

PERCENT GLASS TO WALL AREA = 10.1%

—KWP ECOSIDE SIDING

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

[illegible]

- FLASHING @ ROOF AND WALL JUNCTURE (TYP.)
- LOW SLOPE ASPHALT SHINGLES INSTALLED AS PER O.B.C. 9.26.8

— 8"x16" CONC. BLOCK  
SMOOTH FACE (TYP.)  
FINISH GRADE

- 6" FOUNDATION CHECK  
SEE GRADE PLAN  
(TYP.)

CONCRETE STAIR—  
ONE INVERTED  
# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

– 16'-0"x8'-0" OVERHEAD GARAGE DOOR  
GLASS INSERTS ON UPPER PANELS

SCALE: 3/16" = 1'-0"

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

SHEET:  
**A1a**



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

[illegible]

DRAWING: **RIGHT ELEVATION**  
**ELEVATION A**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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# 1010 - THE FERRIS 2023 FOOTPRINT

(STANDARD DRAWINGS)



SCALE: 3/16" = 1'-0"



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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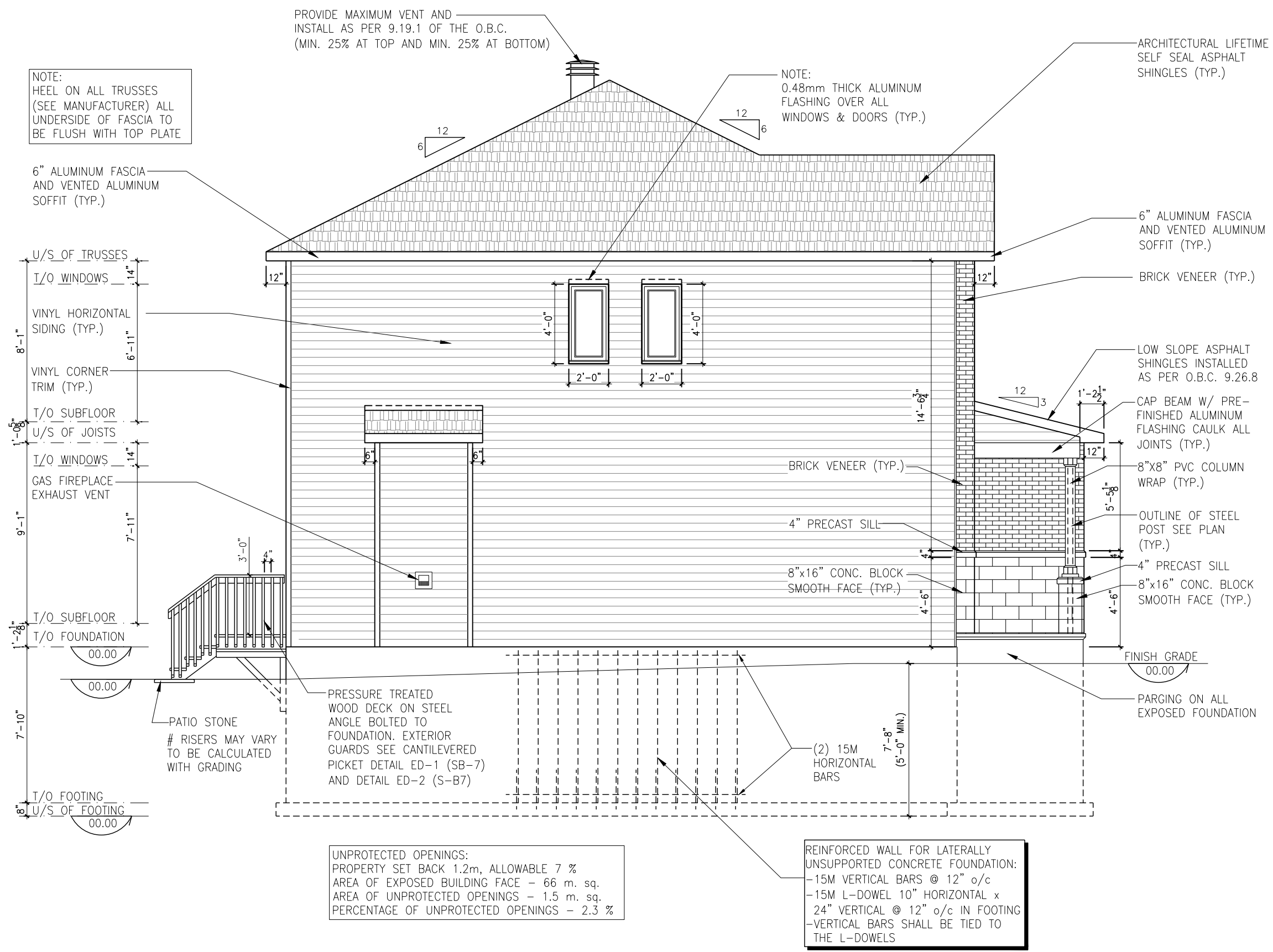
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL



LEFT ELEVATION - ELEVATION A  
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

VINYL CORNER  
TRIM (TYP.)  
VINYL HORIZONTAL  
SIDING (TYP.)  
EXTERIOR LIGHT  
FIXTURE (TYP.)

FINISH GRADE

PARGING ON ALL  
EXPOSED FOUNDATION

# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)



STANDARD:

GROSS INSULATED = 278 M. SQ.  
WALL AREA

GROSS WINDOW = 28.28 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 10.1%

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

BRICK VENEER (TYP.)

4" PRECAST SILL

FLASHING @ ROOF AND  
WALL JUNCTURE (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

8"x8" PVC COLUMN  
WRAP (TYP.)

4" PRECAST SILL

OUTLINE OF STEEL  
POST SEE PLAN  
(TYP.)

BRICK VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

00.00

PARGING ON ALL  
EXPOSED FOUNDATION

CONCRETE PORCH

T/O FOOTING

U/S OF FOOTING

00.00

CAP BEAM W/ PRE-  
FINISHED ALUMINUM  
FLASHING CAULK ALL  
JOINTS (TYP.)

CONCRETE STAIR  
ONE INVERTED  
# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

16'-0"x8'-0" OVERHEAD GARAGE DOOR  
GLASS INSERTS 3 STACKED

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

KAYCAN WOOD PRODUCTS  
CORNER TRIM (7 1/4")

KAYCAN WOOD PRODUCTS  
HORIZONTAL SIDING (7 1/4")

FLASHING @ ROOF AND WALL  
JUNCTURE (TYP.)

LOW SLOPE ASPHALT SHINGLES  
INSTALLED AS PER O.B.C. 9.26.8

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

SAN REMO A1101S-6  
EXTERIOR LIGHT FIXTURE

BRICK VENEER (TYP.)

FINISH GRADE

6" FOUNDATION CHECK  
SEE GRADE PLAN  
(TYP.)

FRONT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

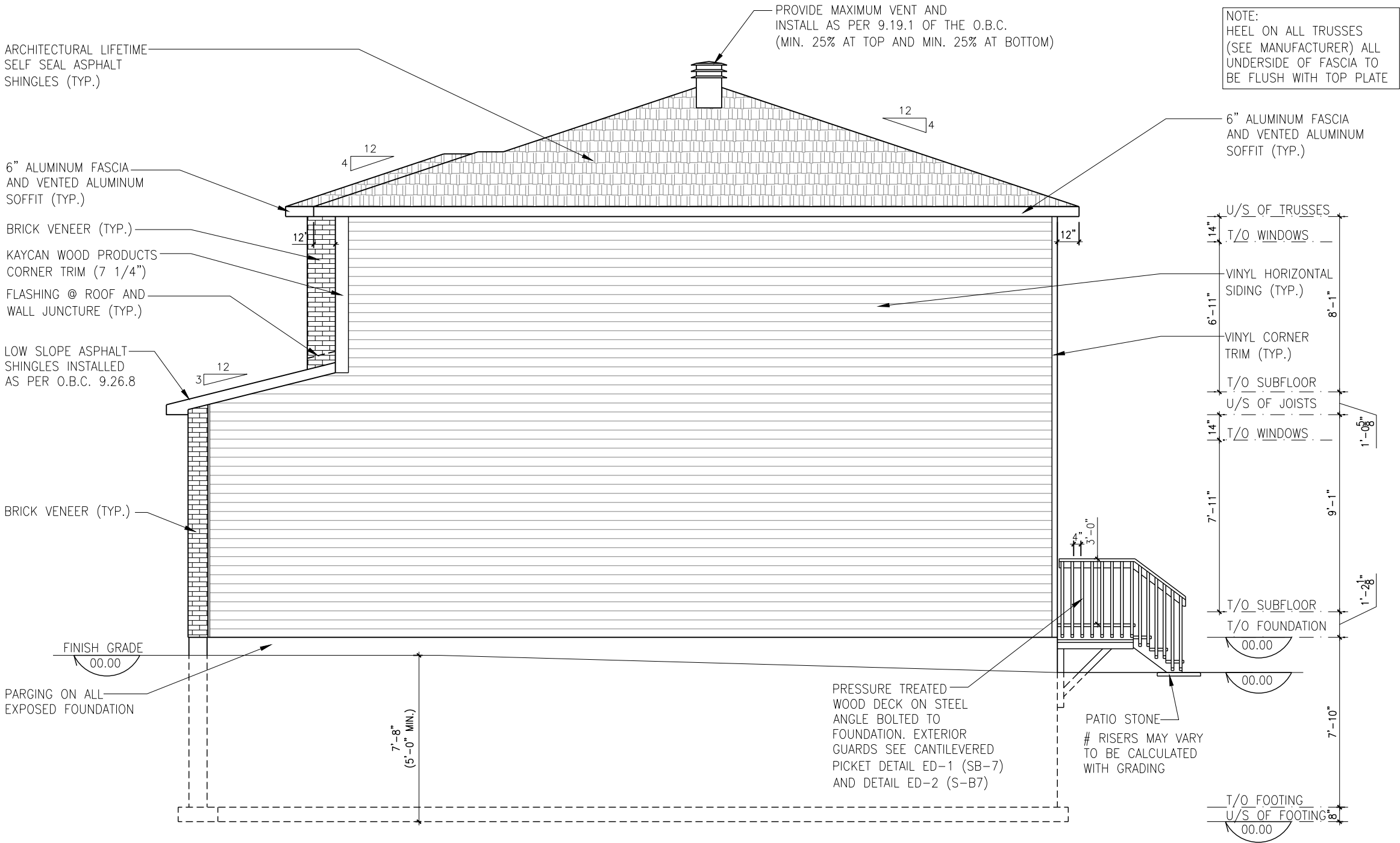

REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A1b



**RIGHT ELEVATION - ELEVATION B**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION  
ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1010 - THE FERRIS  
2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A2b**



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2012 O.B.C. DRAWINGS

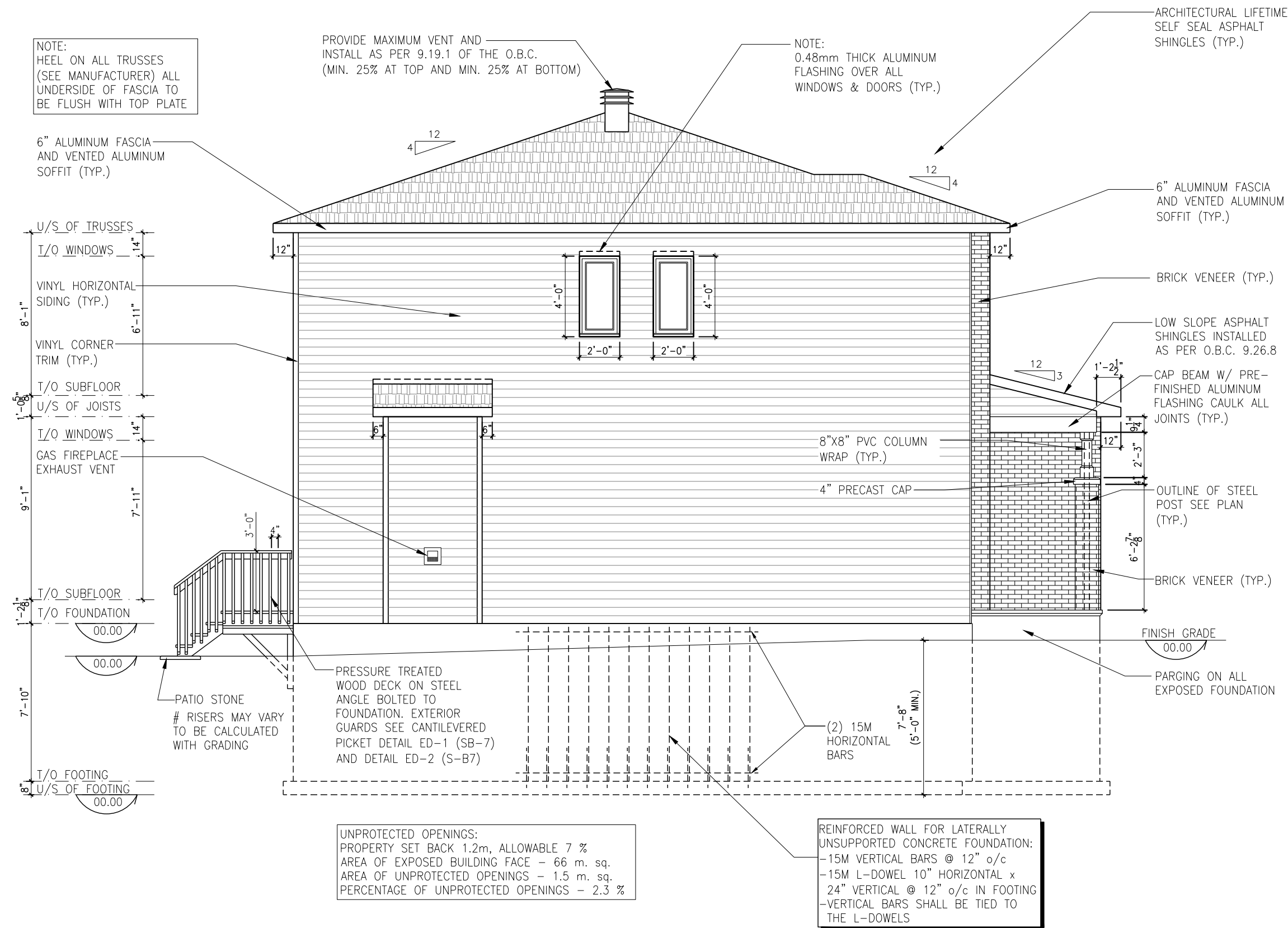

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NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

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2023 FOOTPRINT  
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A3b



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NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

VINYL CORNER  
TRIM (TYP.)  
VINYL HORIZONTAL  
SIDING (TYP.)  
EXTERIOR LIGHT  
FIXTURE (TYP.)

PARGING ON ALL  
EXPOSED FOUNDATION

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES  
T/O WINDOWS  
8'-1"  
6'-11"  
14"  
T/O SUBFLOOR  
U/S OF JOISTS  
1'-0 1/2"  
T/O WINDOWS  
14"  
9'-1"  
7'-11"  
BRICK VENEER  
BEYOND  
VINYL CORNER TRIM (TYP.)  
T/O SUBFLOOR  
T/O FOUNDATION  
1'-2 3/8"  
00.00  
7'-10"  
T/O FOOTING  
U/S OF FOOTING  
8"  
00.00

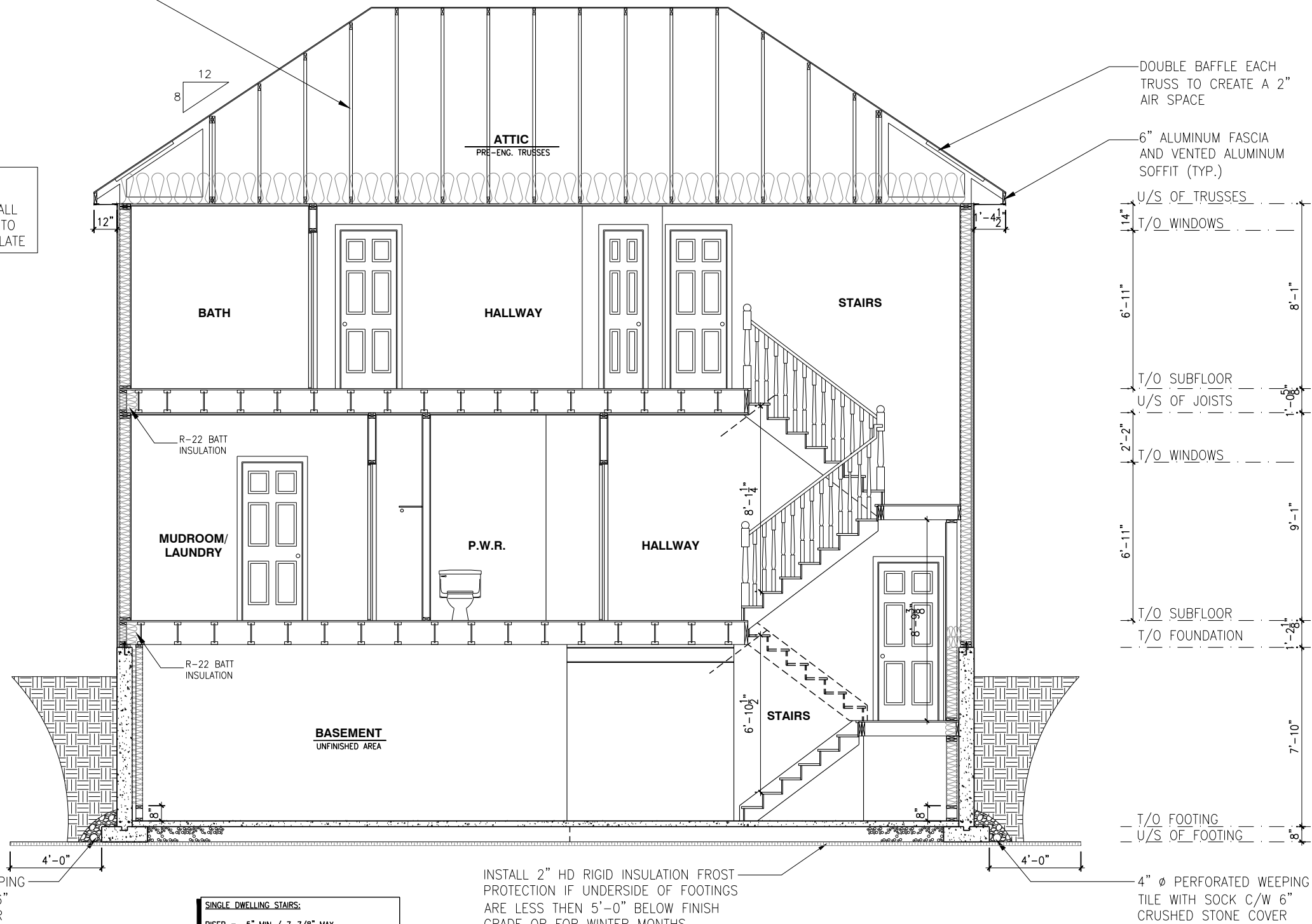
PROVIDE G.I. METAL AREAWAY  
2" ABOVE FINISHED GRADE &  
DRAIN TO WEEPER TILE.  
INSURE A CLEAR DISTANCE  
OF 22" FROM BUILDING FACE  
TO INSIDE OF WINDOW WELL.  
(TYP.) (SEE DETAIL SP-24)

PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)

# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

PRE-ENGINEERED ROOF  
TRUSSES @ 24" o/c  
(SEE MANUFACTURER)  
  
PRE-ENGINEERED  
CONTINUOUS BRACING  
(SEE MANUFACTURER)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



SINGLE DWELLING STAIRS:  
RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY  
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

INSTALL 2" HD RIGID INSULATION FROST  
PROTECTION IF UNDERSIDE OF FOOTINGS  
ARE LESS THEN 5'-0" BELOW FINISH  
GRADE OR FOR WINTER MONTHS

4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

LOT: XXXX  
DATE: XX/XX/XXXX



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## 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

## BUILDING SECTION ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A5a**



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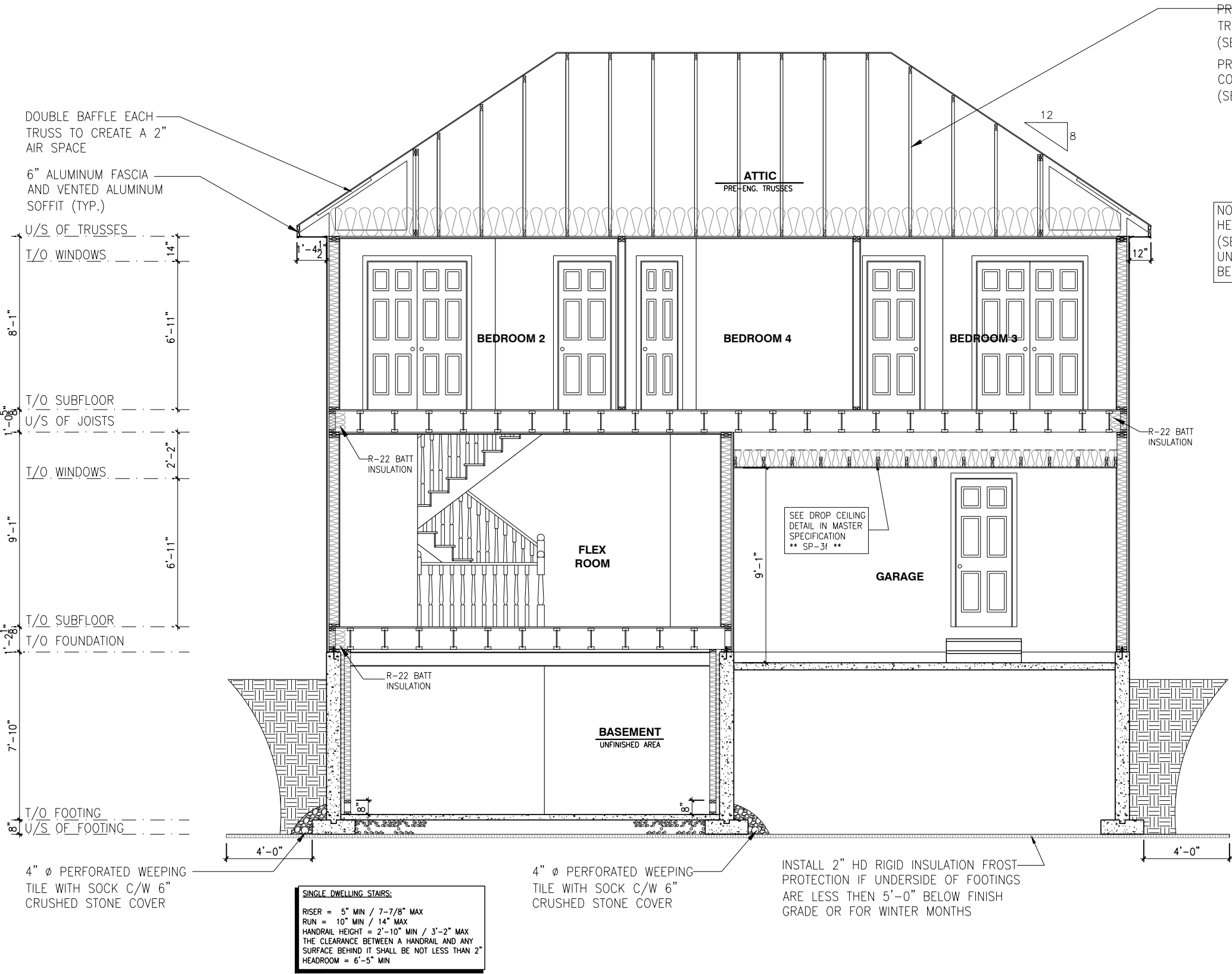
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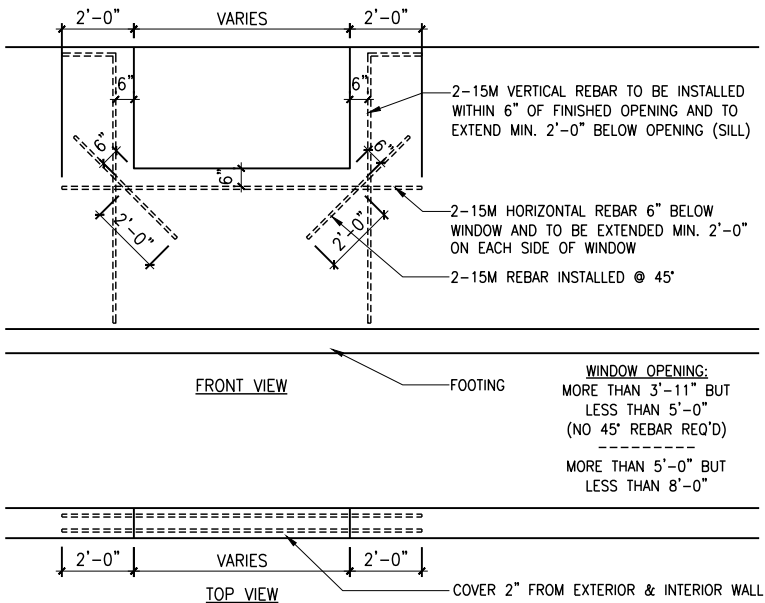

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DRAWING:BUILDING SECTION  
ELEVATION A

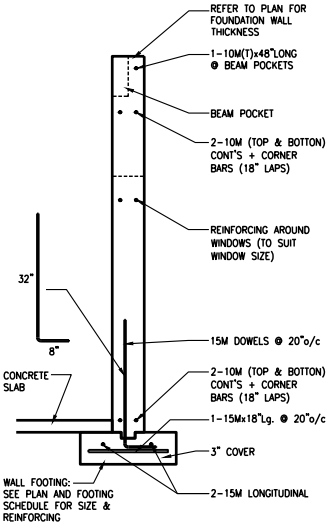
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xx	3/16" = 1'-0"	xx/xx/xxxx



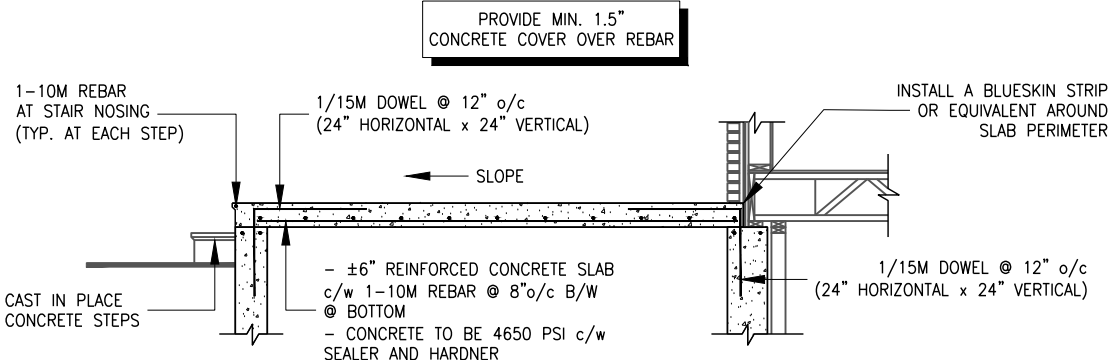
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



1 BASEMENT WINDOW REINFORCING  
A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING  
A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING  
A.6 SCALE: 1/4" = 1'-0"

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
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☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

**BASEMENT NOTE:**

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m<sup>2</sup> (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

**FLOOR FRAMING:**

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

**GENERAL NOTES:**

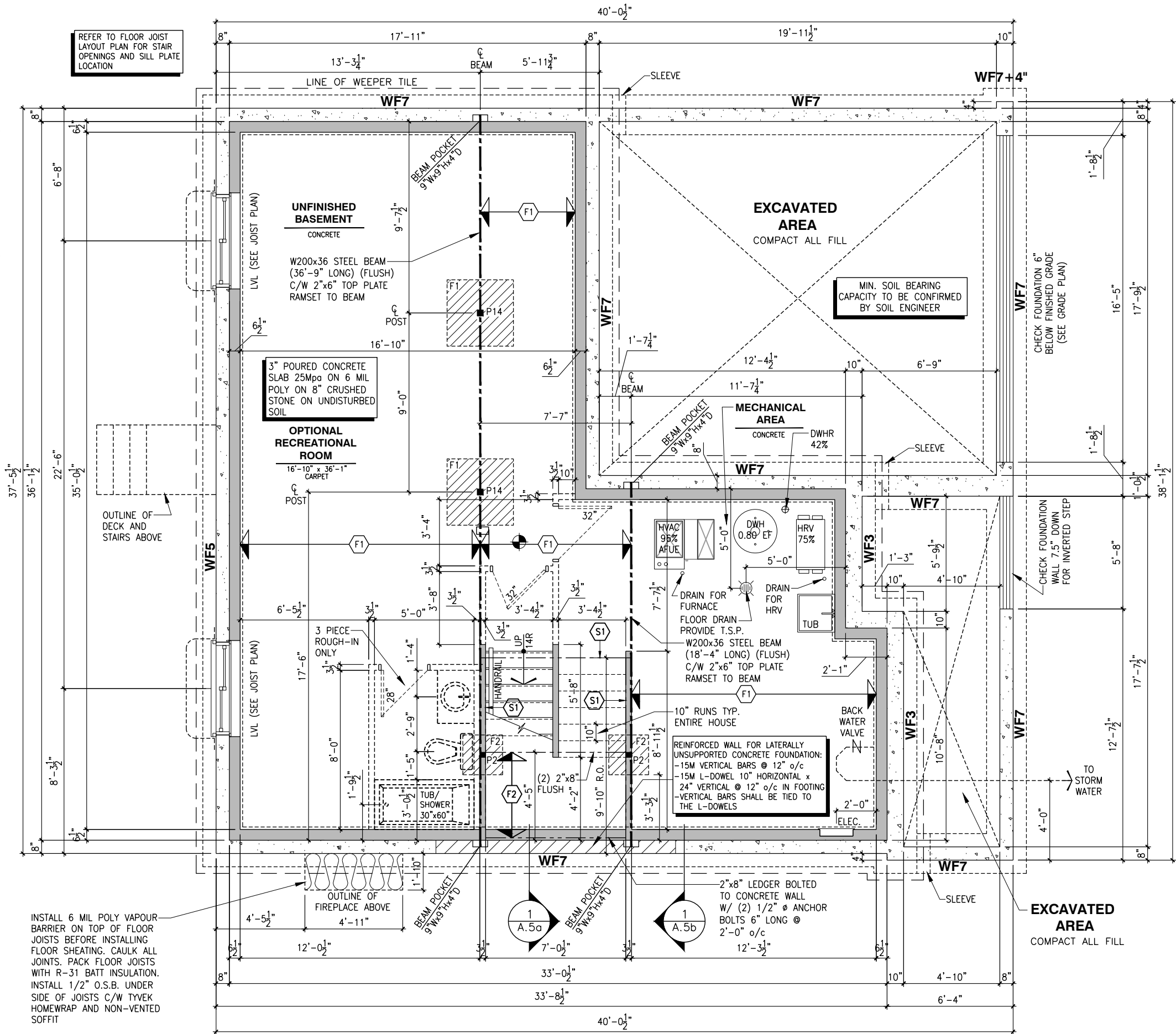
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**SINGLE DWELLING STAIRS:**

RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION



**BASEMENT FLOOR PLAN - ELEVATION A AND B**

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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**NOTES:**

**STEEL LINTEL:**

- S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

**LINTEL TABLE:**

- L1 = 2-2x10 + P2 ON BOTH SIDES  
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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

- P1 = 3" ADJUSTABLE STEEL COLUMN  
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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

**DRAWING: BASEMENT FLOOR PLAN  
ELEV. A AND B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**1010 - THE FERRIS  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A6a**





NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPECS AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:

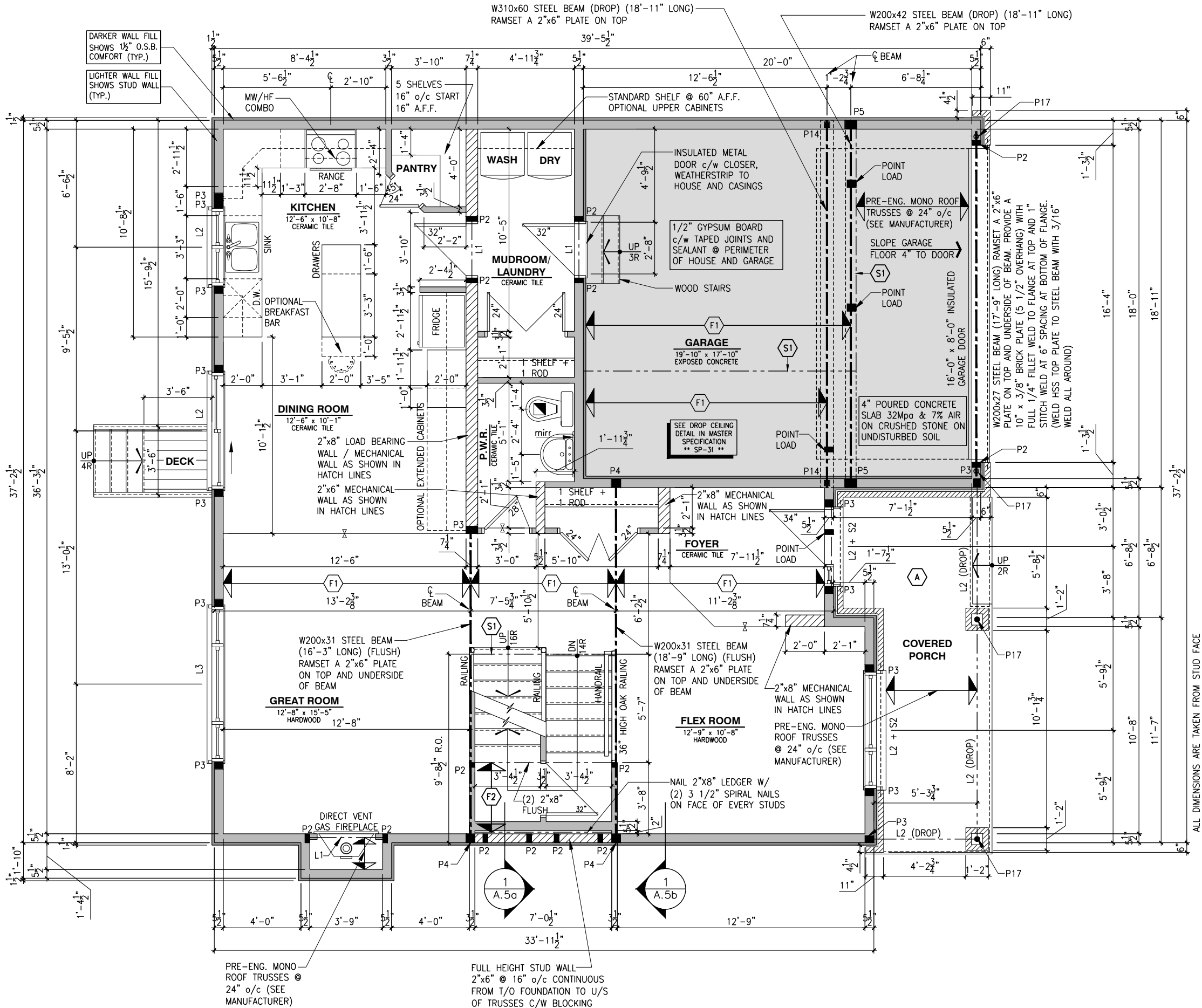
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

A PORCH CONSTRUCTION:  
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

## GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

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L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE  
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ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,  
FOLLOWED BY 4 MINUTES OF ALARM; AND
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ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx  
BY

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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NOTE:

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SINGLE DWELLING STAIRS:

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GENERAL NOTES:

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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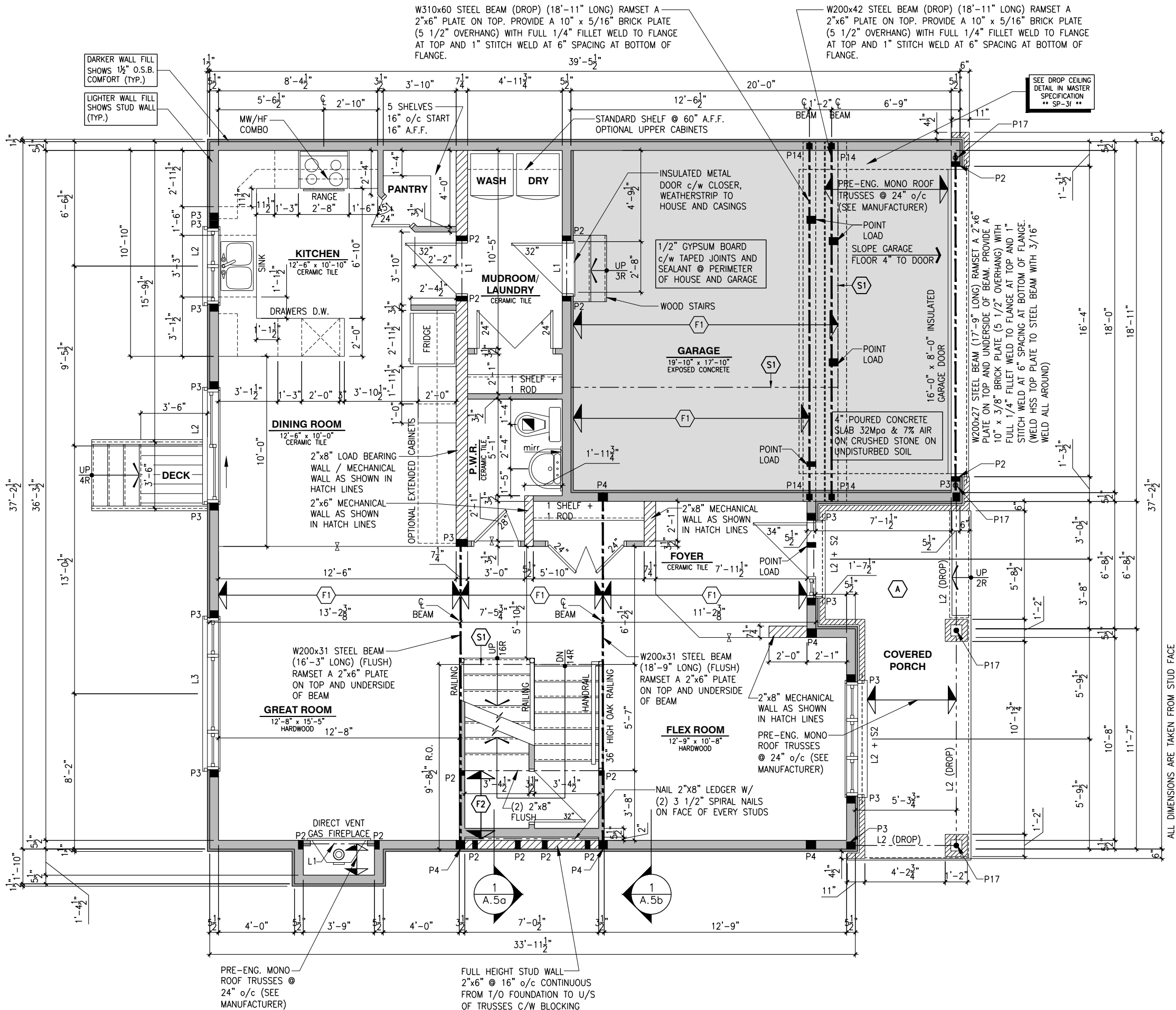
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## GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIOR REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

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☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN  
OPT. KITCHEN #1 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7c



NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPECS AND P.ENG. IN OTHER CASE;
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ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:

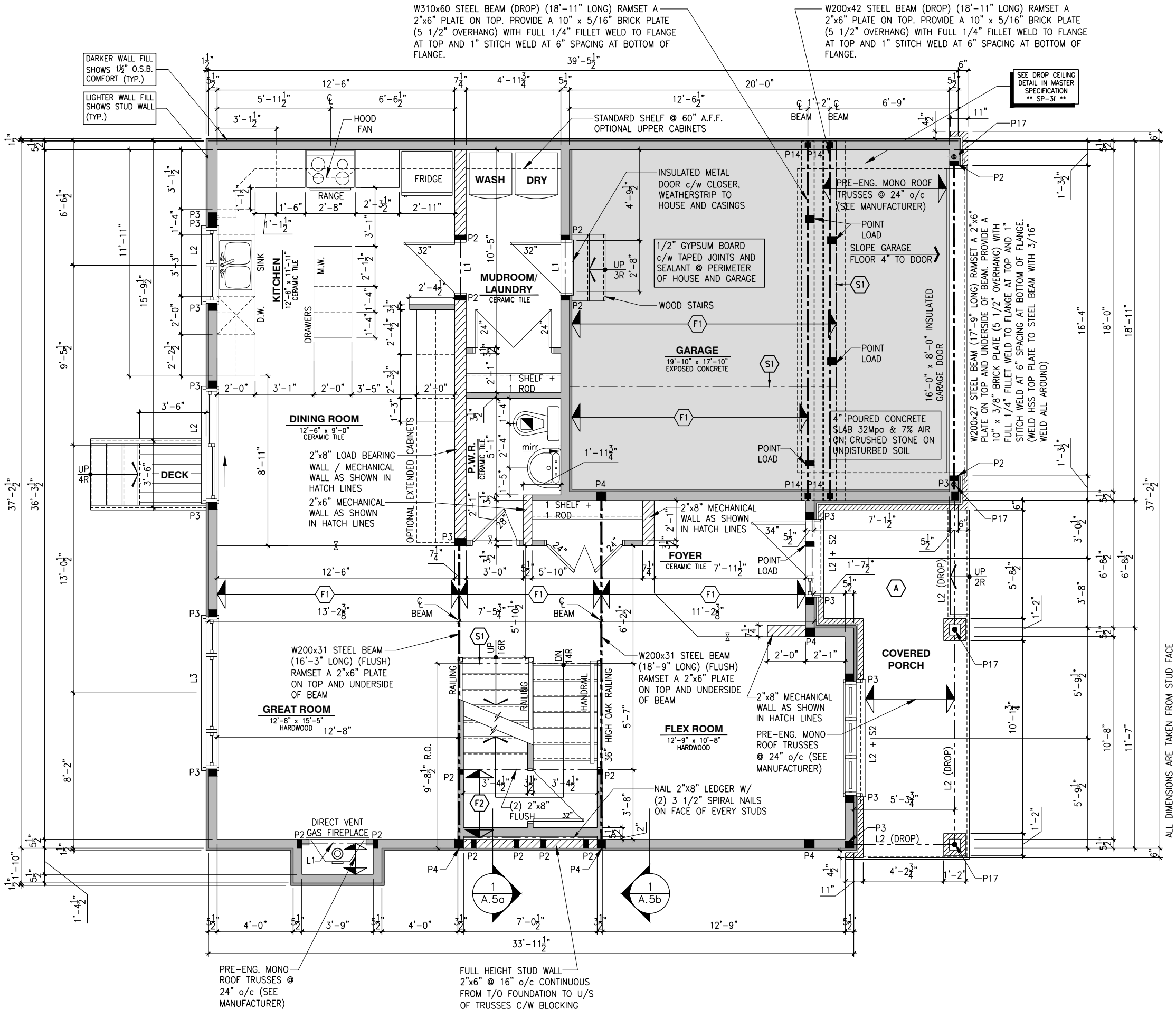
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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A PORCH CONSTRUCTION:  
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE  
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

## GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**  
**OPT. KITCHEN #2 - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: **A7e**

NOTES:

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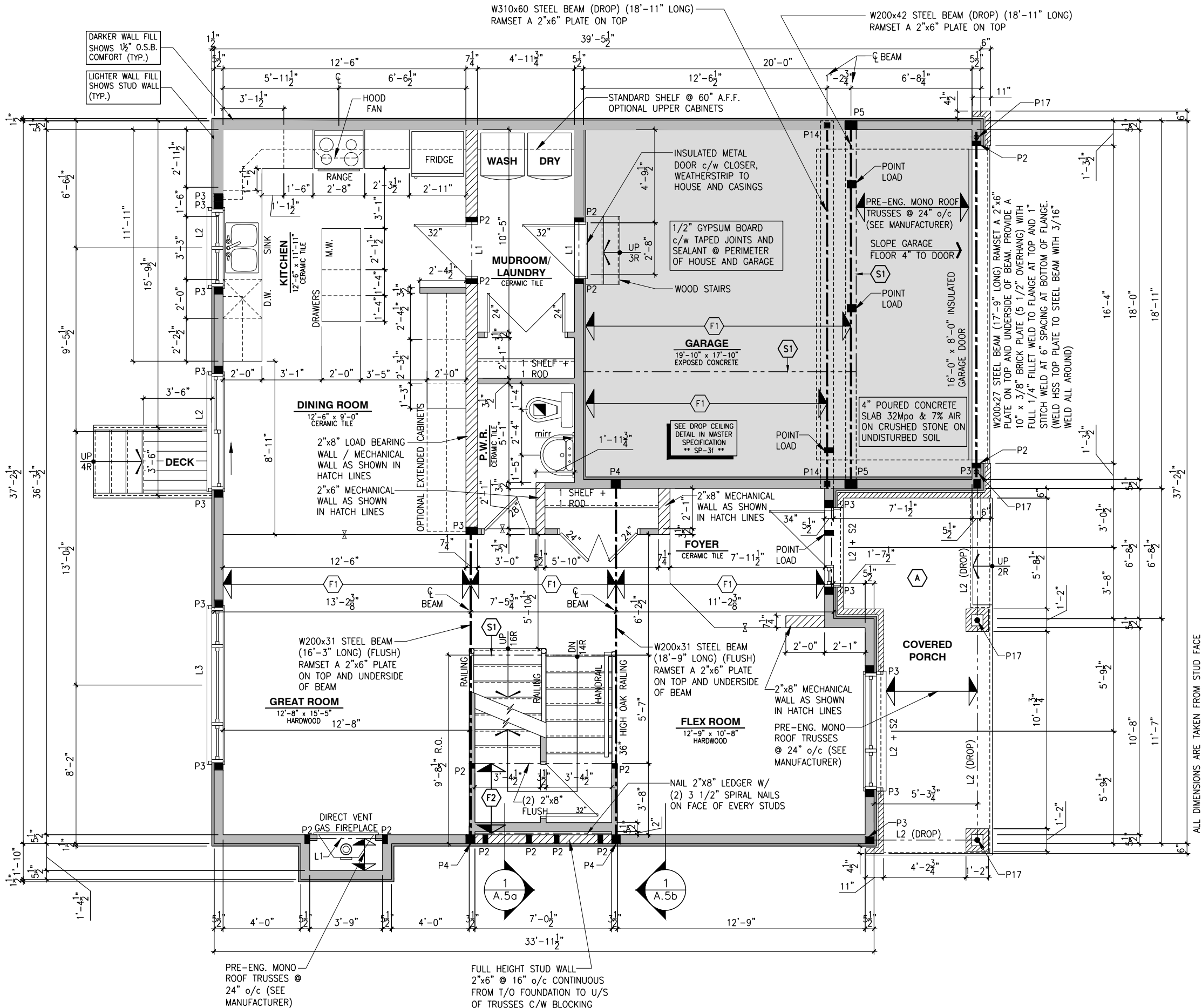
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN  
OPT. KITCHEN #2 - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7f



NOTES:

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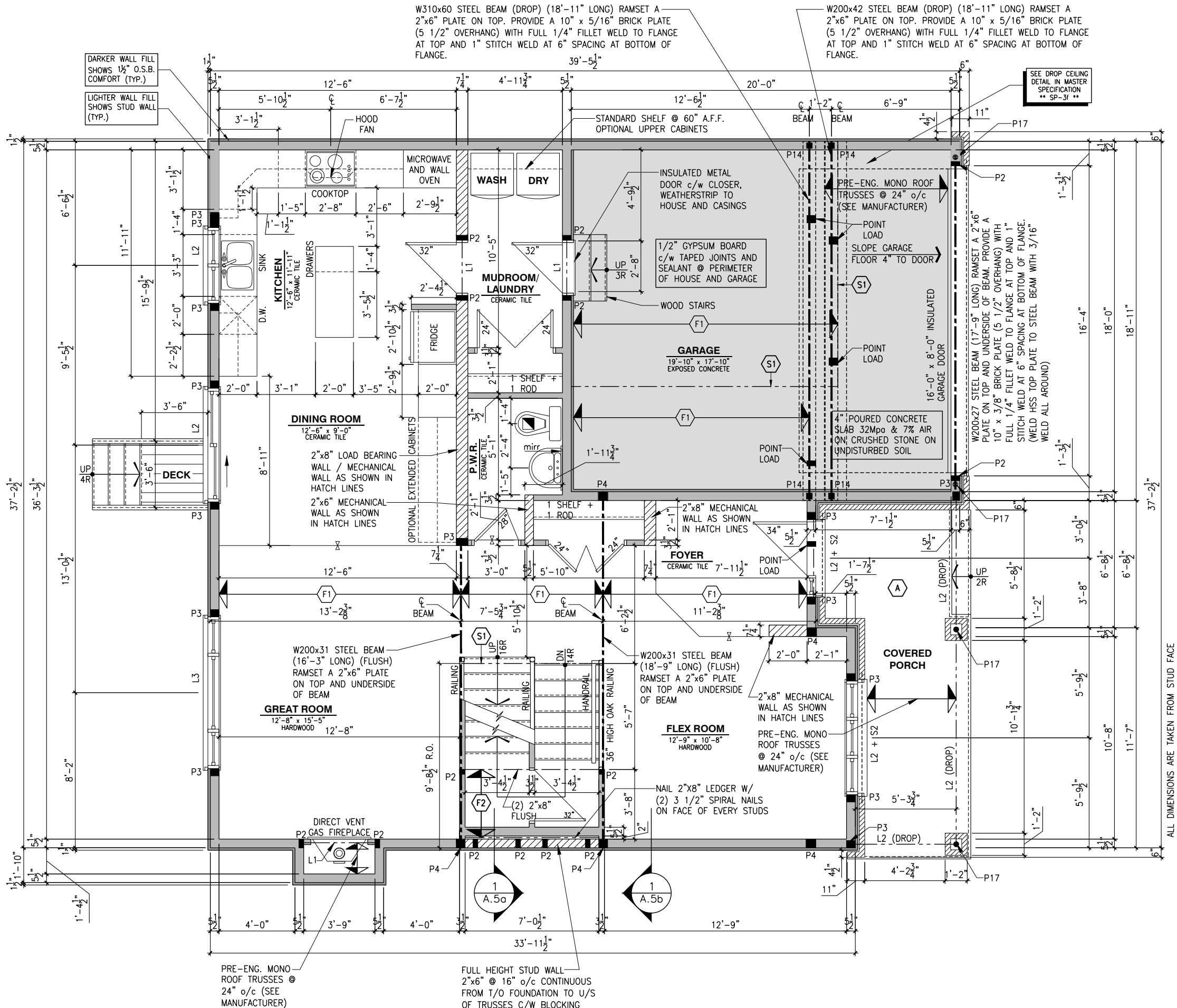
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## GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN  
OPT. KITCHEN #3 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A7g

## NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPECS AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

## ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

## NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

## SINGLE DWELLING STAIRS:

- RISER = 5" MIN / 7-7/8" MAX
- RUN = 10" MIN / 14" MAX
- HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
- THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
- HEADROOM = 6'-5" MIN

## GENERAL NOTES:

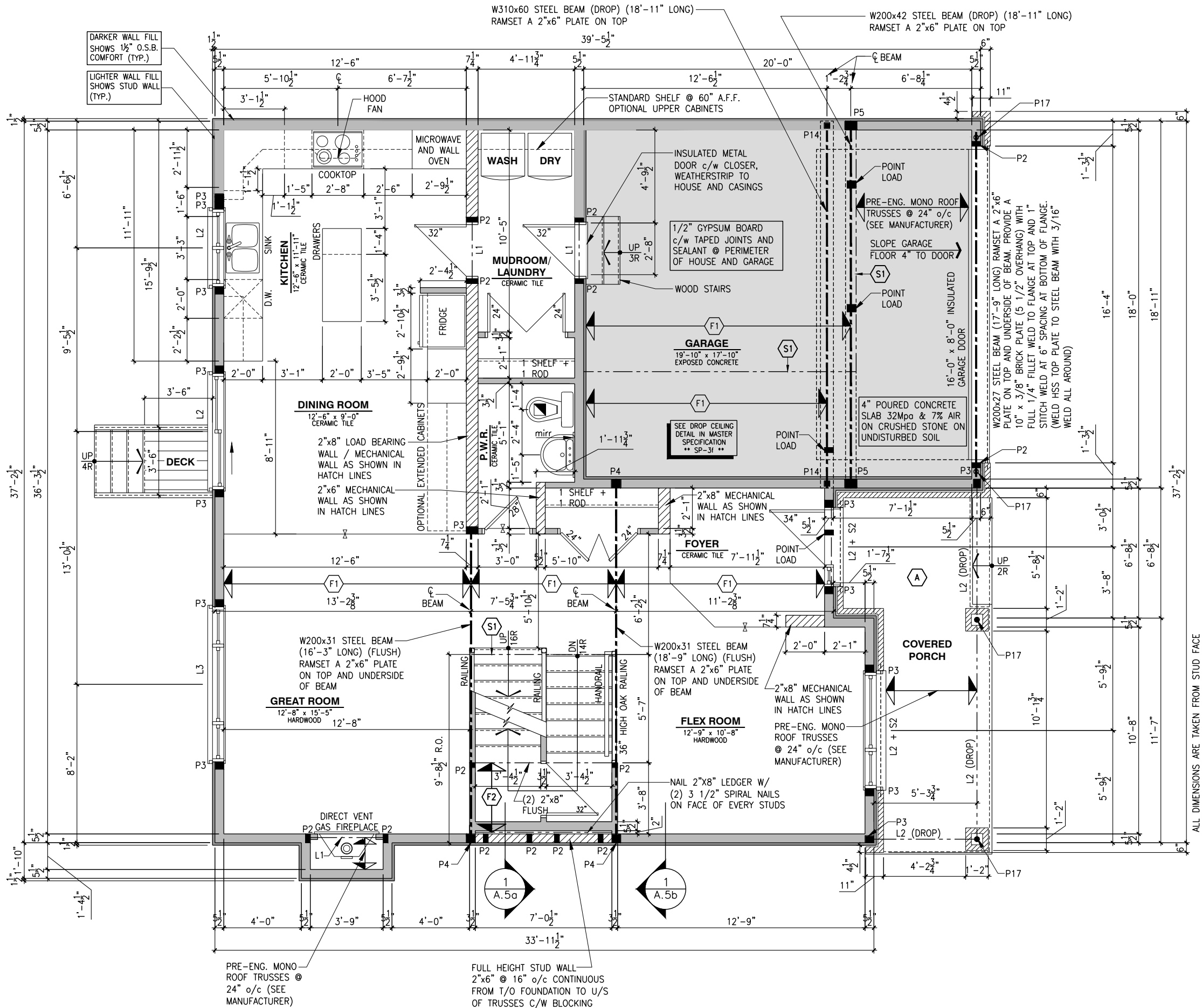
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

## FLOOR FRAMING:

- F1** 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1** REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- A** PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

## GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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## NOTES:

## STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

## LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

## POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK C/W STUD

- (EX. P2 = 1 JACK + 1 STUD)

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- ☉** = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

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NO.	DESCRIPTION	DATE	BY

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2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7h



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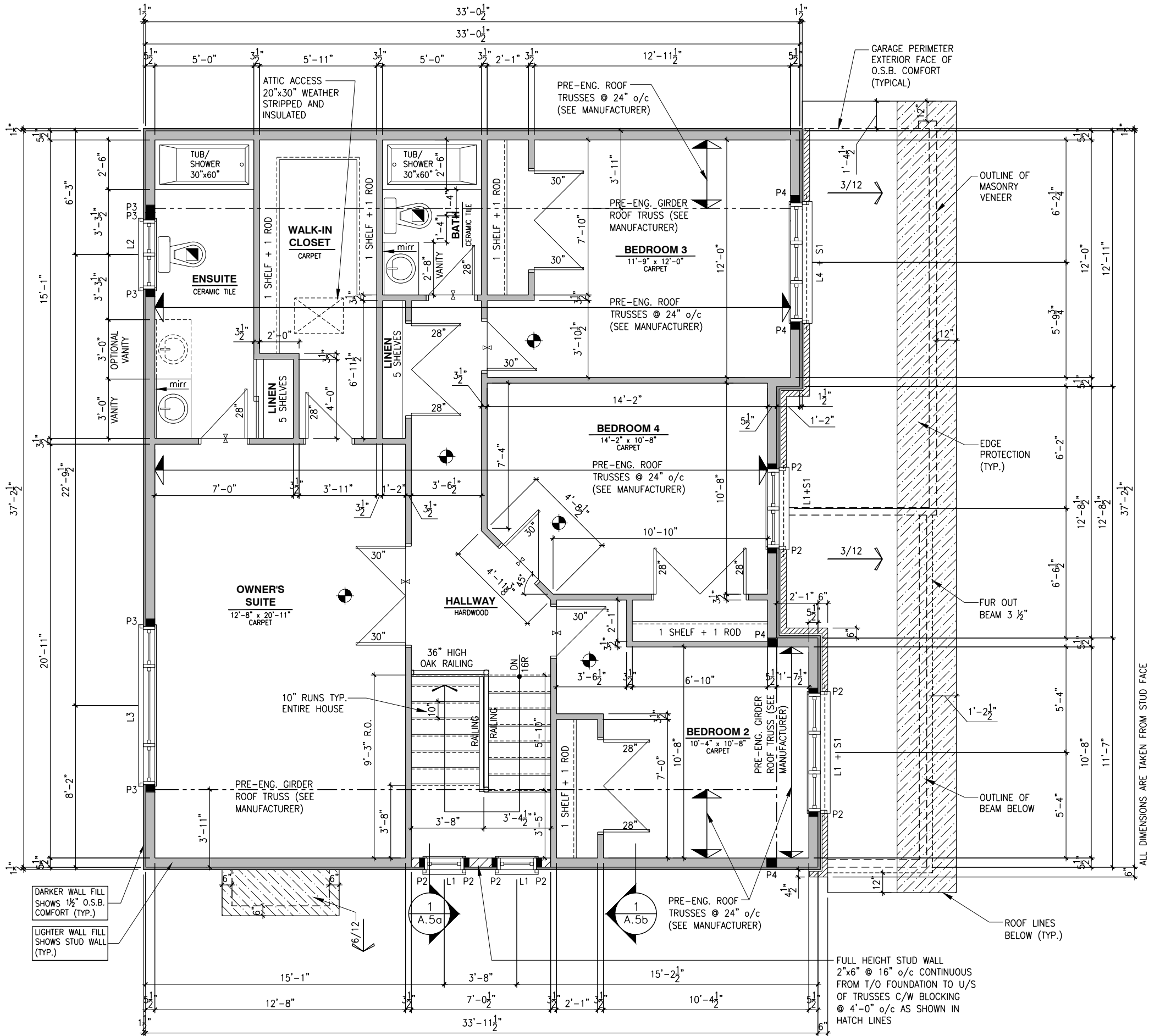
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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 255mm (10") - MAX 355mm (14")  
TREAD: MIN 280mm (11") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (2'-10") - MAX 965mm (3'-2");
- THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 60mm (2 3/8") IF THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR ABRASIVE OR 50mm (2") IN ALL OTHER CASES;
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



## SECOND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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Homes (2019) Limited

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(STANDARD DRAWINGS)

SHEET:

A8a

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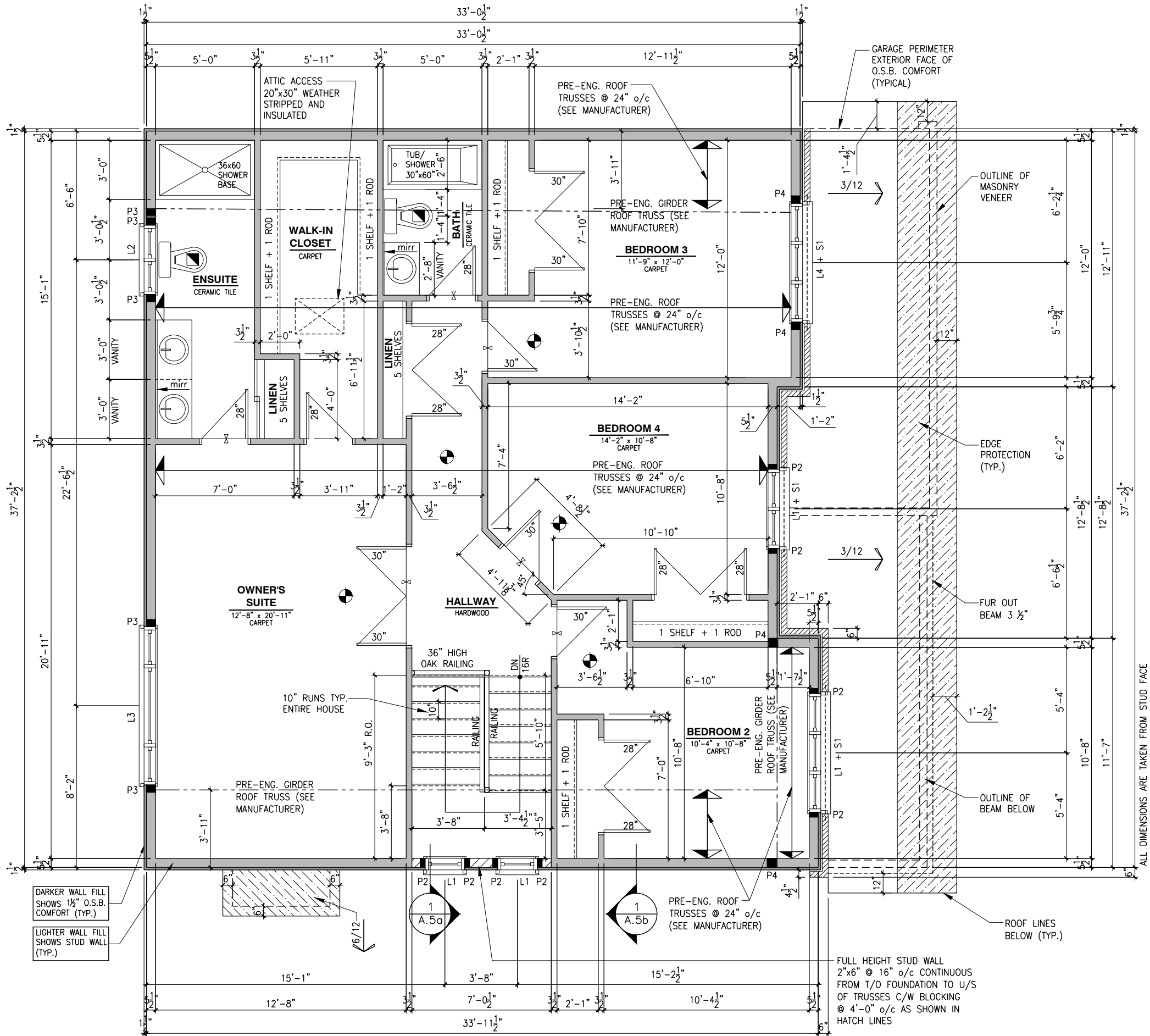
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## SECOND FLOOR PLAN - ELEVATION A (4 PC ENSUITE UPGRADE)

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LOT: XXXX  
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**ELEV. A (4 PC ENSUITE UPGRADE)**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

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2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A8b**



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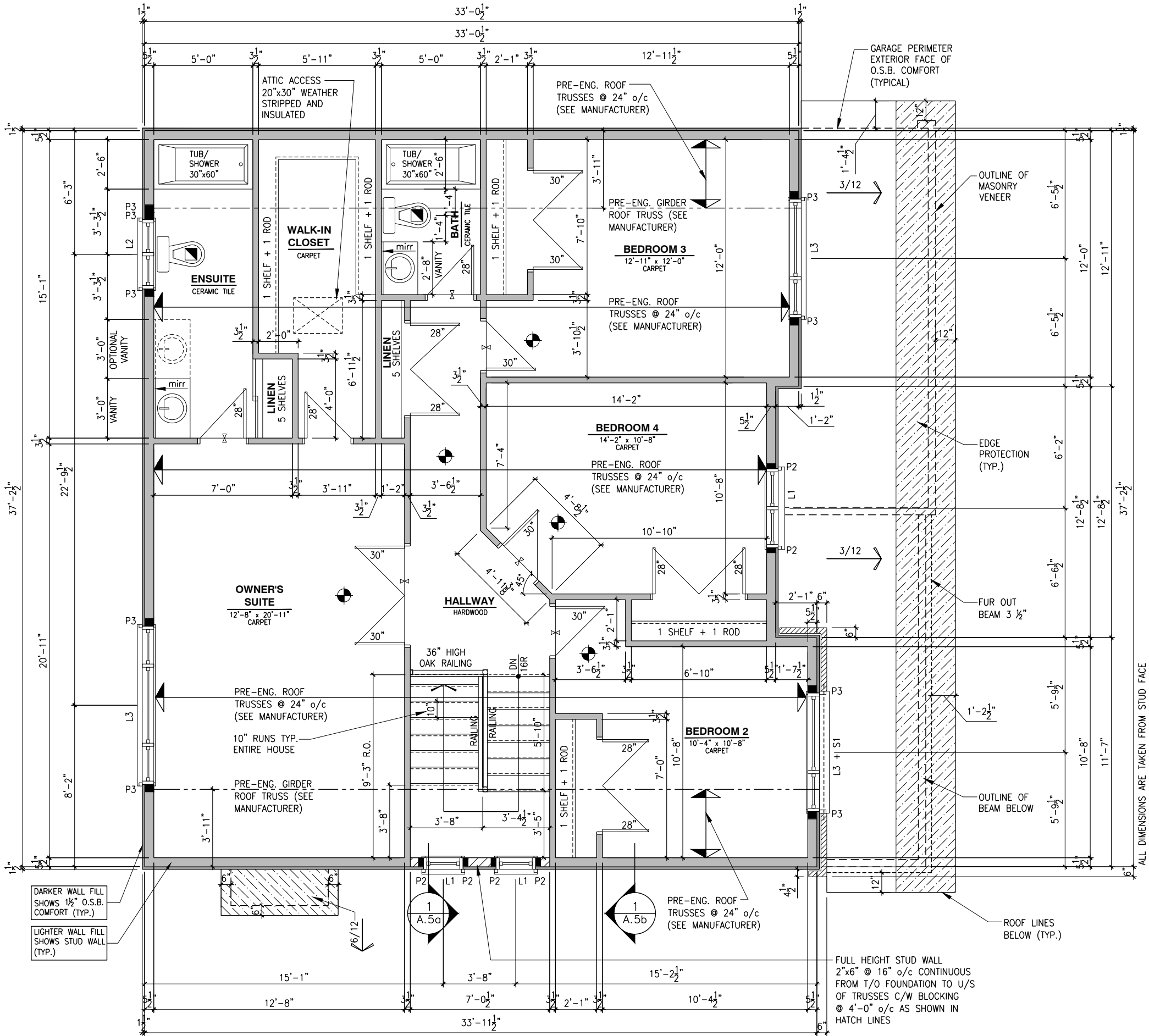
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- THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 60mm (2 3/8") IF THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR ABRASIVE OR 50mm (2") IN ALL OTHER CASES;
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: SECOND FLOOR PLAN  
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx  
xx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

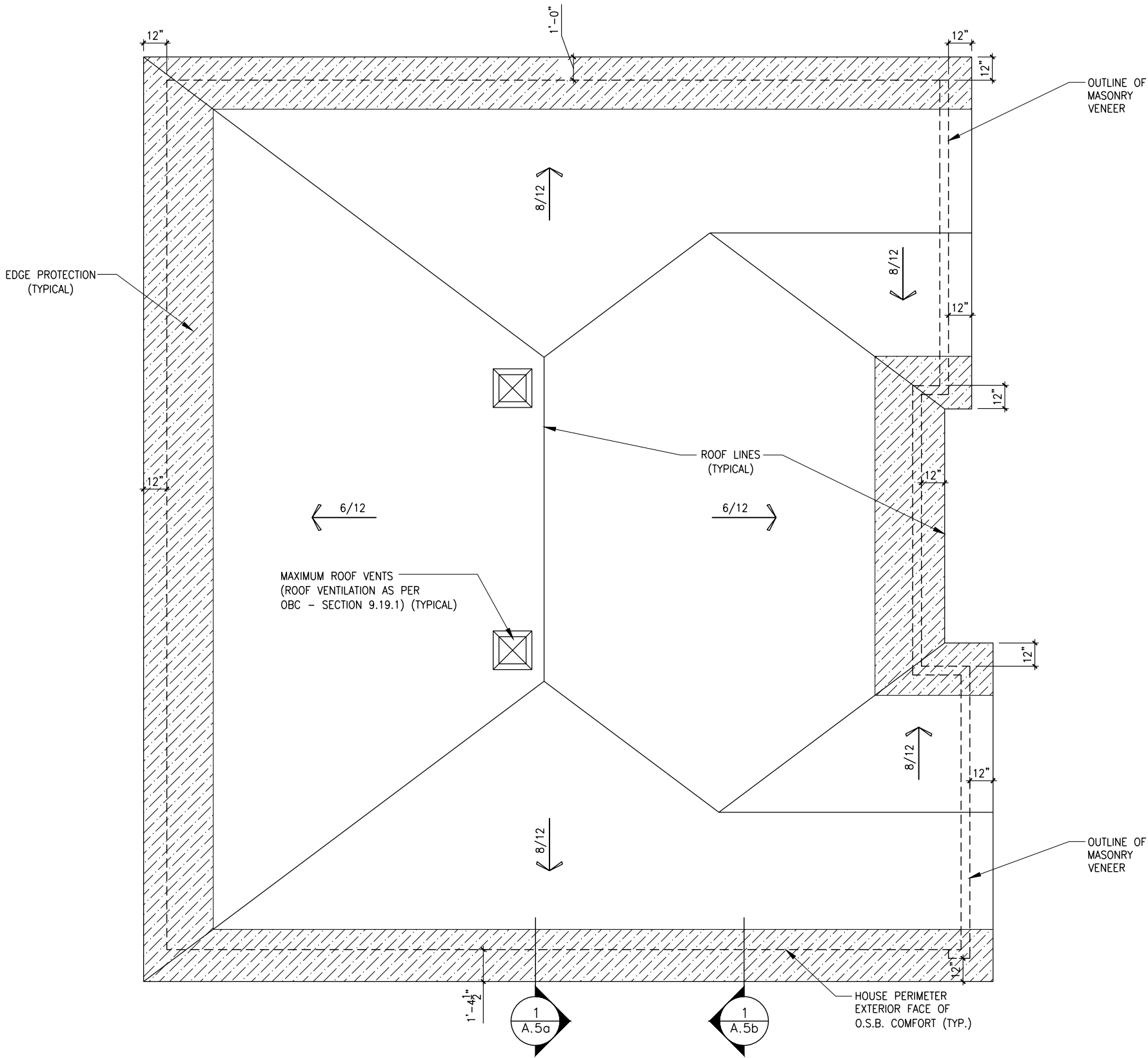
SHEET:  
A8d





ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ROOF PLAN  
ELEVATION A**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

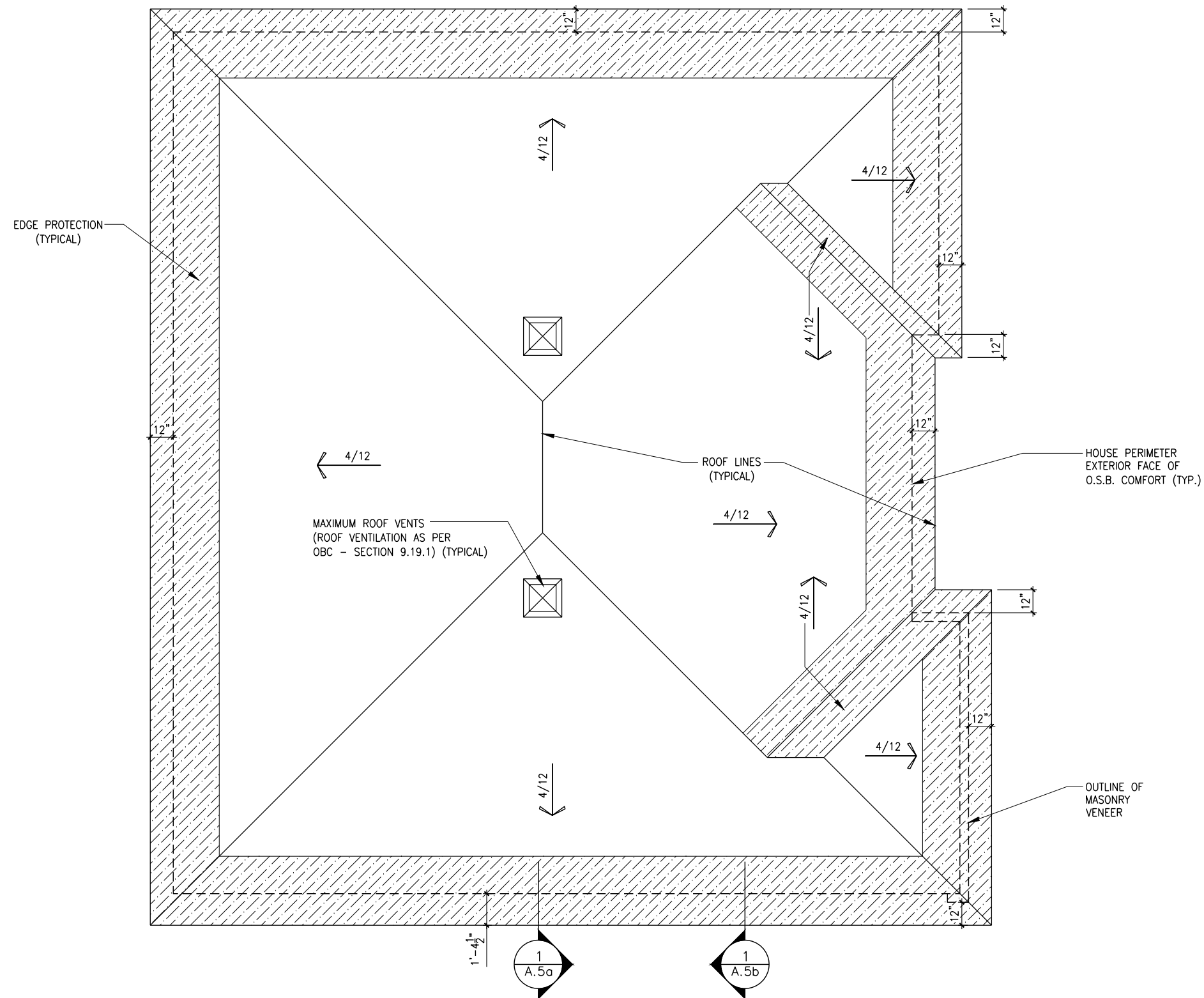
(STANDARD DRAWINGS)

SHEET:

A9a



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SCALE:  $3/16" = 1'-0"$

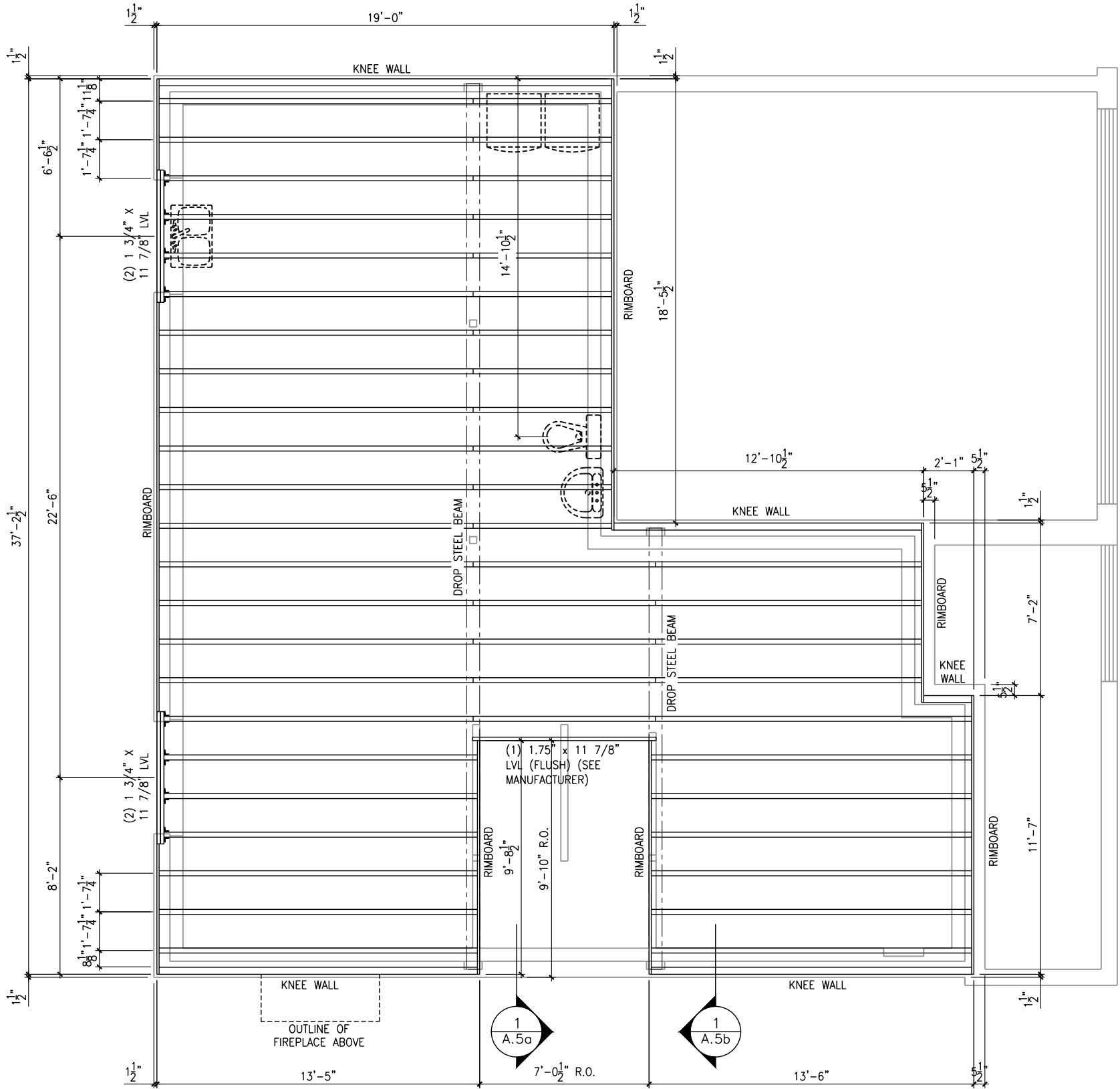
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## A9b



GROUND FLOOR - JOIST LAYOUT - ALL KITCHEN OPTIONS - ELEVATION A AND B

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT  
ELEV. A AND B**

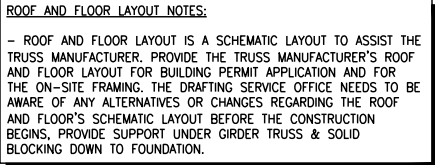
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10a



**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT  
ELEVATION A**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

## 1010 - THE FERRIS 2023 FOOTPRINT

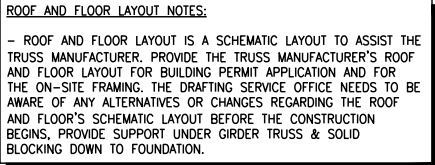
(STANDARD DRAWINGS)

**SHEET:**

## A11a

## SECOND FLOOR - JOIST LAYOUT - ELEVATION A

SCALE:  $3/16" = 1'-0"$



**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT  
ELEVATION A**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

## SECOND FLOOR - JOIST LAYOUT - ELEVATION A (4 PC ENSUITE UPGRADE)

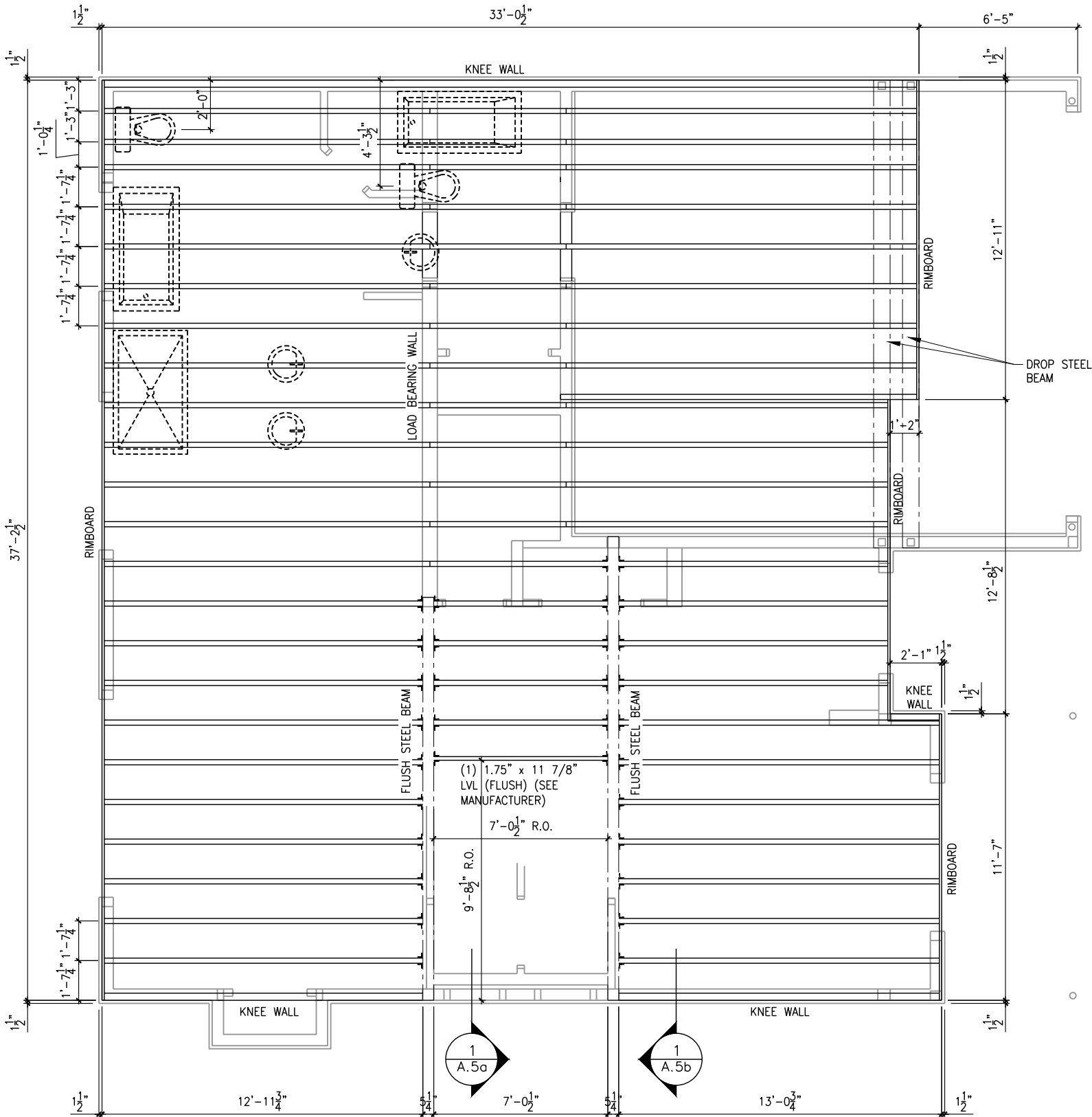
SCALE:  $3/16" = 1'-0"$

SHEET:

## A11b

SECOND FLOOR - JOIST LAYOUT - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:  
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LOT: XXXX  
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

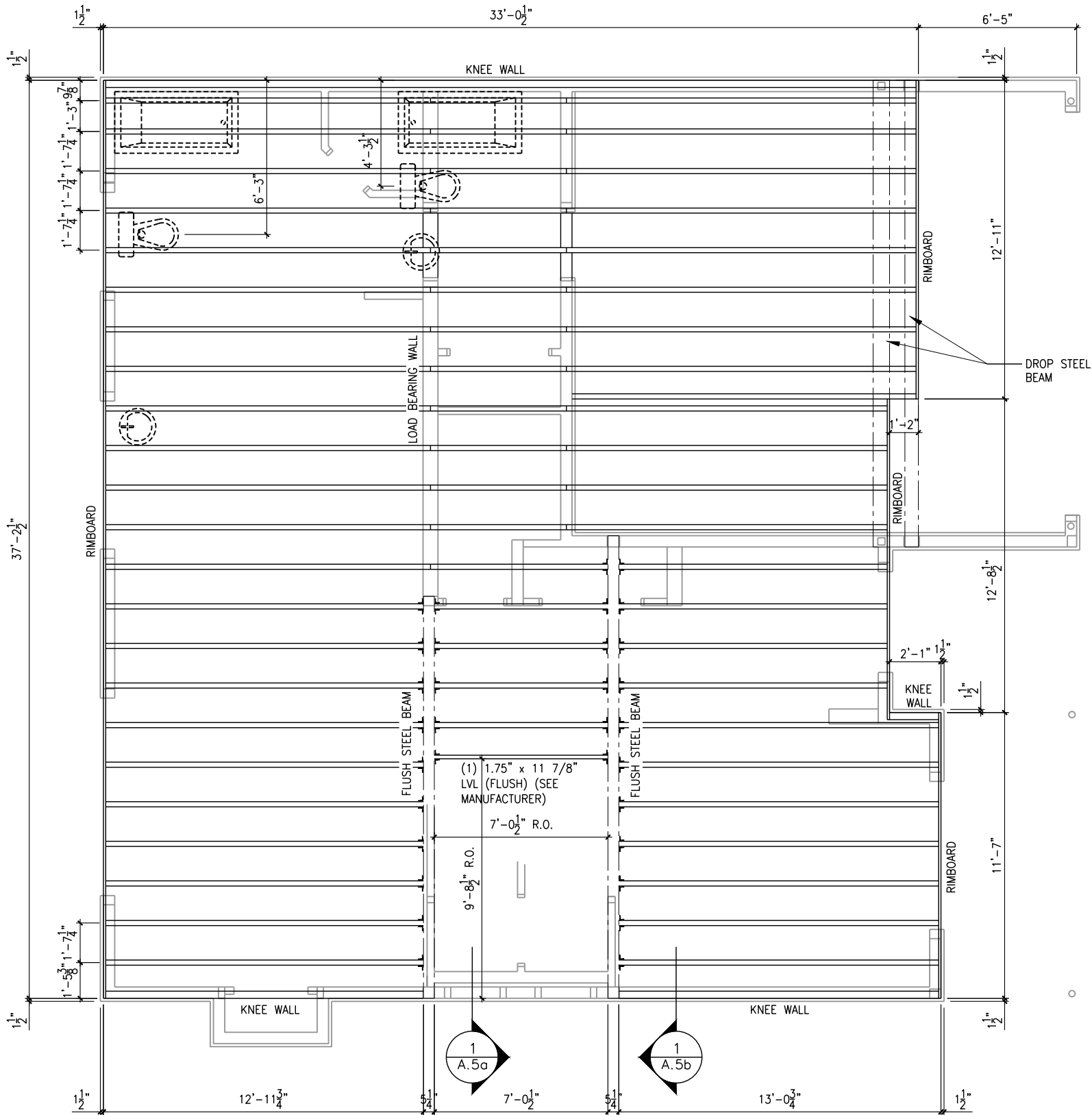
(STANDARD DRAWINGS)

SHEET:

A11c

SECOND FLOOR - JOIST LAYOUT - ELEVATION B

SCALE: 3/16" = 1'-0"



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NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

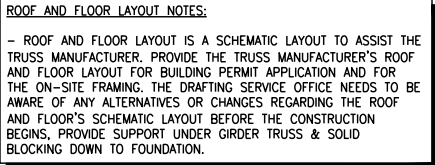
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11d



**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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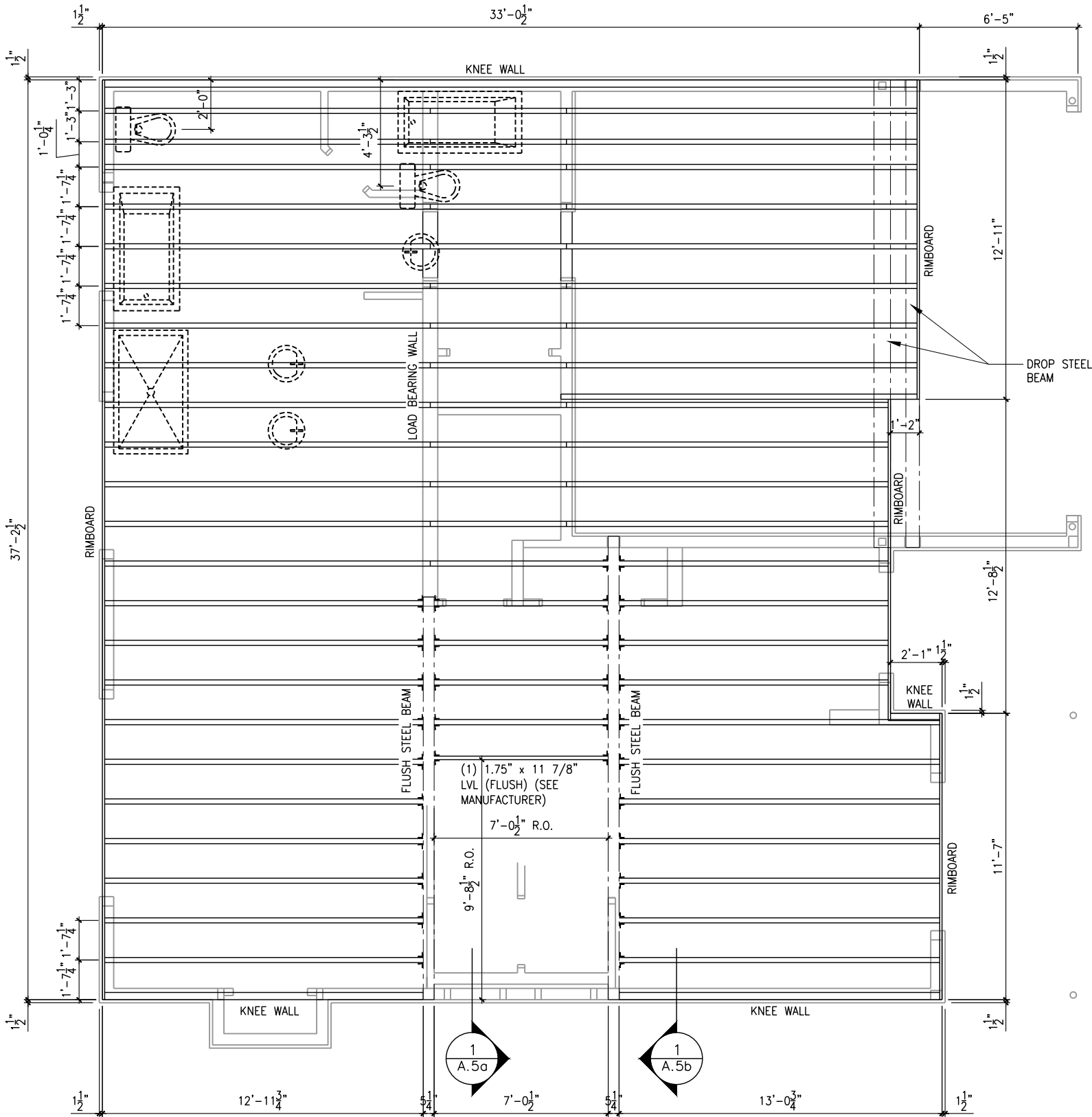
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SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B			
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
1010 - THE FERRIS 2023 FOOTPRINT		SHEET: A11e	
(STANDARD DRAWINGS)			

SECOND FLOOR - JOIST LAYOUT - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

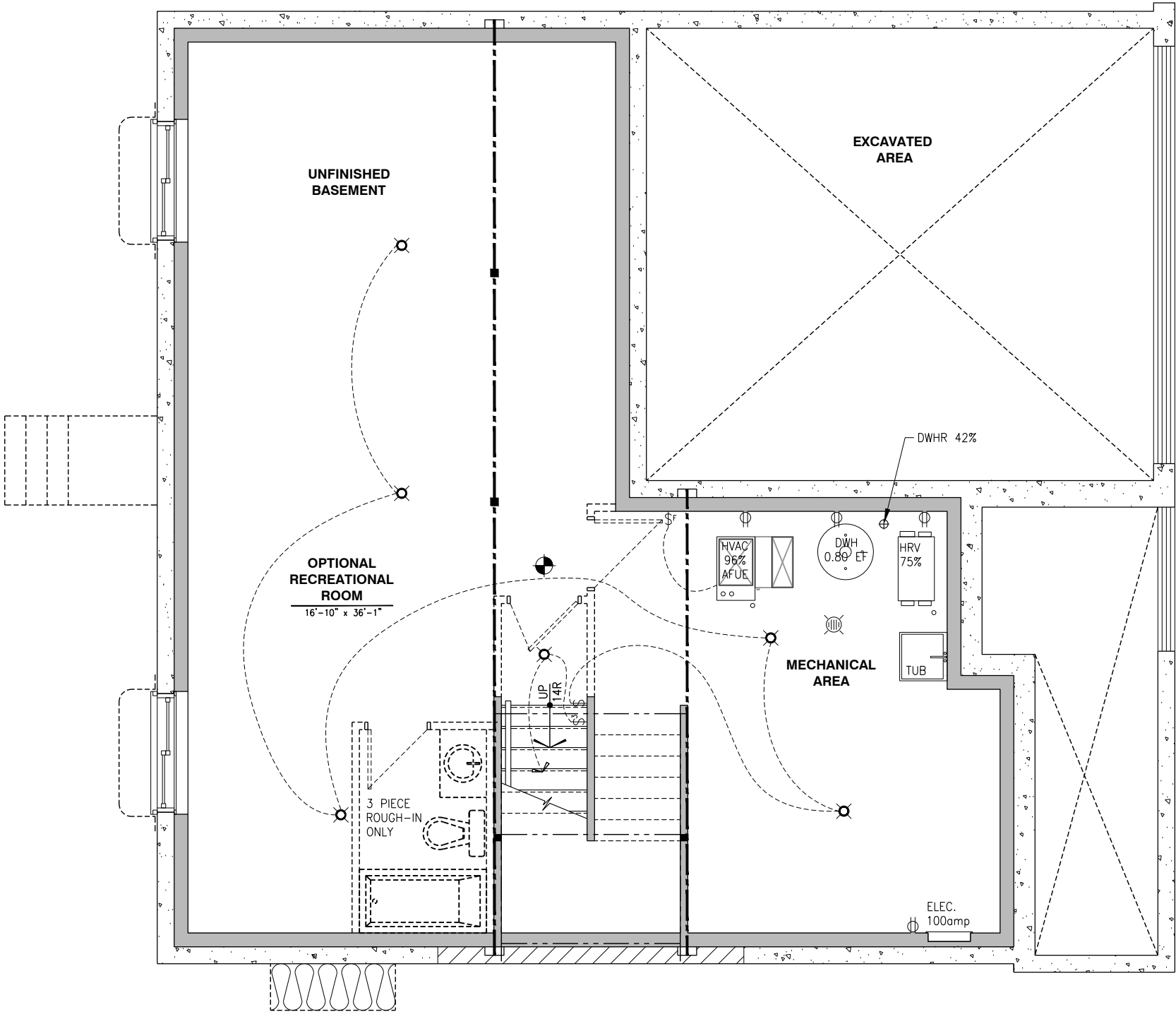
(STANDARD DRAWINGS)

SHEET:

A11f

ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:  
ELECTRICAL PLAN - BASEMENT

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.1**



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

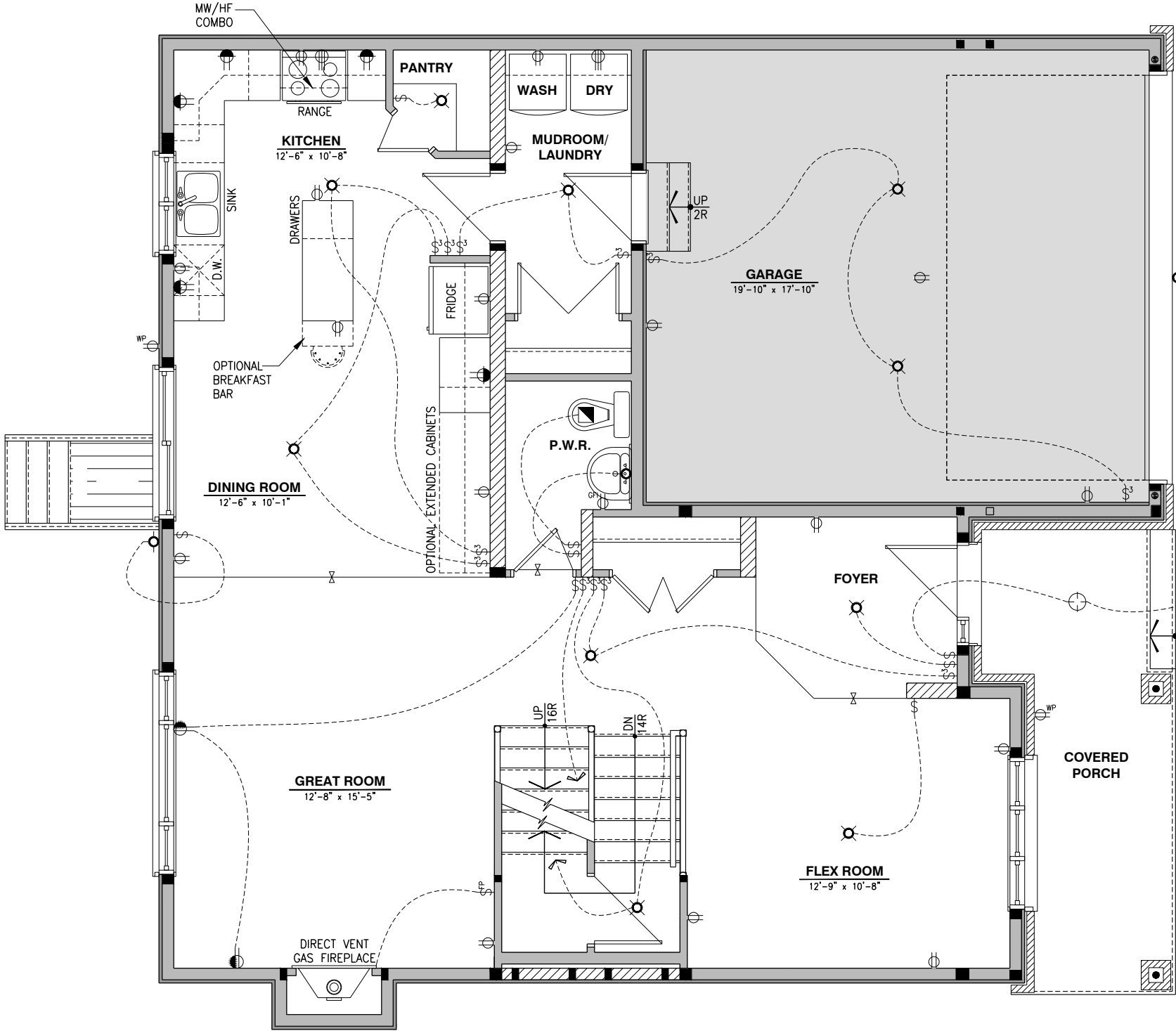
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

#### 2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2a

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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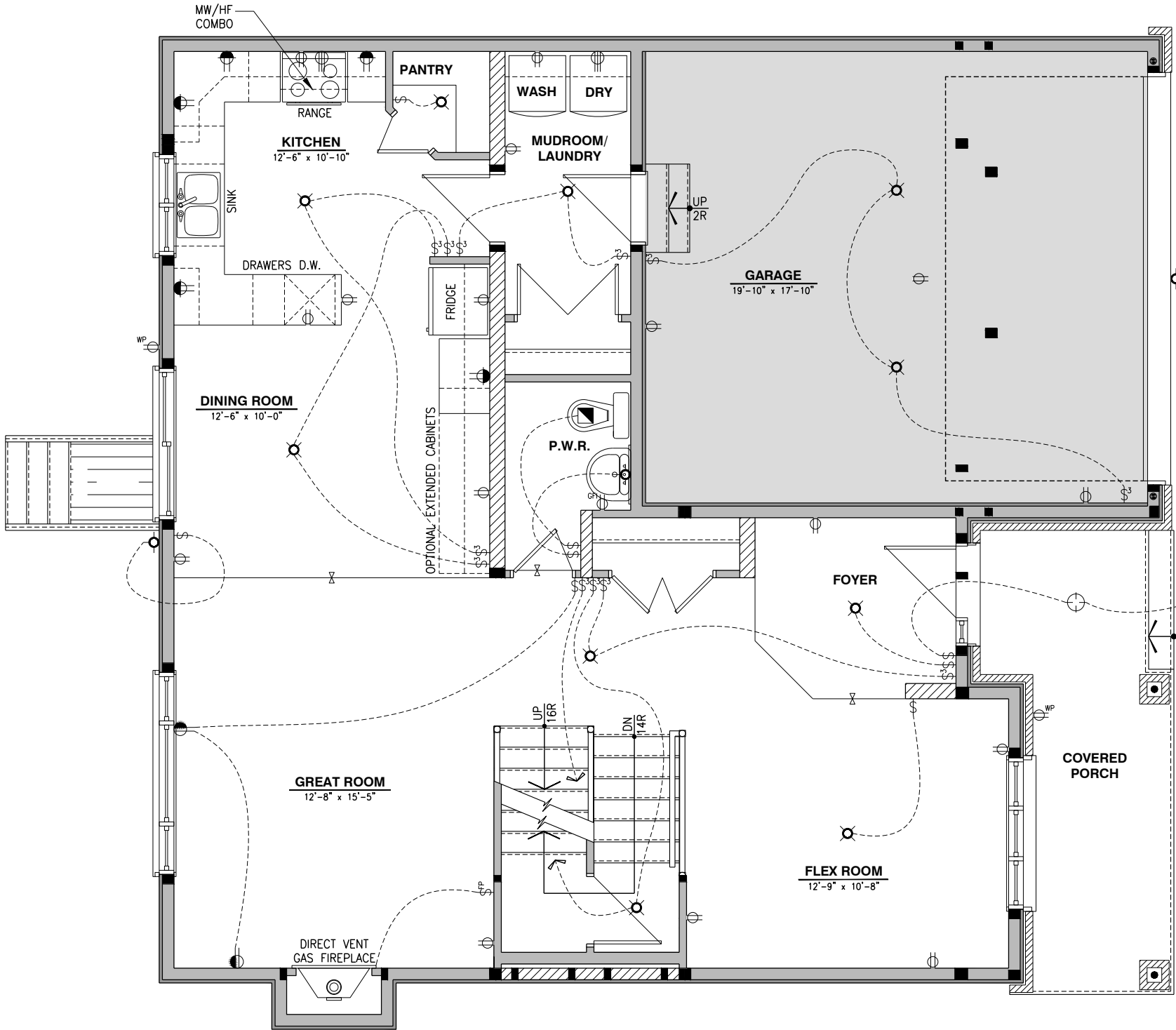
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E.2b

#### ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

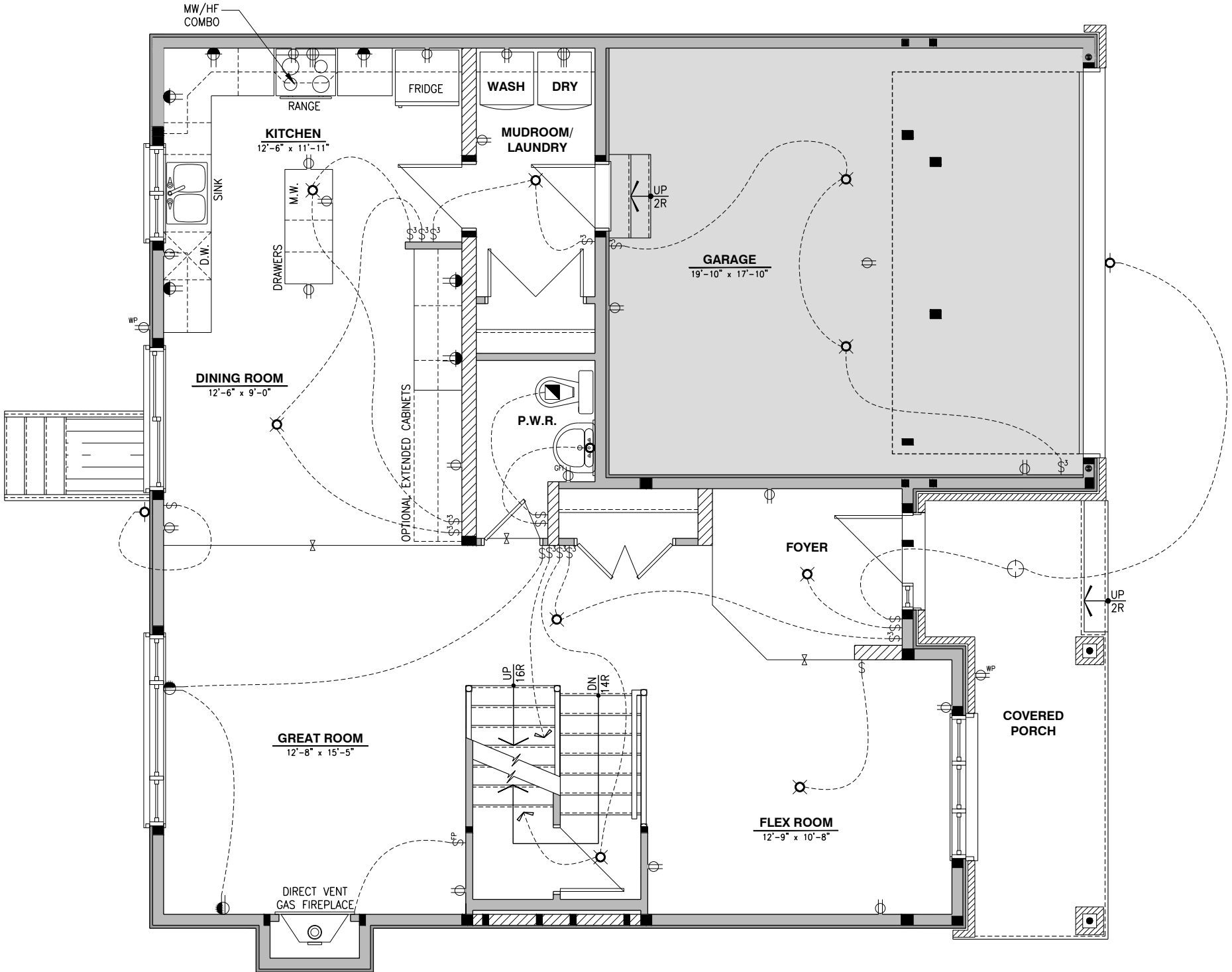

REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.2c**



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2- ELEVATION A AND B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

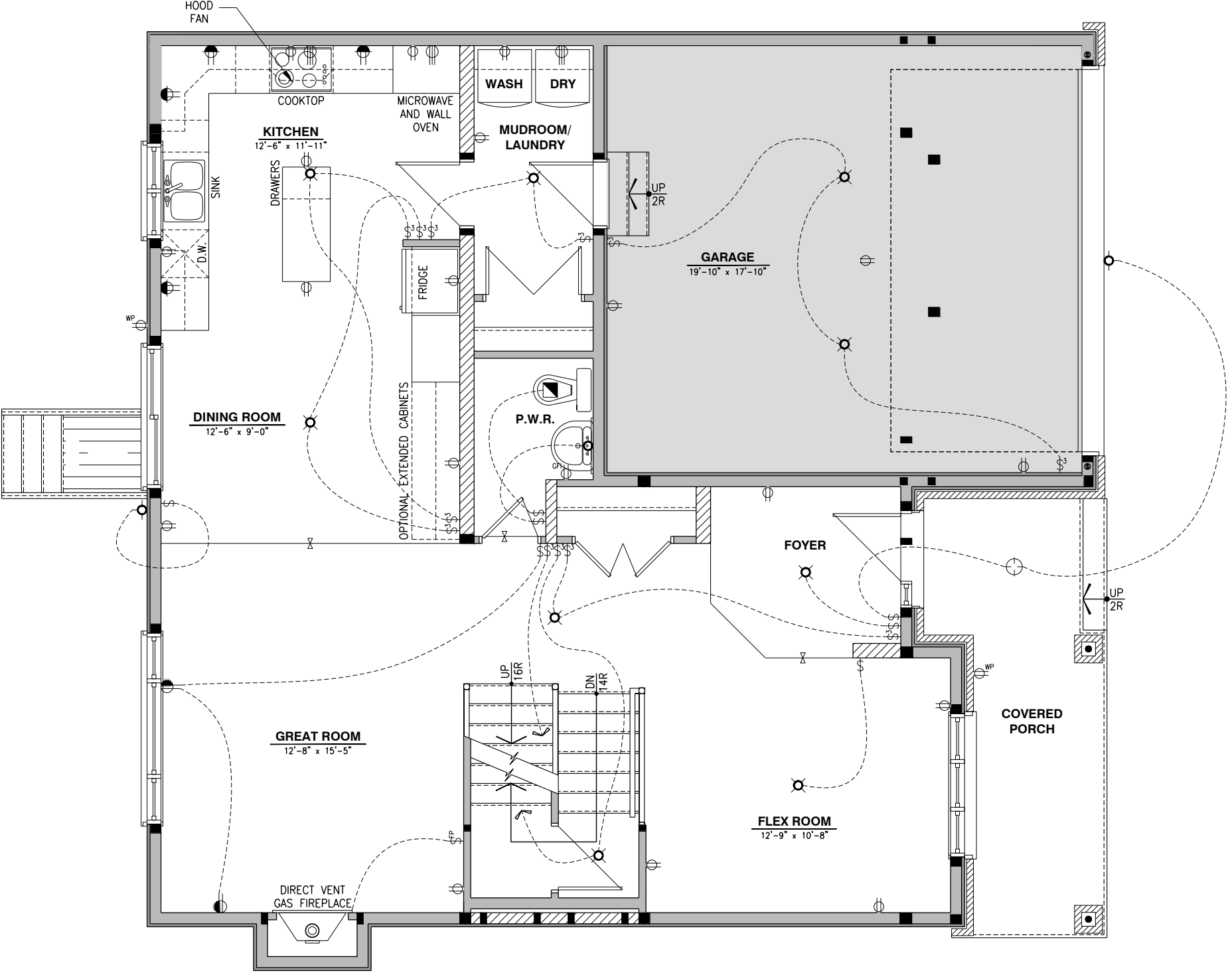

REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.2d**

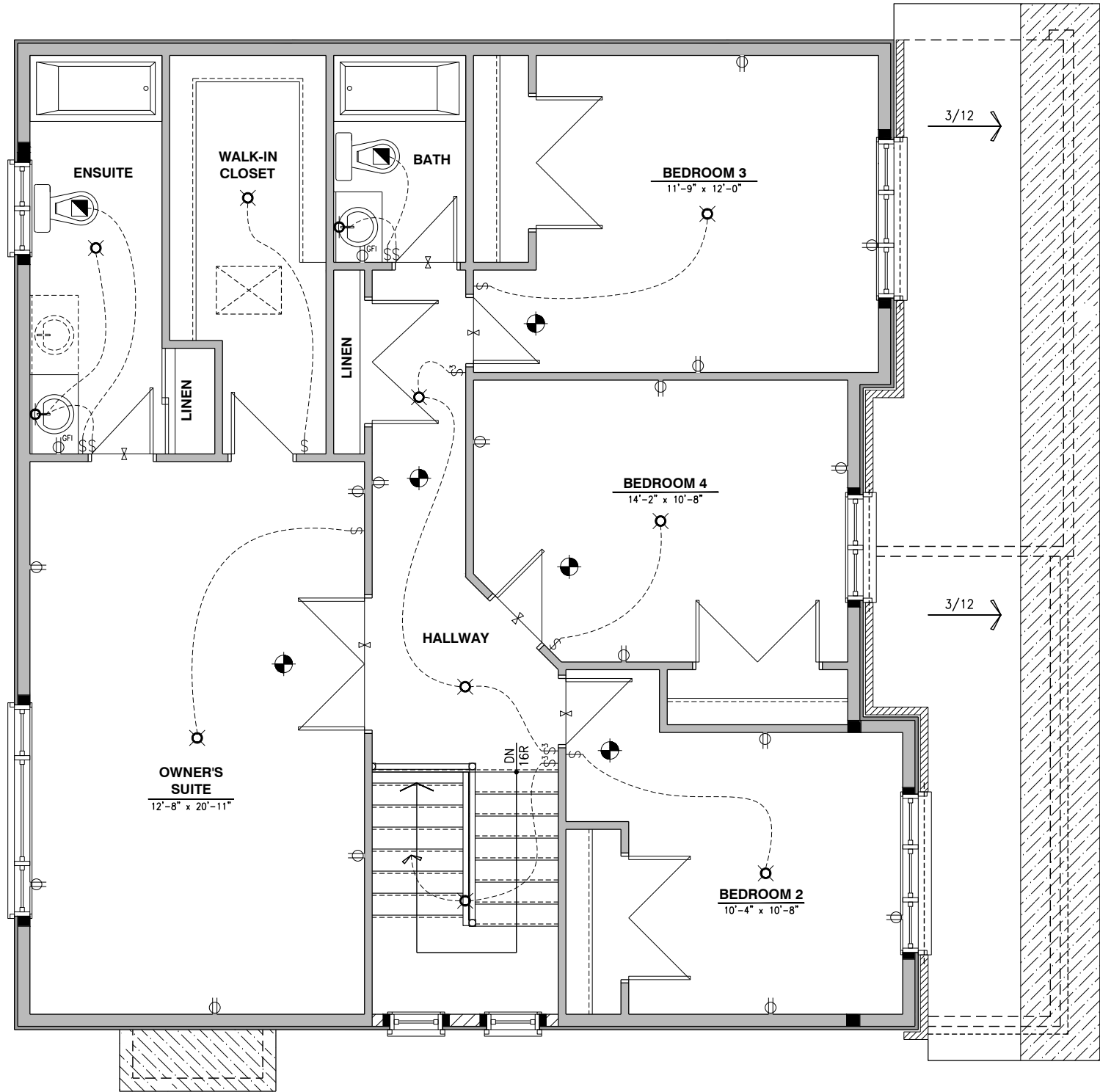


ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

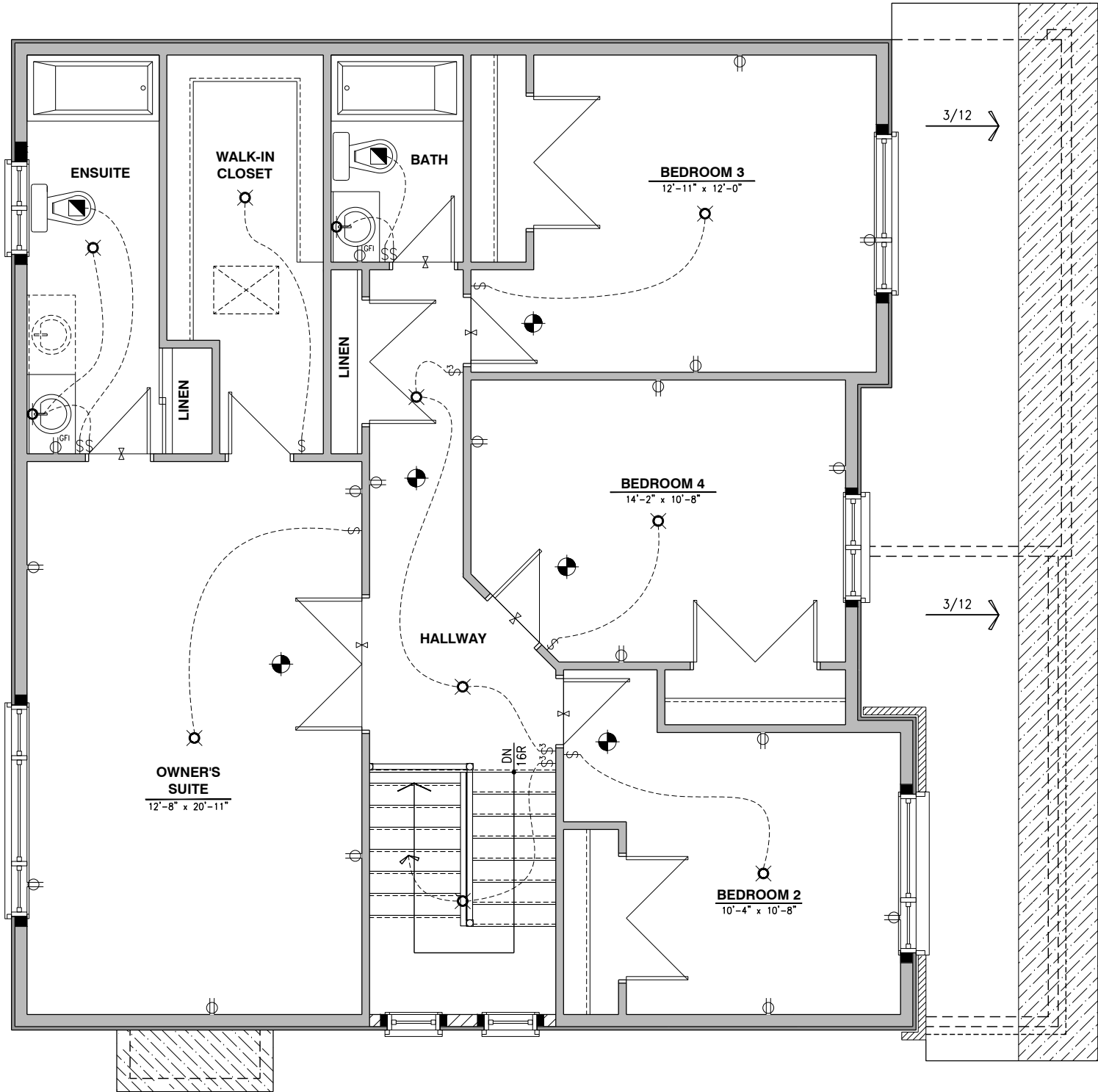
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3a**

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT

- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

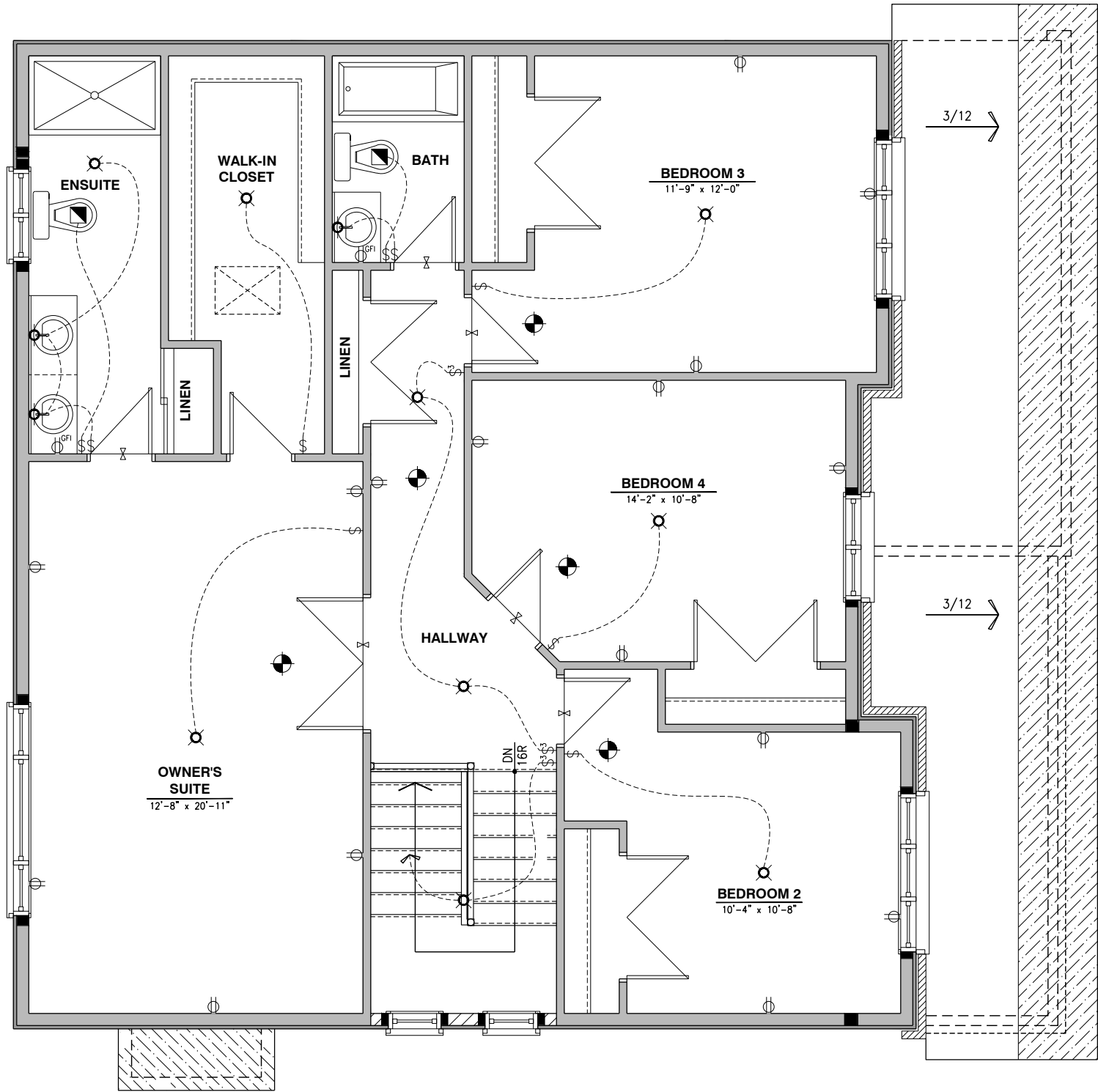
(STANDARD DRAWINGS)

SHEET:

E.3b

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS  
2023 FOOTPRINT

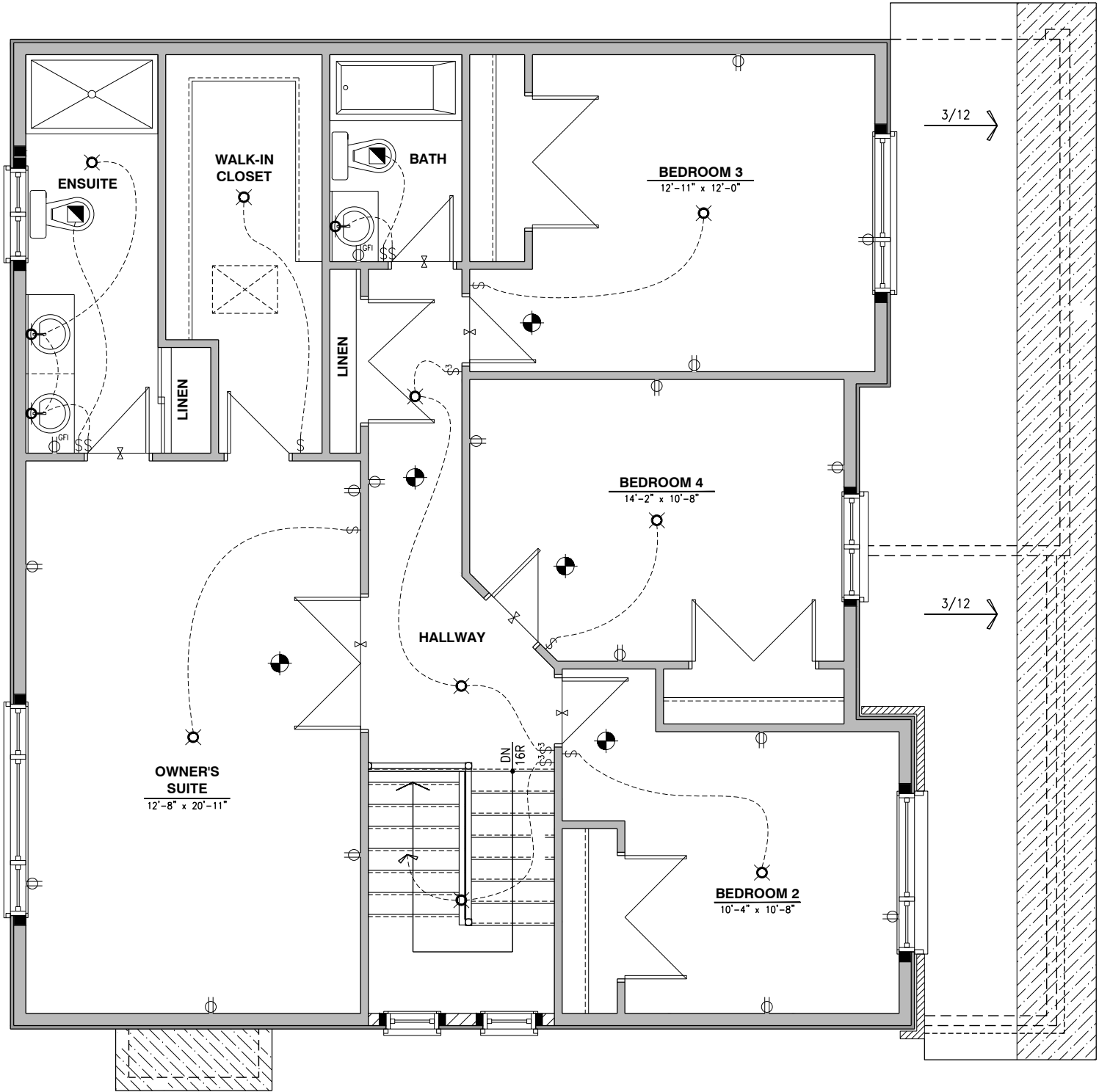
(STANDARD DRAWINGS)

SHEET:

E.3c

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
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- \$ FURNACE SWITCH
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- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

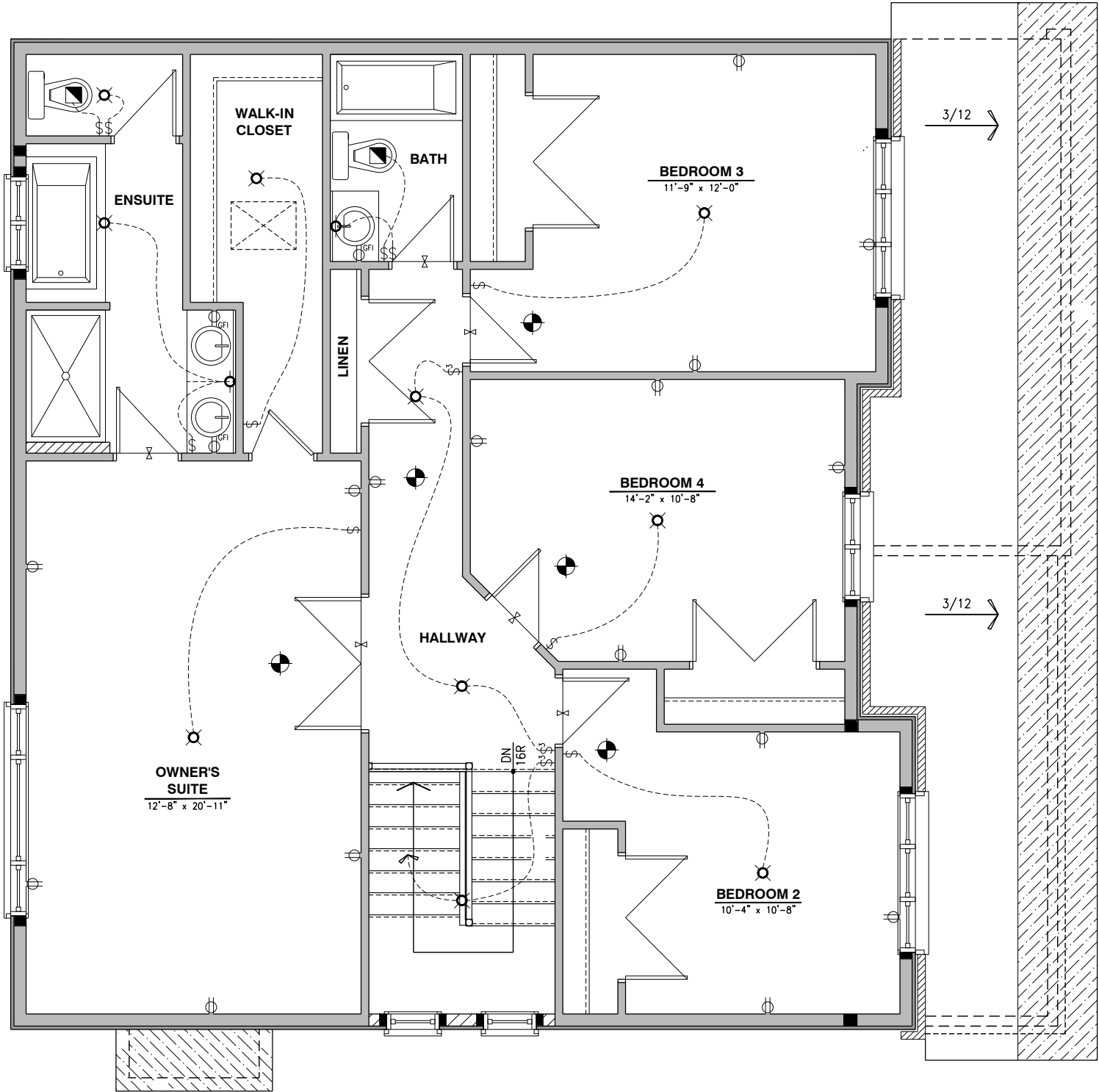
1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3d**



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEV. A

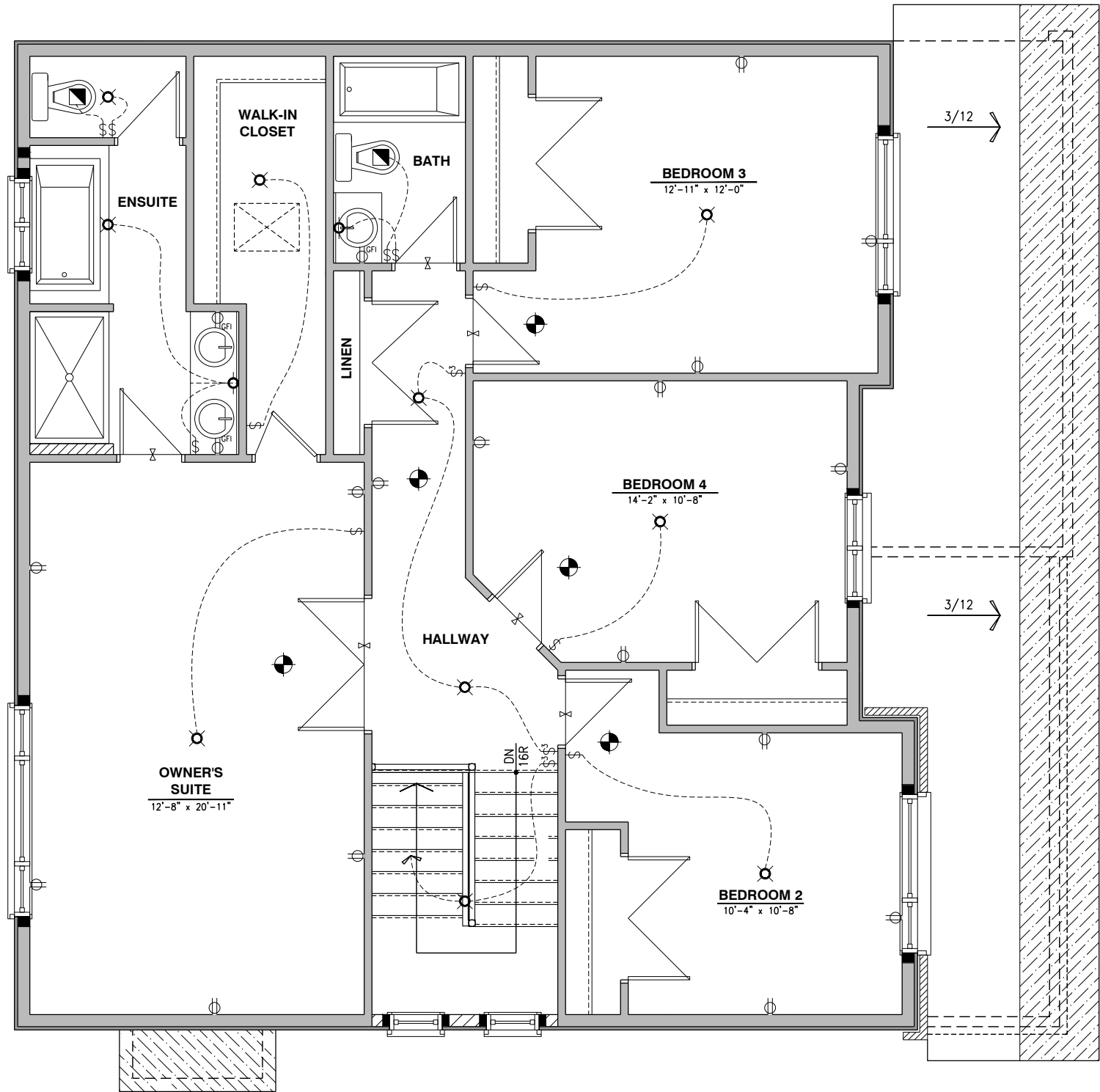
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3e**

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	02/24/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1010 - THE FERRIS  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3f**