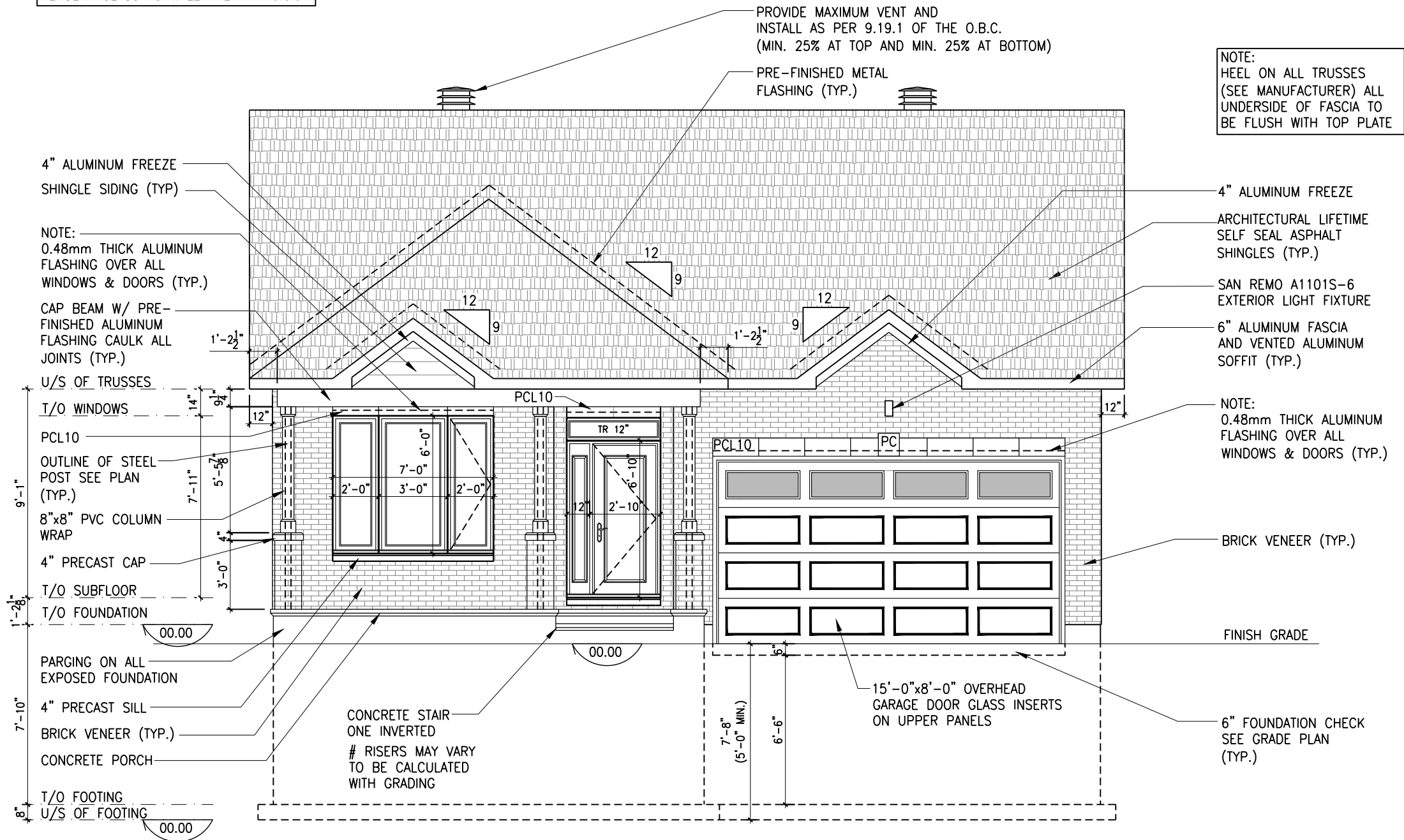


STANDARD PLAN:

GROSS INSULATED = 193 M. SQ.
WALL AREA

GROSS WINDOW = 19.4 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 10.0%



FRONT ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/22/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

FRONT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.1a



Valecraft
Homes (2019) Limited

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NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

— PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA —
AND VENTED ALUMINUM
SOFFIT (TYP.)

CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)

U/S OF TRUSSES

T/O WINDOWS _____
BRICK VENEER (TYP.)

OUTLINE OF STEE
POST SEE PLAN
(TYP.)

8"x8" PVC COLUMN
WRAP

4" PRECAST SILL —
BRICK VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

FINISH GRADE

CONCRETE PORCH

T/O FOOTING

U/S OF FOOTING

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 58 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

RIGHT ELEVATION A

SCALE: $3/16" = 1'-0"$

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:

RIGHT ELEVATION A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

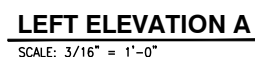
SHEET:
A.2a



Valecraft
Homes (2019) Limited

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

PC - PRECAST KEYSTONE
PCI 10 - 10" PRECAST LINTE



DRAWING: LEFT ELEVATION A		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX

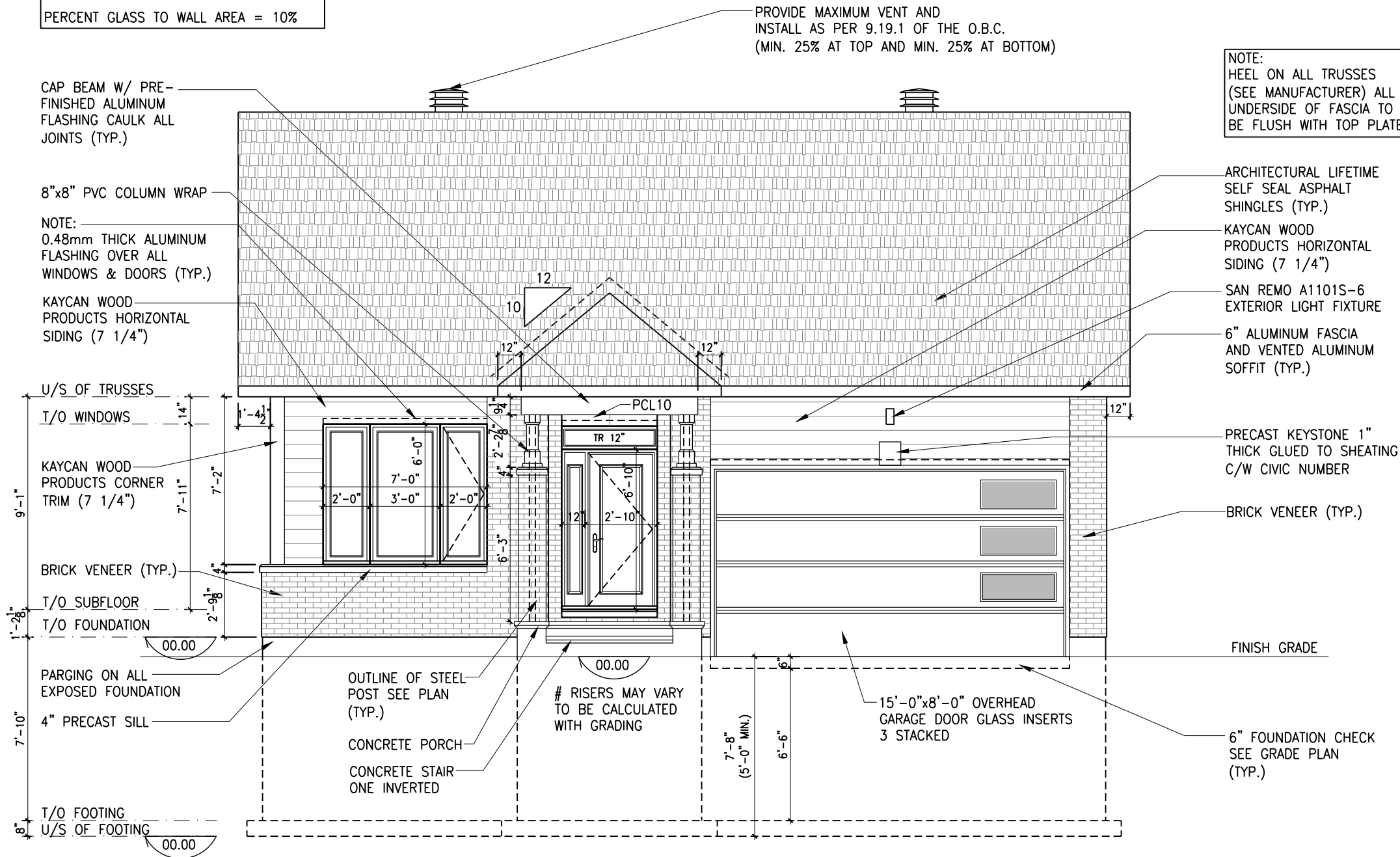
SHEET:
A.3a

STANDARD PLAN:

GROSS INSULATED = 192.8 M. SQ.
WALL AREA

GROSS WINDOW = 19.44 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 10%



FRONT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:

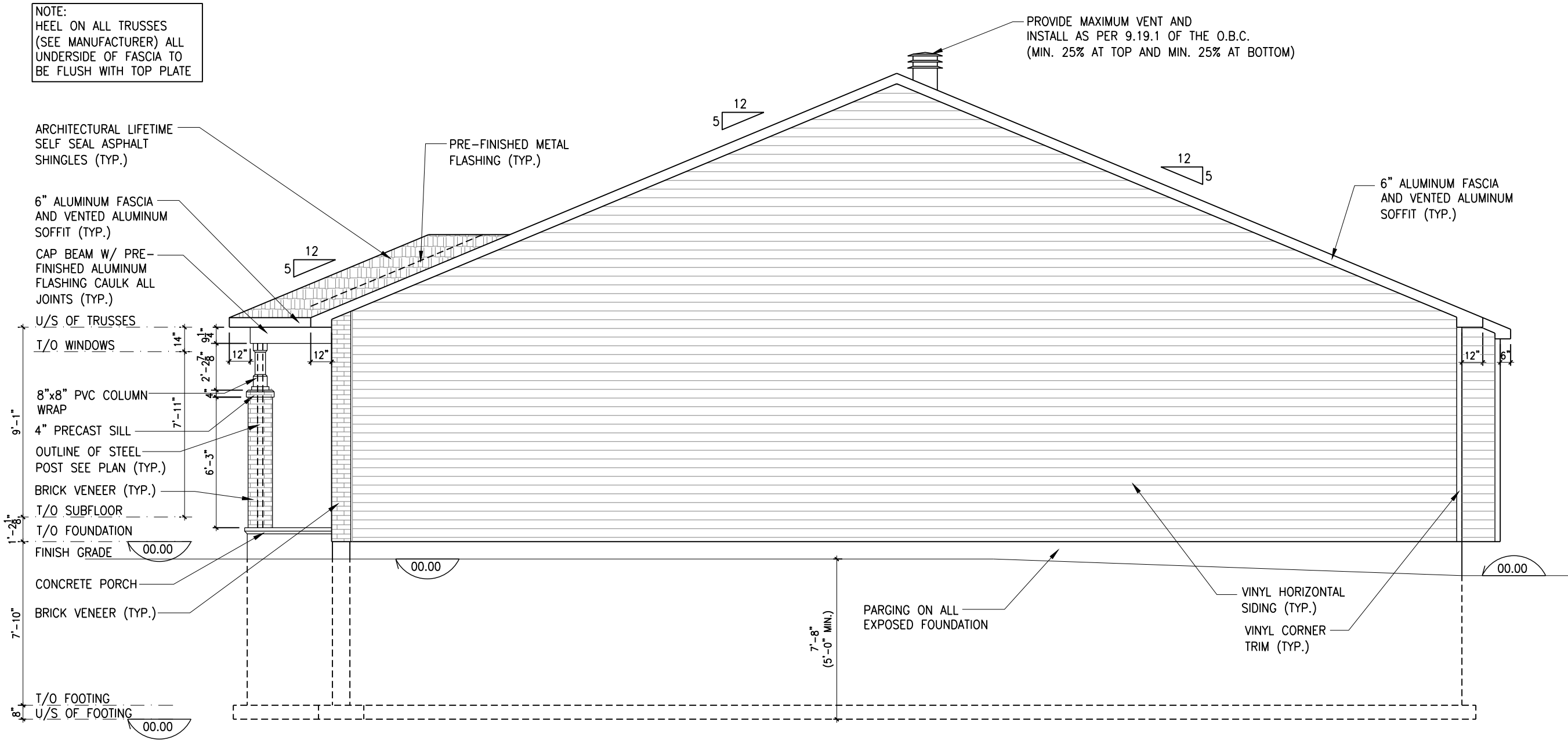
FRONT ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.1b



RIGHT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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DRAWING:

RIGHT ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.2b



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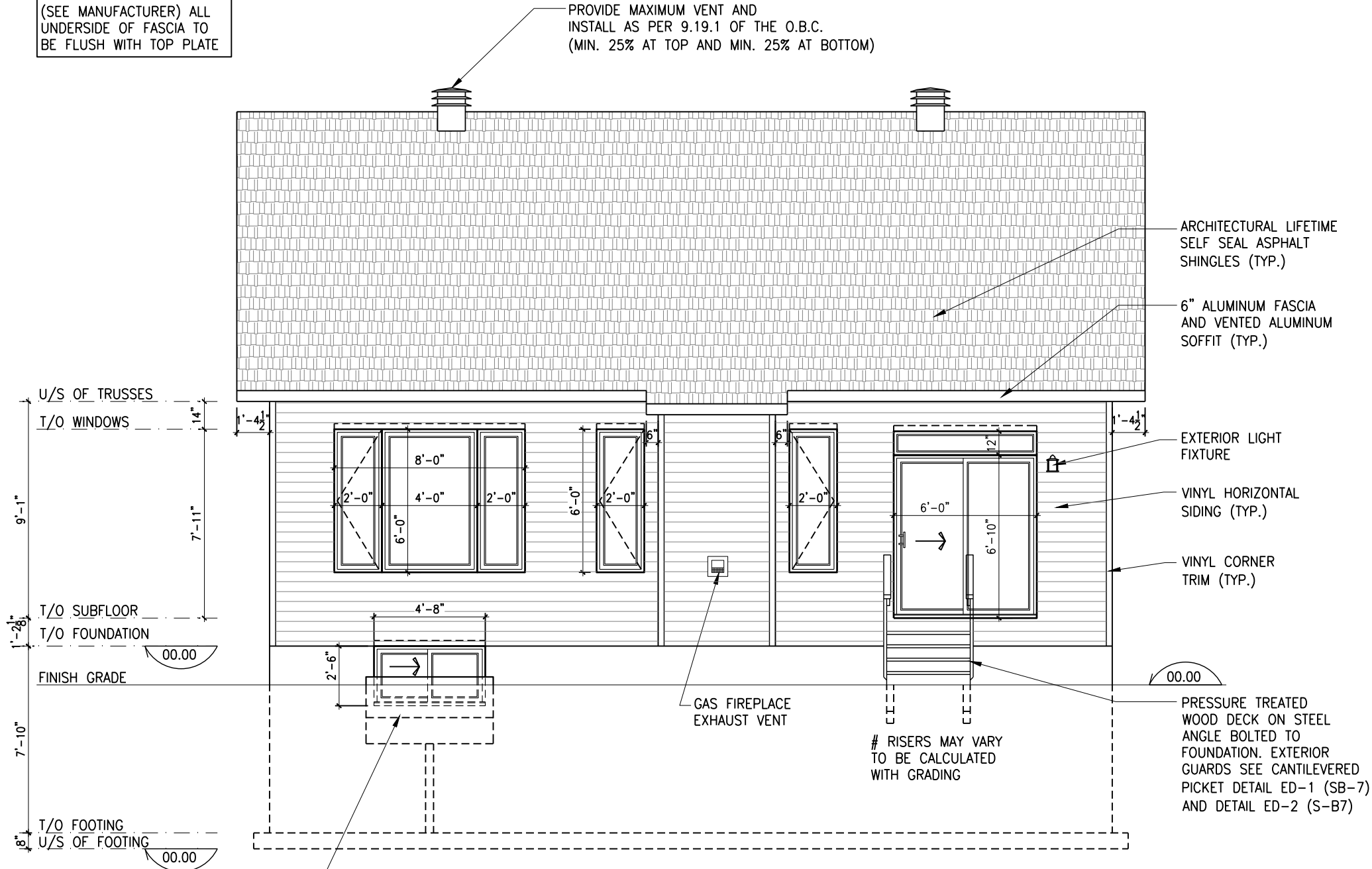
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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

A.3b

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

REAR ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

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DRAWING:

REAR ELEVATION A AND B

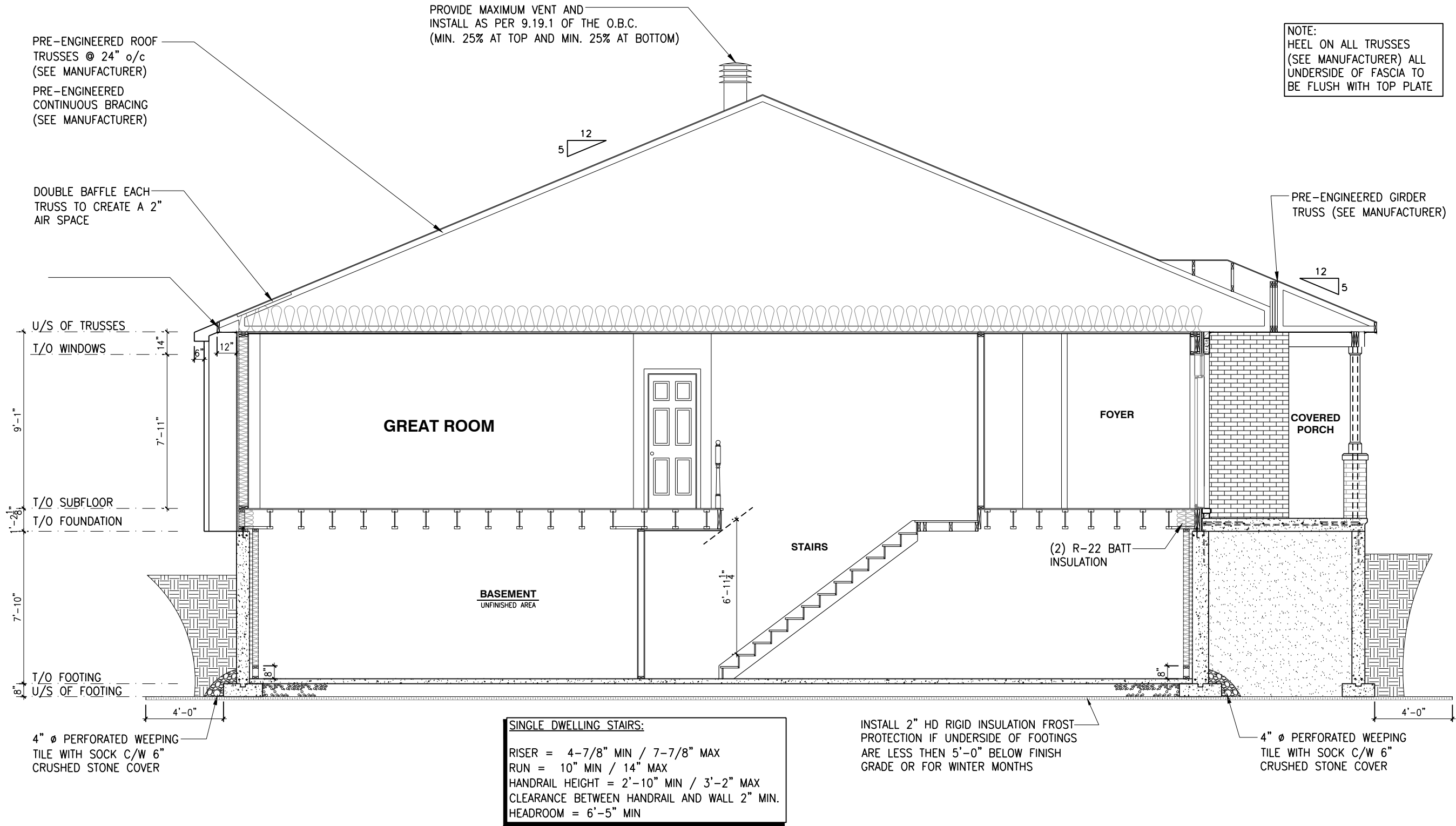
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.4a



BUILDING SECTION ELEVATION A AND B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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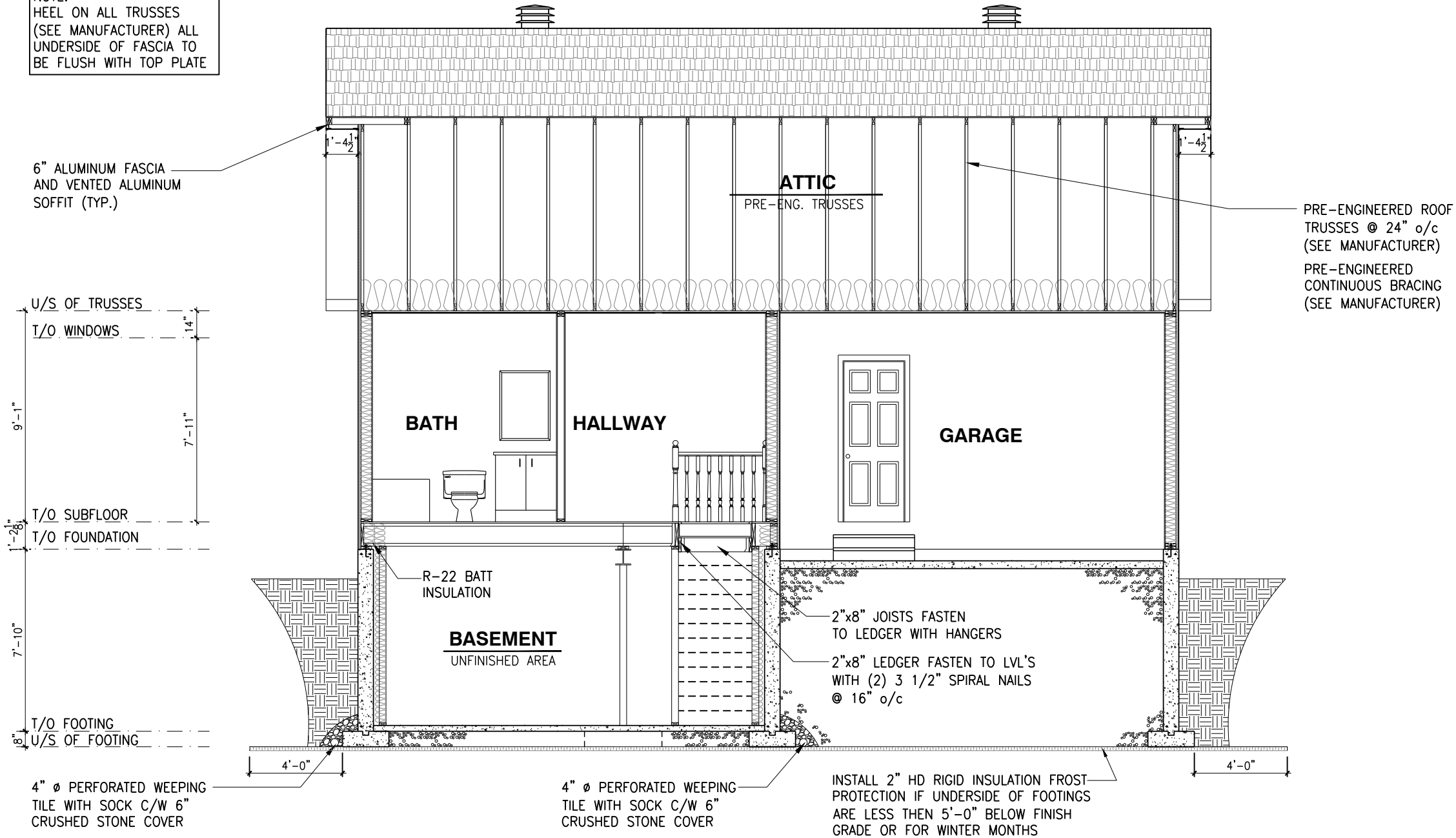
**BUILDING SECTION
ELEVATION A AND B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1016 - THE McCABE
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A.5a

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

BUILDING SECTION ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

**BUILDING SECTION
ELEVATION A AND B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1016 - THE McCABE
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

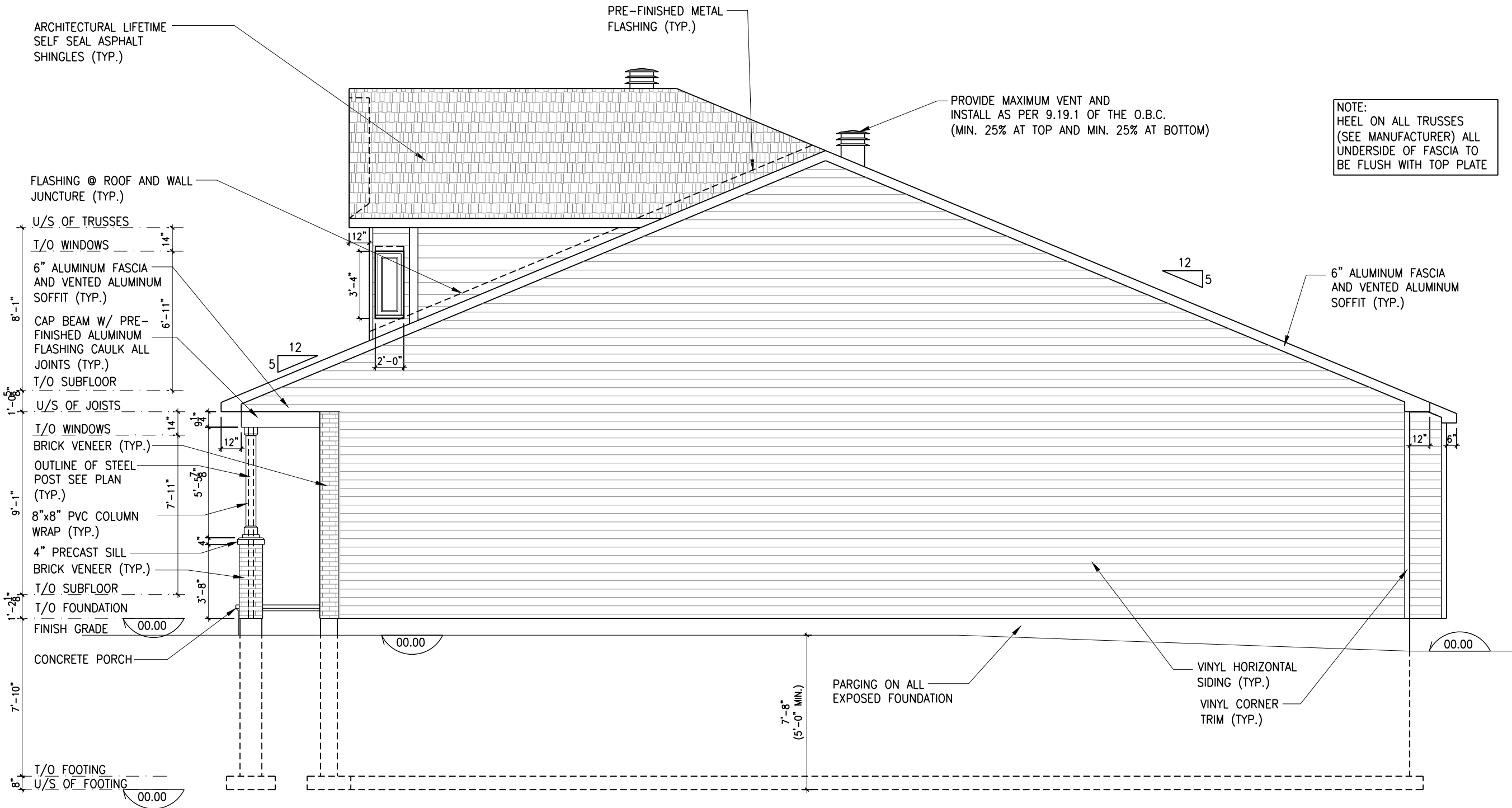
A.5b

PERCENT GLASS TO WALL AREA = 10.0%

— 15'-0"x8'-0" OVERHEAD
GARAGE DOOR GLASS INSERTS
ON UPPER PANELS

SCALE: 3/16" = 1'-0"

A.1c



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 61.5 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

RIGHT ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

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DRAWING:

RIGHT ELEVATION LOFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
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SHEET:

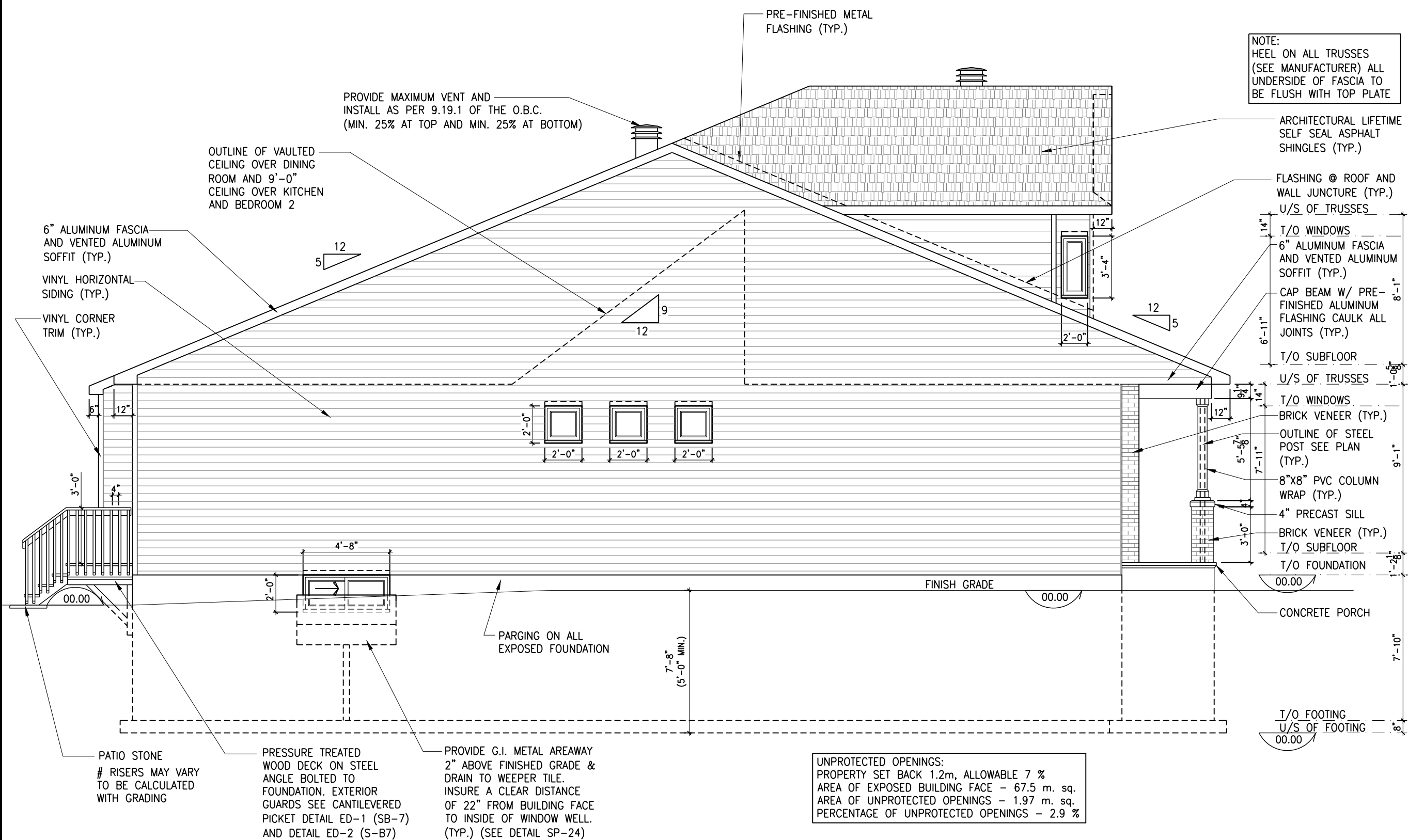
A.2c

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

LEFT ELEVATION LOFT

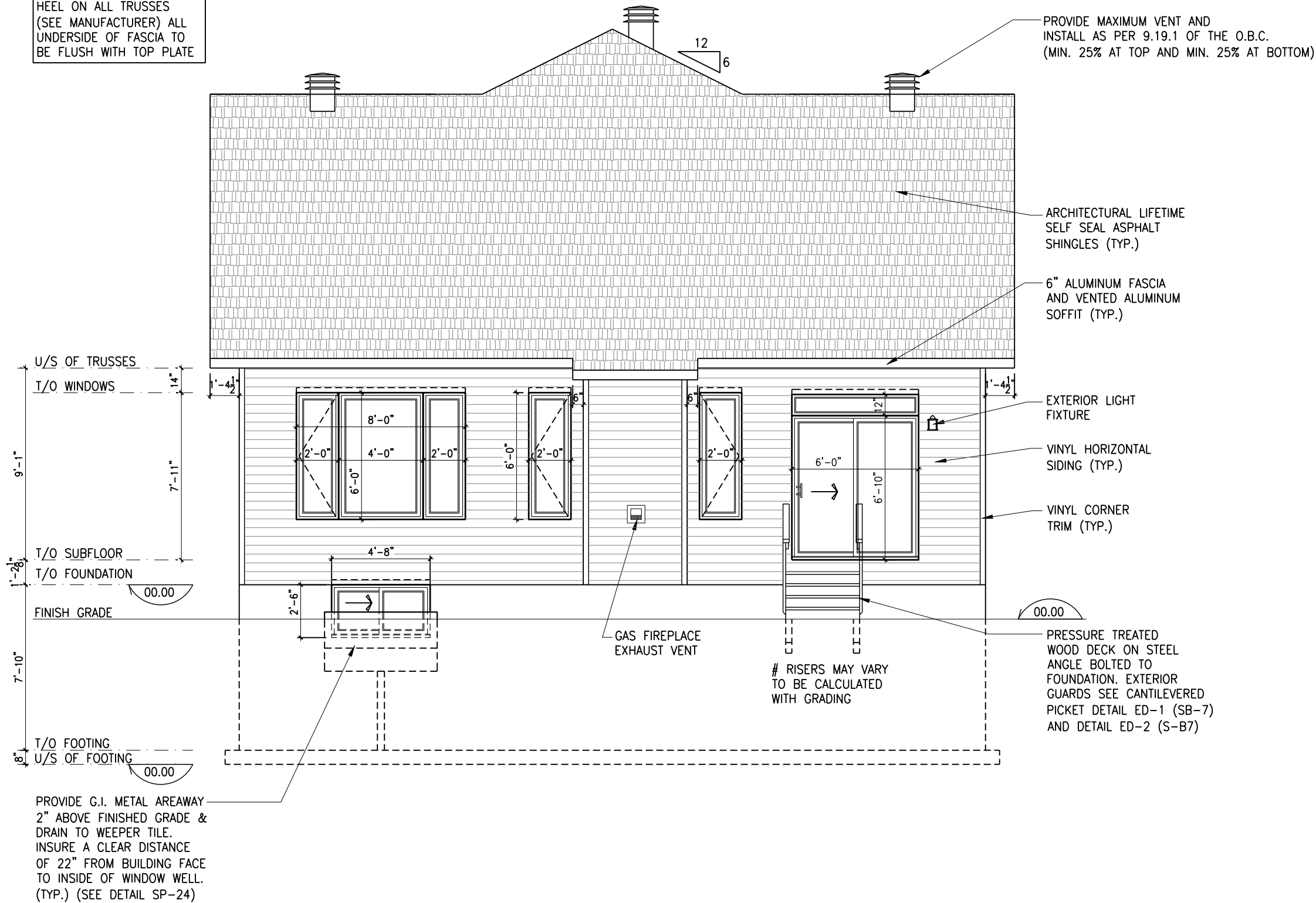
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX



LEFT ELEVATION LOFT

SCALE: 3/16" = 1'-0"

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



REAR ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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DRAWING:

REAR ELEVATION LOFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

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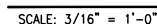
A.4b



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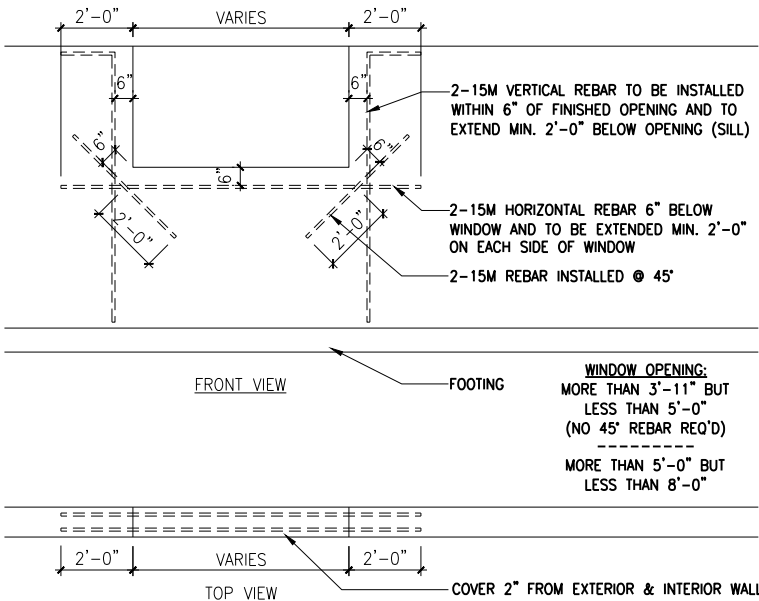
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2012 O.B.C. DRAWINGS			
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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: BUILDING SECTION ELEVATION LOFT			
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
1016 - THE McCABE		SHEET:	
2023 FOOTPRINT		A.5c	
(STANDARD DRAWINGS)			

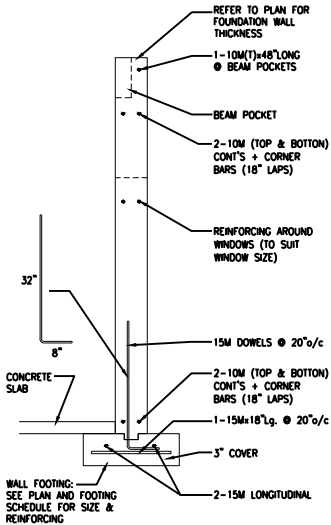
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



1
A.6

BASEMENT WINDOW REINFORCING

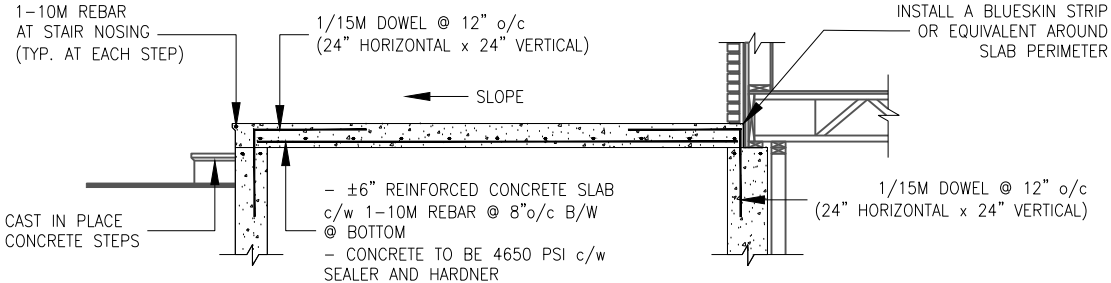
SCALE: 3/16" = 1'-0"



2
A.6

CONCRETE WALL REINFORCING

SCALE: 1/4" = 1'-0"



3
A.6

CONCRETE PORCH REINFORCING

SCALE: 1/4" = 1'-0"

NOTES:

– FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

– BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

– THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

– FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

– CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

– REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

– THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:


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P5 = 5-2x4 OR 5-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FOOTING TABLE & DETAILS

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

STANDARD DRAWINGS)

A6

- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m² (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

RISER = 5" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 THE CLEARANCE BETWEEN A HANDRAIL AND ANY
 SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
 HEADROOM = 6'-5" MIN

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

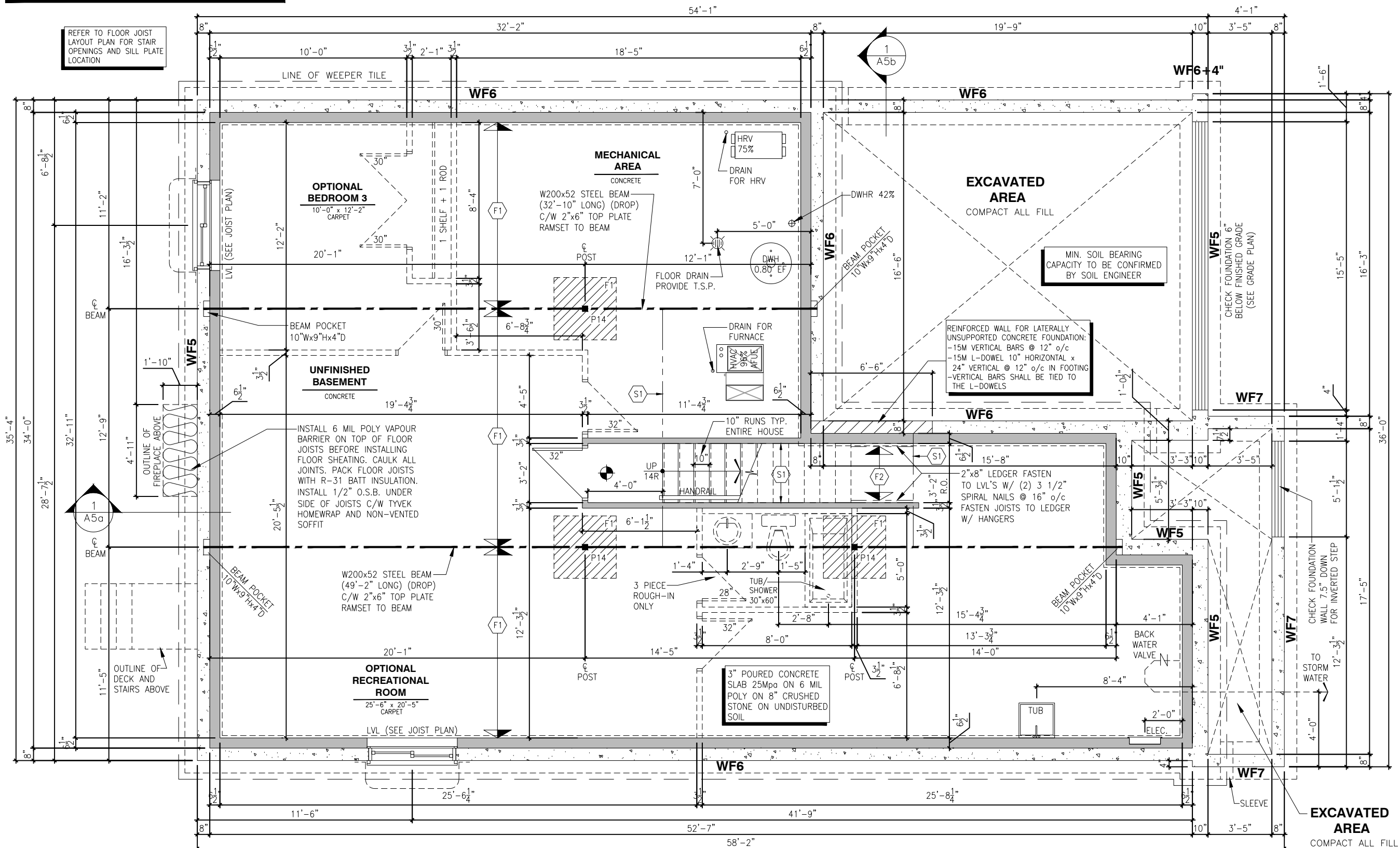
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

(STANDARD DRAWINGS)

SHEET:

A6a

SCALE: $3/16" = 1'-0"$



NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.1:
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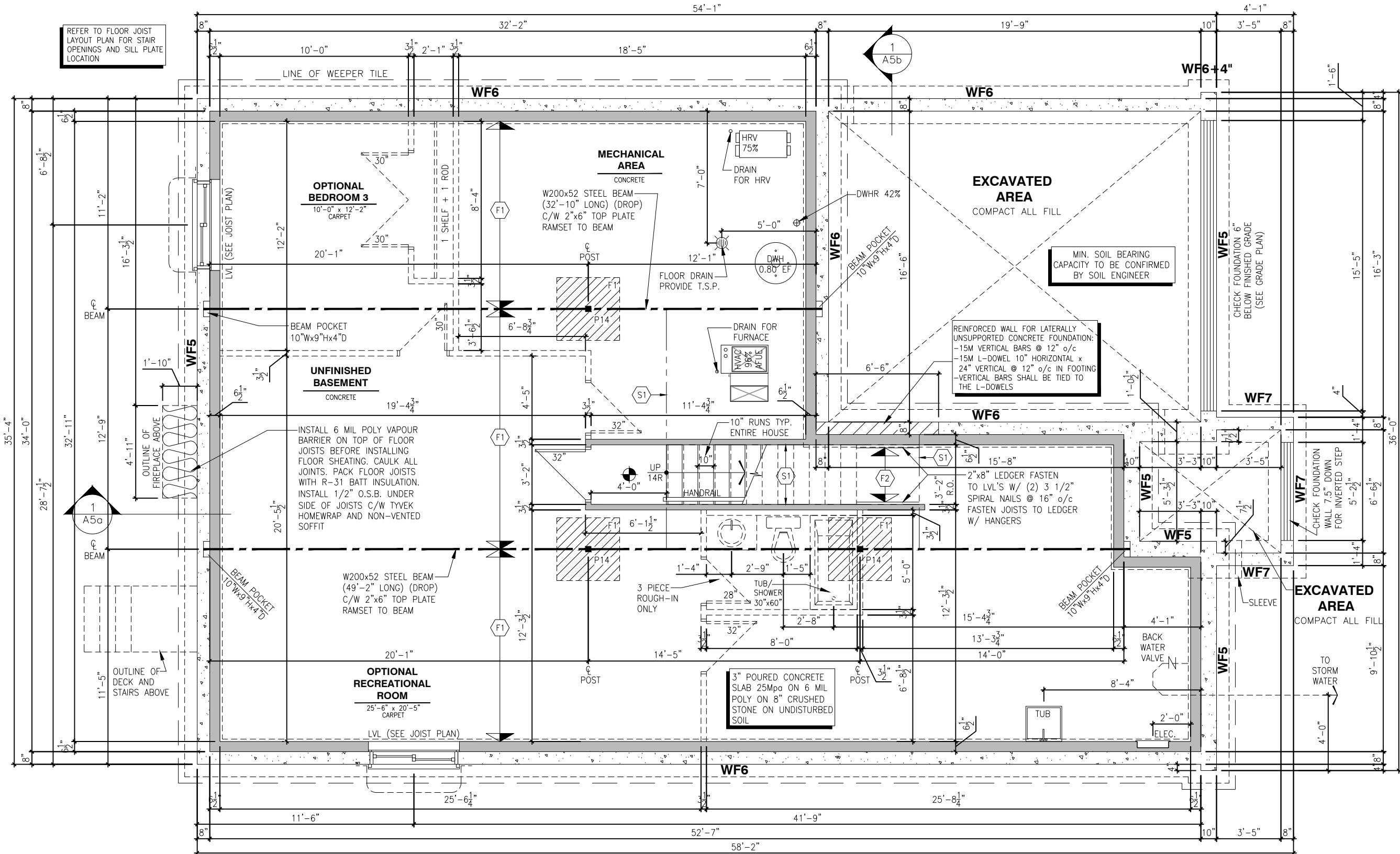
SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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NOTES:

STEEL LINTEL:

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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1016 - THE McCABE 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A6b**

NOTES:
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LOT: XXXX
DATE: XX/XX/XXXX

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(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

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REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN
ELEVATION LOFT**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

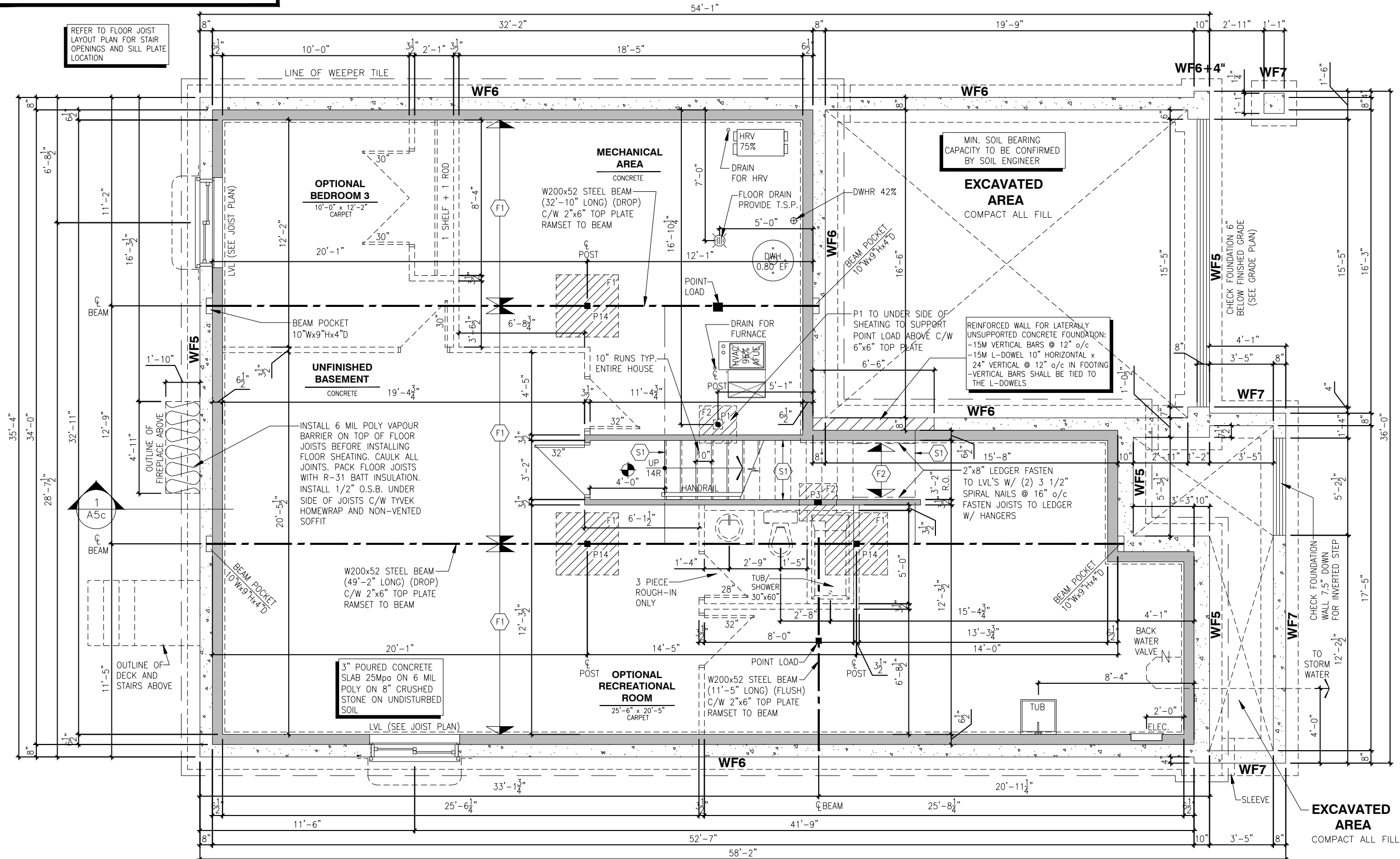
1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A6c

BASEMENT FLOOR PLAN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

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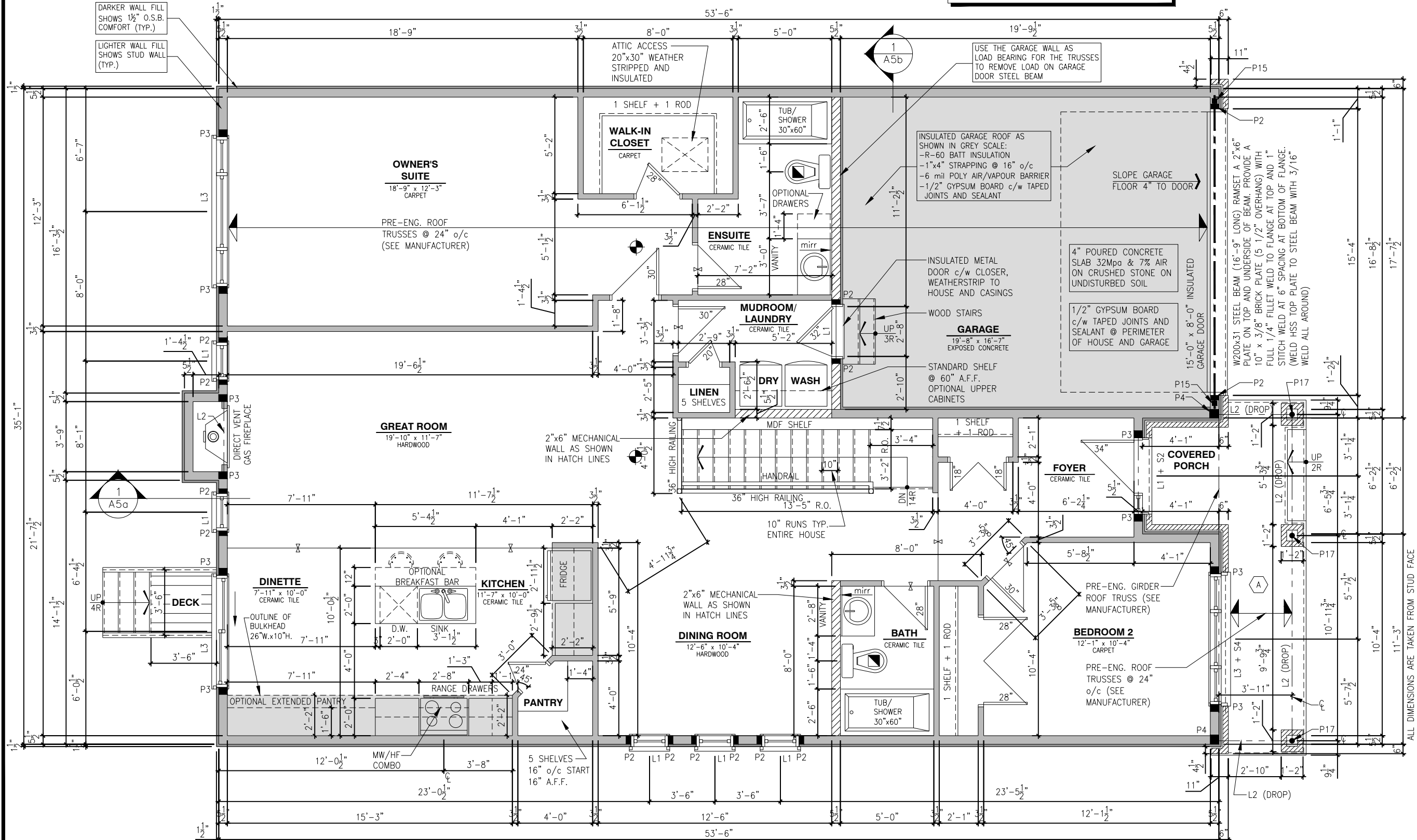
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FLOOR FRAMING:

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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN STANDARD KITCHEN - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7a

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

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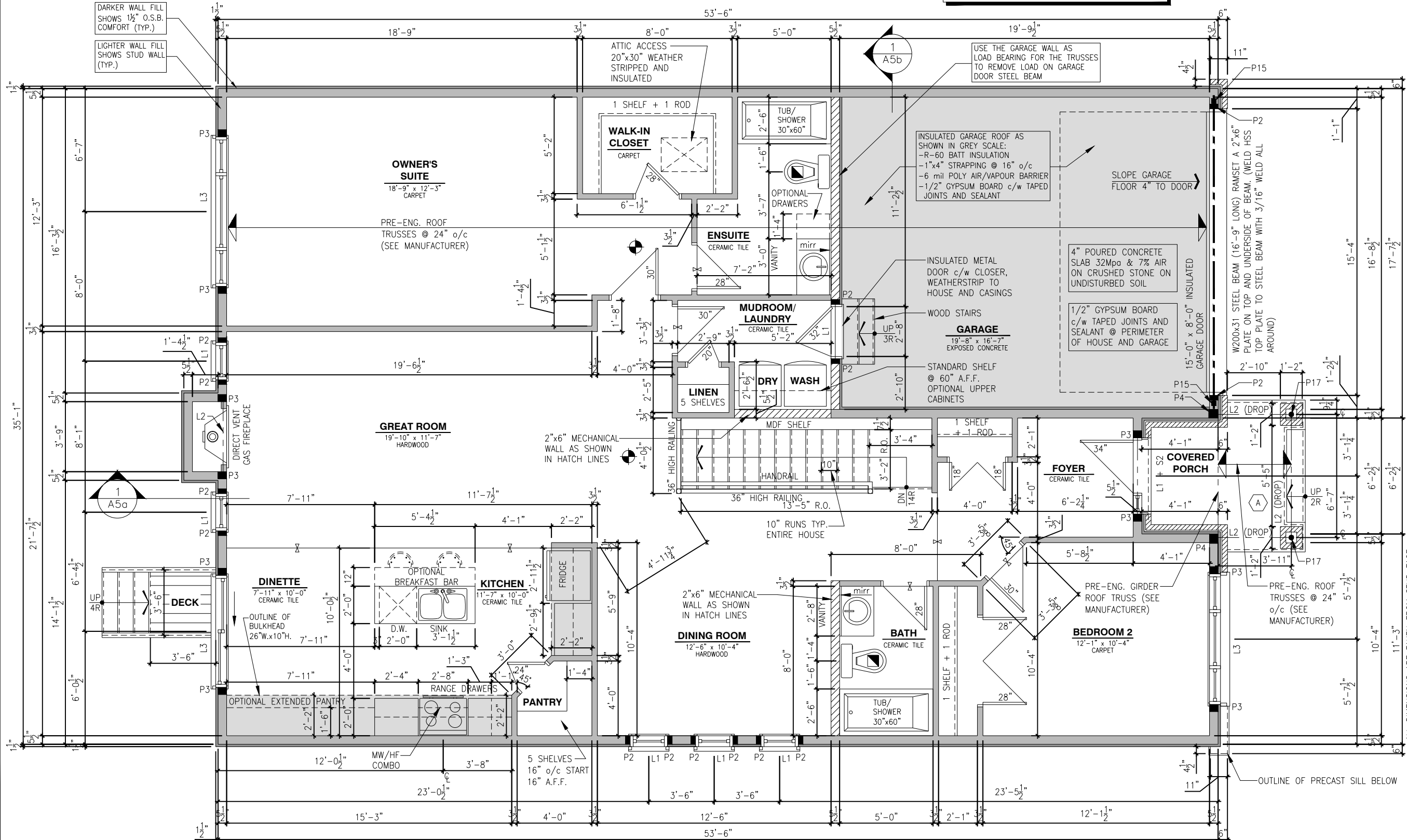
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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7b

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

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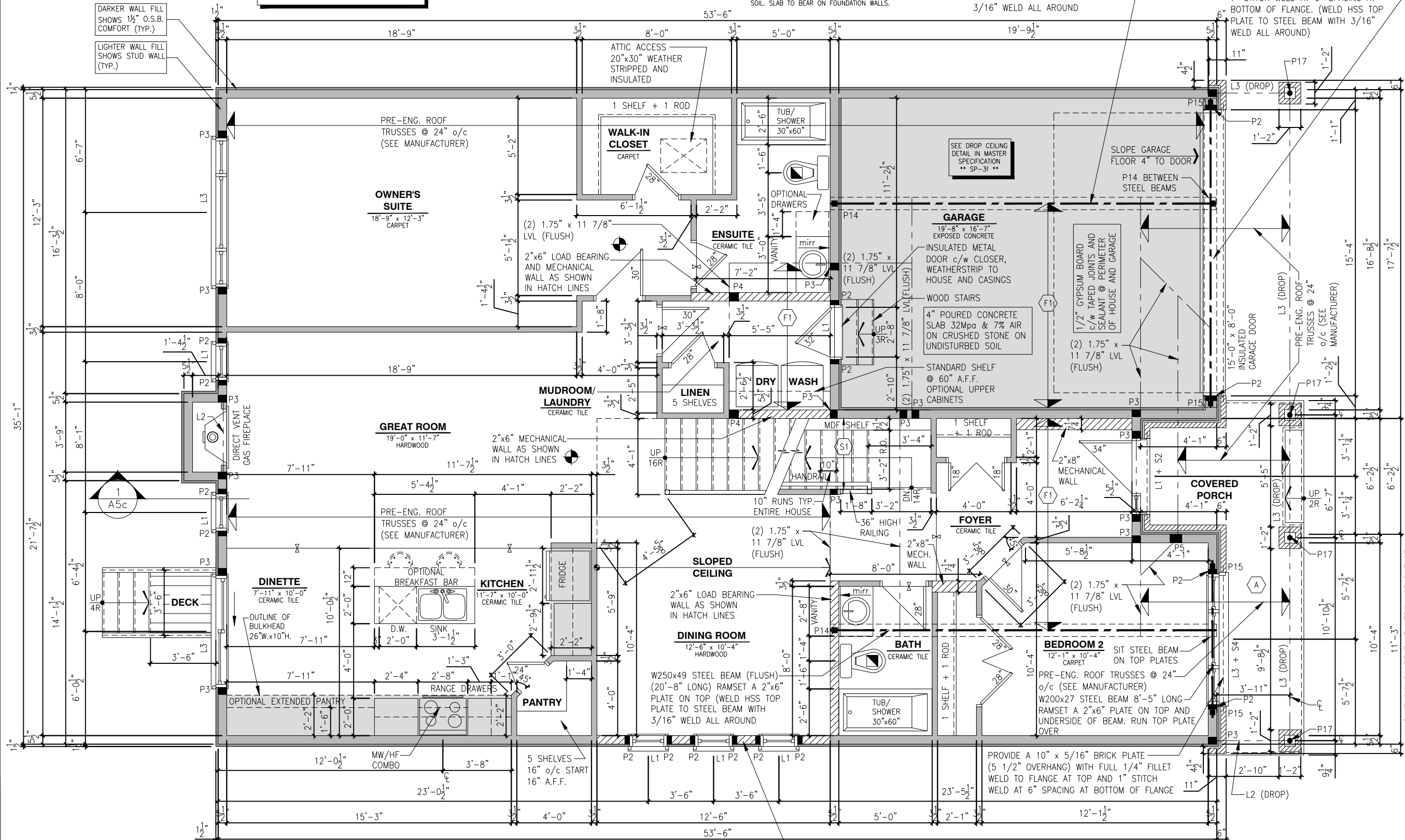
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W250x49 STEEL BEAM (DROP)
(20'-8" LONG) RAMSET A 2"x6" PLATE ON TOP (WELD HSS TOP PLATE TO STEEL BEAM WITH 3/16" WELD ALL AROUND)

W200x52 STEEL BEAM (16'-7" LONG)
RAMSET A 2"x6" PLATE ON TOP AND UNDERSIDE OF BEAM. PROVIDE A 10" x 3/8" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (WELD HSS TOP PLATE TO STEEL BEAM WITH 3/16" WELD ALL AROUND)



LOT: XXXX

DATE: XX/XX/XXXX

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REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. LOFT

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7c

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

2"x6" WALL AS SHOWN IN HATCH LINES TO BE FRAMED TO UNDER SIDE OF ROOF TRUSS C/W HORIZONTAL BRACE @ MID HEIGHT

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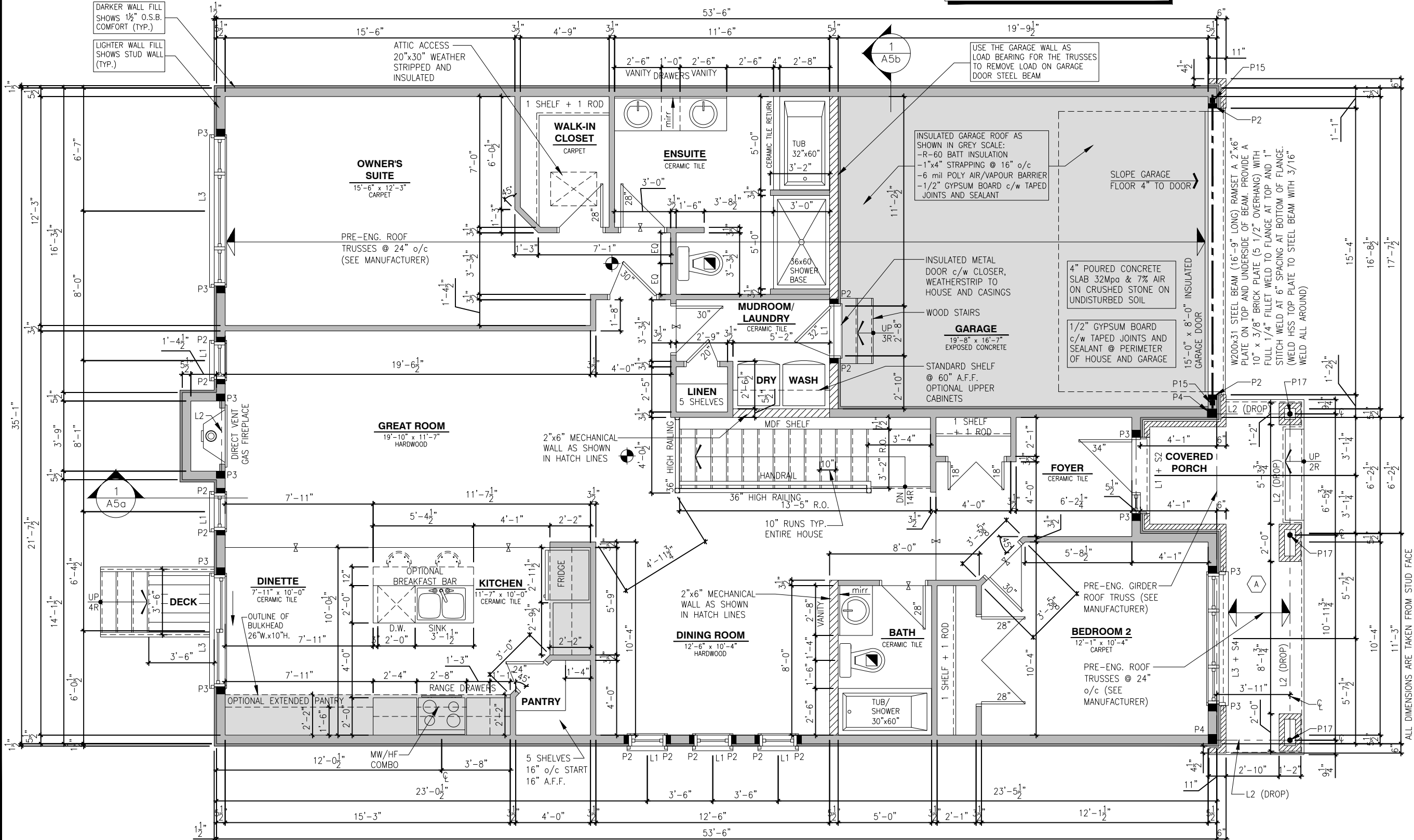
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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN STANDARD KITCHEN - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7d

GROUND FLOOR PLAN - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

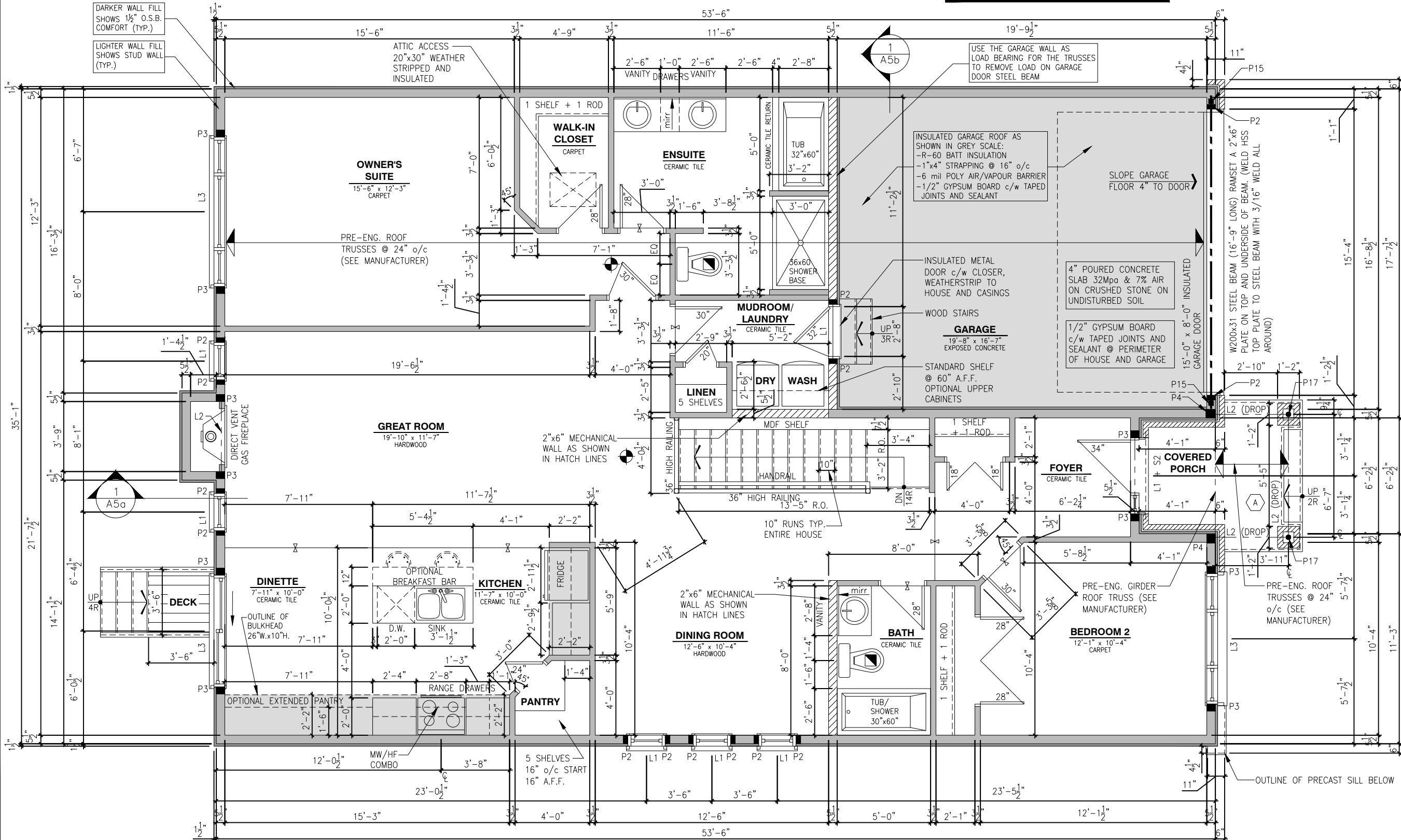
NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.



GROUND FLOOR PLAN - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 30 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

SHEET: **A7e**

(STANDARD DRAWINGS)

ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

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SINGLE DWELLING STAIRS:

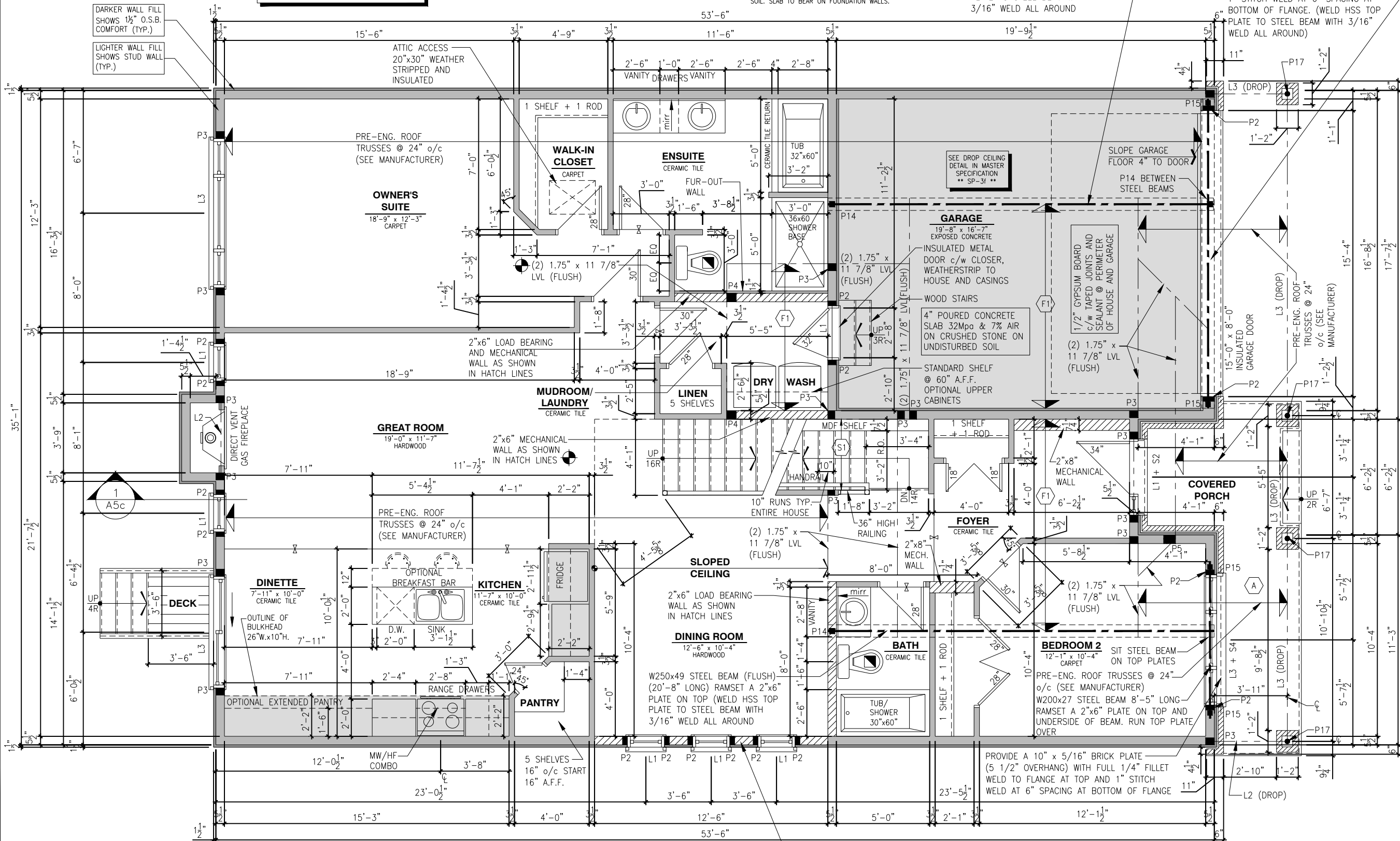
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HEADROOM = 6'-5" MIN

GENERAL NOTES:

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LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARION REGISTRATION NUMBER #611

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- P5 = 5-2x4 OR 5-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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(EX. P2 = 1 JACK + 1 STUD)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN STANDARD KITCHEN - ELEV. LOFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7f

GROUND FLOOR PLAN - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

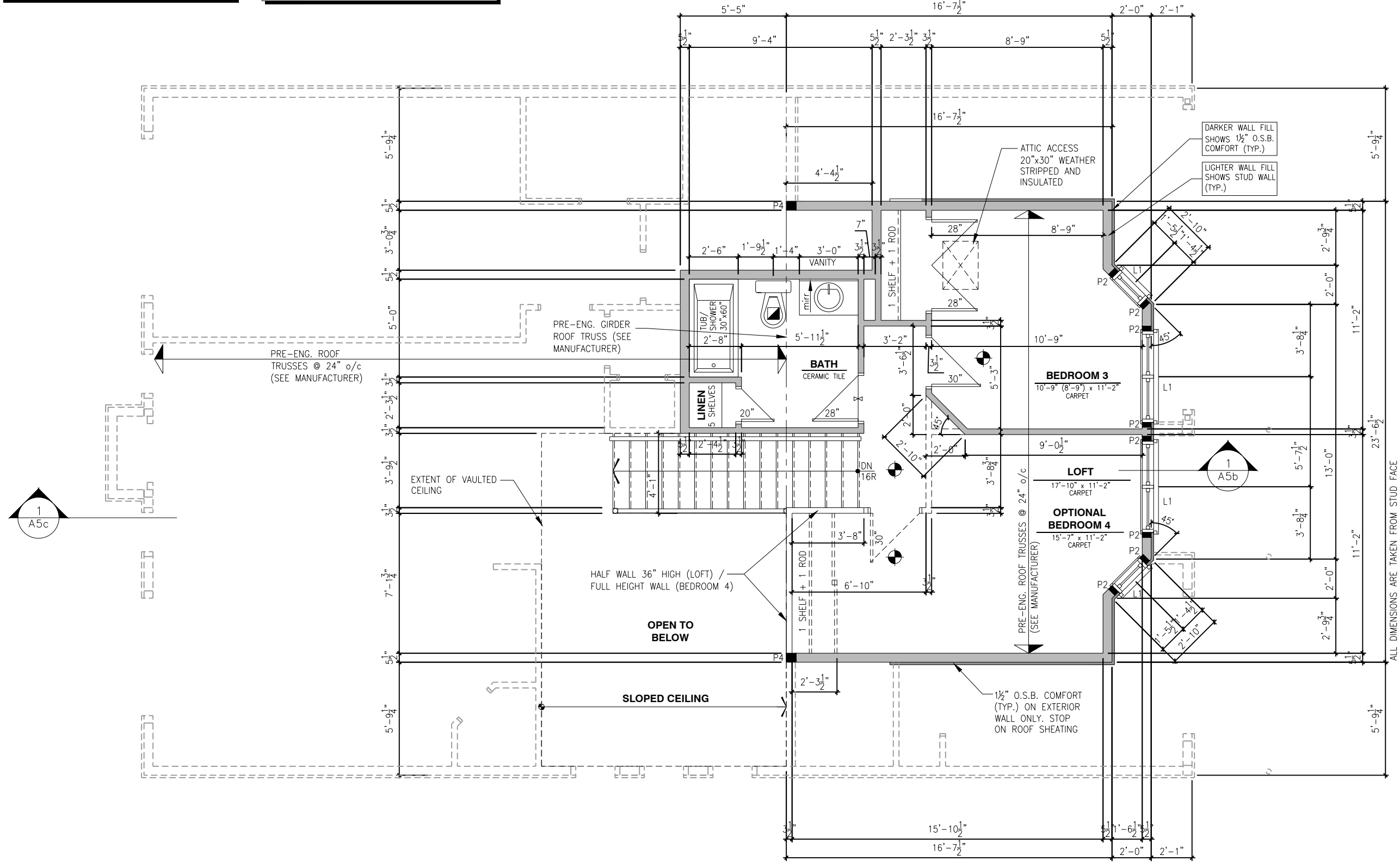
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SECOND FLOOR PLAN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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NOTES:

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LINTEL TABLE:

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2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN ELEVATION LOFT**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

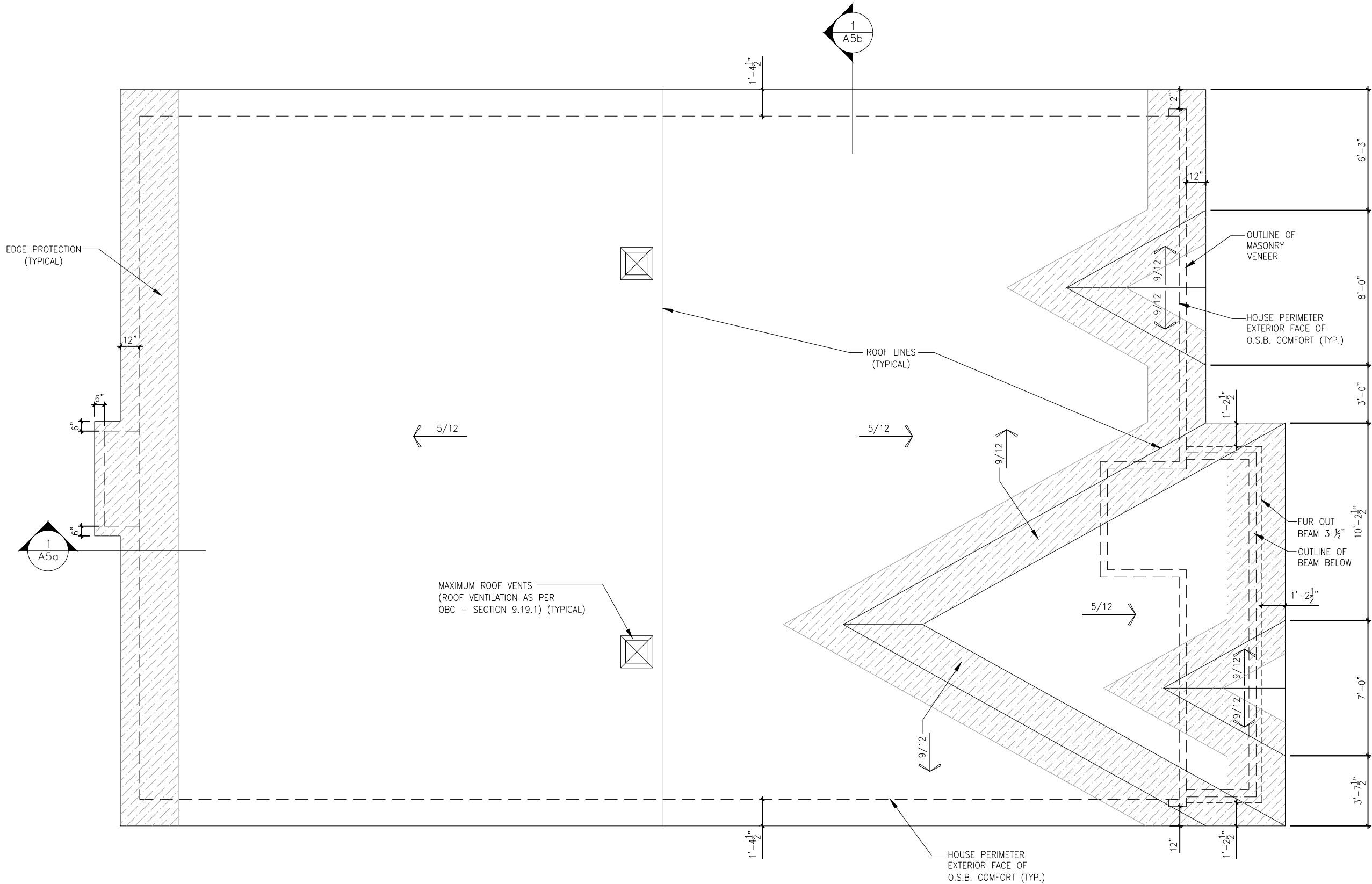
1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A8a**

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ROOF PLAN
ELEVATION A**

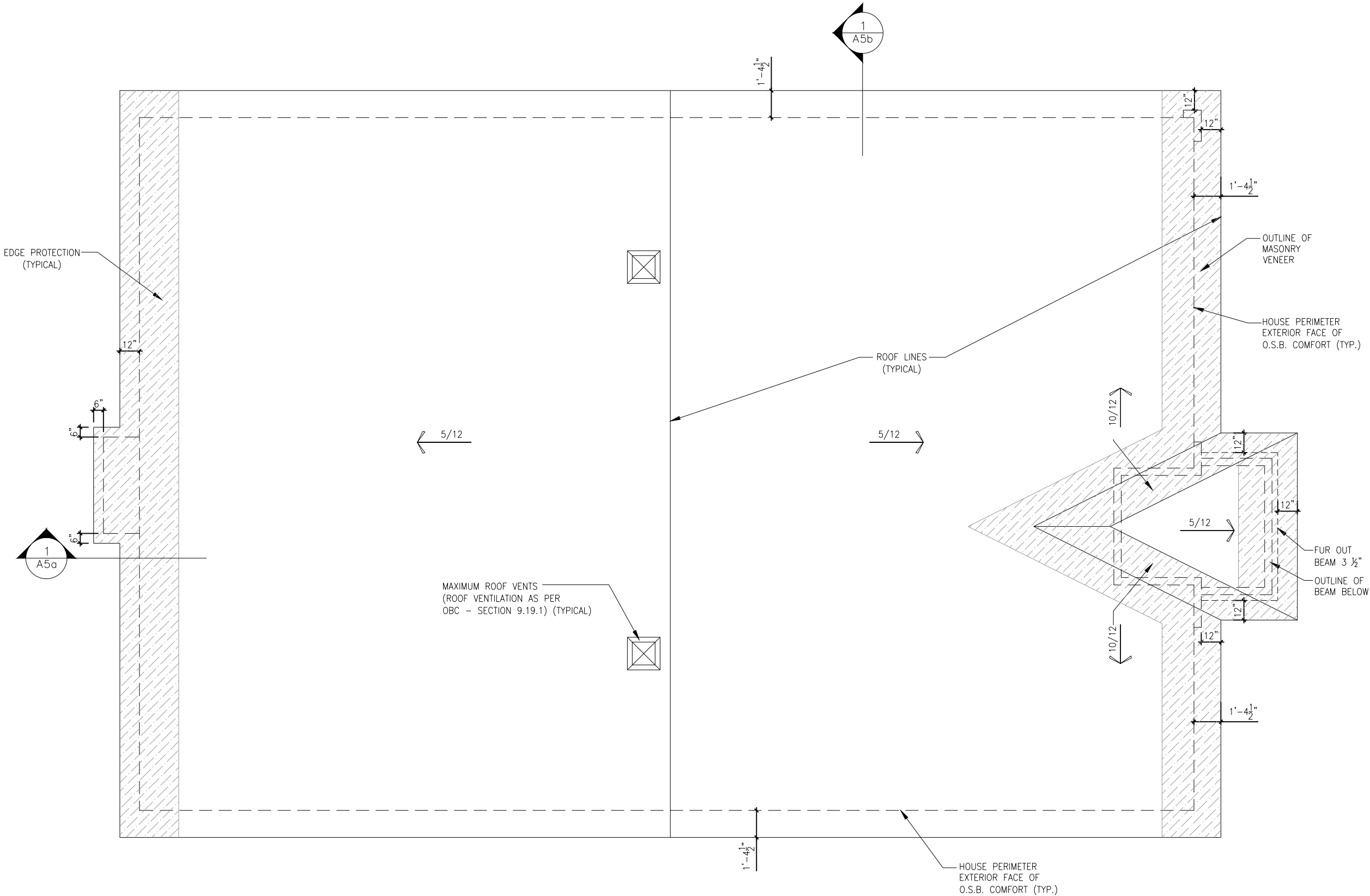
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A9a**

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN
ELEVATION B

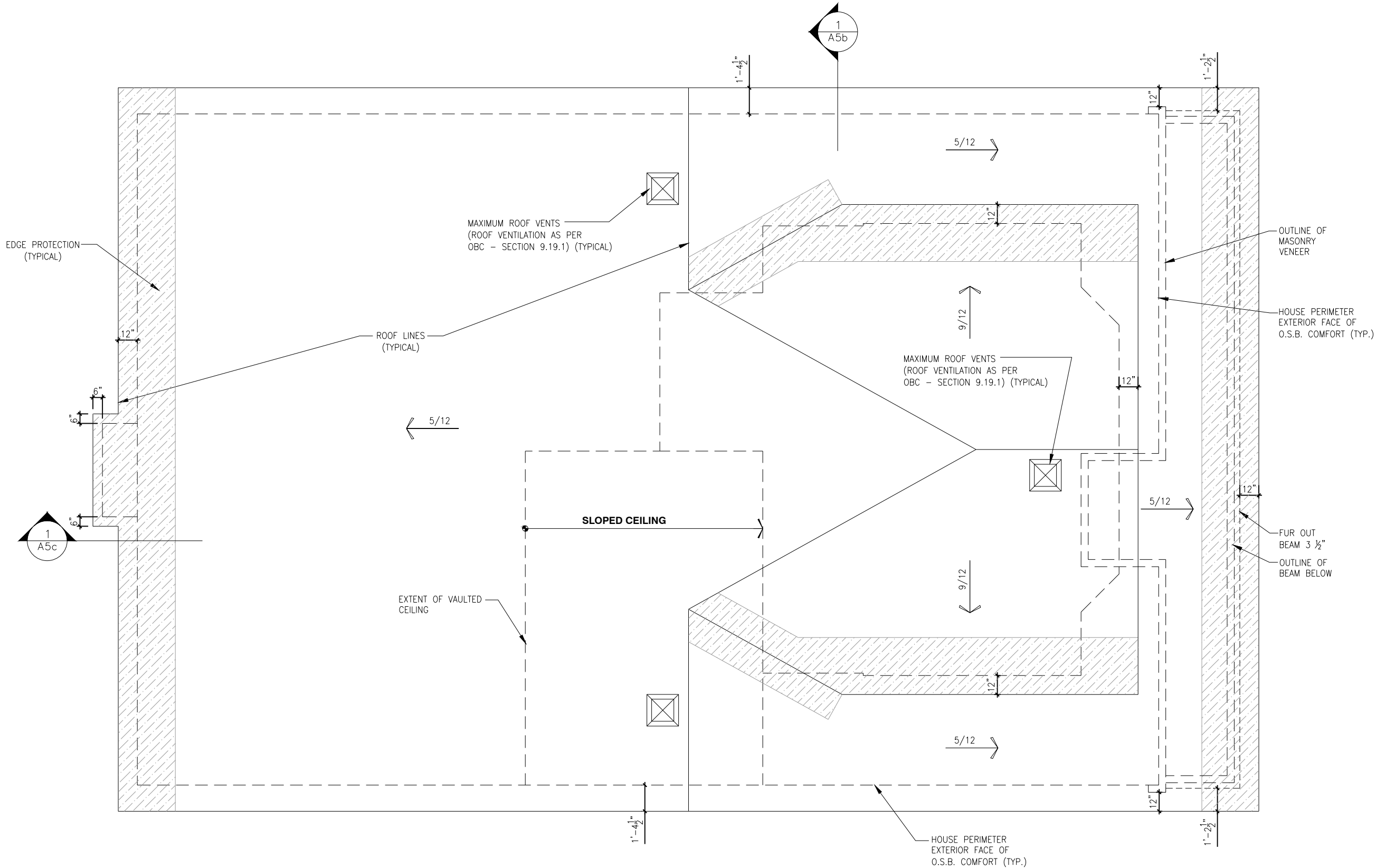
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1016 - THE McCABE
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SHEET:
A9b

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ROOF PLAN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

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ELEVATION LOFT**

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1016 - THE McCABE
2023 FOOTPRINT

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SHEET:

A9c

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Valecraft

Homes (2019) Limited

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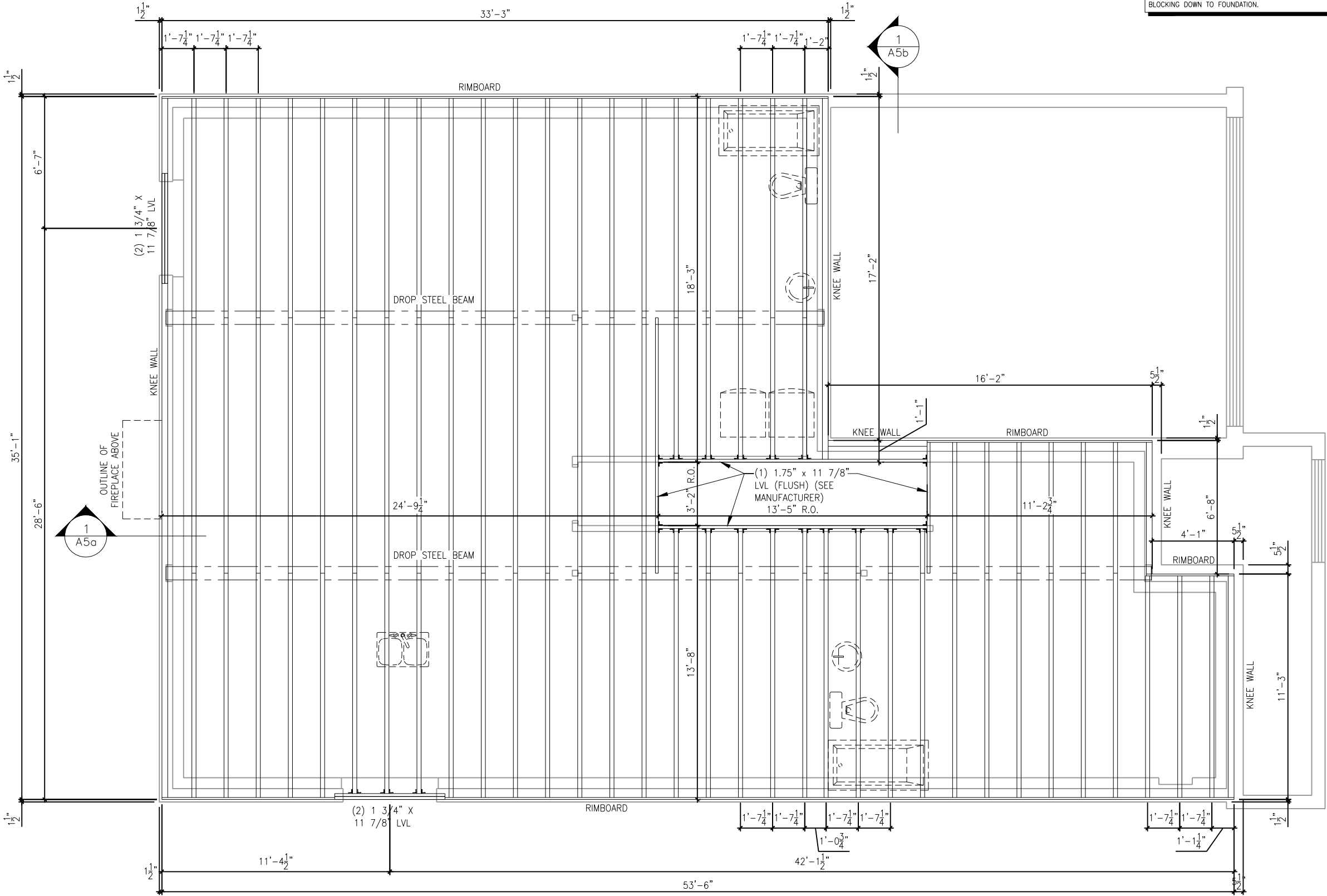
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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
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NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT ELEV. A

ADDRESS: xx

SCALE: 3/16" = 1'-0"

DATE: xx/xx/xxxx

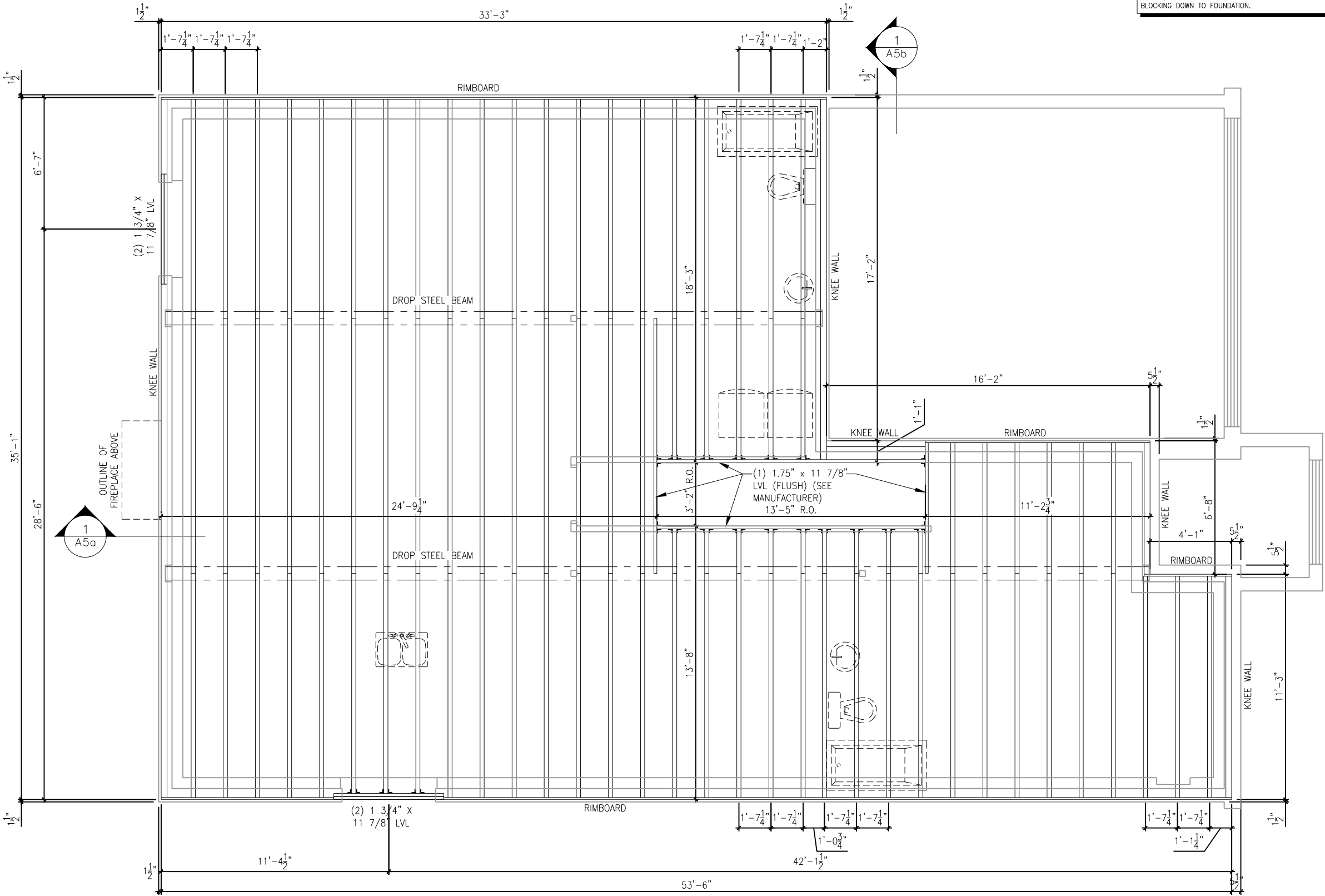
1016 - THE McCABE 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A10a

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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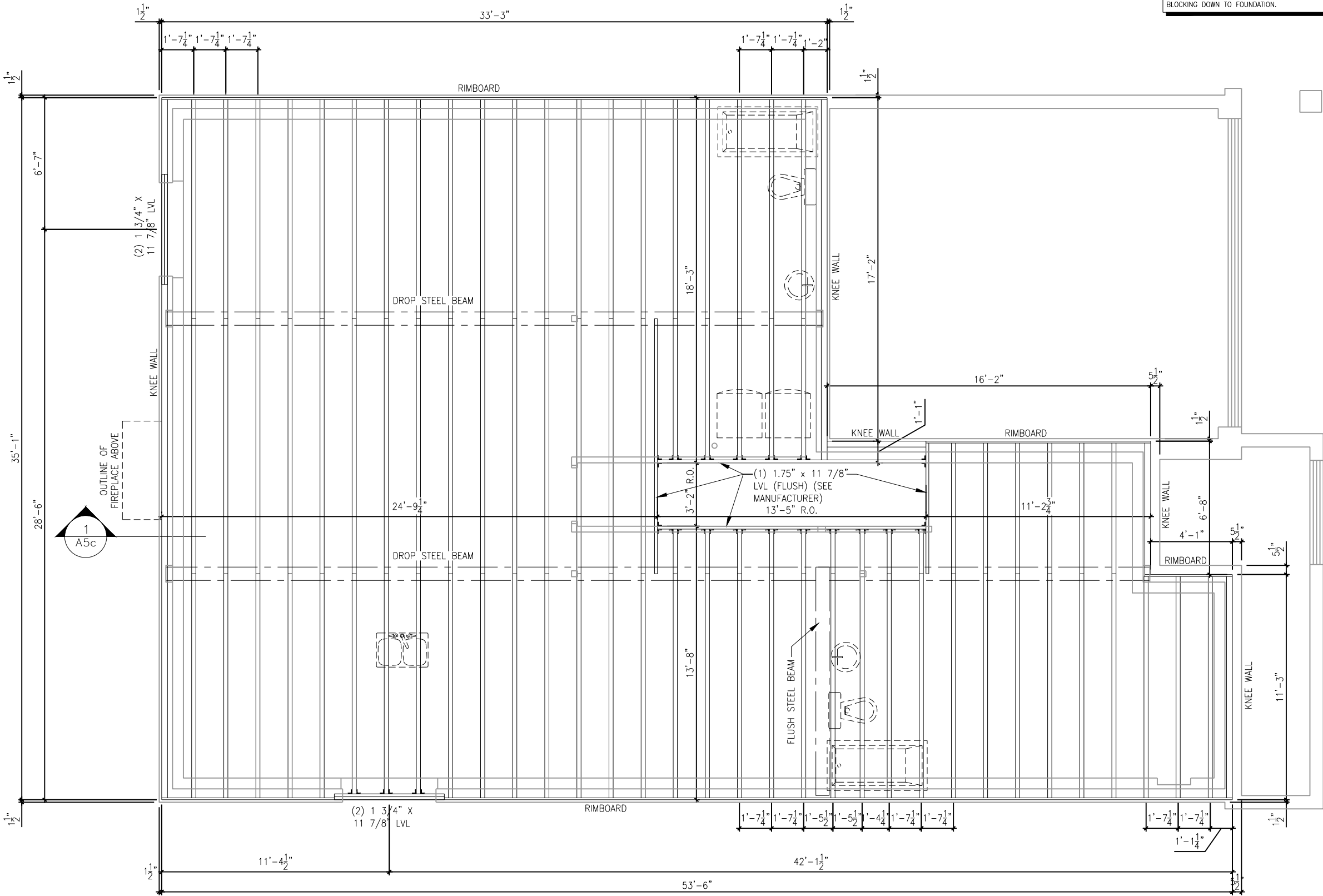
DRAWING: GROUND - JOIST LAYOUT
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A10b



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Homes (2019) Limited

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
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DRAWING: GROUND - JOIST LAYOUT
ELEVATION LOFT

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1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

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A10c

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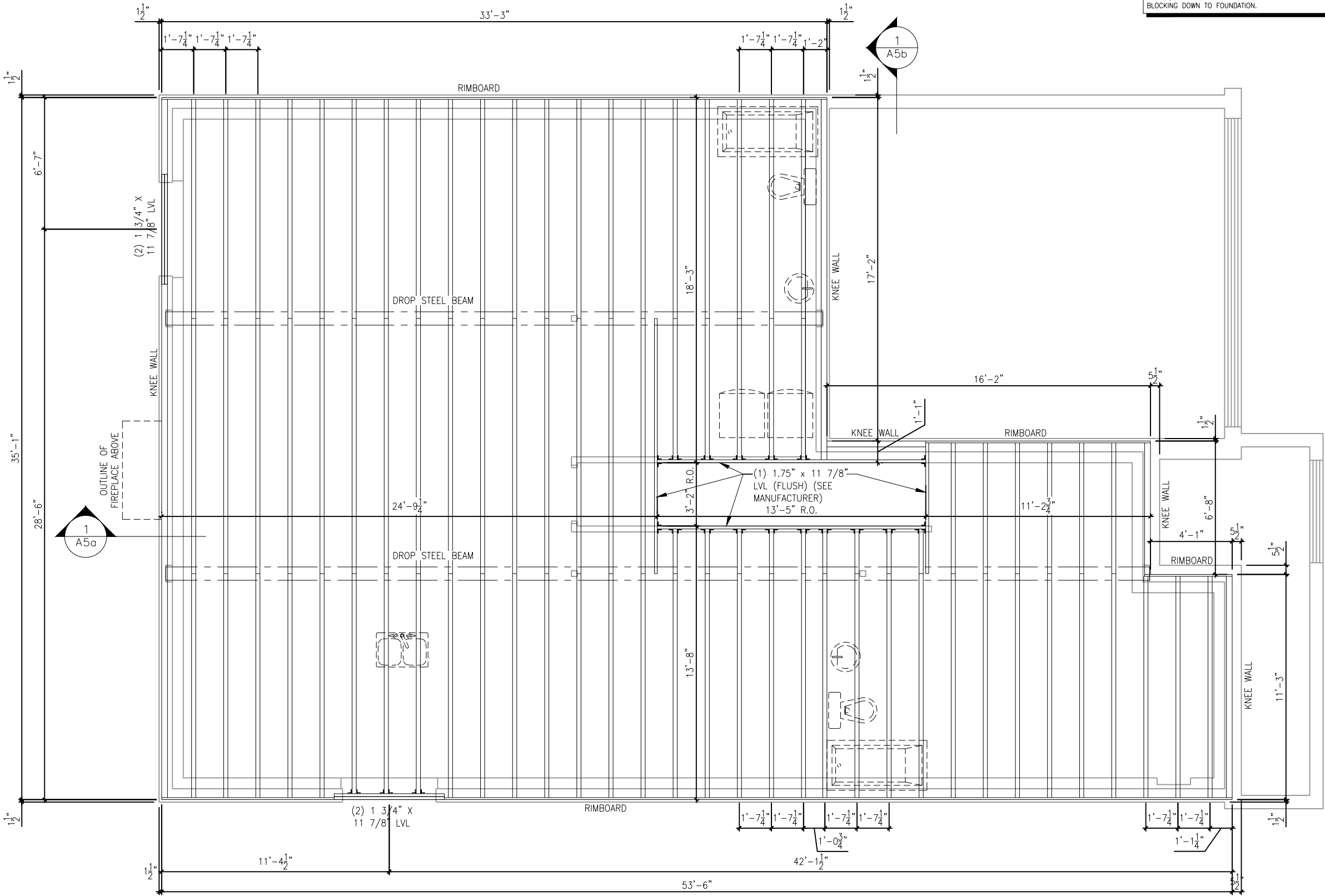
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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT ELEV. A

ADDRESS: xx

SCALE: 3/16" = 1'-0"

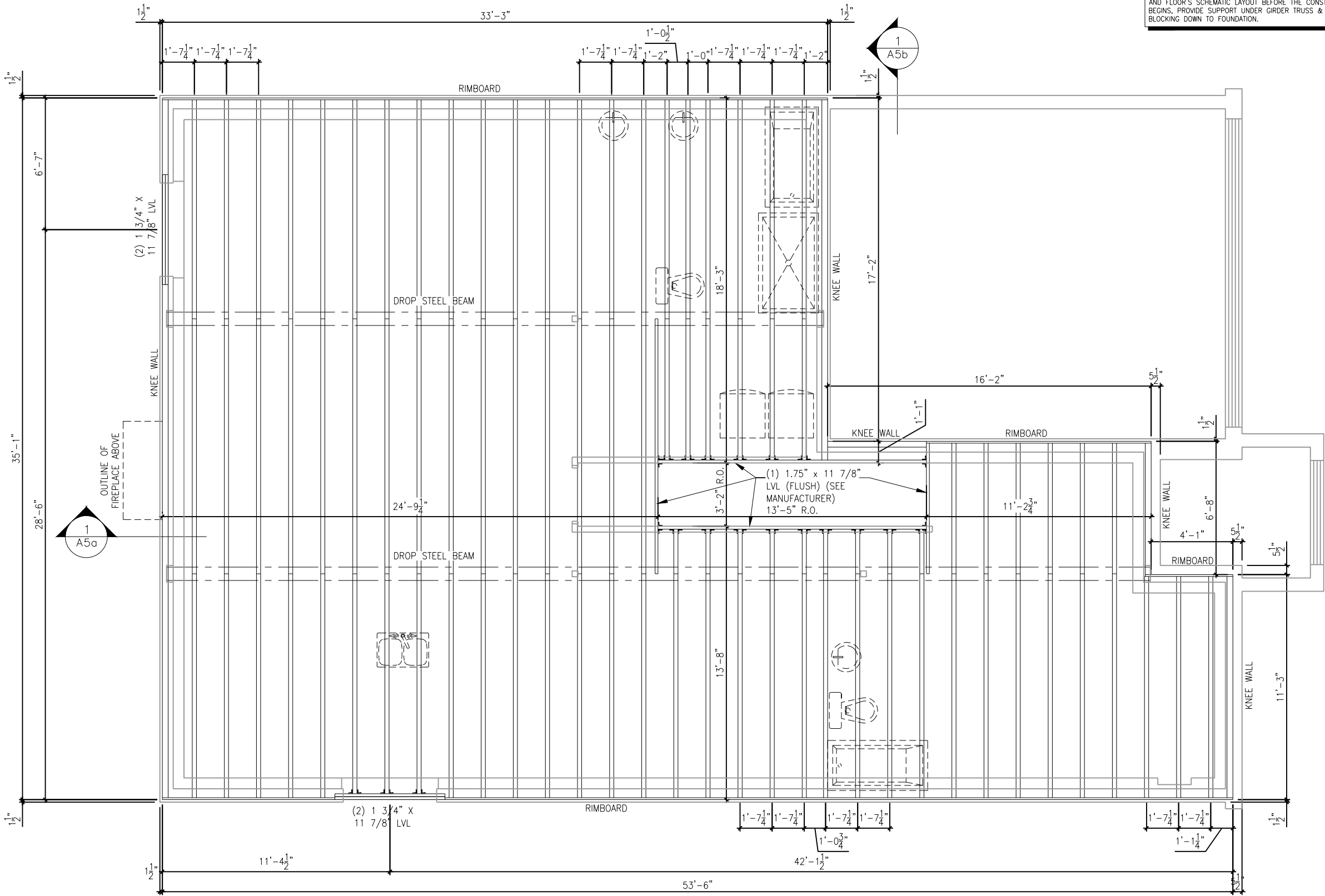
DATE: xx/xx/xxxx

1016 - THE McCABE
2023 FOOTPRINT

(STANDARD DRAWINGS)

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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

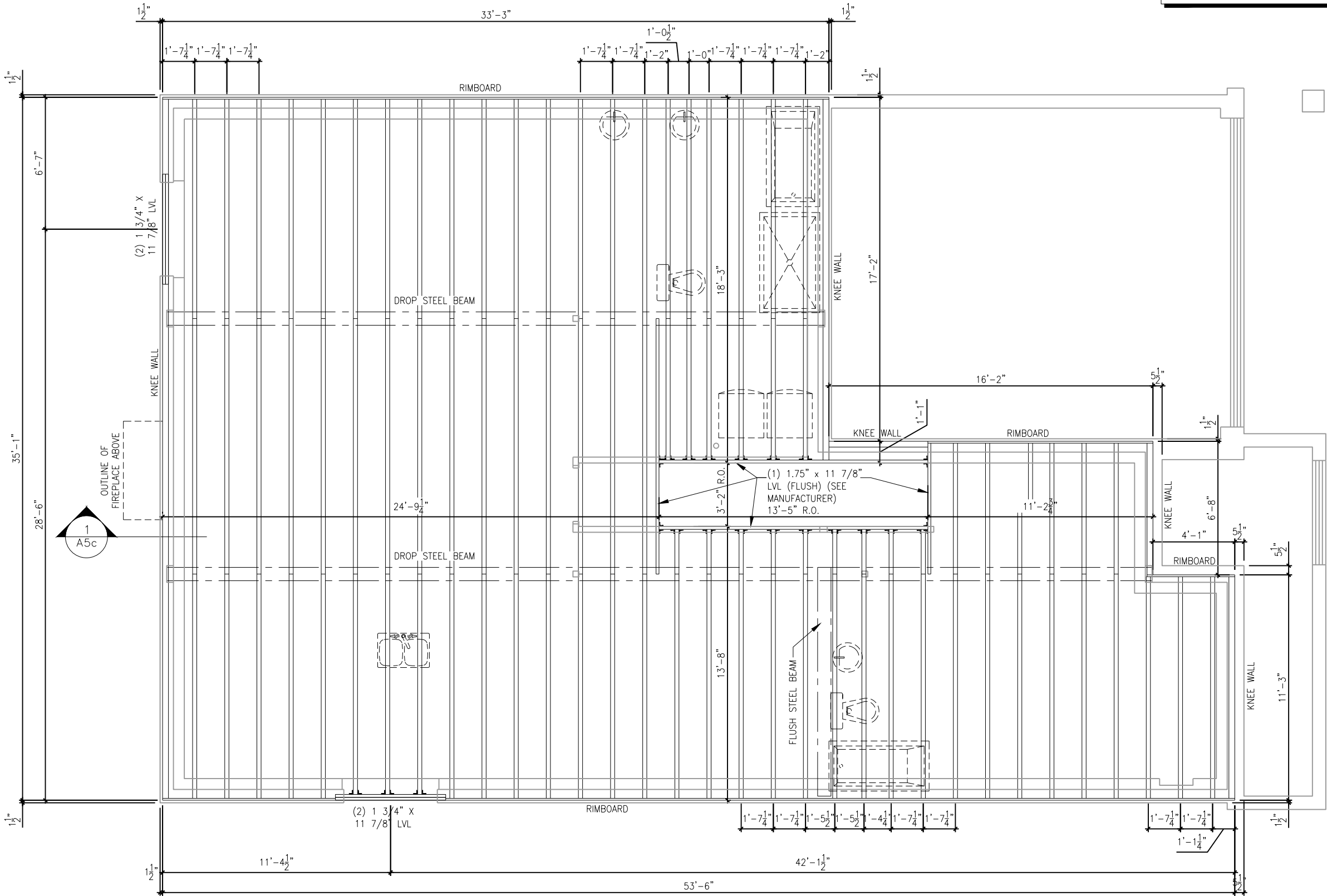
1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A10e

GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"



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Valecraft
Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT
ELEVATION LOFT**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx



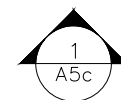
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SCALE: 3/16" = 1'-0"

DRAWING: **2nd FLOOR JOIST LAYOUT**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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SHEET:

A11a

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	DATE	BY

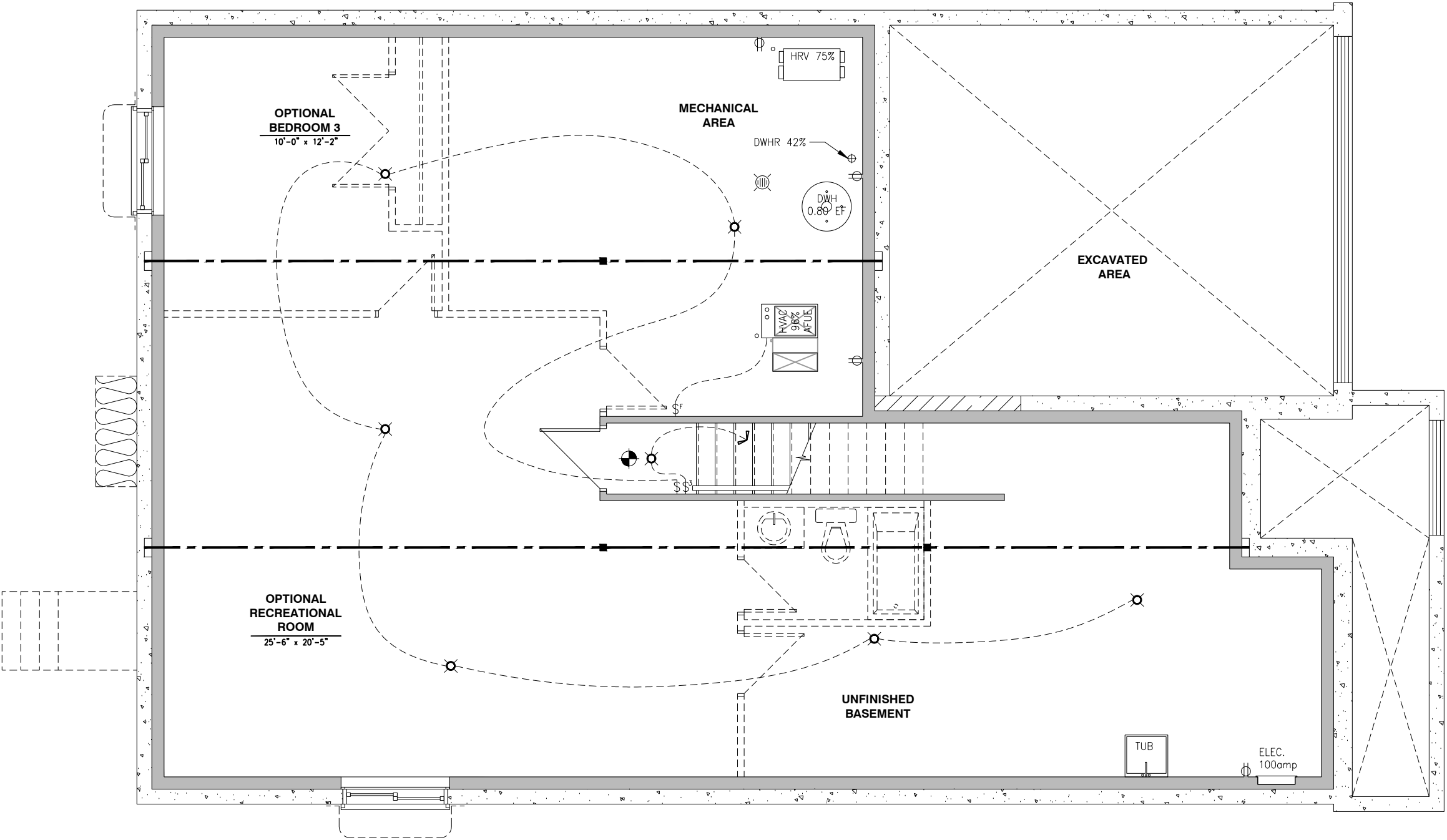
DRAWING: ELECTRICAL PLAN
BASEMENT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1a



ELECTRICAL PLAN BASEMENT - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕ GFI GROUND FAULT INTERVOLT
- ⊕ WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

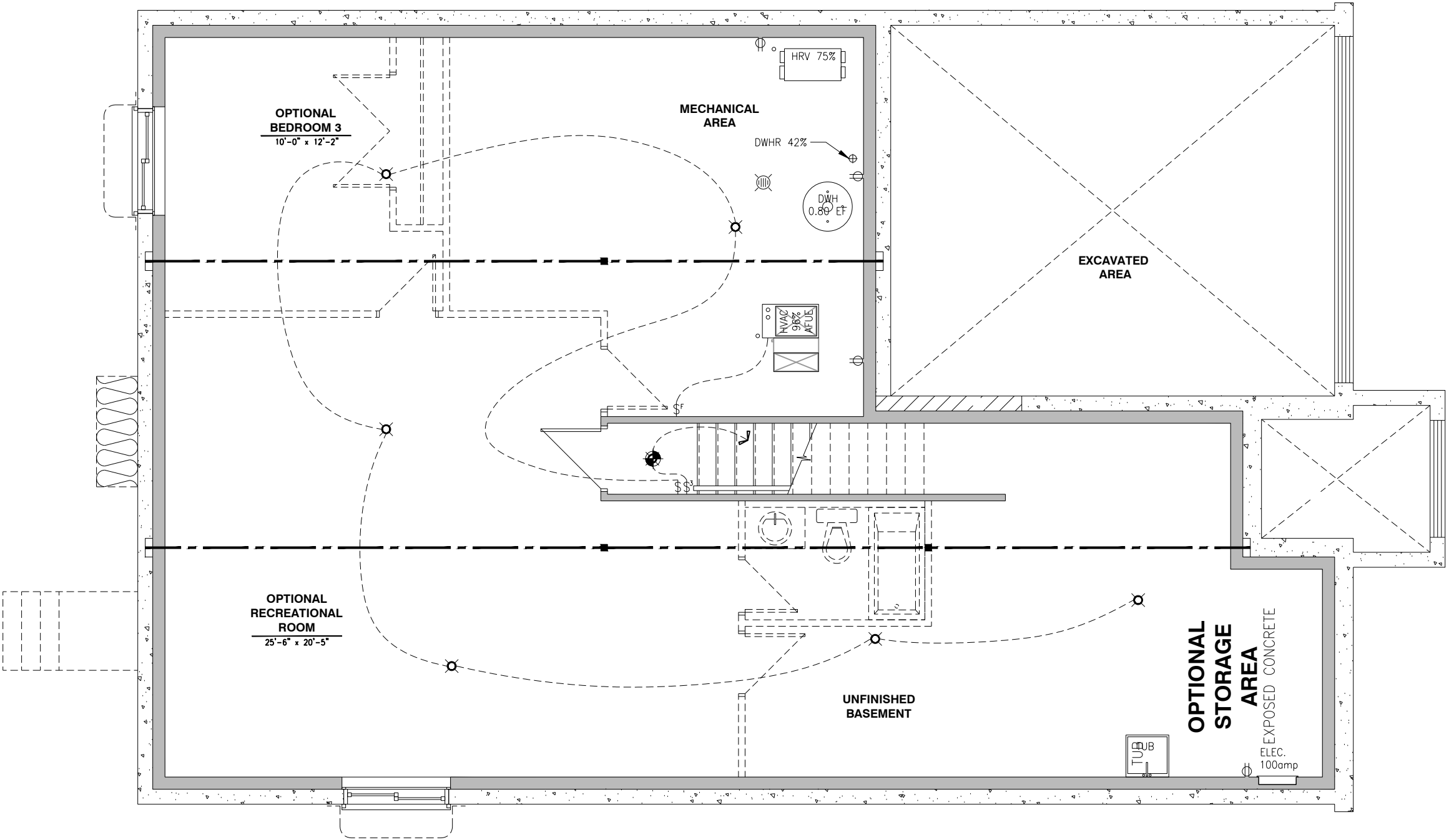
REV	DESCRIPTION	DATE	BY
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
BASEMENT - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.1b



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

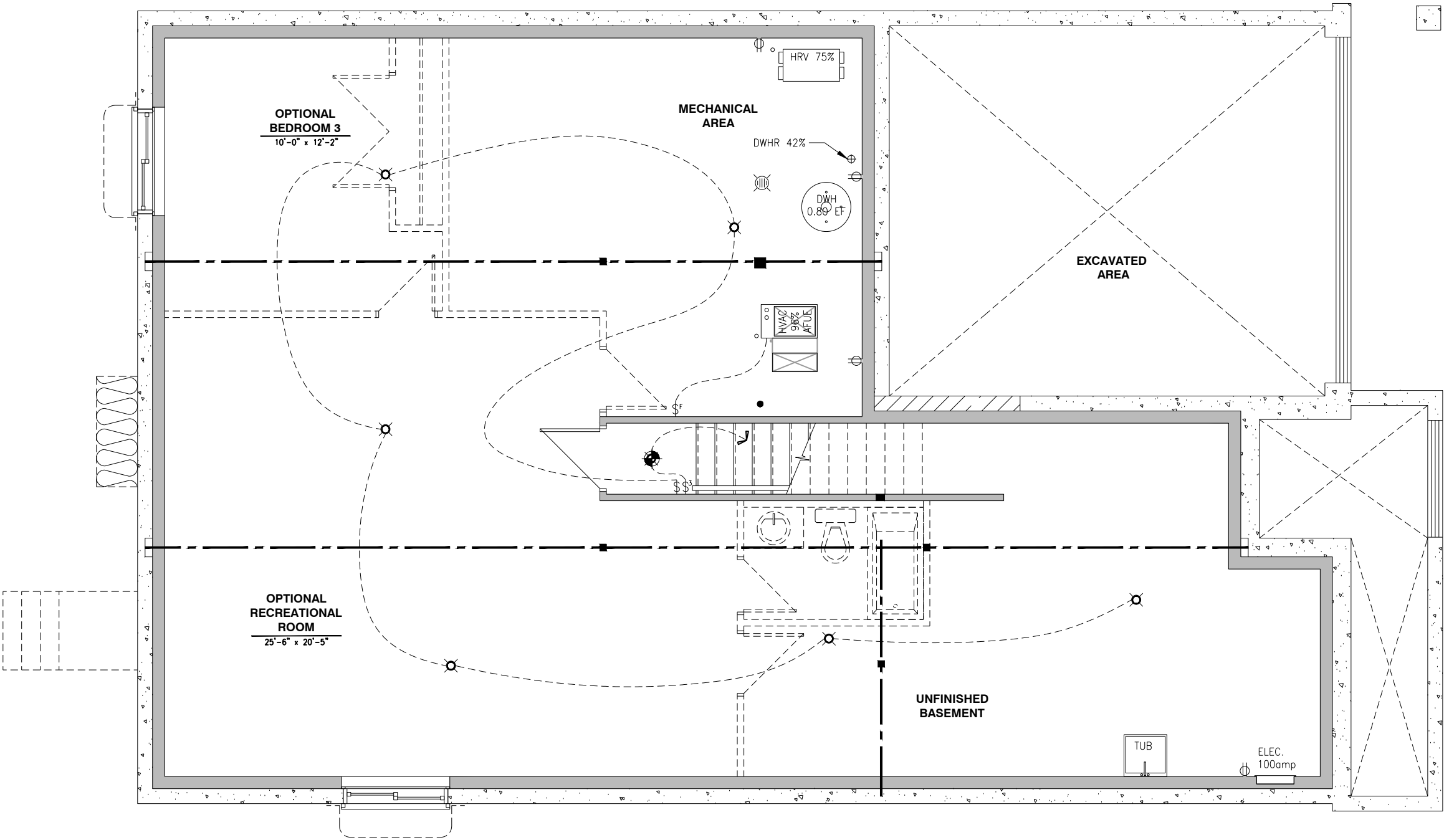
REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
BASEMENT - ELEVATION LOFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.1c



ELECTRICAL PLAN BASEMENT - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

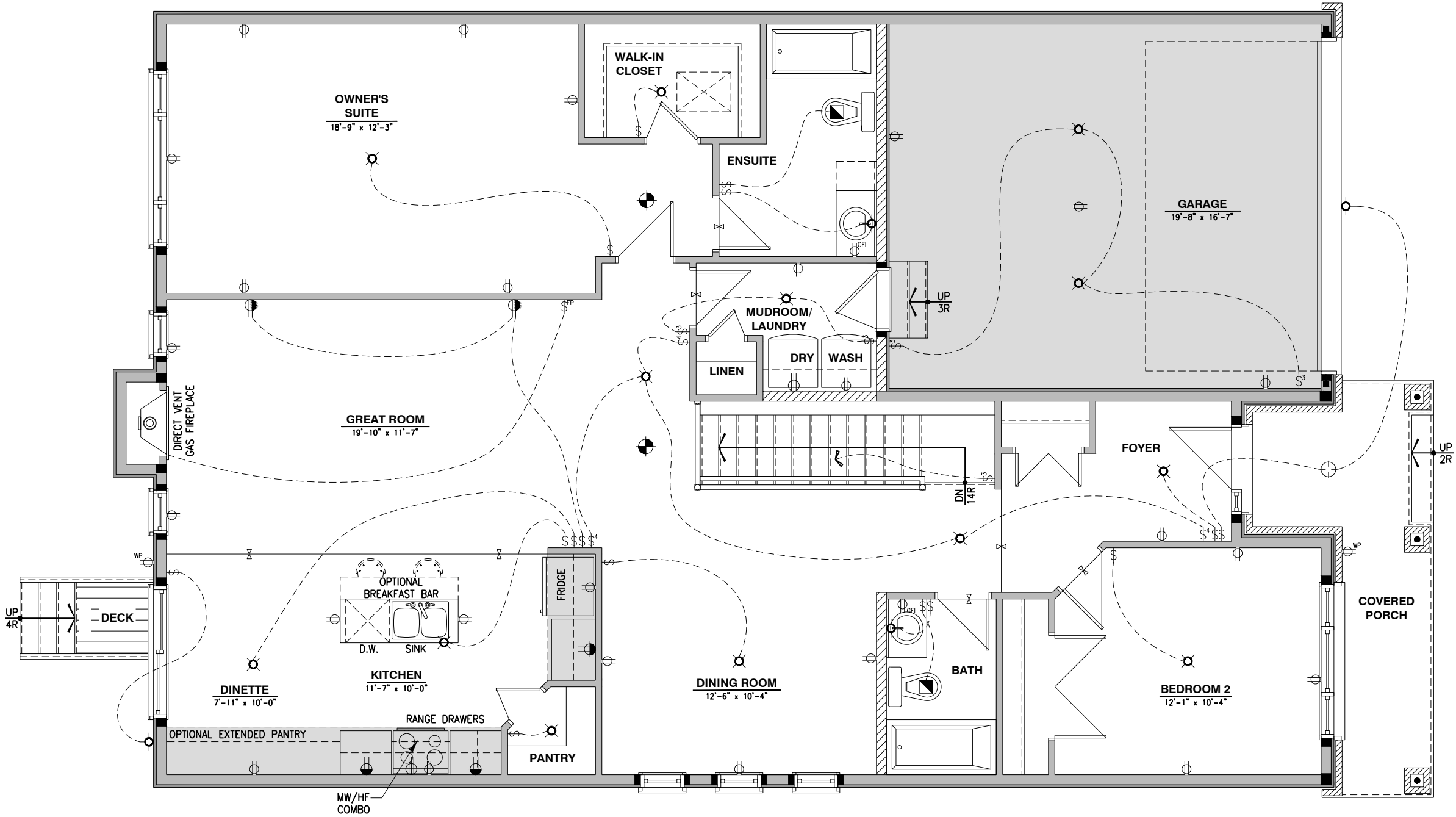
ELECTRICAL PLAN GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2a



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ⊕ WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

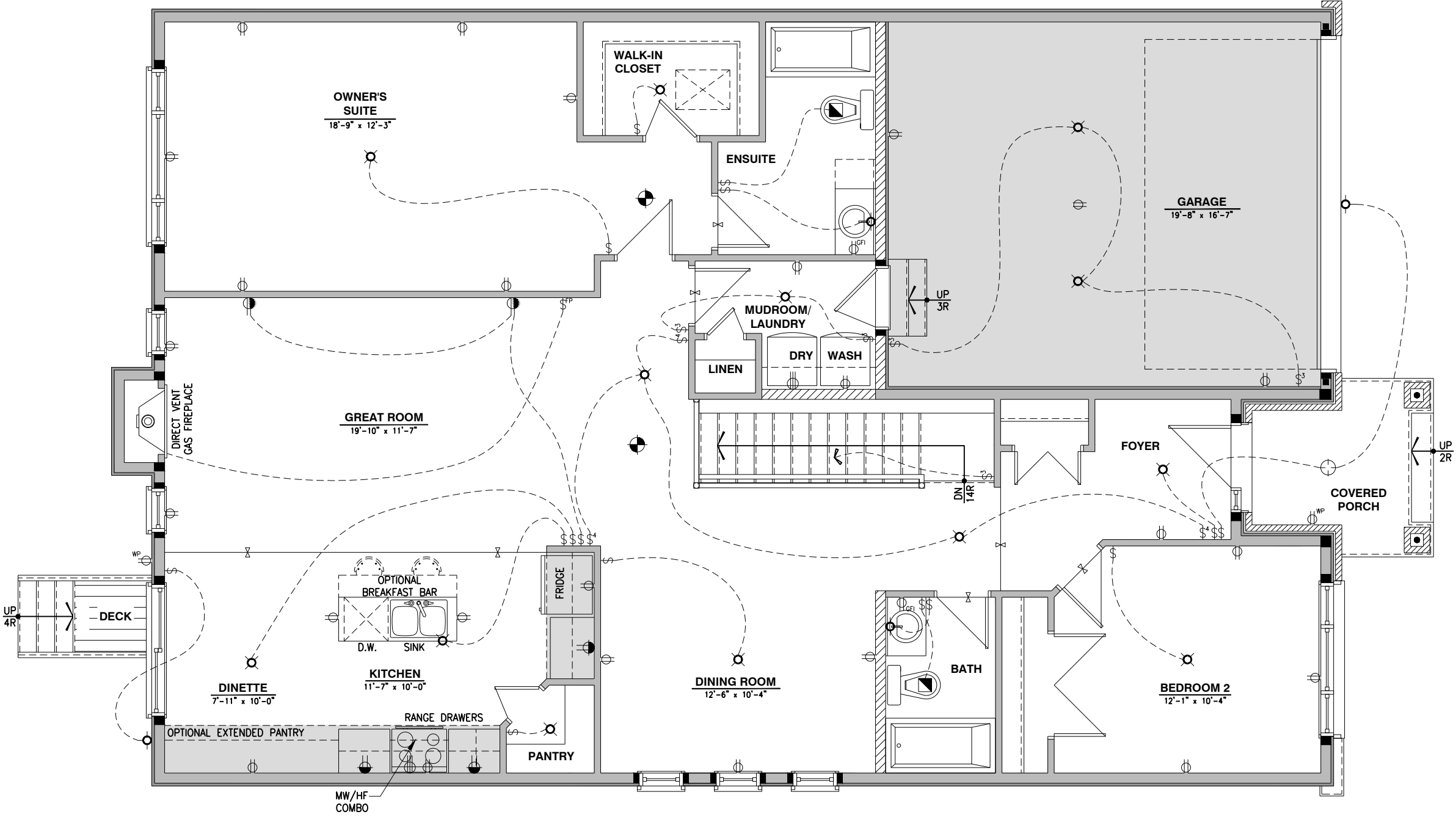
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REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2b



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- 2

DUPLEX OUTLET (12" HIGH)
- 3

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- 2

SPLIT OUTLET
- 220

220 VOLT OUTLET
- W

WALL MOUNTED LIGHT FIXTURE
- C

CEILING MOUNTED LIGHT FIXTURE
- P

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

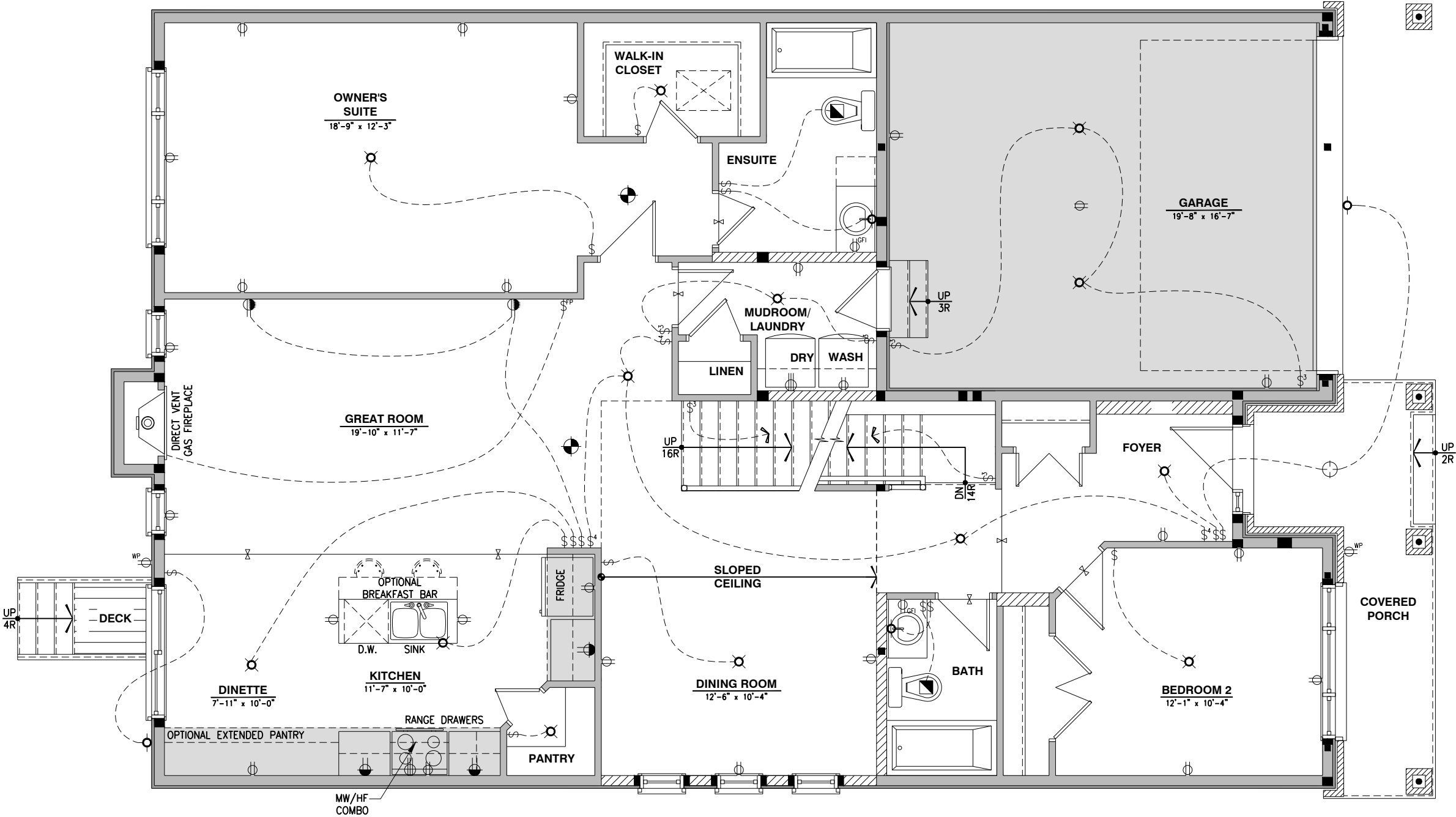
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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. LOFT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION LOFT

SCALE: 3/16" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- Ø

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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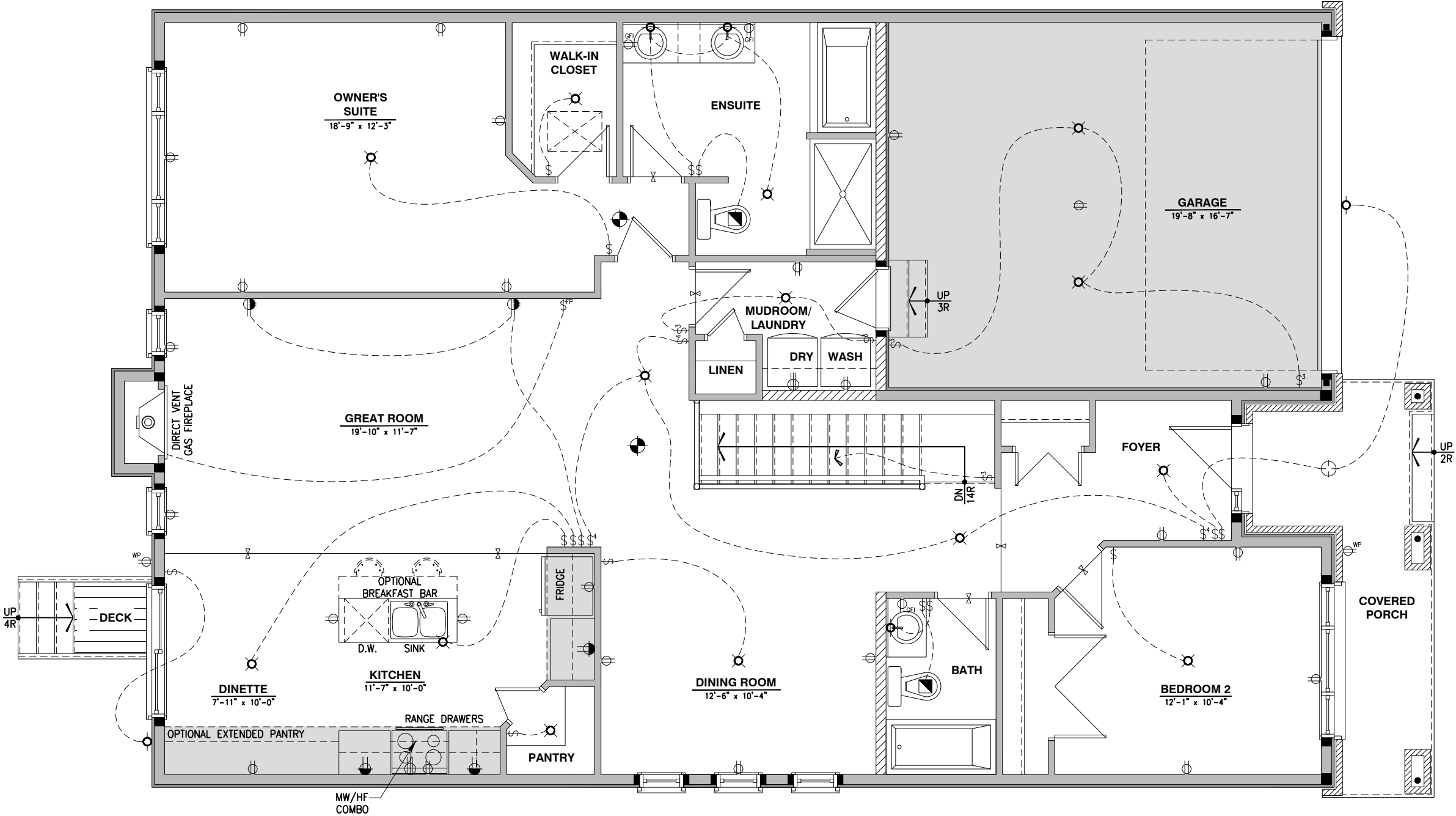
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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEVATION A

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- 12

DUPLEX OUTLET (12" HIGH)
- 12

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- 220

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WALL

WALL MOUNTED LIGHT FIXTURE
- CEILING

CEILING MOUNTED LIGHT FIXTURE
- POT

POT LIGHT
- SMOKE

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- MECH

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEVATION B

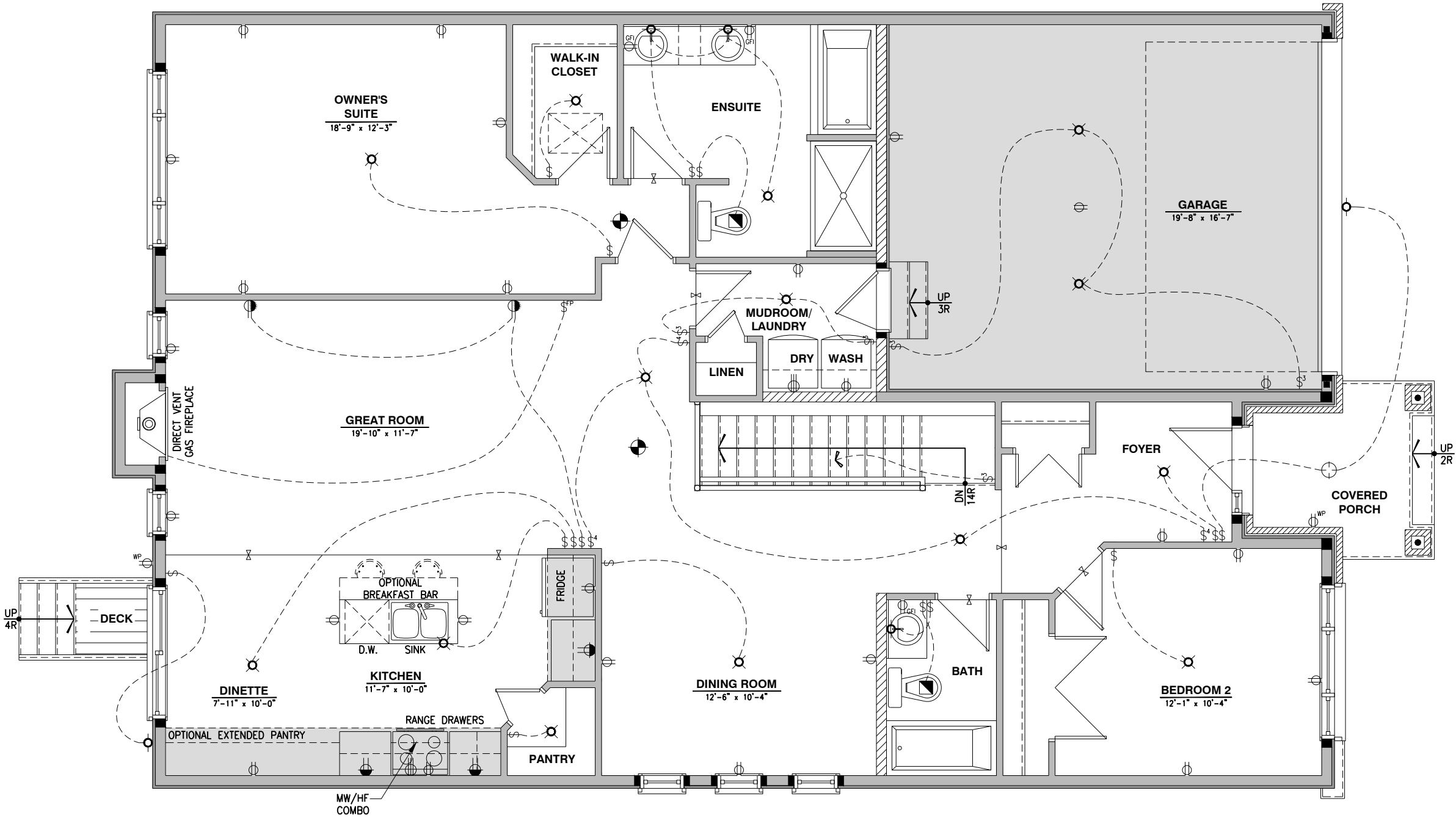
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SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2e



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION B

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⌚

DUPLEX OUTLET (12" HIGH)
- ⌚

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⌚

SPLIT OUTLET
- ⌚

220 VOLT OUTLET
- ⌚

WALL MOUNTED LIGHT FIXTURE
- ⌚

CEILING MOUNTED LIGHT FIXTURE
- ⌚

POT LIGHT
- ⌚

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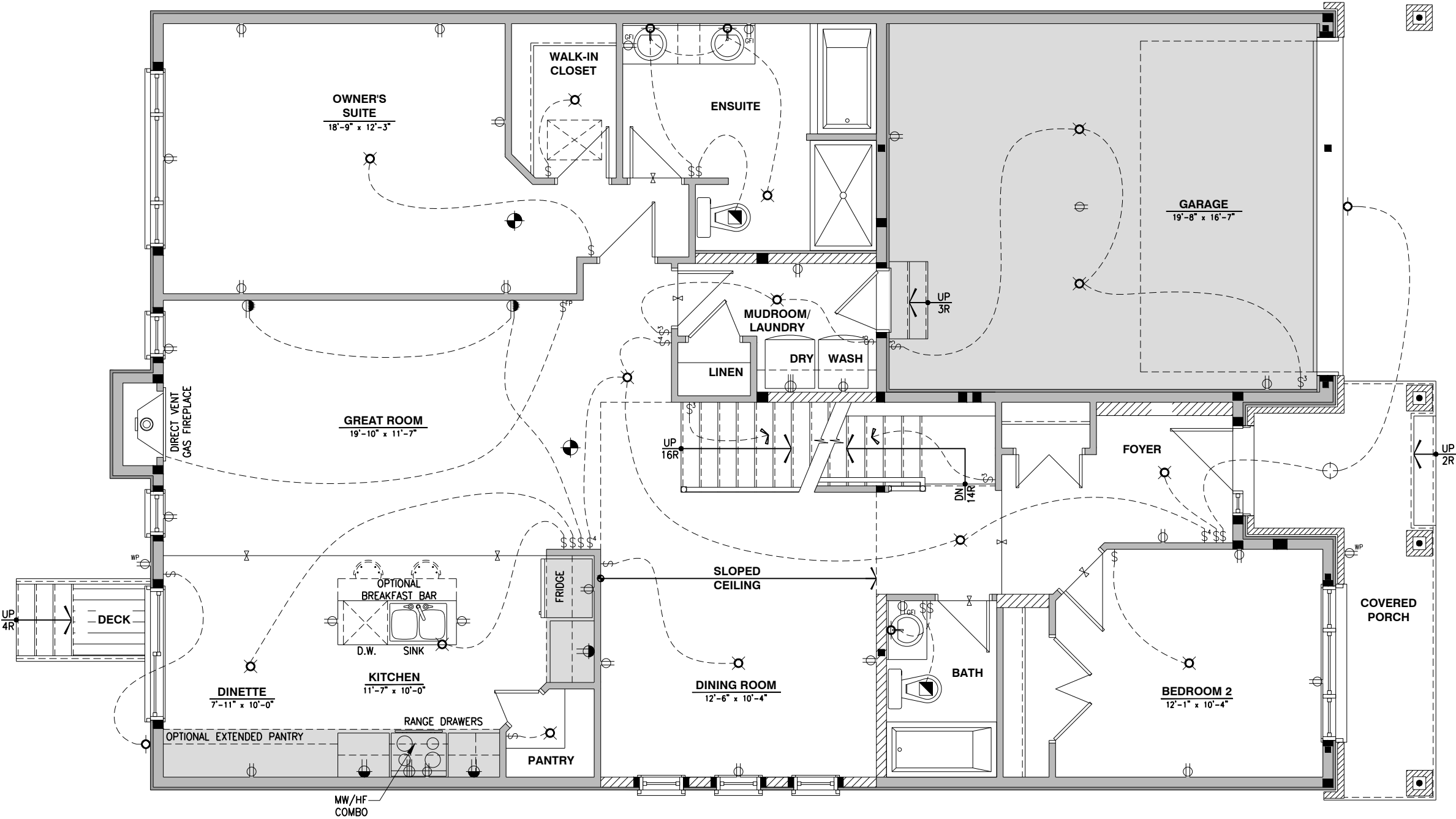
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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. LOFT

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 5PC ENSUITE UPGRADE - ELEVATION LOFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	FINISHING CHANGES TO EXTERIOR	05/23/2024	AB
REV-1	NEW STANDARD DRWG MODIFICATION	06/26/2023	DOYON
NO.	DESCRIPTION	DATE	BY

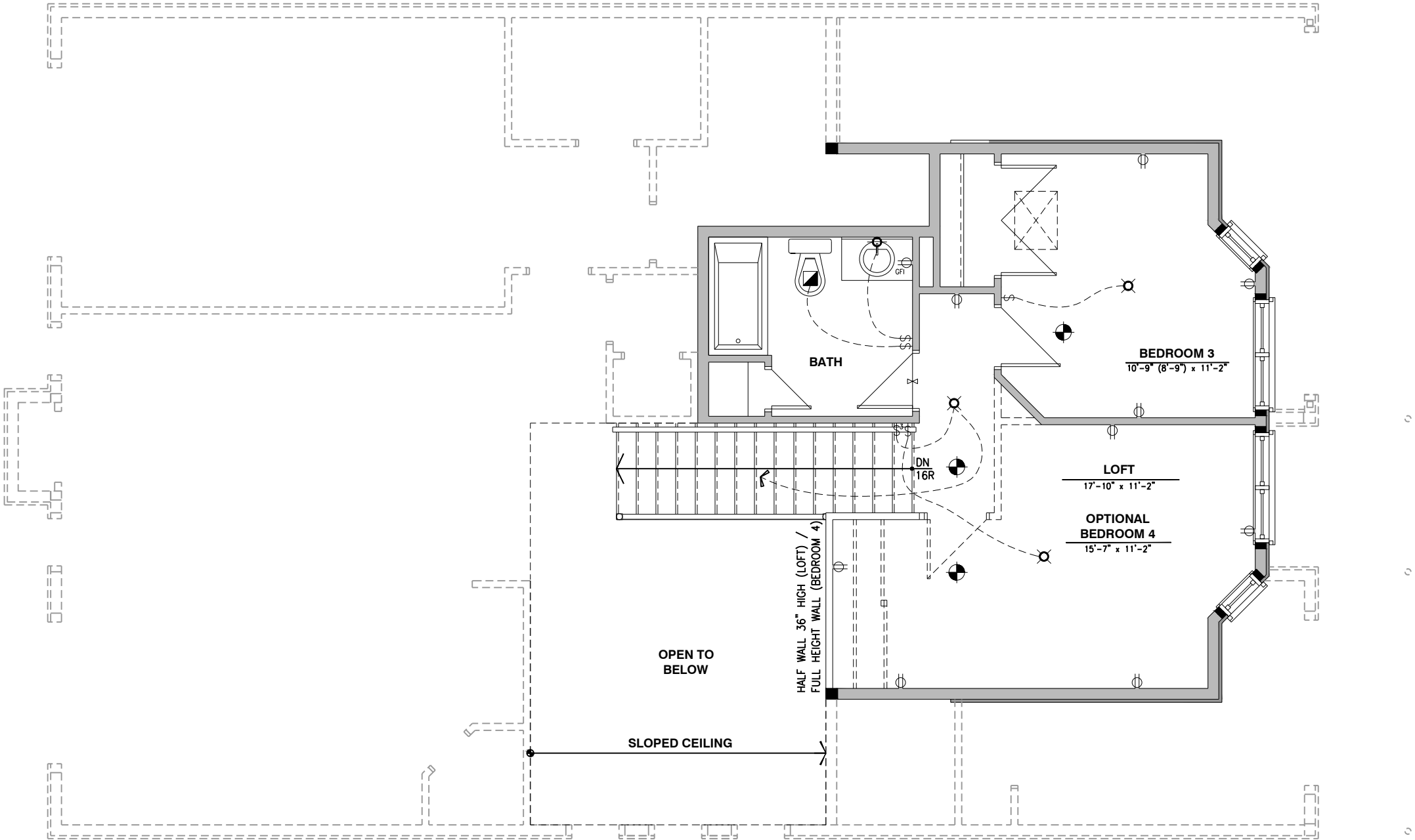
ELECTRICAL PLAN SECOND FLOOR - ELEV. LOFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3a



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION LOFT

SCALE: 3/16" = 1'-0"