



Valecraft

Homes Ltd.

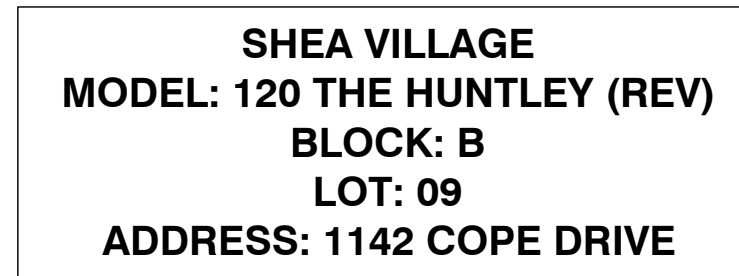


SHEA VILLAGE - BLOCK B

DRAWING LIST:

- A.1 FRONT, LEFT AND RIGHT ELEVATIONS
- A.2 REAR ELEVATION AND BUILDING SECTIONS
- A.3 BUILDING SECTIONS
- A.4 FOOTING PLAN
- A.5 BASEMENT FLOOR PLAN
- A.6 GROUND FLOOR - FLOOR JOIST FRAMING PLAN
- A.7 GROUND FLOOR PLAN
- A.8 SECOND FLOOR - FLOOR JOIST FRAMING PLAN
- A.9 SECOND FLOOR PLAN
- A.10 ROOF PLAN

- A.11 WALL SECTIONS AND DETAILS
- A.12 DETAILS
- E.1 BASEMENT FLOOR - ELECTRICAL PLAN
- E.2 GROUND FLOOR - ELECTRICAL PLAN
- E.3 SECOND FLOOR - ELECTRICAL PLAN



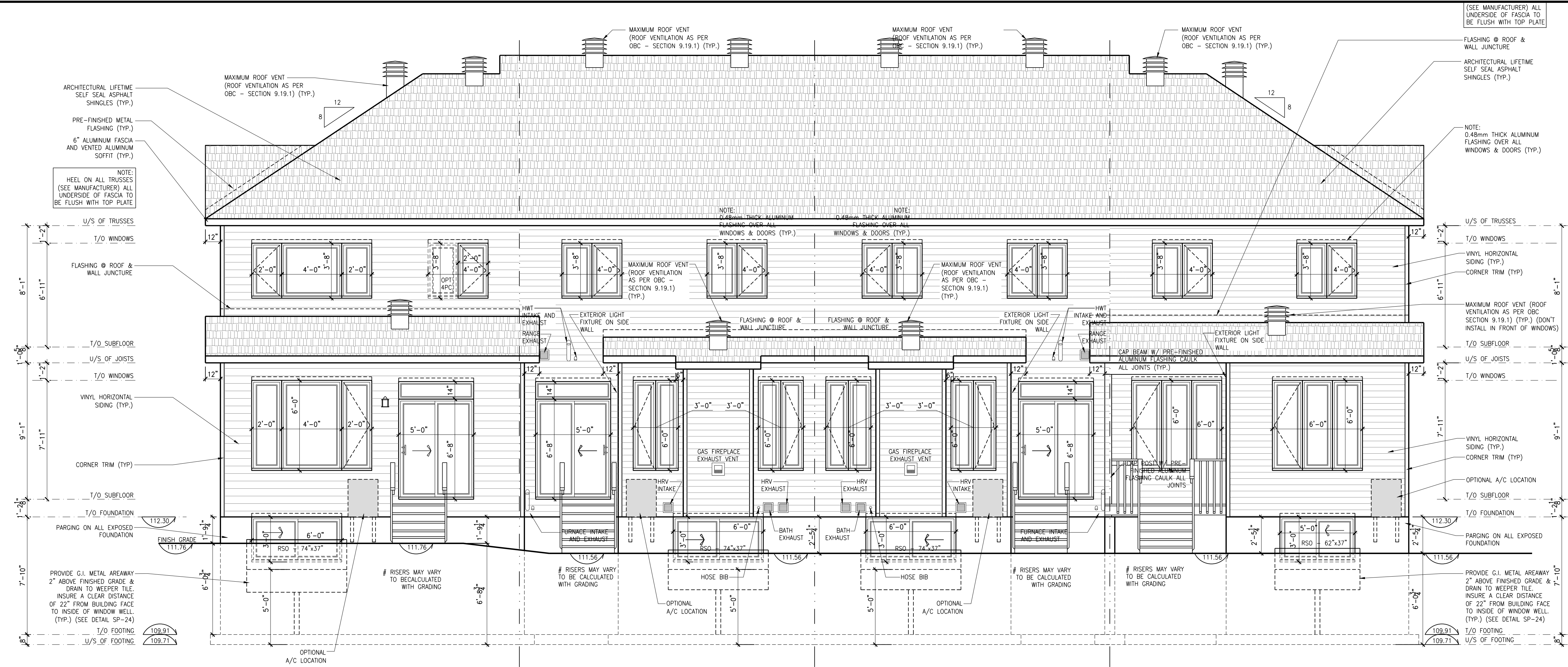
2
A.1

LEFT ELEVATION

SCALE: 1/4" = 1'-0"



BLOCK: B SHEET: A 1



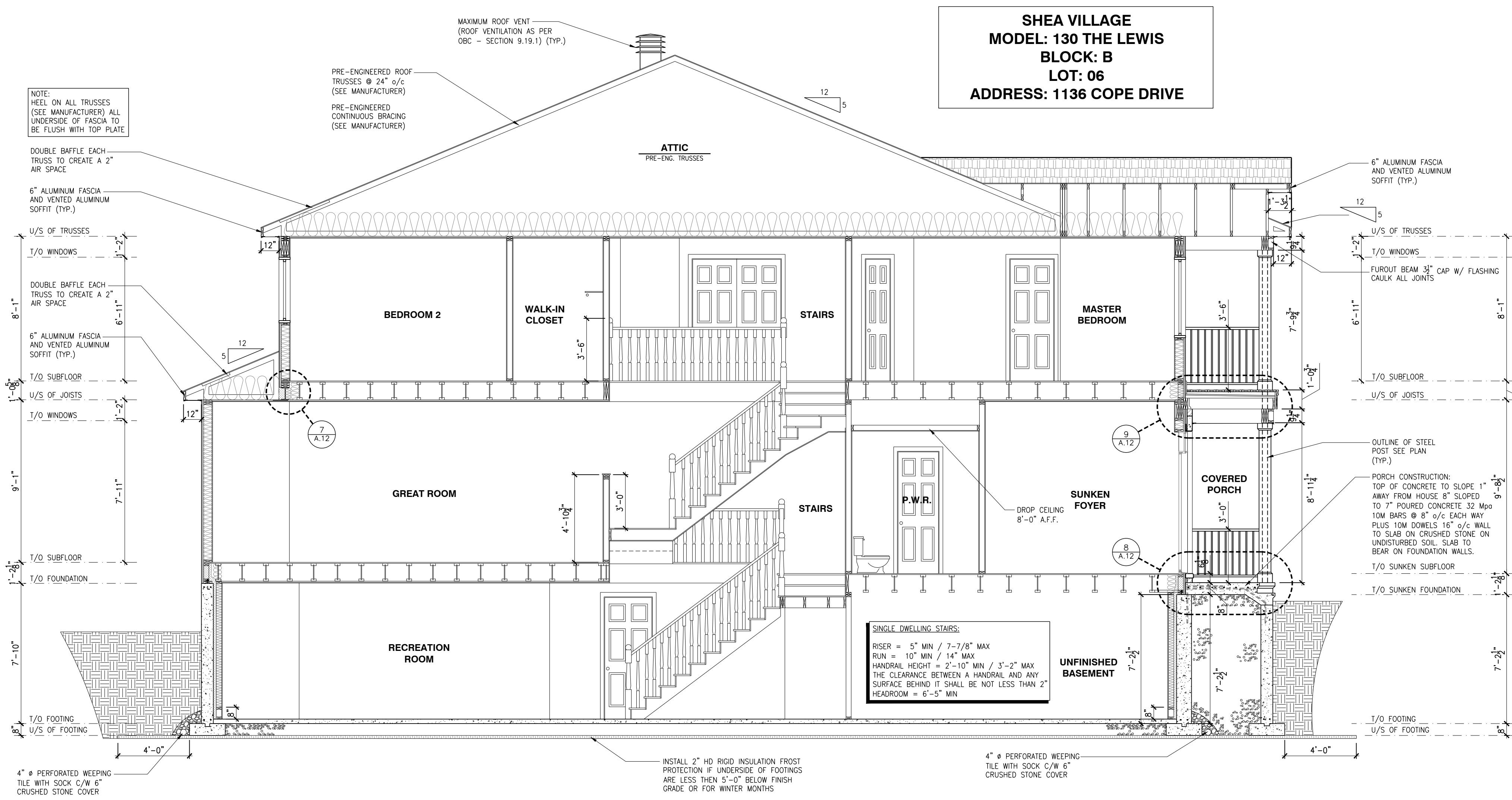
SHEA VILLAGE
MODEL: 120 THE HUNTLEY (REV)
BLOCK: B
LOT: 09
ADDRESS: 1142 COPE DRIVE

SHEA VILLAGE
MODEL: 160-2 THE STANLEY 2
BLOCK: B
LOT: 08
ADDRESS: 1140 COPE DRIVE

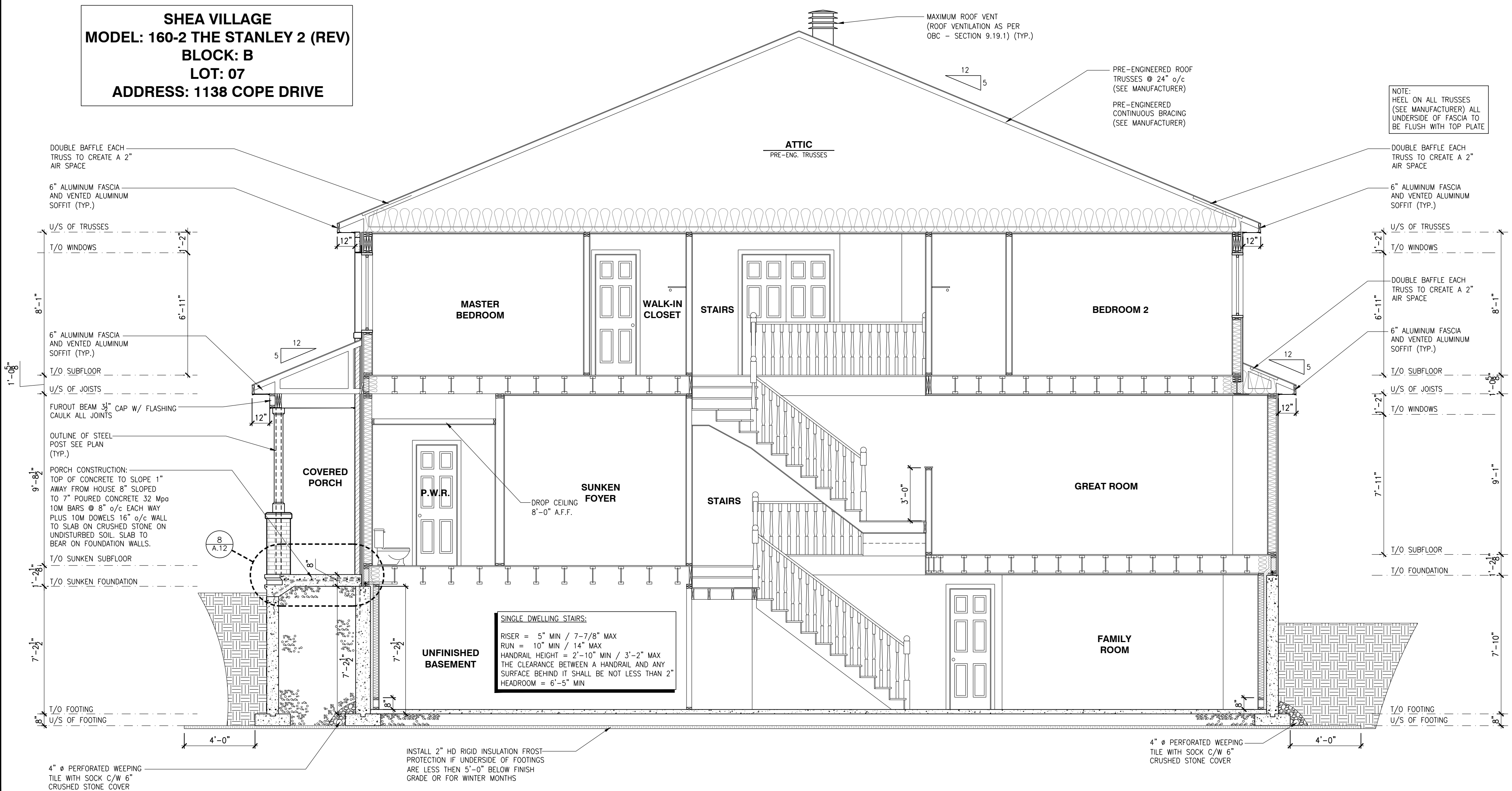
SHEA VILLAGE
MODEL: 160-2 THE STANLEY 2 (REV)
BLOCK: B
LOT: 07
ADDRESS: 1138 COPE DRIVE

SHEA VILLAGE
MODEL: 130 THE LEWIS
BLOCK: B
LOT: 06
ADDRESS: 1136 COPE DRIVE

1
A.2
REAR ELEVATION
SCALE: 1/4" = 1'-0"



2
A.2
BUILDING SECTION - THE LEWIS MODEL 130
SCALE: 1/4" = 1'-0"

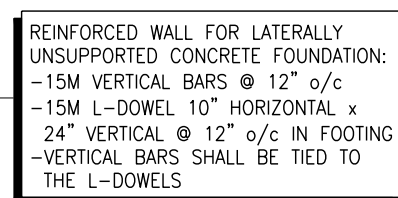


3
A.2
BUILDING SECTION - THE STANLEY 2 (REV) MODEL 160-2
SCALE: 1/4" = 1'-0"

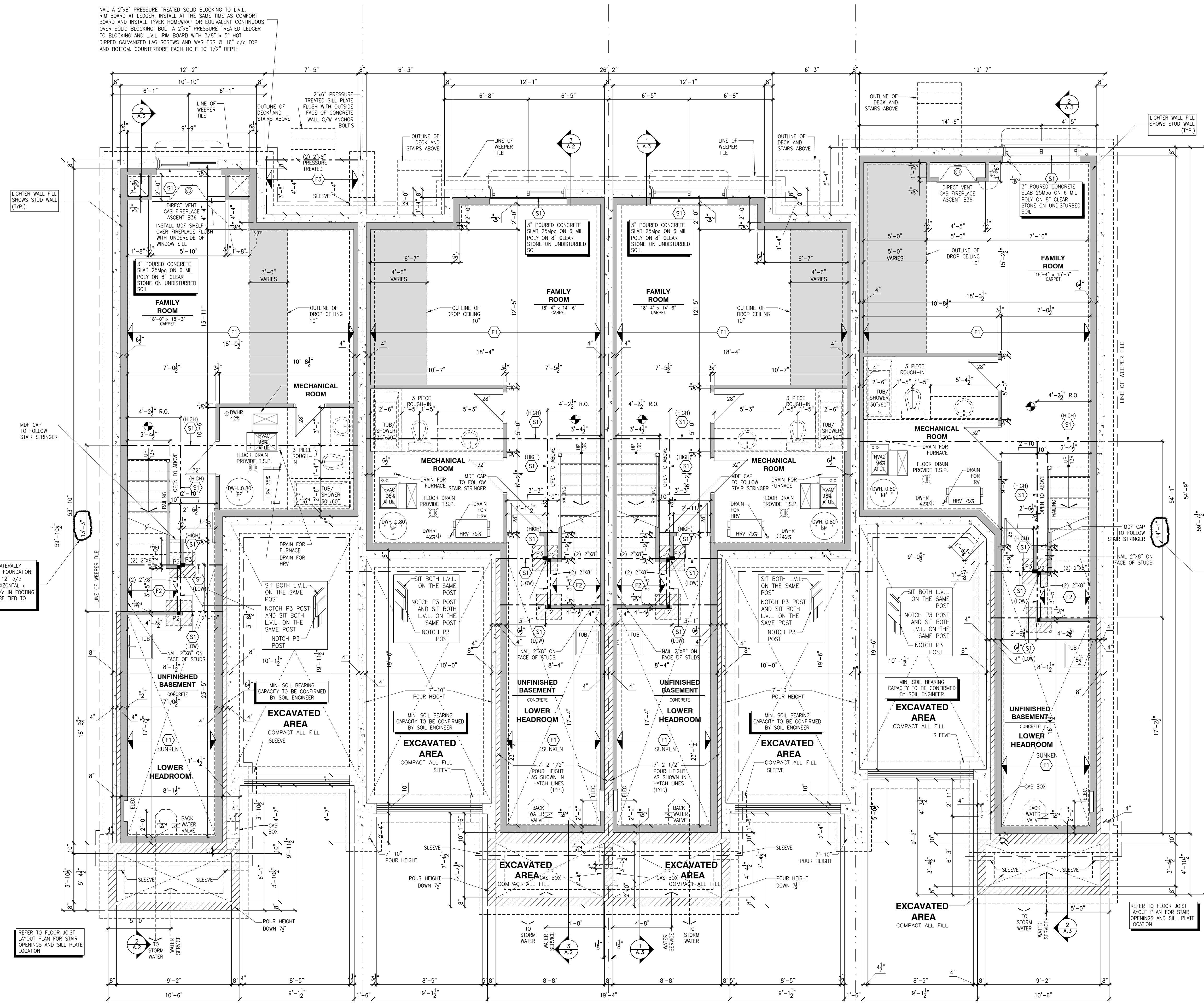




- BLOCK: B
SHEA VILLAGE



SHEA VILLAGE
MODEL: 120 THE HUNTLEY (REV)
BLOCK: B
LOT: 09
ADDRESS: 1142 COPE DRIVE



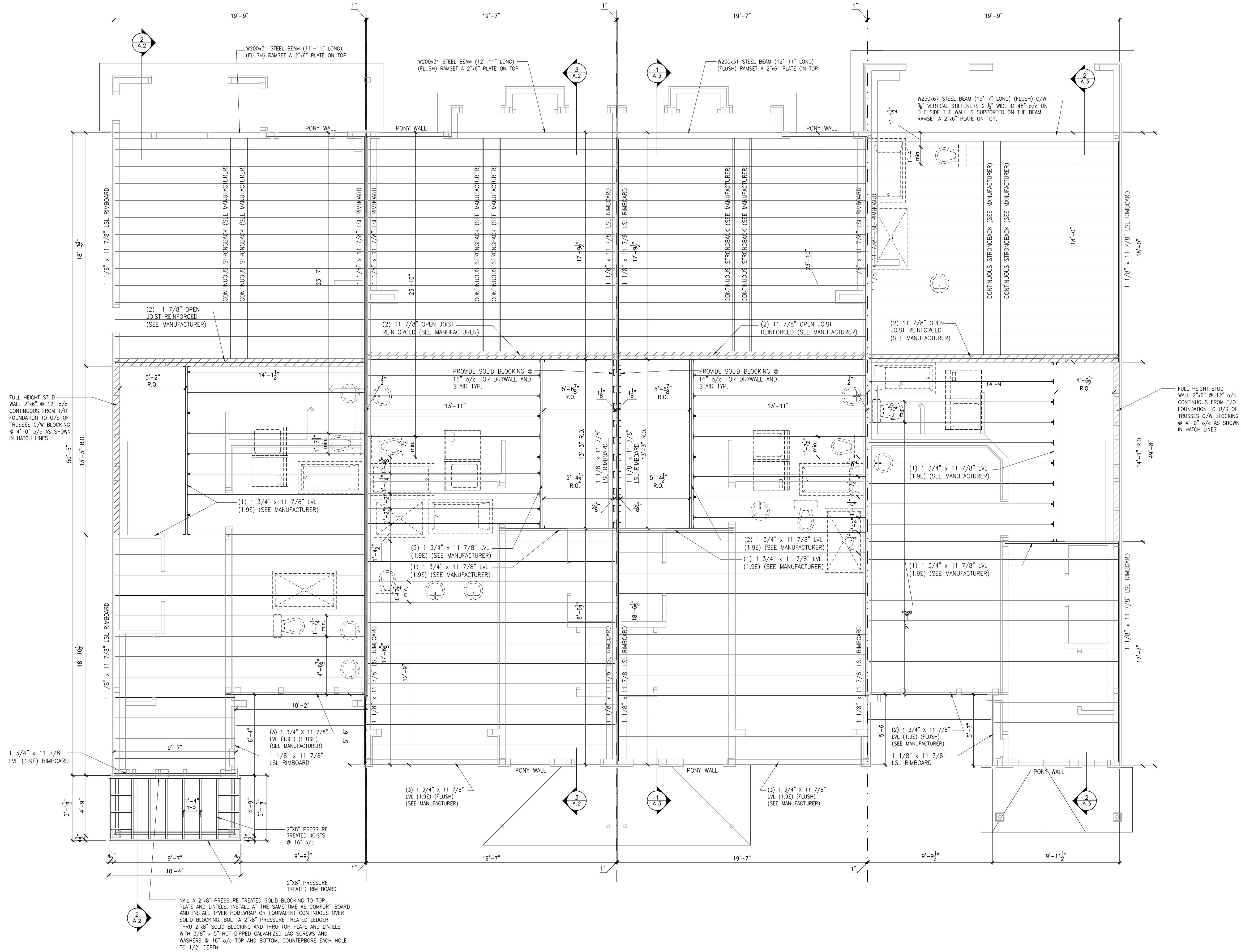
NOTES:
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (20MPa) AT 28 DAYS FOR FOOTINGS AND WALLS.
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE).
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION OR FROST PROTECTION SHALL BE PROVIDED.
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING FLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED.
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (LIFT) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION.
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS.
- REINFORCING STEEL SHALL COMPLY TO CAN/18 GRADE 400.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL BASEMENT FLOOR PLAN AND ARCHITECTURAL SPECIFICATION.
- CONTRACTOR TO ADD 1" VERTICALLY AND 1" HORIZONTALLY TO BASEMENT WINDOWS DIMENSIONS WHEN WINDOWS ARE NOT POURED IN PLACE.

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BLOCK: B
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SHEA VILLAGE
MODEL: 160-2 THE STANLEY 2 (REV)
BLOCK: B
LOT: 07
ADDRESS: 1138 COPE DRIVE

SHEA VILLAGE
MODEL: 120 THE STANLEY 2
BLOCK: B
LOT: 08
ADDRESS: 1140 COPE DRIVE

SHEA VILLAGE
MODEL: 120 THE HUNTLEY (REV)
BLOCK: B
LOT: 09
ADDRESS: 1142 COPE DRIVE



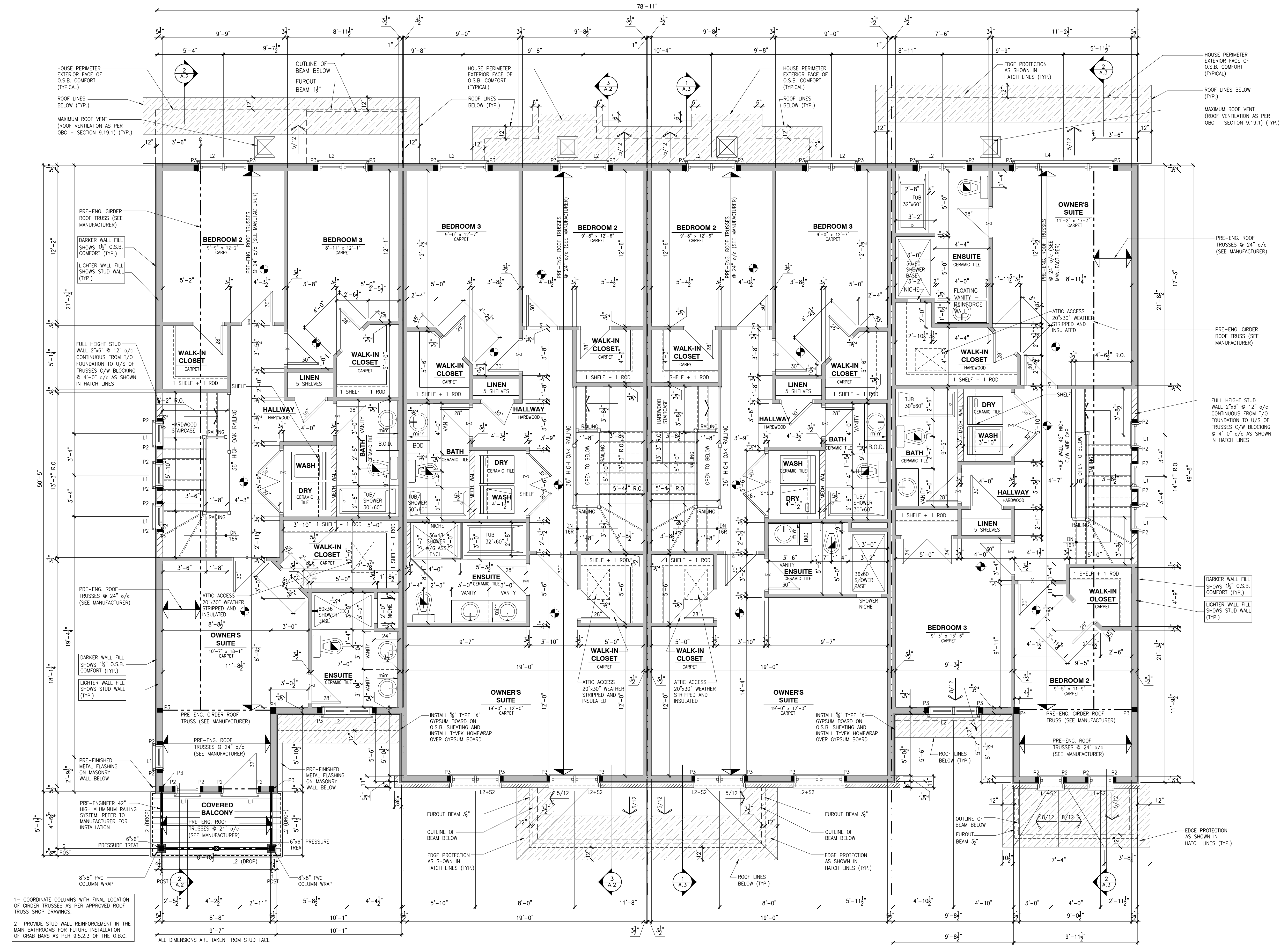
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REV-1	ISSUED FOR CONSTRUCTION	07/04/2024	AB
NO.	DESCRIPTION	1MM/00/YYY	BY

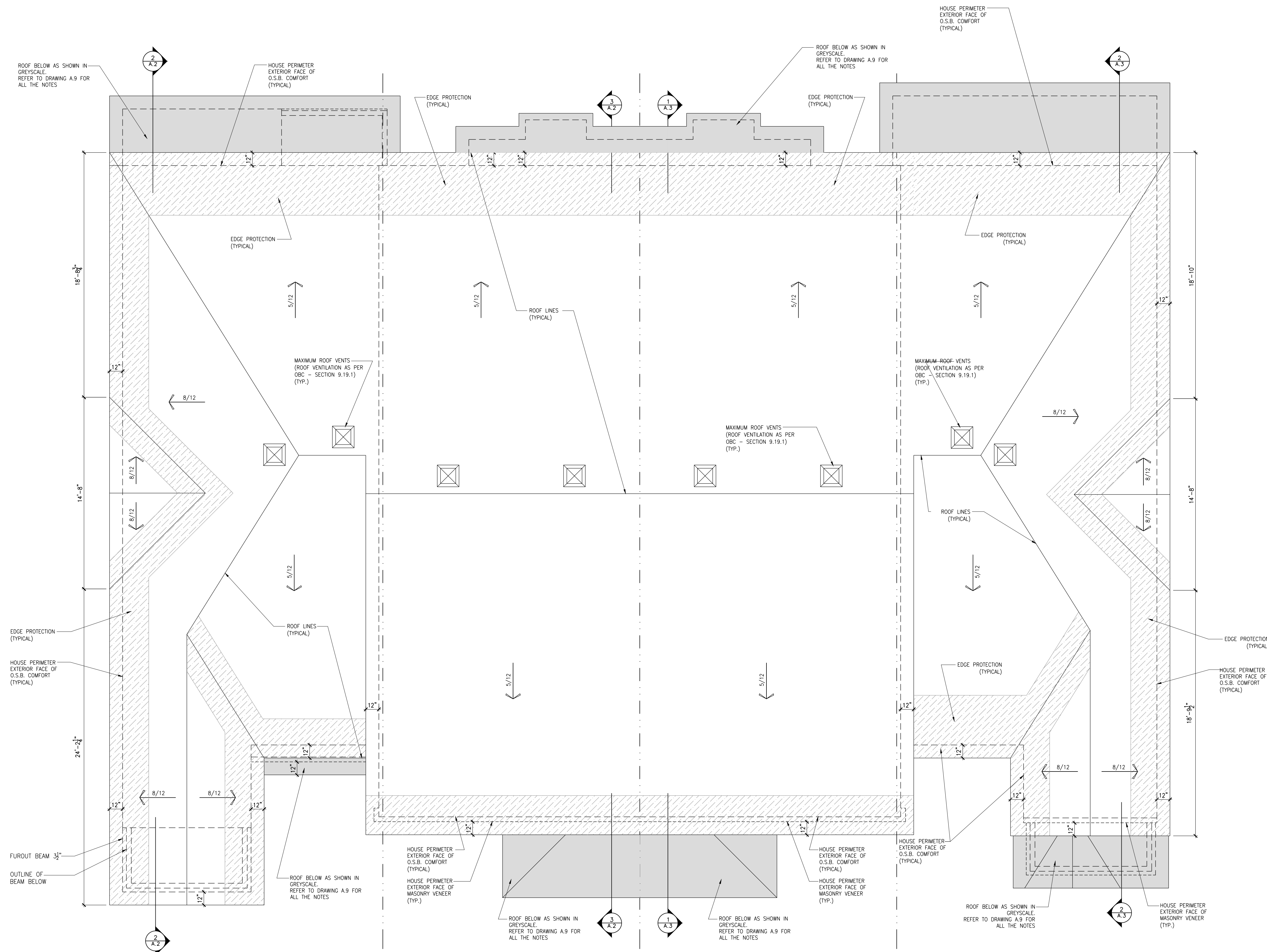


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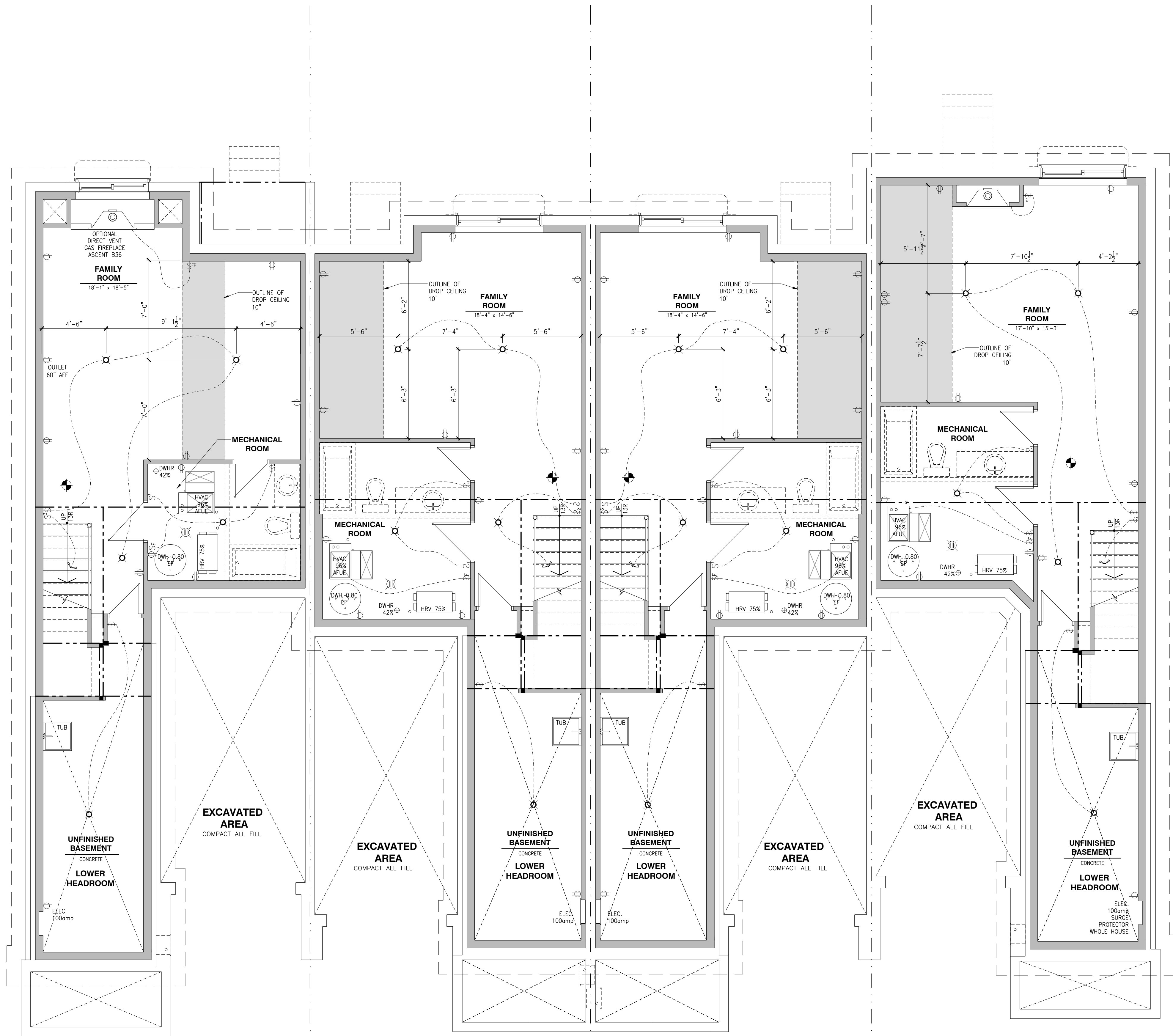


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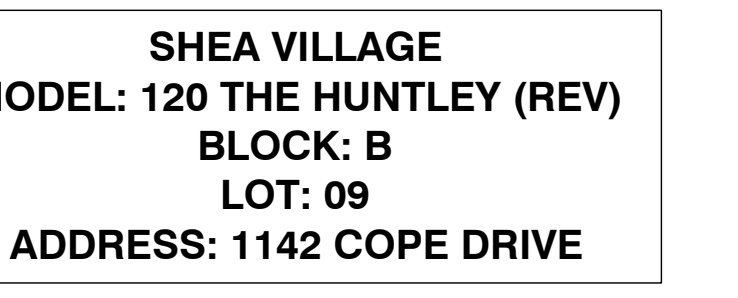
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

 CEILING MOUNTED LIGHT FIXTURE



THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY BIDS AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS, TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESIGNED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

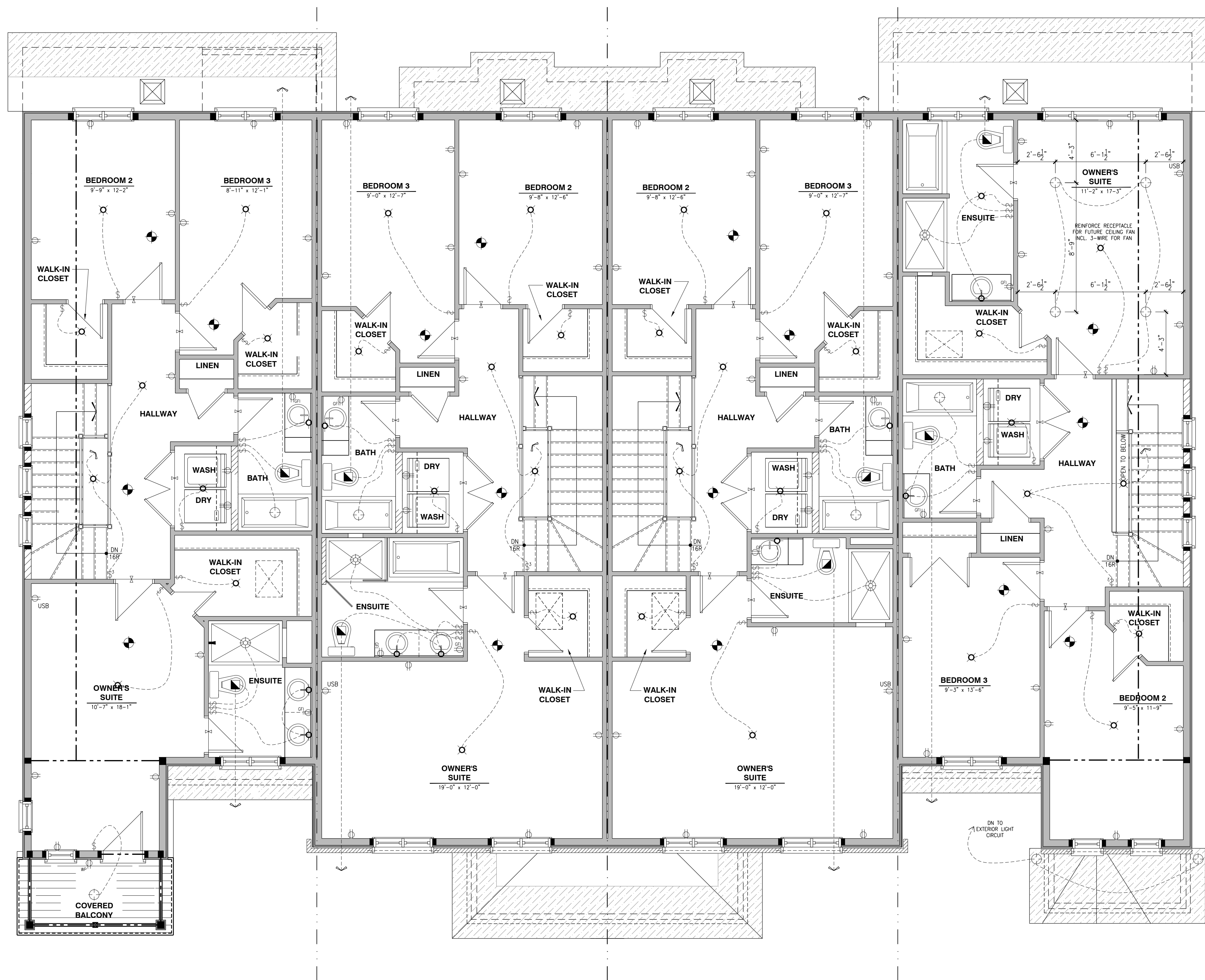
NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- SMOKE ALARMS AS PER SECTION 9.10.10. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATING POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM AND;
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WM WALL MOUNTED LIGHT FIXTURE
- \$CM CEILING MOUNTED LIGHT FIXTURE
- \$PL POT LIGHT



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2012 O.B.C. DRAWINGS

NO.	DESCRIPTION	1MM/DD/YYYY BY

DRAWING:

ELECTRICAL PLAN
SECOND FLOOR

ADDRESS:	SCALE:	DATE:
SEE PLANS	1/4" = 1'-0"	MM/DD/YYYY