/c IN FOOTING
- VERTICAL BARS SHALL BE TIED TO
THE L-DOWELS

INSTALL 2" (SRP 400) HD RIGID
INSULATION FROST PROTECTION
IF UNDERSIDE OF FOOTINGS ARE
LESS THEN 5'-0" BELOW FINISH
GRADE

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE – 128 m. sq.
AREA OF UNPROTECTED OPENINGS – 4.1 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS – 3.2 %

—PRE-ENGINEER 36"
HIGH ALUMINUM RAILING
WITH GLASS PANELS

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

—NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

—ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

— BRICK VENEER (TYP.)

1'-2"

U/S OF TRUSSES

T/O WINDOWS

6'-11"

VINYL HORIZONTAL SIDING (TYP.)

FLASHING @ ROOF AND WALL JUNCTURE (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

1'-0"

CAP BEAM W/ PRE-FINISHED ALUMINUM

8"x8" PVC COLUMN
WRAP (TYP.)
4" PRECAST CAP

OUTLINE OF STEEL
POST SEE PLAN
(TYP.)

T/O FOUNDATION
00.00
-2'8"

CONCRETE STAIR
ONE INVERTED
T/O FOOTING

NEER 36"
MINUM RAILING

RIGHT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECFART'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWING NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYOL
NO.	DESCRIPTION	DATE	RY

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

DRAWING: **RIGHT ELEVATION**
ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2a

A3a

[illegible]

SCALE: 3/16" = 1'-0"



Valecraft
Homes (2019) Limited

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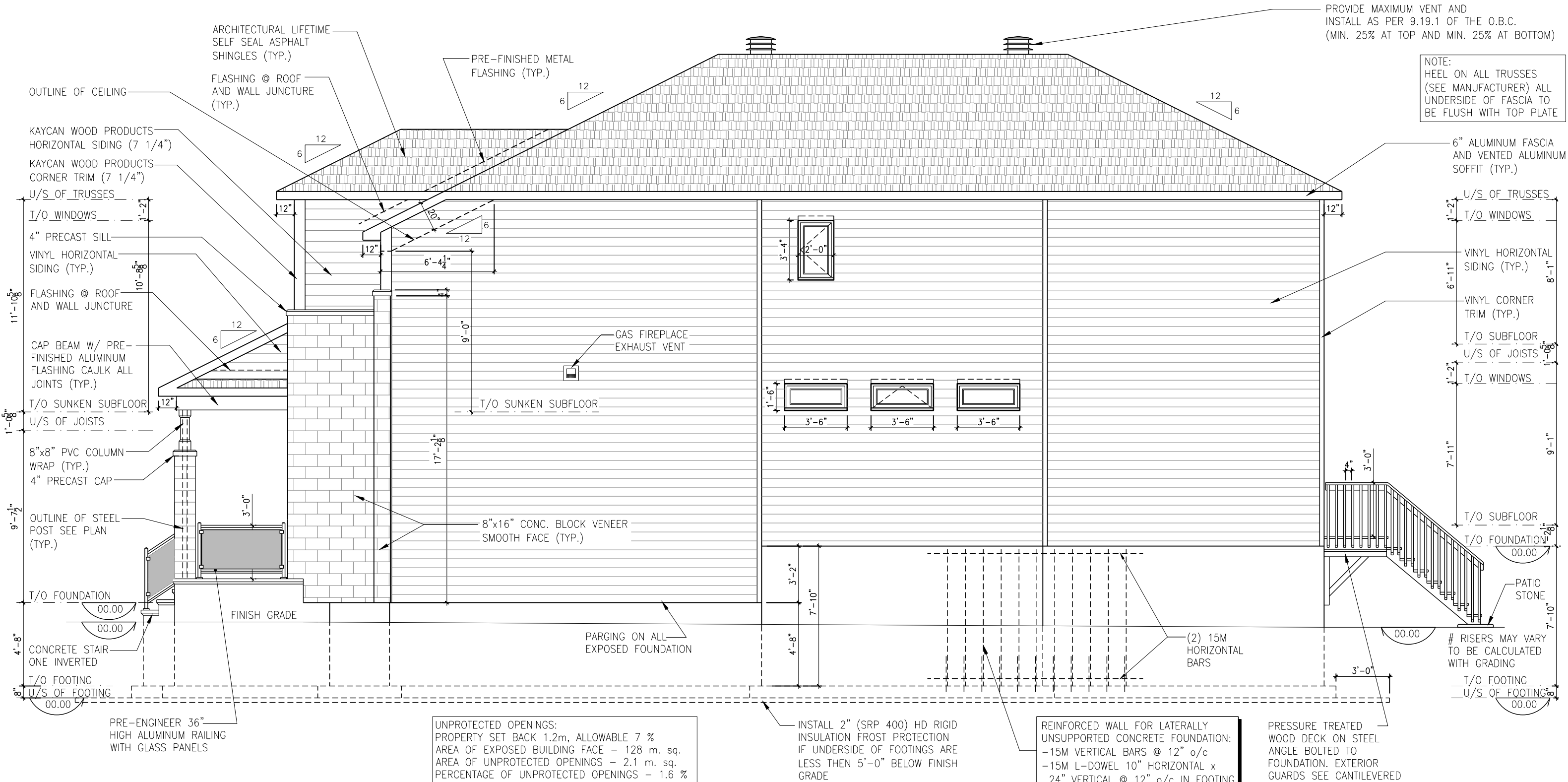
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SHEET:

A2b



LEFT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: LEFT ELEVATION
ELEVATION B

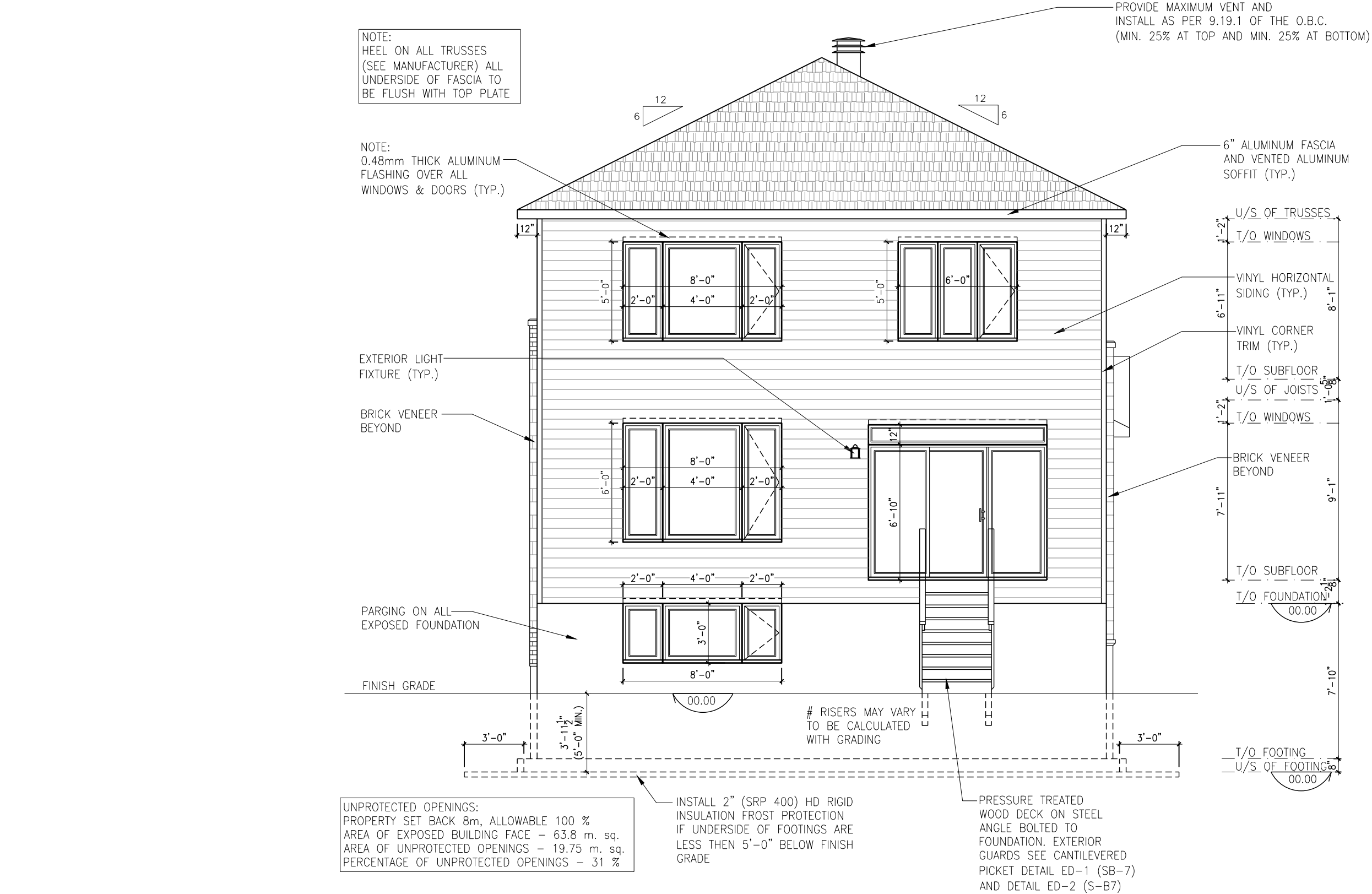
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870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3b



REAR ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

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ELEVATION B

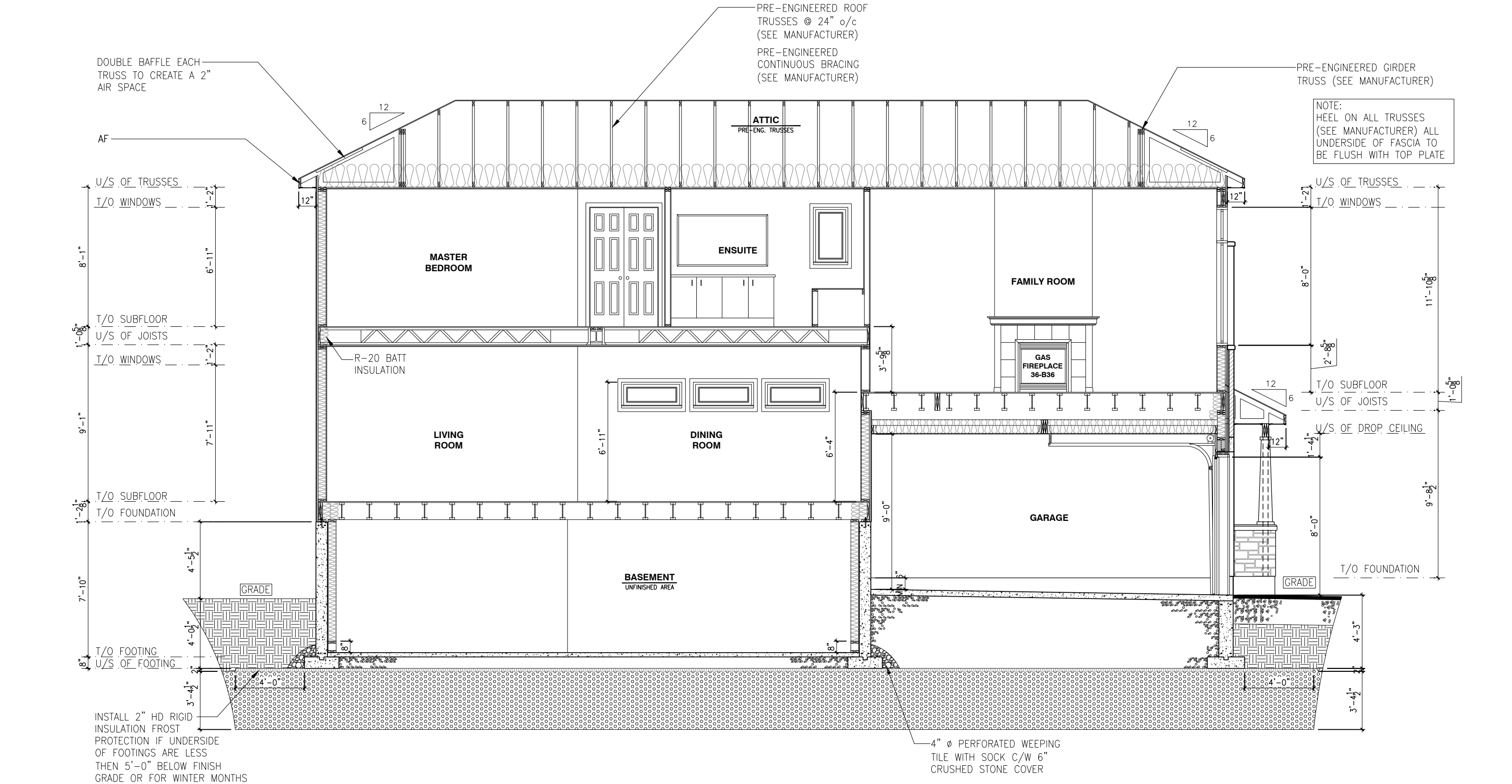
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870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4b



BUILDING SECTION - ELEVATION A

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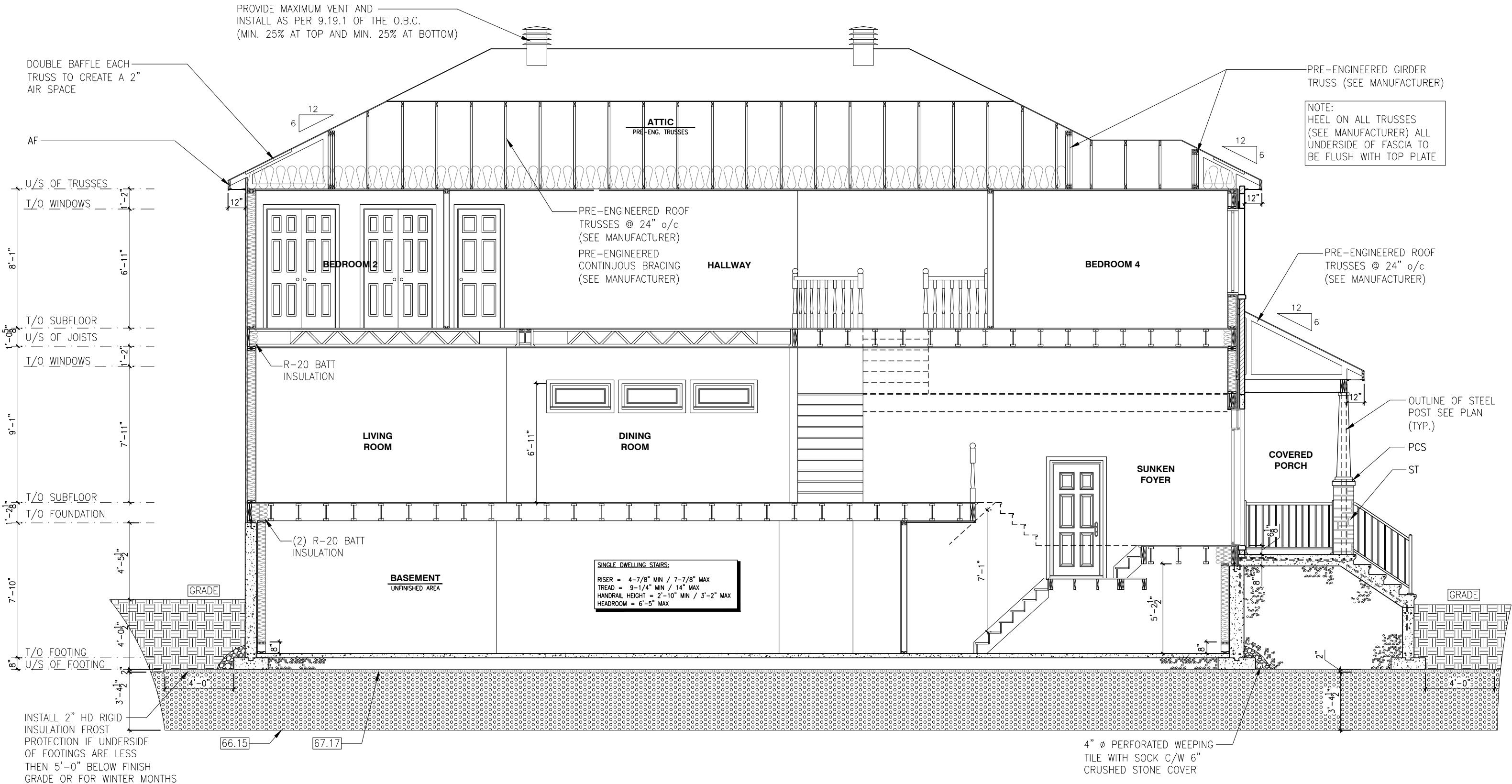
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**870 - THE DENNISON
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A5a



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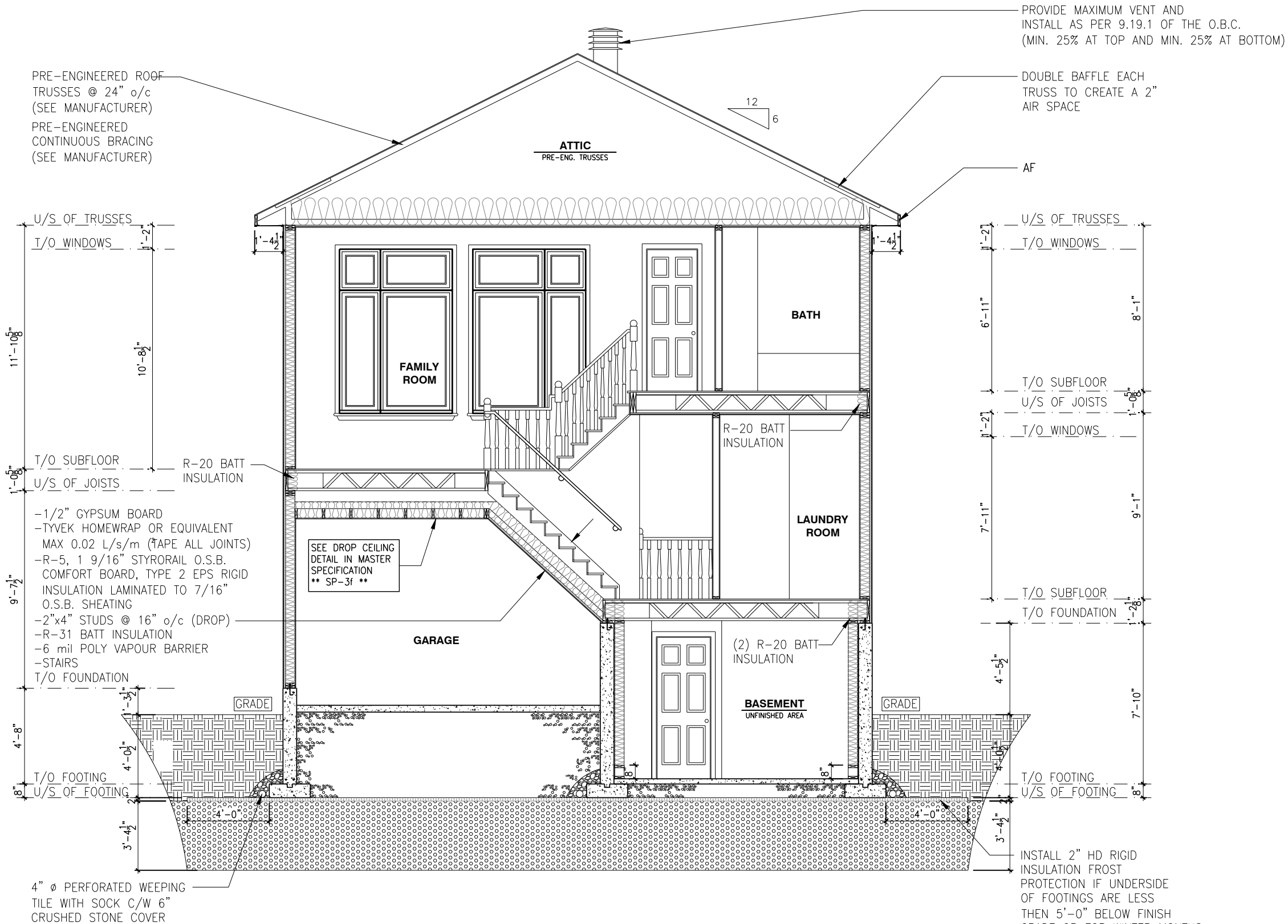
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A5b



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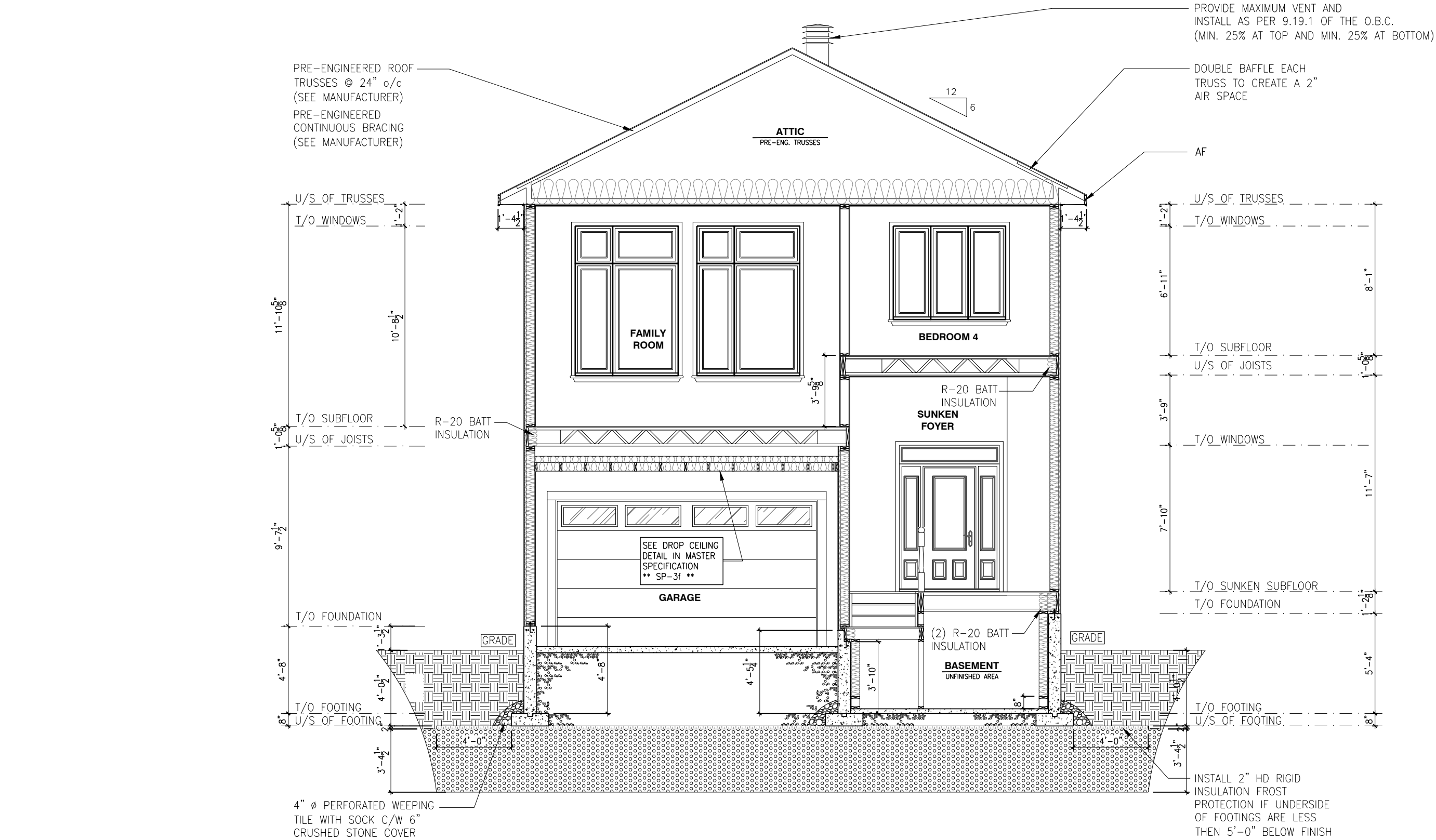


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2012 O.B.C. DRAWINGS		
DRAWING: BUILDING SECTION ELEVATION A		
ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
870 - THE DENNISON 2023 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A5c



BUILDING SECTION - ELEVATION A
SCALE: 3/16" = 1'-0"

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ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A5d

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

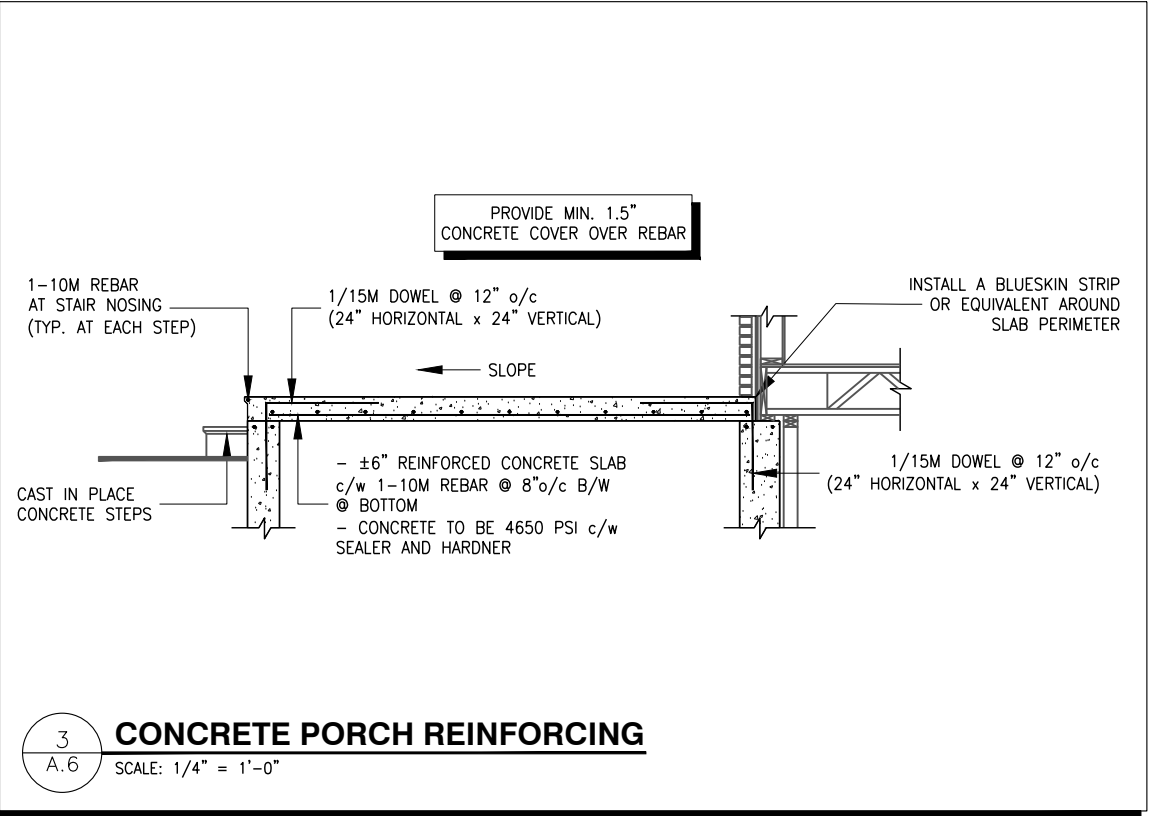
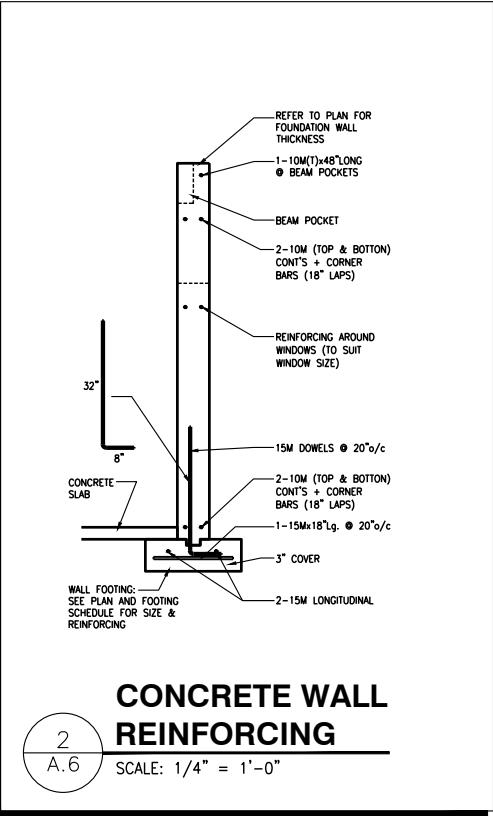
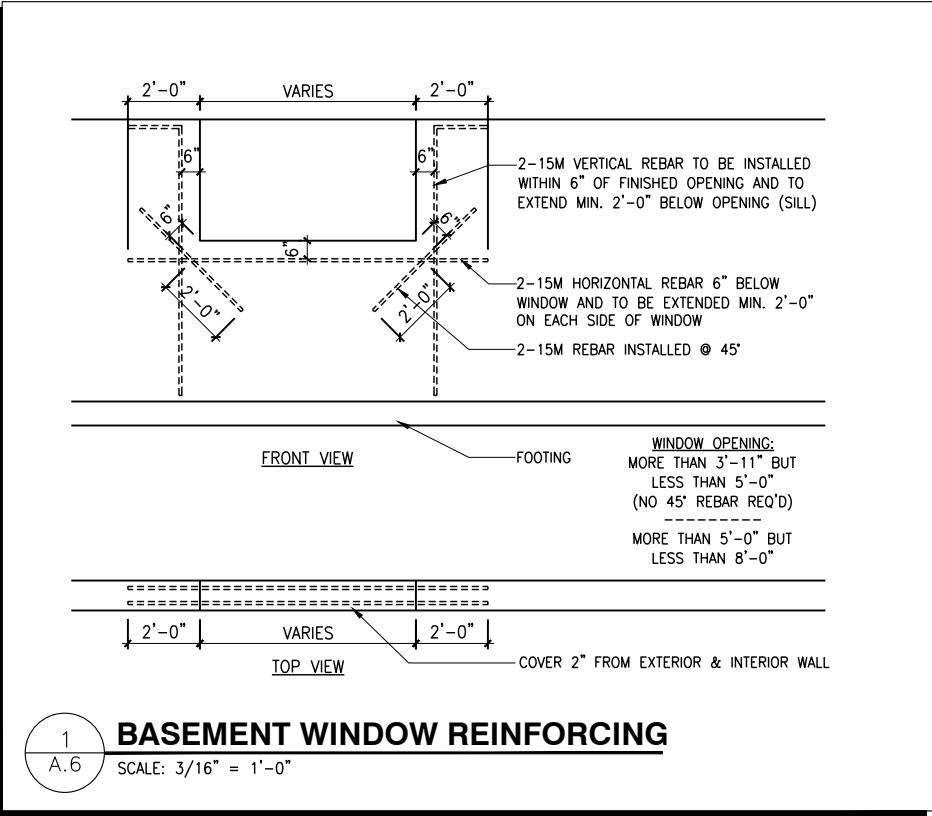
BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



LOT: XXXX

DATE: XX/XX/XXXX

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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
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REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

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STEEL LINTEL:

S1 = L 90x90x6

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S3 = L 100x90x8

S4 = L 125x90x8

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LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

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2012 O.B.C. DRAWINGS

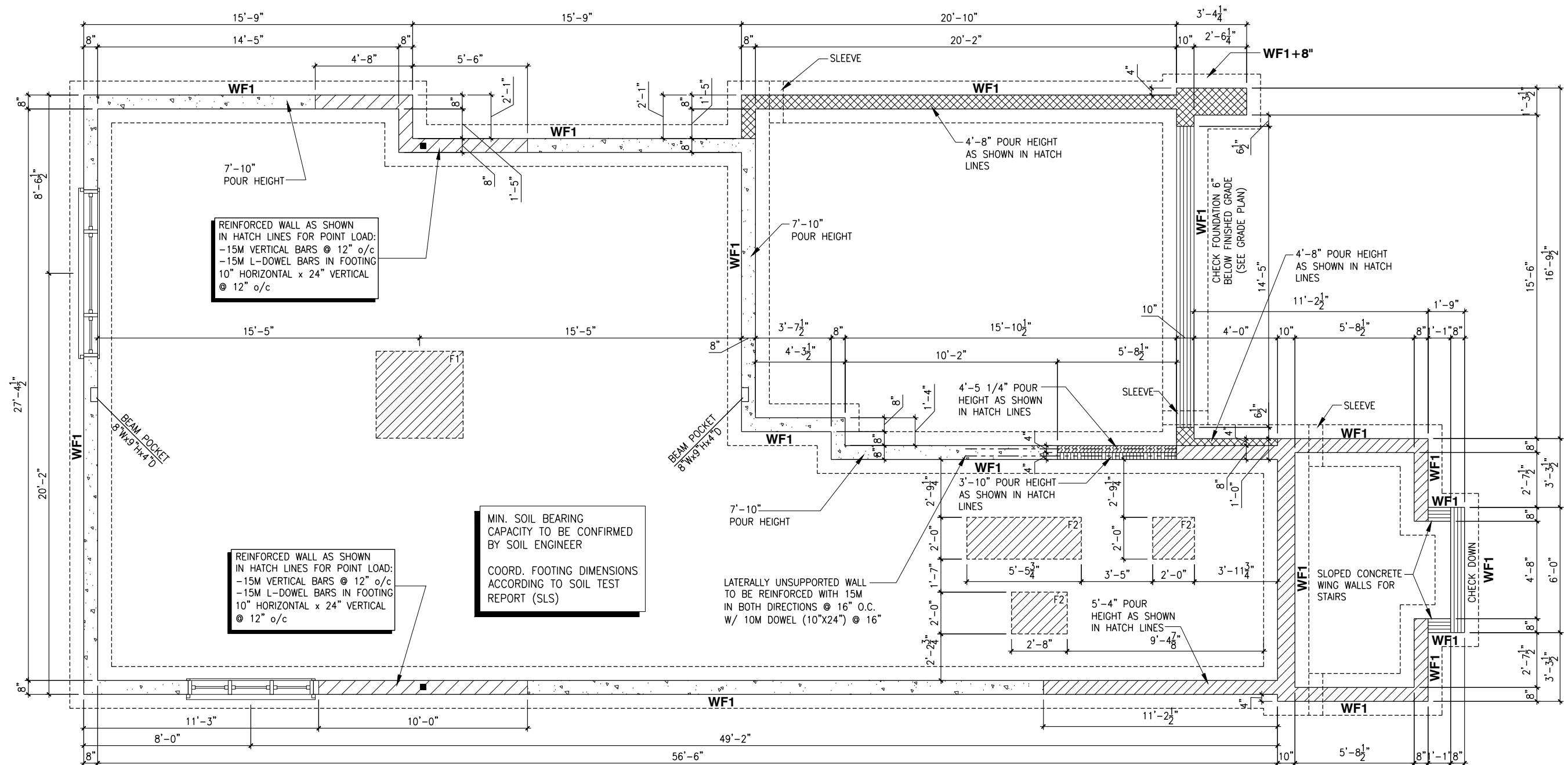
DRAWING: FOOTING TABLE & DETAILS

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

870 - THE DENNISON 2023 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A6

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS



FOOTING PLAN - ELEVATION A

SCALE: $3/16" = 1'-0"$

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

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2012 O.B.C. DRAWINGS

DRAWING: **FOOTING PLAN**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

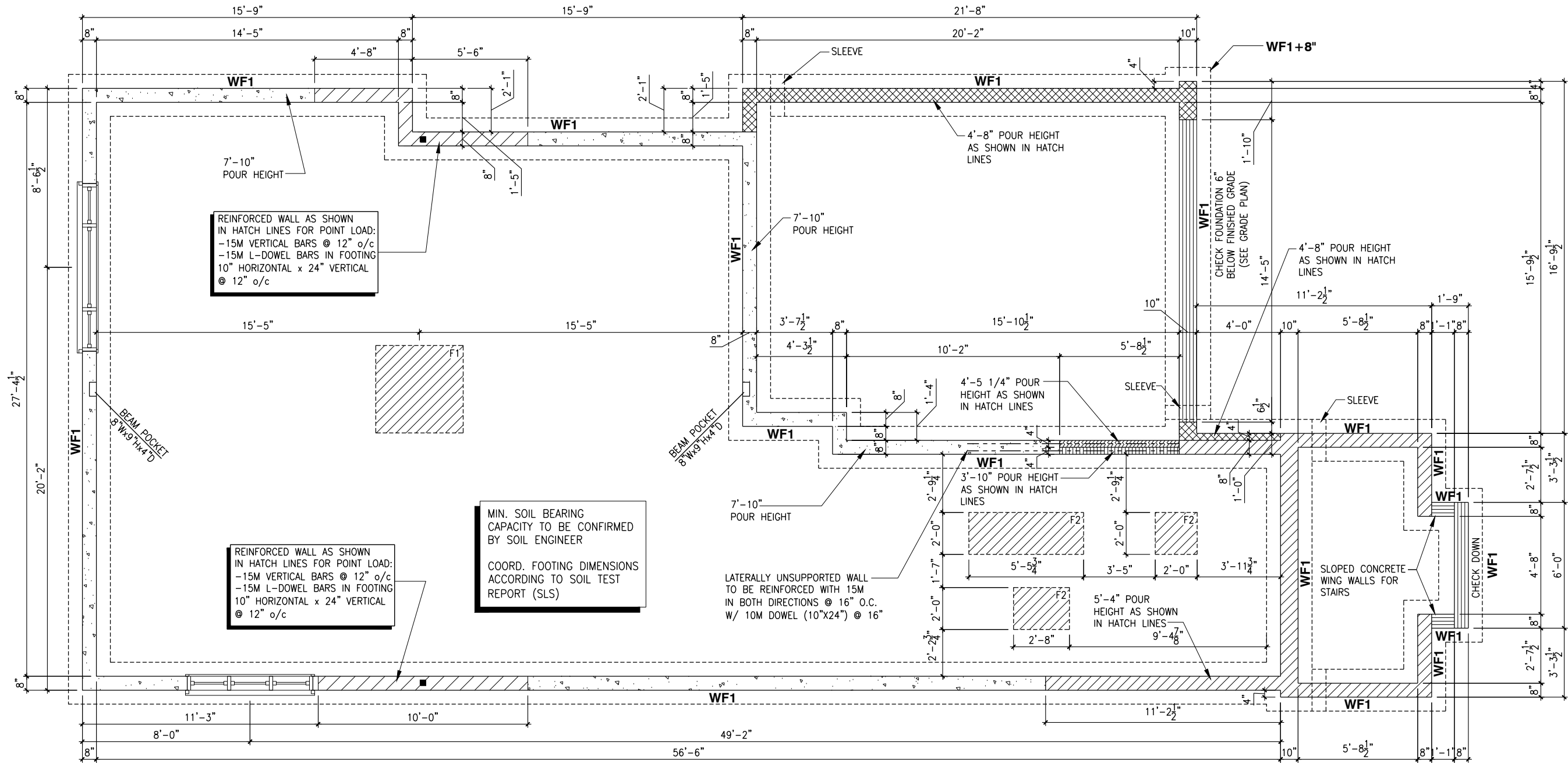
870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6a

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS



FOOTING PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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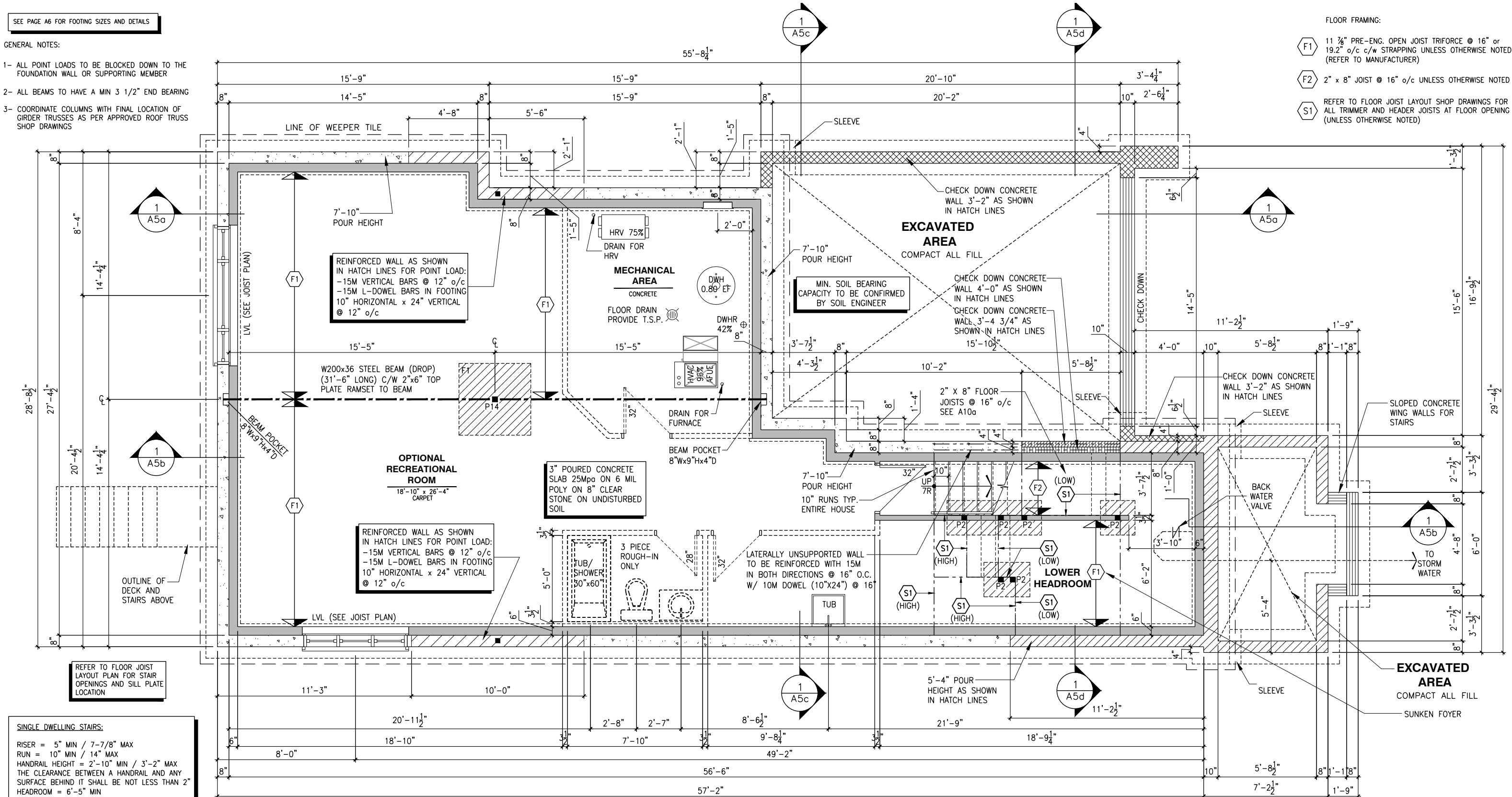
DRAWING: FOOTING PLAN
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX
870 - THE DENNISON 2023 FOOTPRINT (STANDARD DRAWINGS)
SHEET: A6b

GENERAL NOTES:

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BASEMENT FLOOR PLAN - ELEVATION A

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LOT: XXXX
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2012 O.B.C. DRAWINGS

DRAWING:

BASEMENT PLAN

ADDRESS:

xx

SCALE:

3/16" = 1'-0"

DATE:

xx/xx/xxxx

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6c

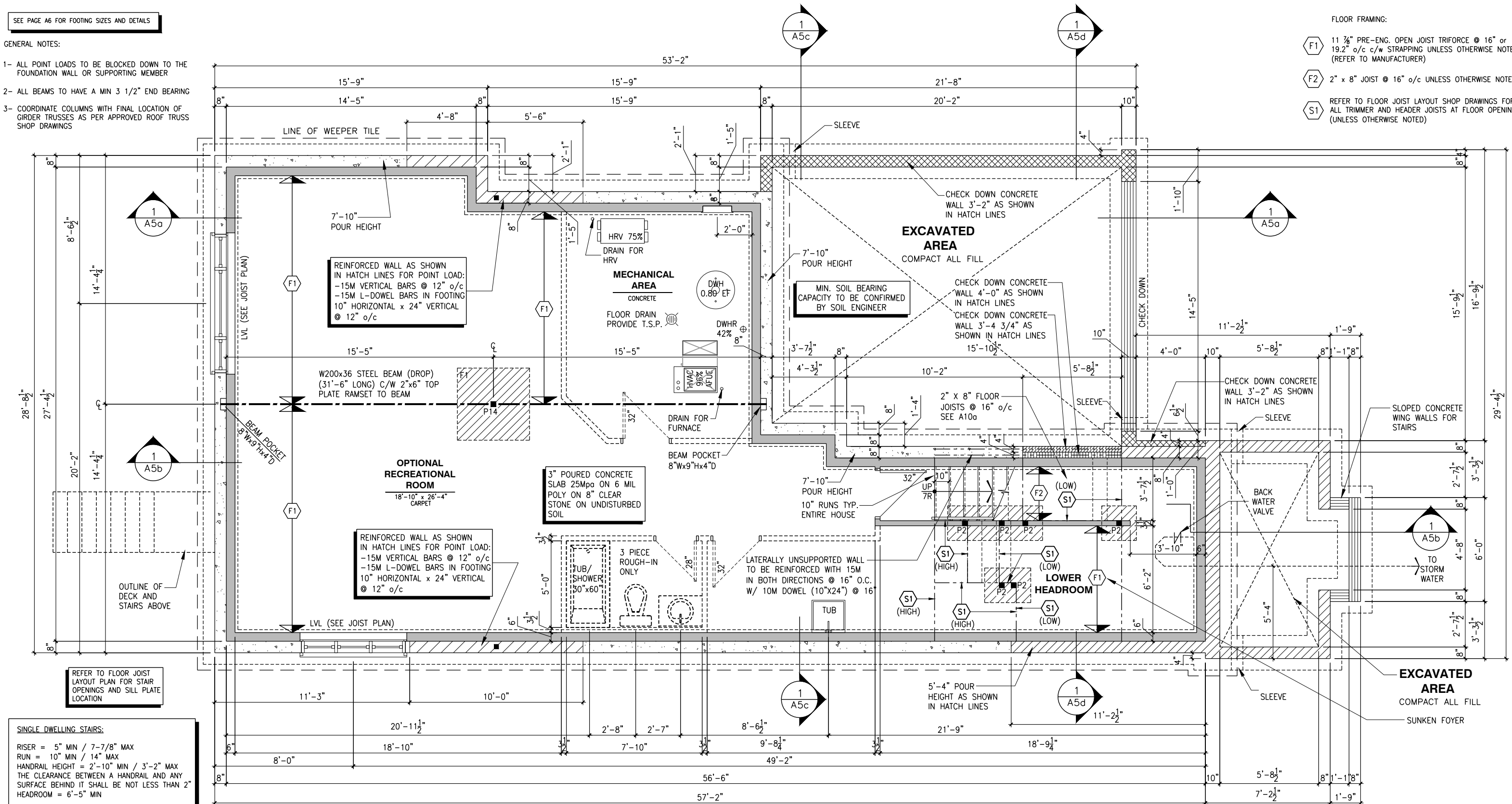
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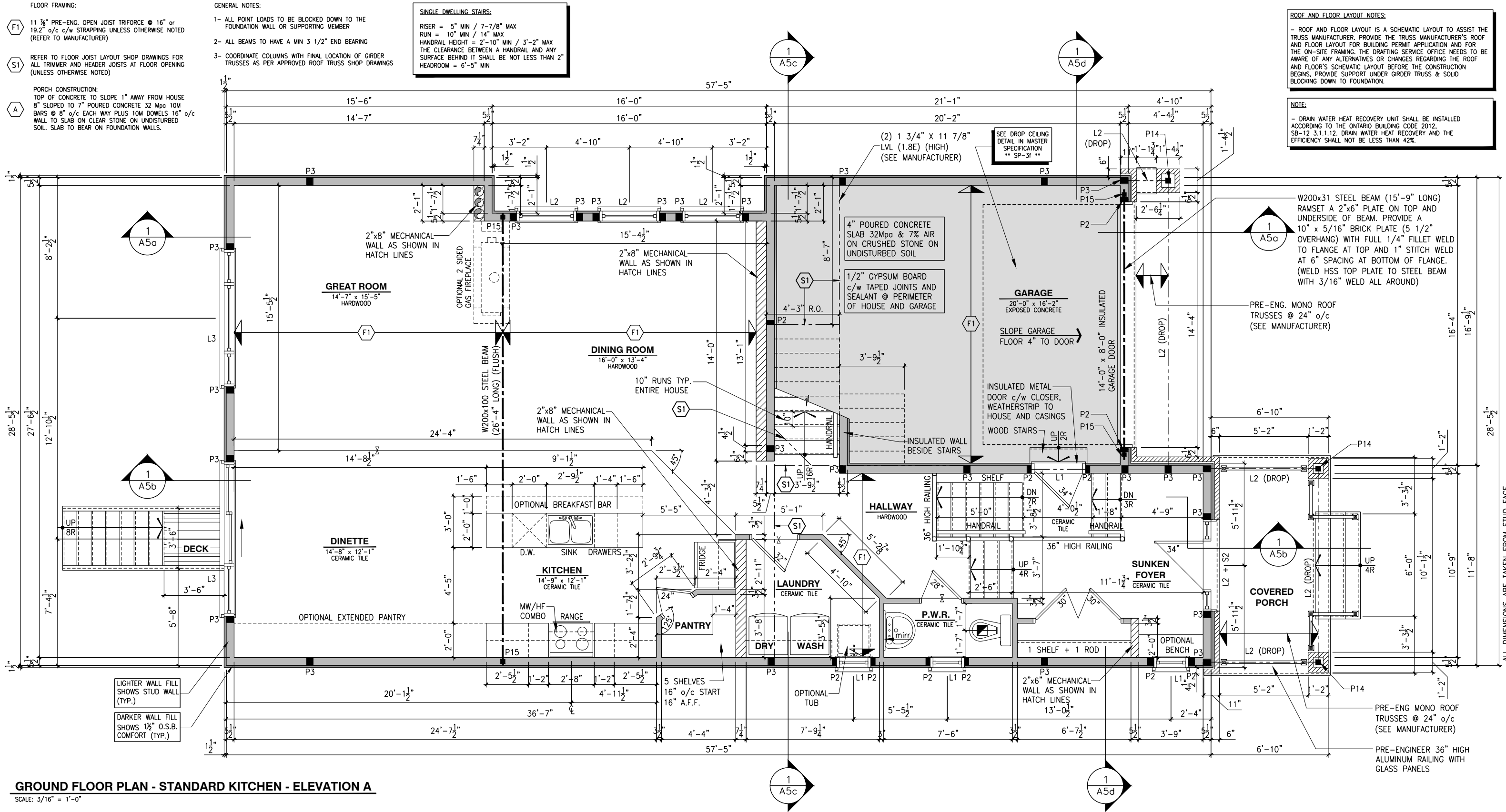
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6d



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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. (*) + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

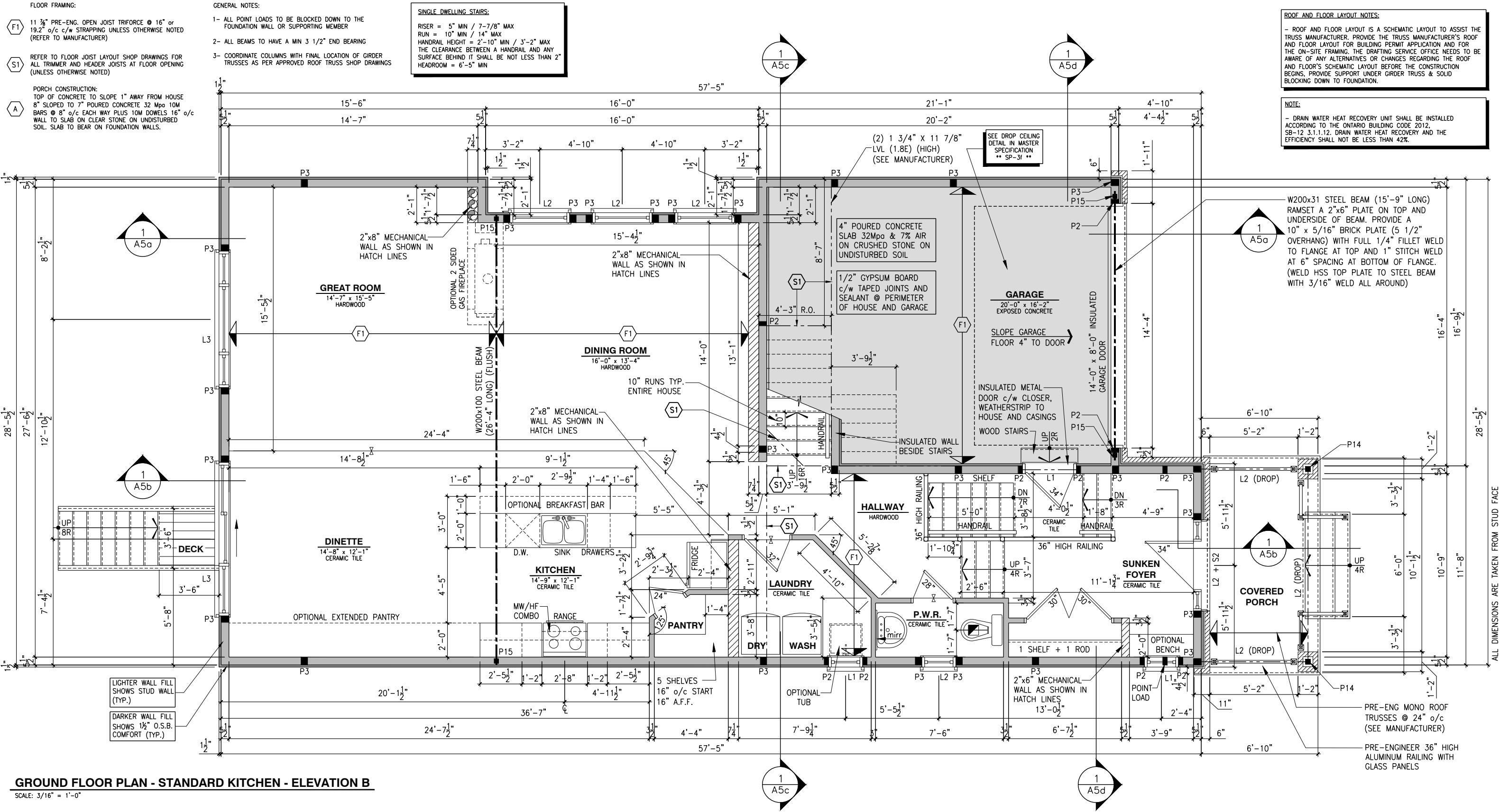
DRAWING: GROUND FLOOR PLAN

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7a



LOT: XXXX
DATE: XX/XX/XXXX



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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

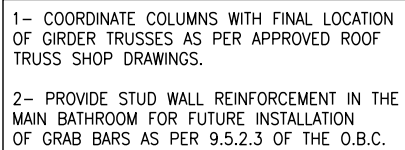
870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7b

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



NOTES:

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SCALE: $3/16" = 1'-0"$



Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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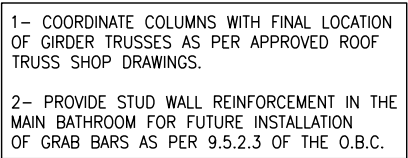
870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A8a

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Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOY
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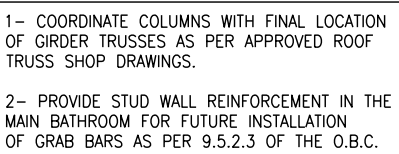
2023

(STANDARD DRAWINGS)

A8b

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

DRAWING: **SECOND FLOOR PLAN**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

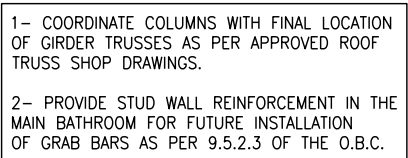
870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

A8c

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Homes (2019) Limited

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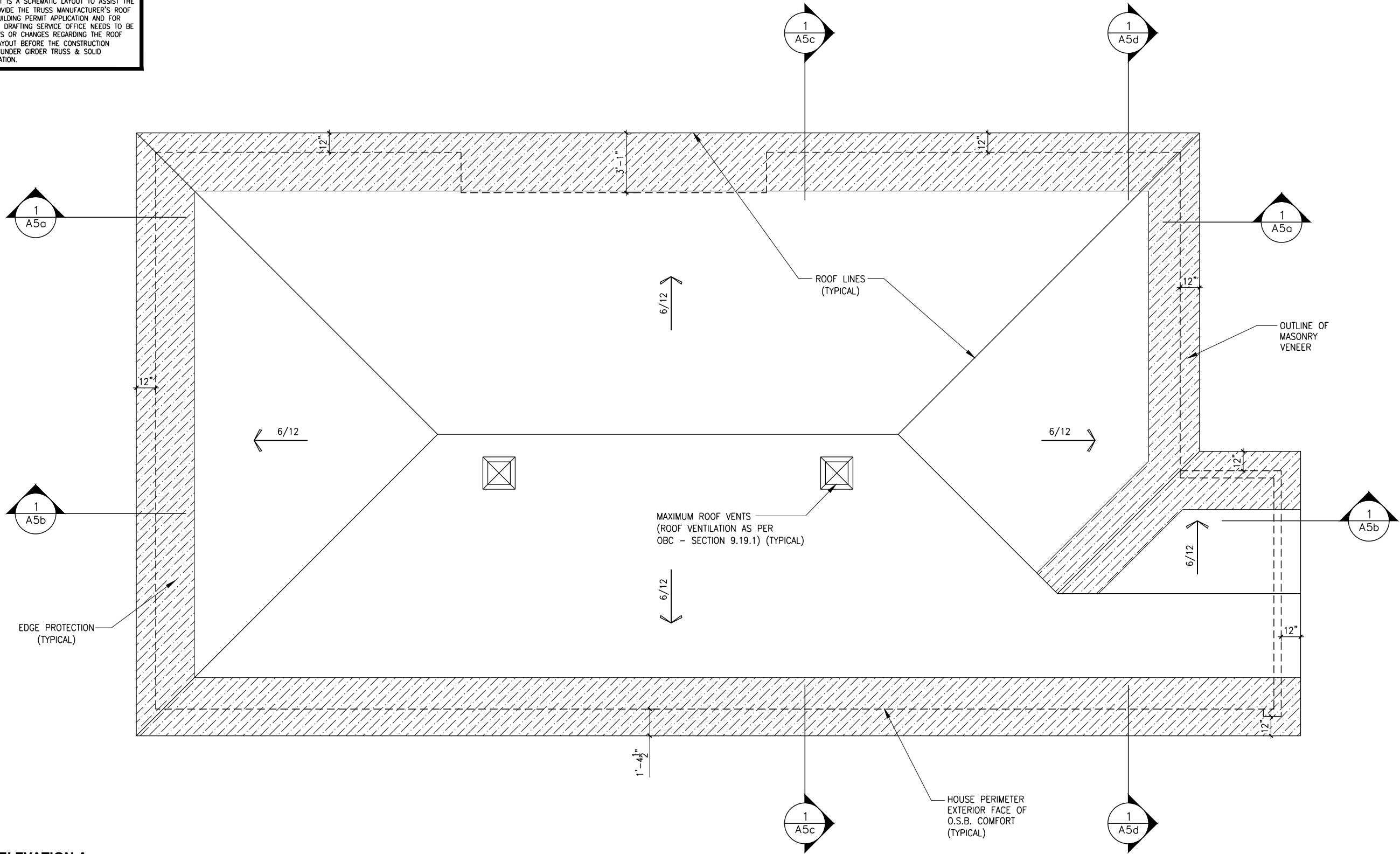
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
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SHEET:

A8d

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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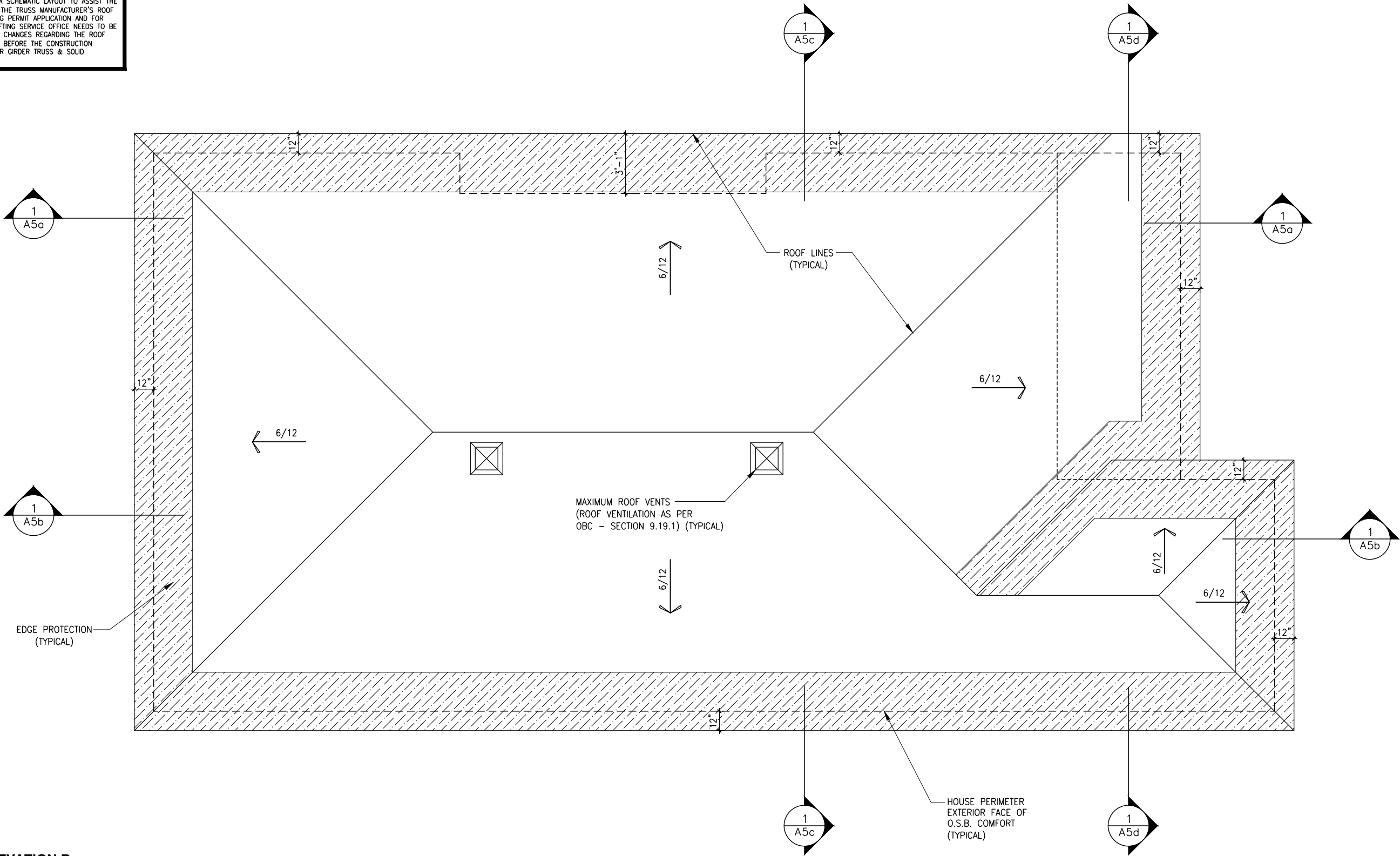
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NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

DRAWING: ROOF PLAN ELEVATION A		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
870 - THE DENNISON 2023 FOOTPRINT		SHEET: A9a
(STANDARD DRAWINGS)		

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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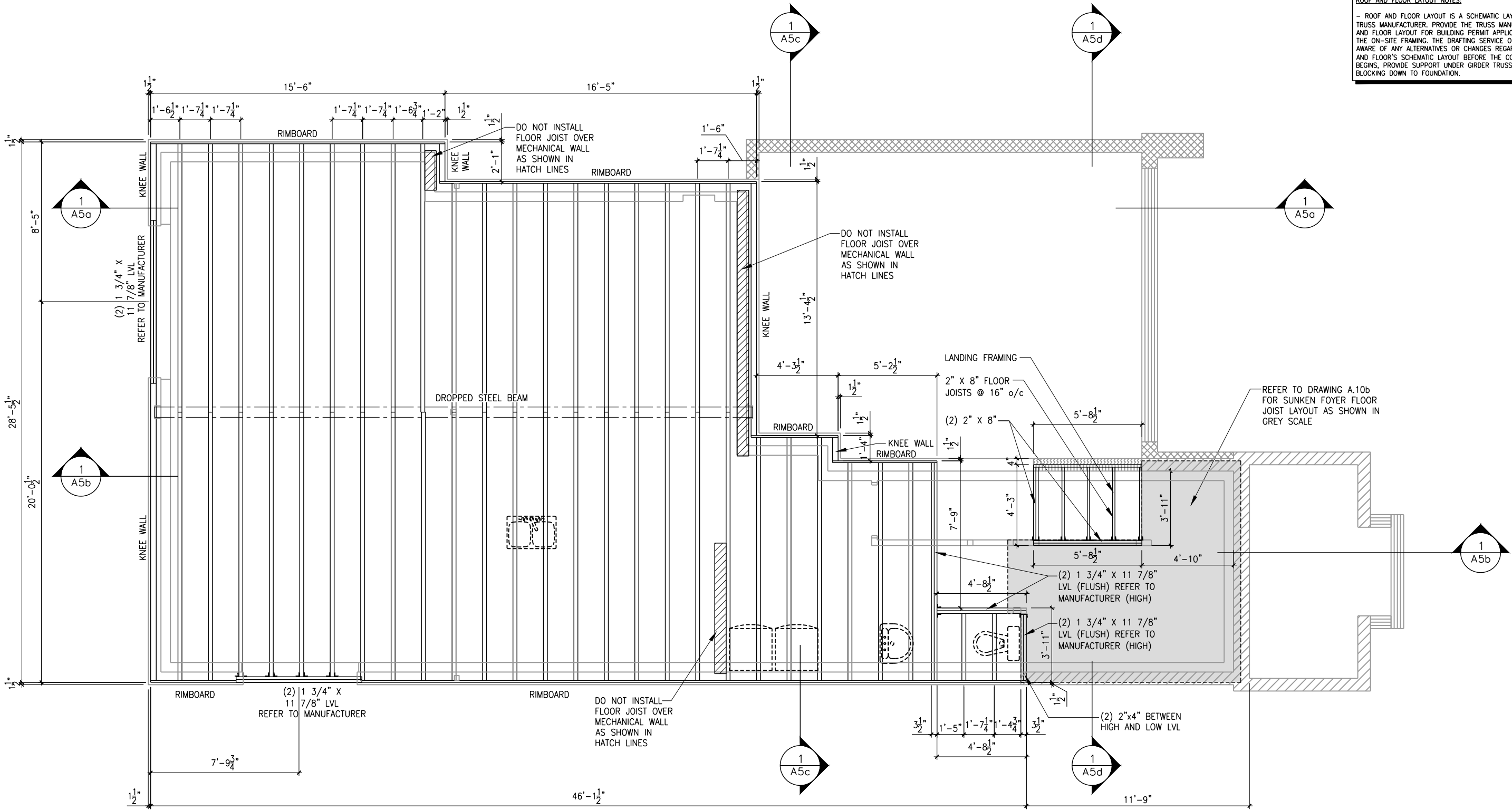
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REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS		
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ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
870 - THE DENNISON 2023 FOOTPRINT		SHEET: A9b
(STANDARD DRAWINGS)		

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

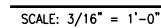
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A10a

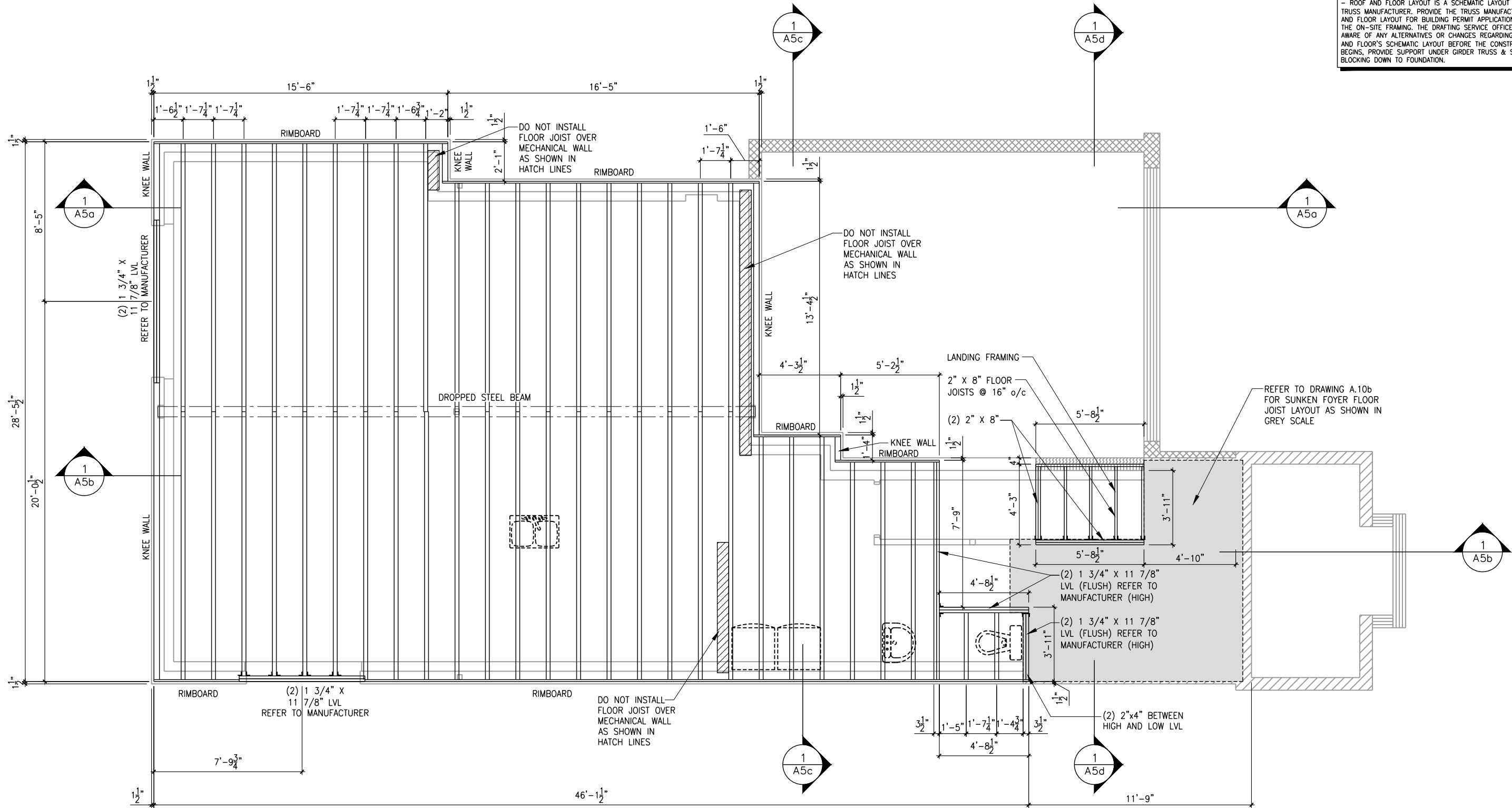
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



Valecraft
Homes (2019) Limited

A10b

ROOF AND FLOOR LAYOUT NOTES:
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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

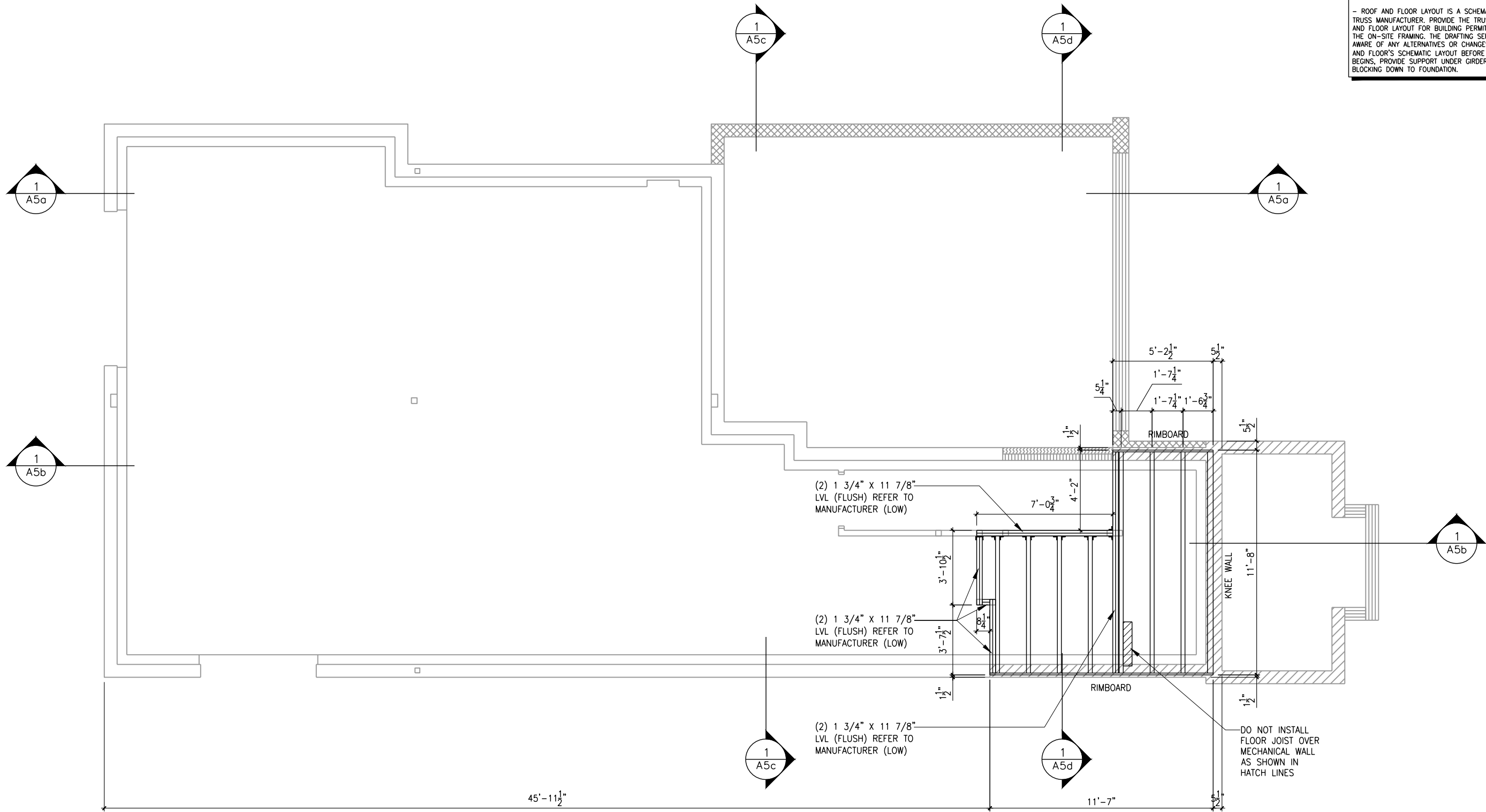
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT

SHEET: A10c
(STANDARD DRAWINGS)

ROOF AND FLOOR LAYOUT NOTES:
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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - SUNKEN FOYER - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

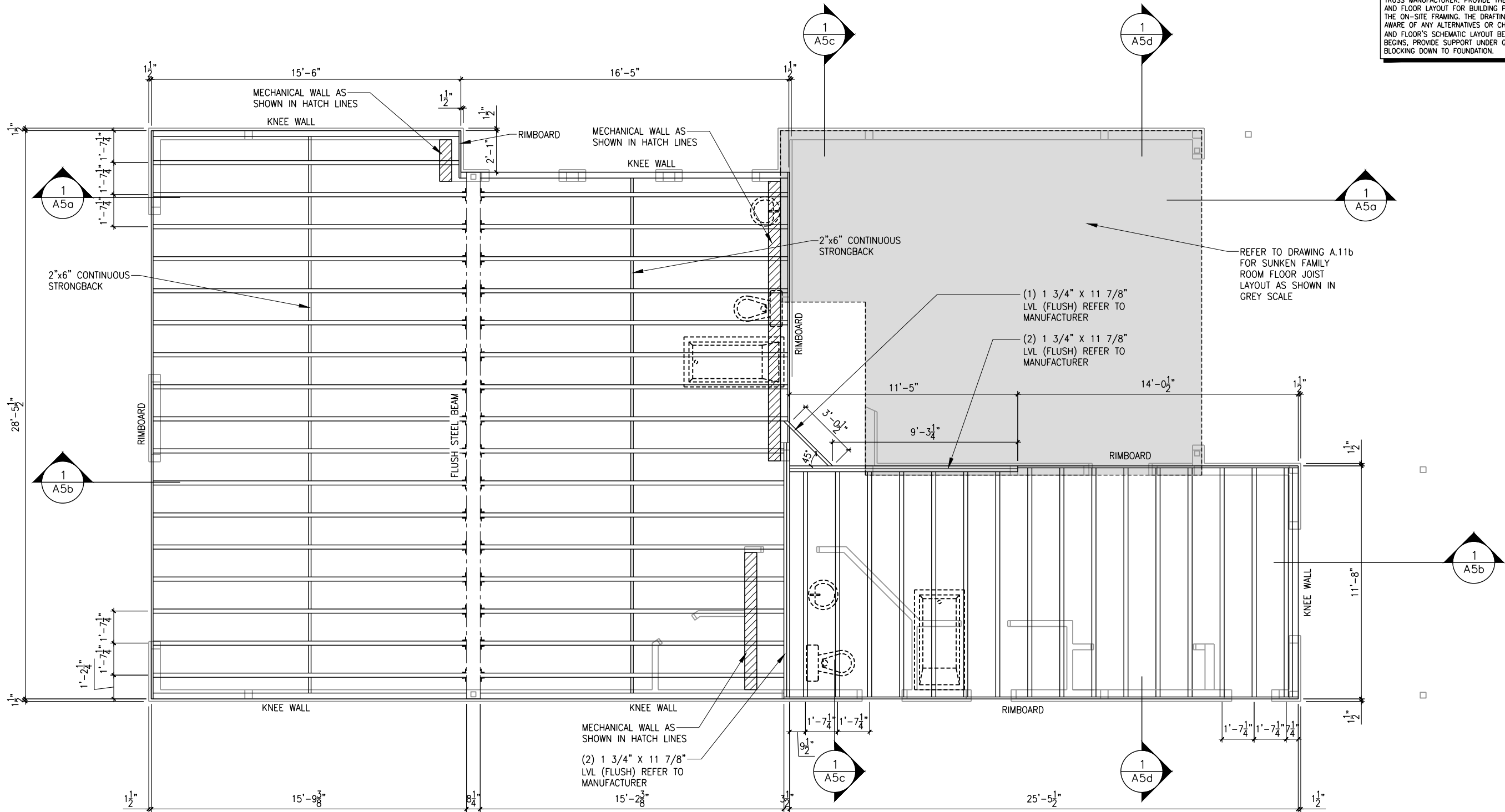


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- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS		
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION B		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
870 - THE DENNISON 2023 FOOTPRINT		SHEET: A10d
(STANDARD DRAWINGS)		

ROOF AND FLOOR LAYOUT NOTES:
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SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

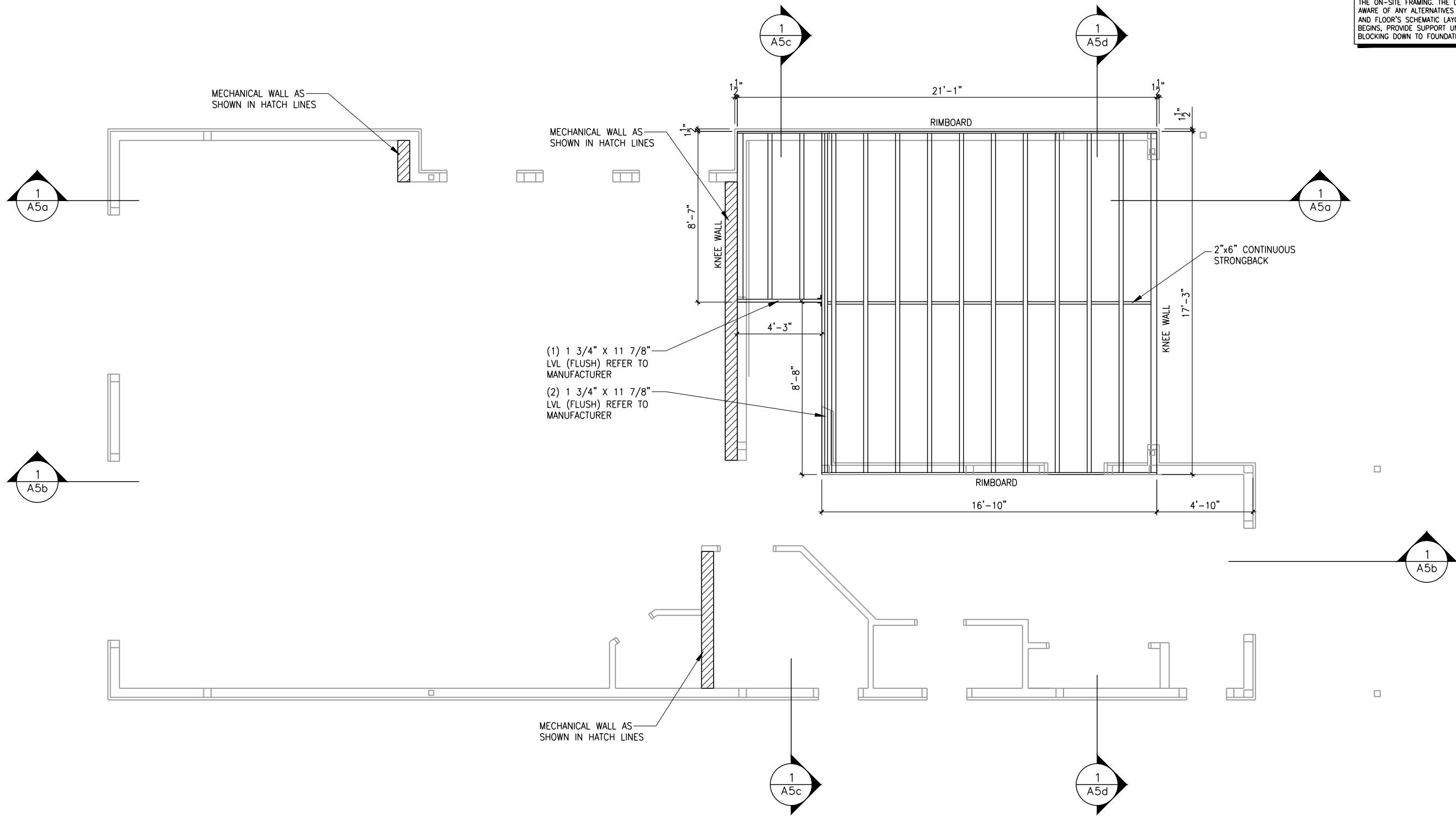
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A11a

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SECOND FLOOR - JOIST LAYOUT - SUNKEN FAMILY ROOM - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

2012 O.B.C. DRAWINGS

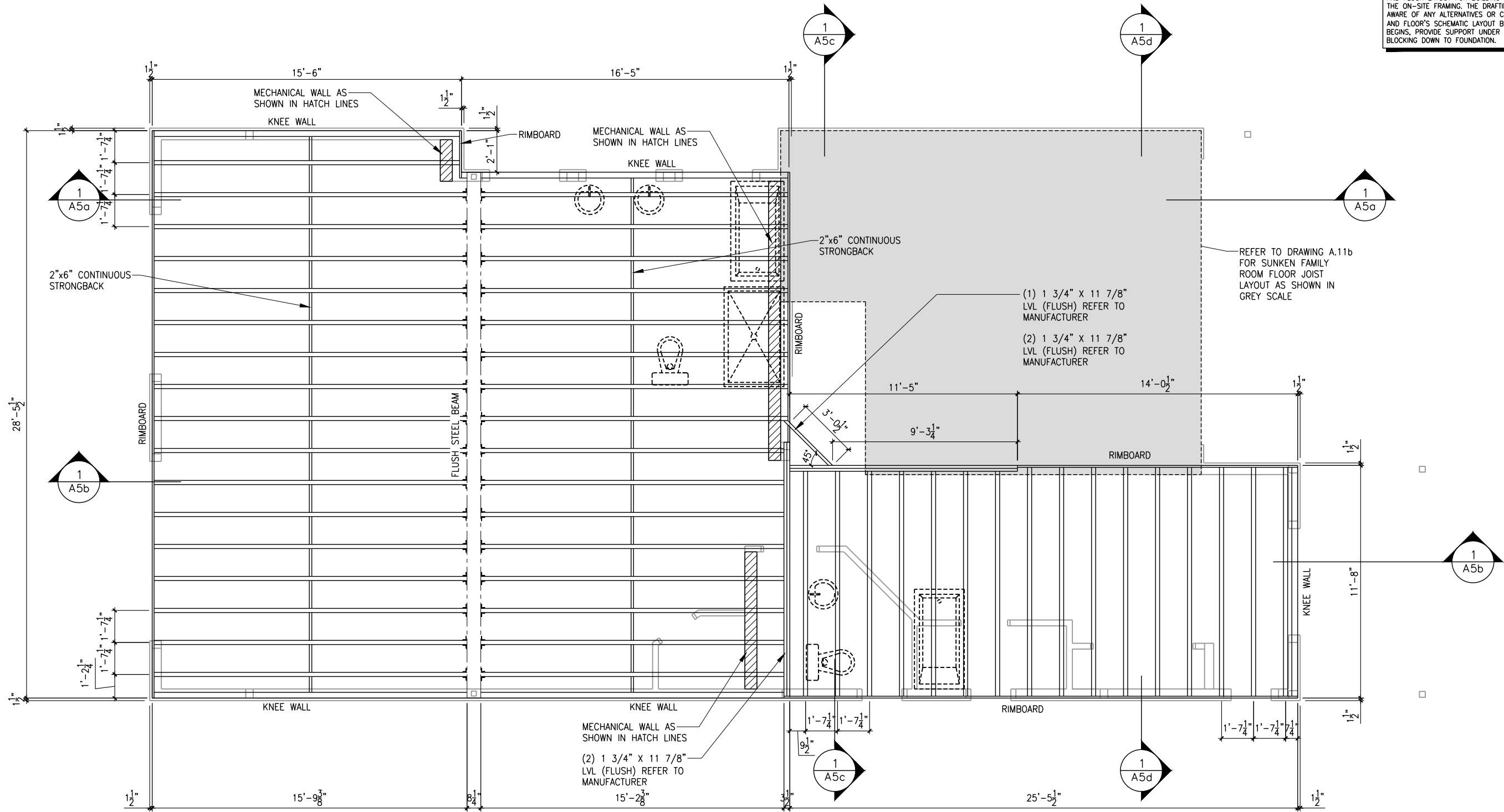
DRAWING: SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A11b

ROOF AND FLOOR LAYOUT NOTES:
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SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

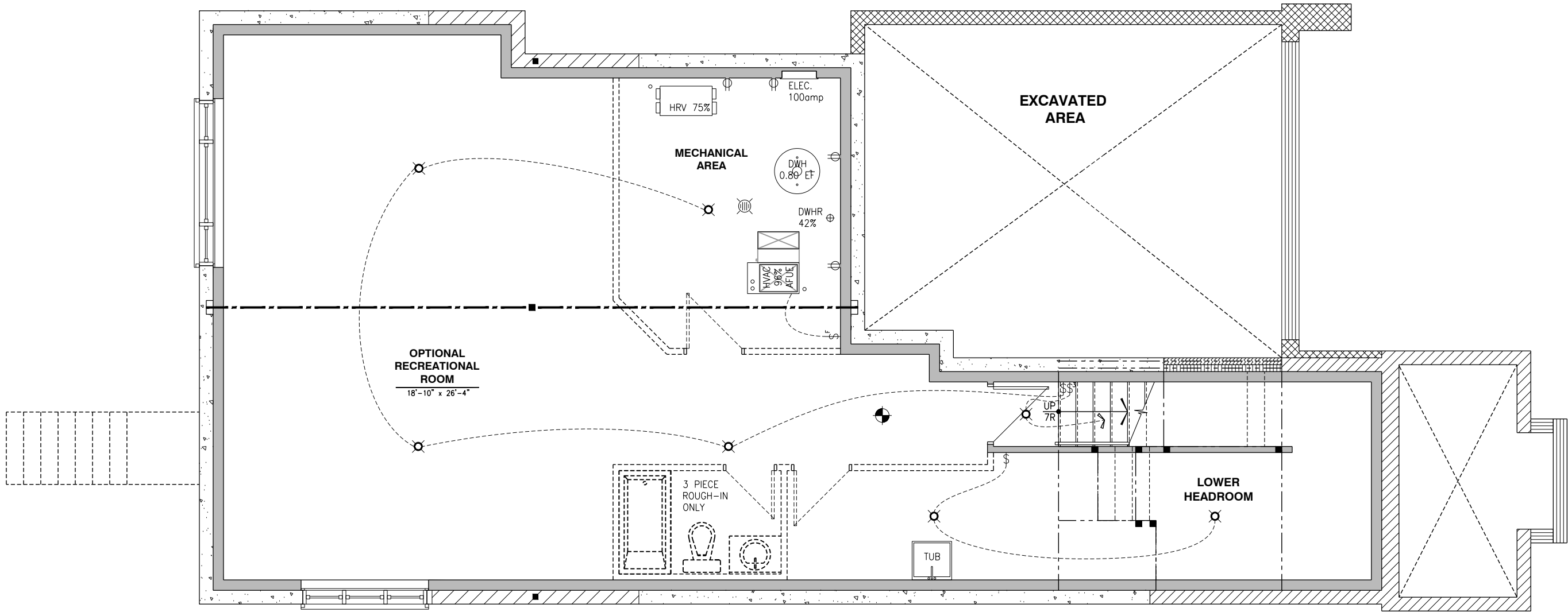
2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A11c



ELECTRICAL PLAN BASEMENT - ELEVATION A
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH
\$³ 3 WAY SWITCH
\$⁴ 4 WAY SWITCH
\$^F FURNACE SWITCH
\$^{FP} FIREPLACE SWITCH
 DUPLEX OUTLET (12" HIGH)

-  DUPLEX OUTLET (UPPER HALF SWITCH)
 GFI GROUND FAULT INTERVOLT
 WP WEATHER PROOF DUPLEX OUTLET
 SPLIT OUTLET
 220 VOLT OUTLET
 WALL MOUNTED LIGHT FIXTURE

-  CEILING MOUNTED LIGHT FIXTURE
 POT LIGHT

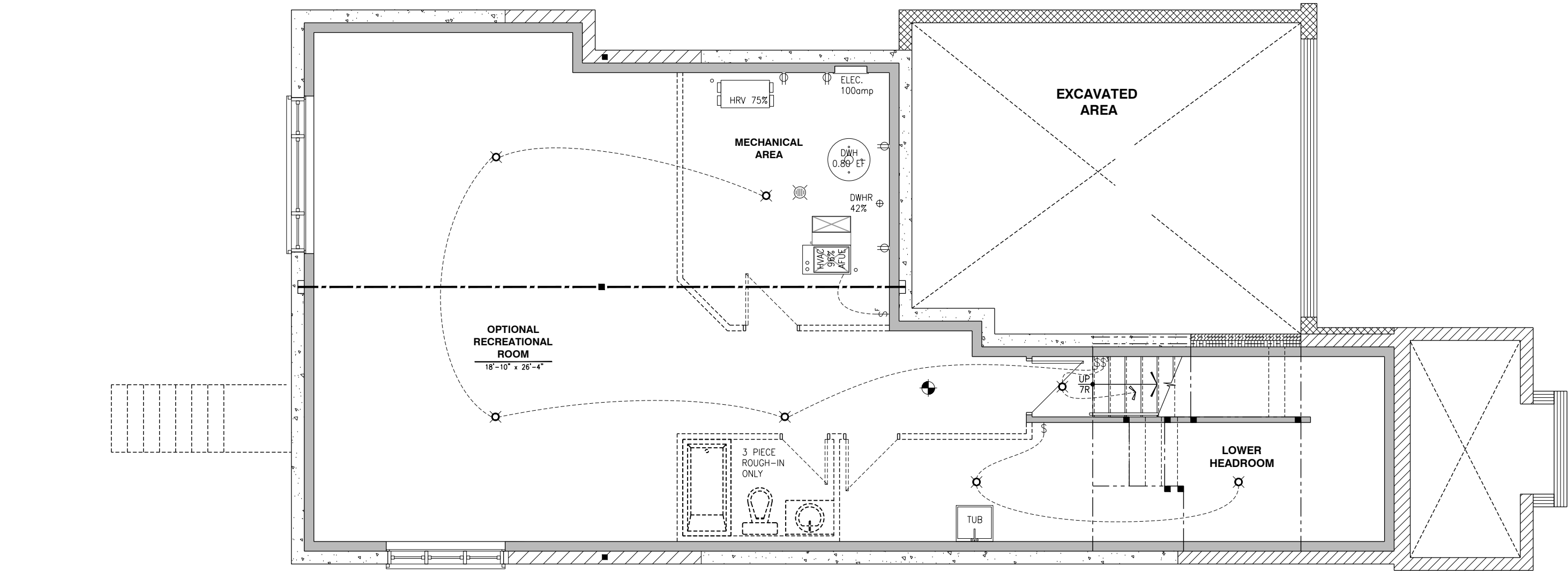
2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN
BASEMENT - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E1a



ELECTRICAL PLAN BASEMENT - ELEVATION B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-NO.	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH
\$³ 3 WAY SWITCH
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 DUPLEX OUTLET (12" HIGH)

- DUPLEX OUTLET (UPPER HALF SWITCH)
 GFI GROUND FAULT INTERVOLT
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 SPLIT OUTLET
 220 VOLT OUTLET
 WALL MOUNTED LIGHT FIXTURE

- CEILING MOUNTED LIGHT FIXTURE
 POT LIGHT

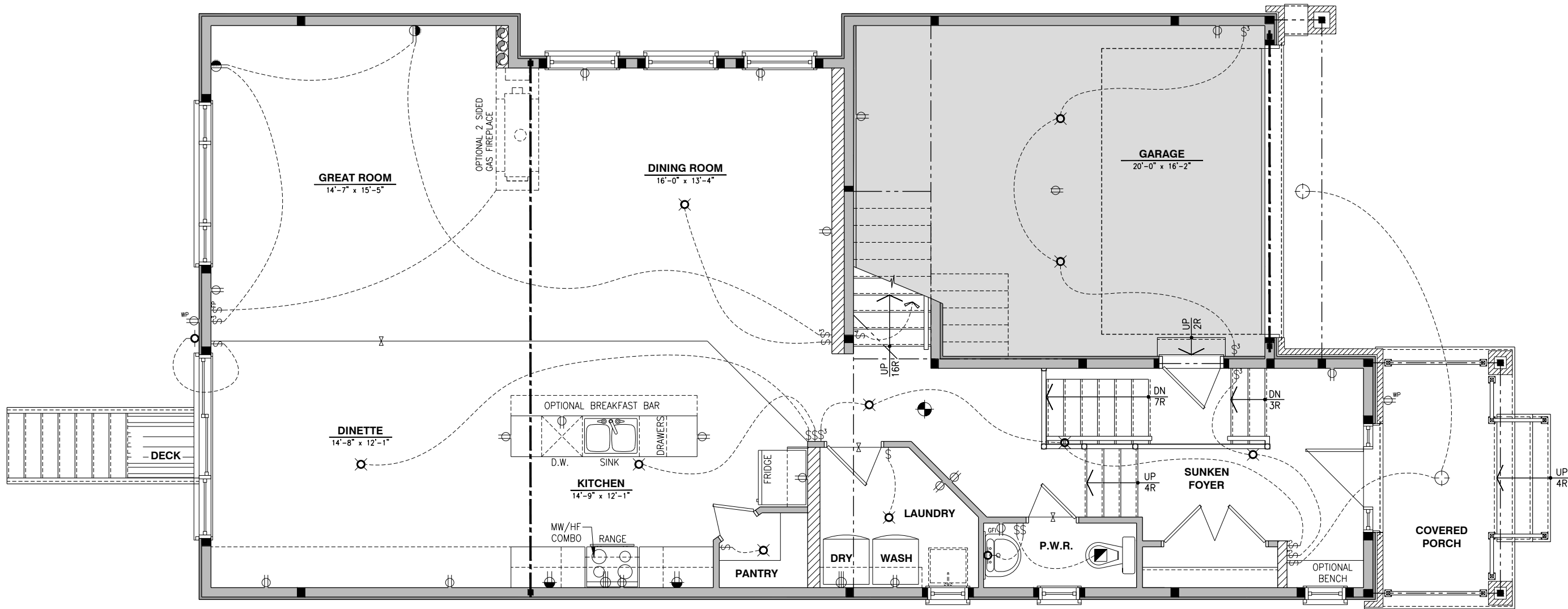
2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN
BASEMENT - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**870 - THE DENNISON
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
E1b



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- FURNACE SWITCH
- FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)

- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE

- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEVATION A

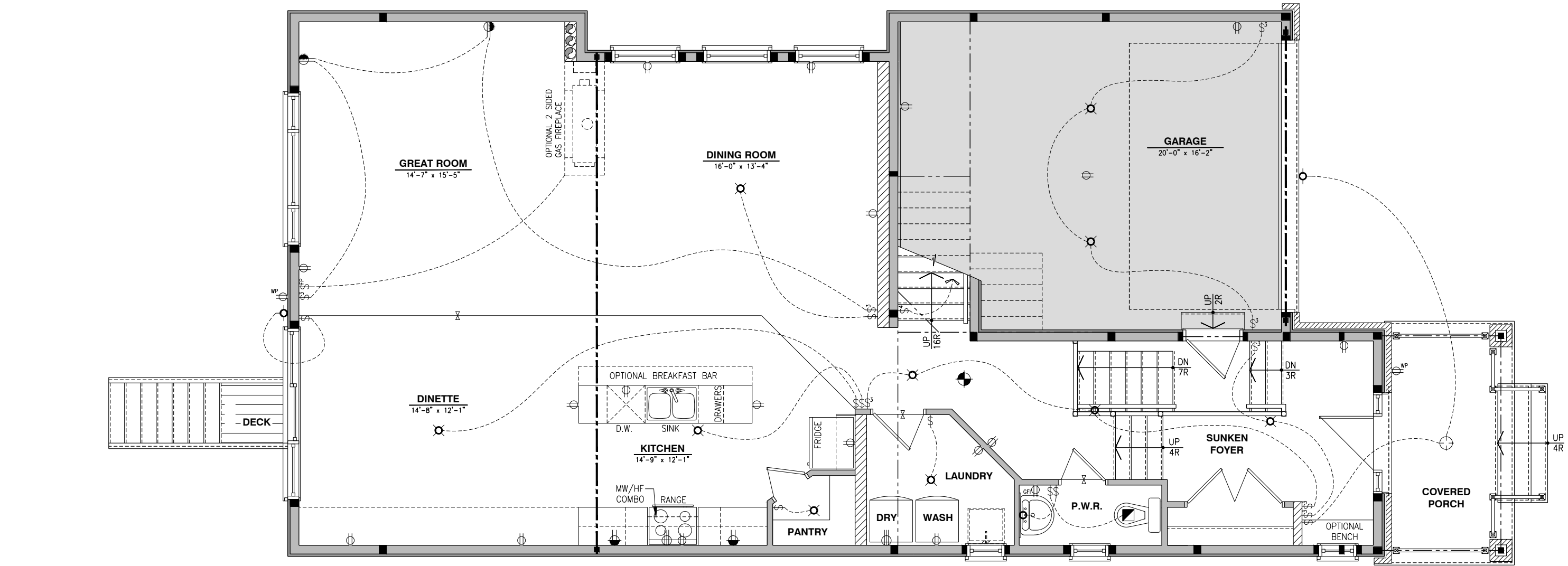
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E2a



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

- ☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- ⌚ SINGLE POLE SWITCH
⌚³ 3 WAY SWITCH
⌚⁴ 4 WAY SWITCH
⌚^F FURNACE SWITCH
⌚^{FP} FIREPLACE SWITCH
⌚ DUPLEX OUTLET (12" HIGH)

- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
⌚^{GFI} GROUND FAULT INTERVOLT
⌚^{WP} WEATHER PROOF DUPLEX OUTLET
⌚ SPLIT OUTLET
⌚ 220 VOLT OUTLET
⌚ WALL MOUNTED LIGHT FIXTURE

- ☼ CEILING MOUNTED LIGHT FIXTURE
☼ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEVATION B

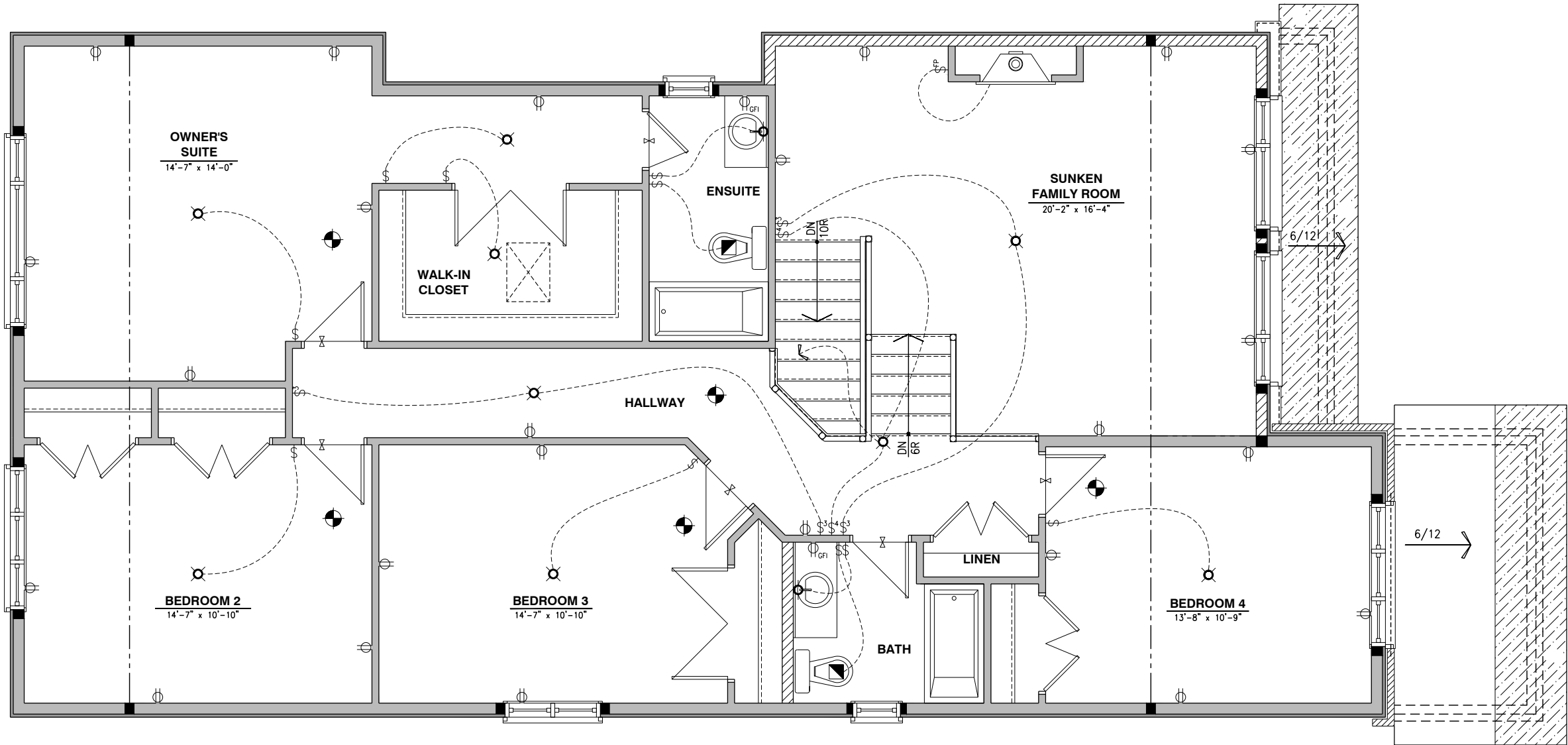
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E2b



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

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- \$⁴ 4 WAY SWITCH
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- \$^{FP} FIREPLACE SWITCH
- ☐ DUPLEX OUTLET (12" HIGH)

- ☐ DUPLEX OUTLET (UPPER HALF SWITCH)
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- ☐^{WP} WEATHER PROOF DUPLEX OUTLET
- ☐ SPLIT OUTLET
- ☐ 220 VOLT OUTLET
- ☐ WALL MOUNTED LIGHT FIXTURE

- ☐ CEILING MOUNTED LIGHT FIXTURE
- ☐ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN
SECOND FLOOR - ELEVATION A**

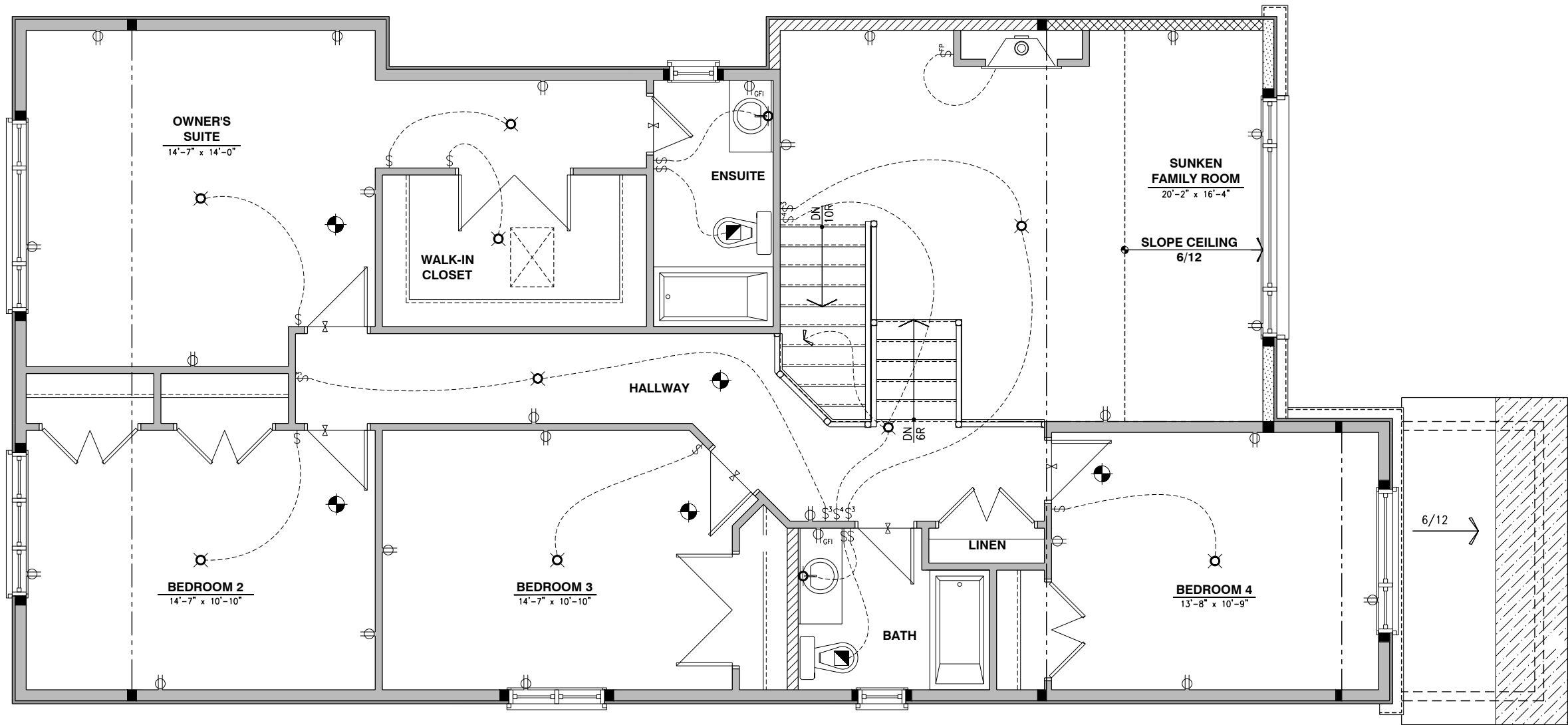
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

E3a



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	11/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

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⌚ WALL MOUNTED LIGHT FIXTURE

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2012 O.B.C. DRAWINGS

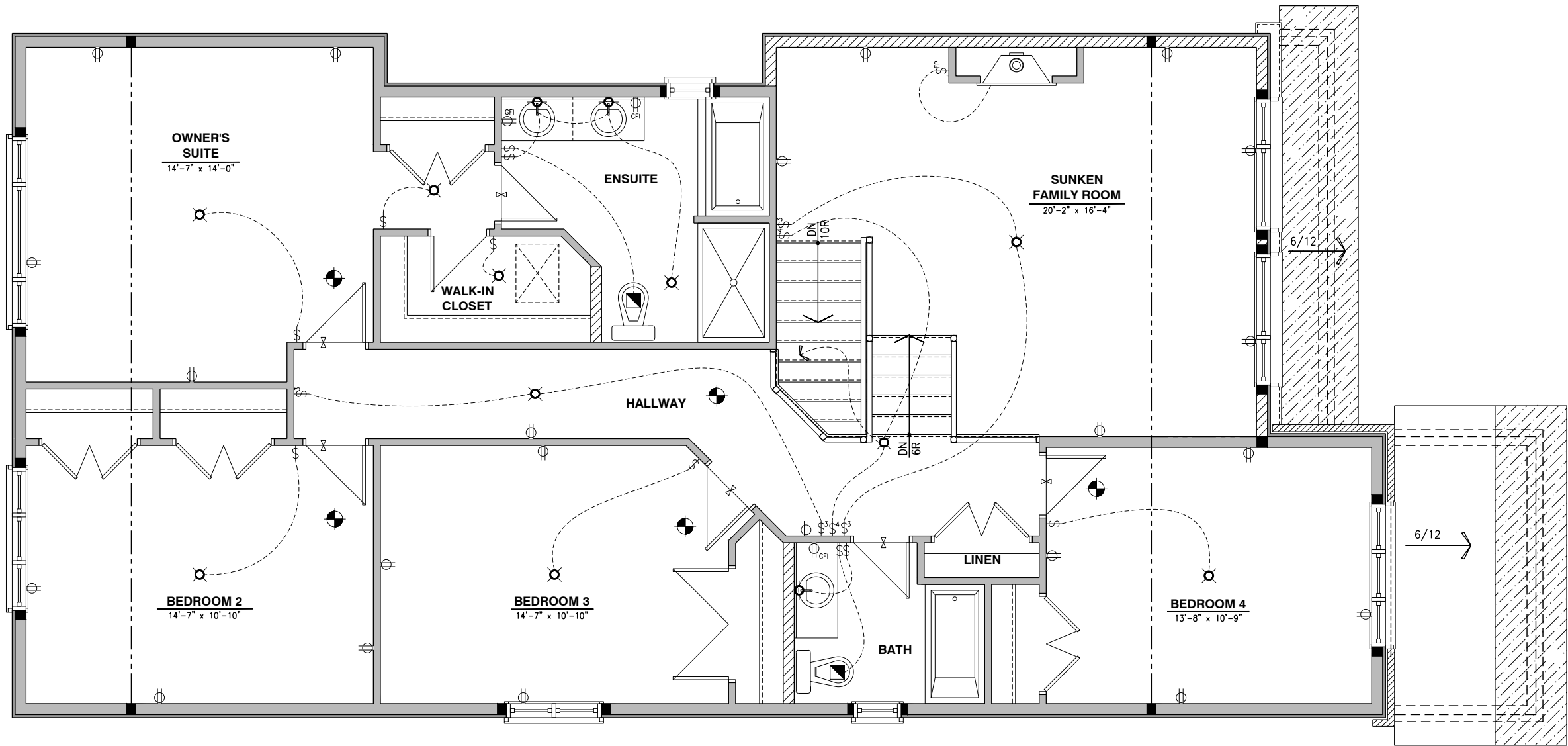
DRAWING: **ELECTRICAL PLAN
SECOND FLOOR - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:
E3b



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-2	FINISHING CHANGES TO EXTERIOR	05/27/2024	AB
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2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN
SECOND FLOOR - ELEVATION A**

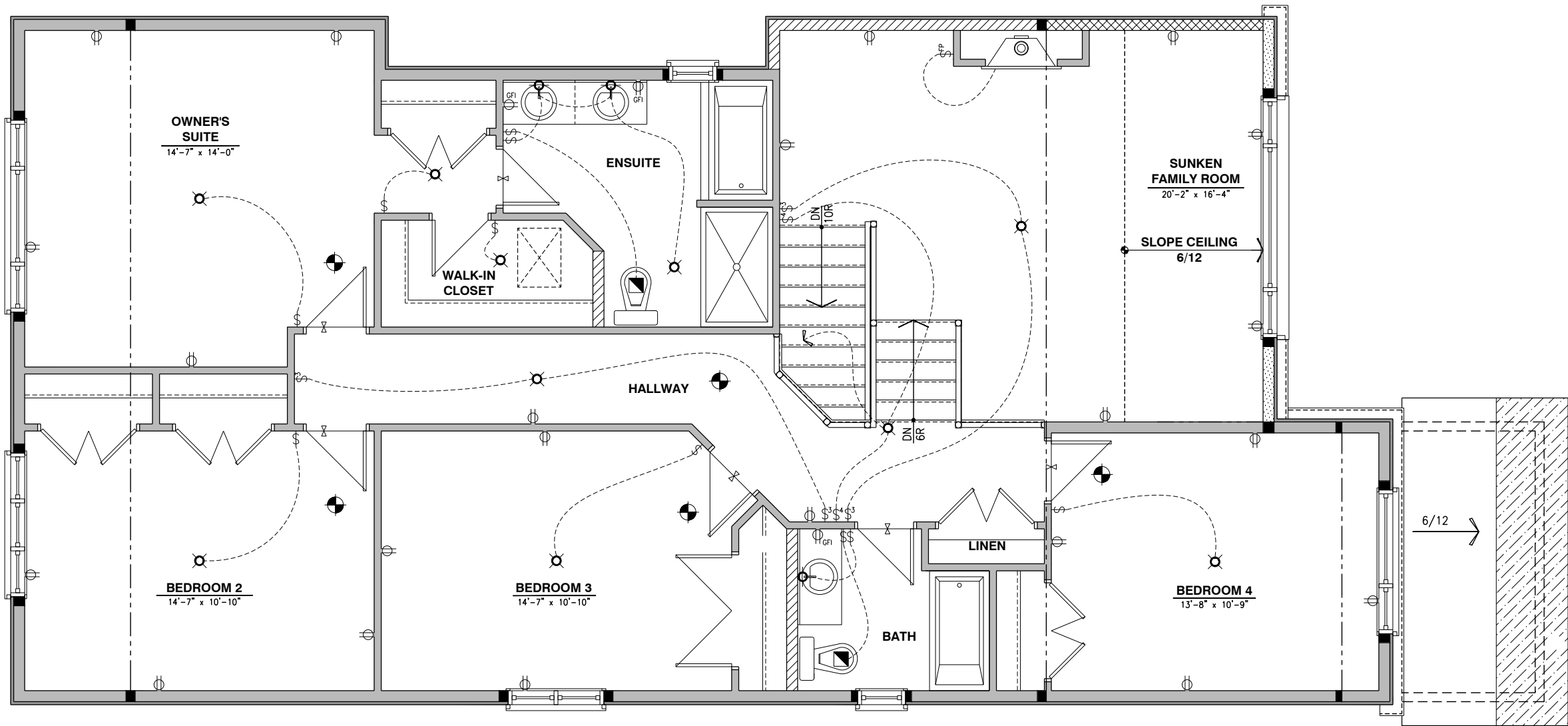
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

E3c



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION B

SCALE: 3/16" = 1'-0"

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2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN
SECOND FLOOR - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

E3d