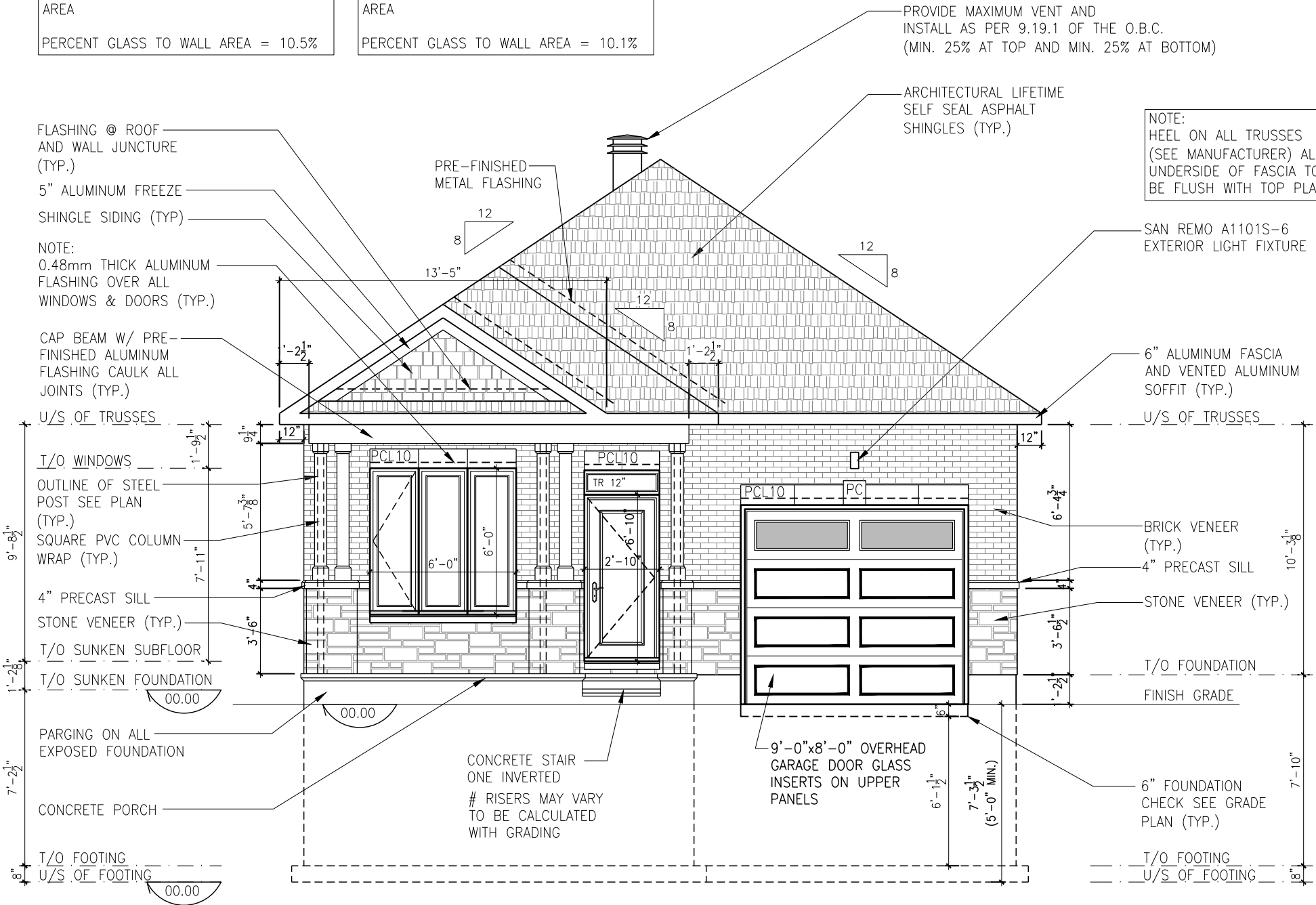


STANDARD PLAN: 3 BEDROOMS
GROSS INSULATED = 181 M. SQ. WALL AREA
GROSS WINDOW = 19.1 M. SQ. AREA
PERCENT GLASS TO WALL AREA = 10.5%

STANDARD PLAN: 2 BEDROOMS
GROSS INSULATED = 181 M. SQ. WALL AREA
GROSS WINDOW = 18.3 M. SQ. AREA
PERCENT GLASS TO WALL AREA = 10.1%



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A1a

FRONT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



Valecraft
Homes (2019) Limited

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NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

— PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

—ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

—6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

6" ALUMINUM FASCIA—
AND VENTED ALUMINUM
SOFFIT (TYP.)

CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)

U/S OF TRUSSES

BRICK VENEER

OUTLINE OF STEEL
POST SEE PLAN
(TYP.)

SQUARE PVC
WRAP (TYP.)

4" PRECAST SILL—
STONE VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE

CONCRETE PORCH

T/O FOOTING

U/S OF FOOTING

PARGING ON ALL —
EXPOSED FOUNDATION

(2) 15M—
HORIZONTAL
BARS

PATIO STONE—

PRESSURE TREATED —
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE – 59 m. sq.
AREA OF UNPROTECTED OPENINGS – 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS – 0 %

REINFORCED WALL FOR Laterally
UNSUPPORTED CONCRETE FOUNDATION.

- 15M VERTICAL BARS @ 12" o/c
- 15M L-DOWEL 10" HORIZONTAL x
24" VERTICAL @ 12" o/c IN FOOTING
- VERTICAL BARS SHALL BE TIED TO
THE L-DOWELS

RIGHT ELEVATION - ELEVATION A

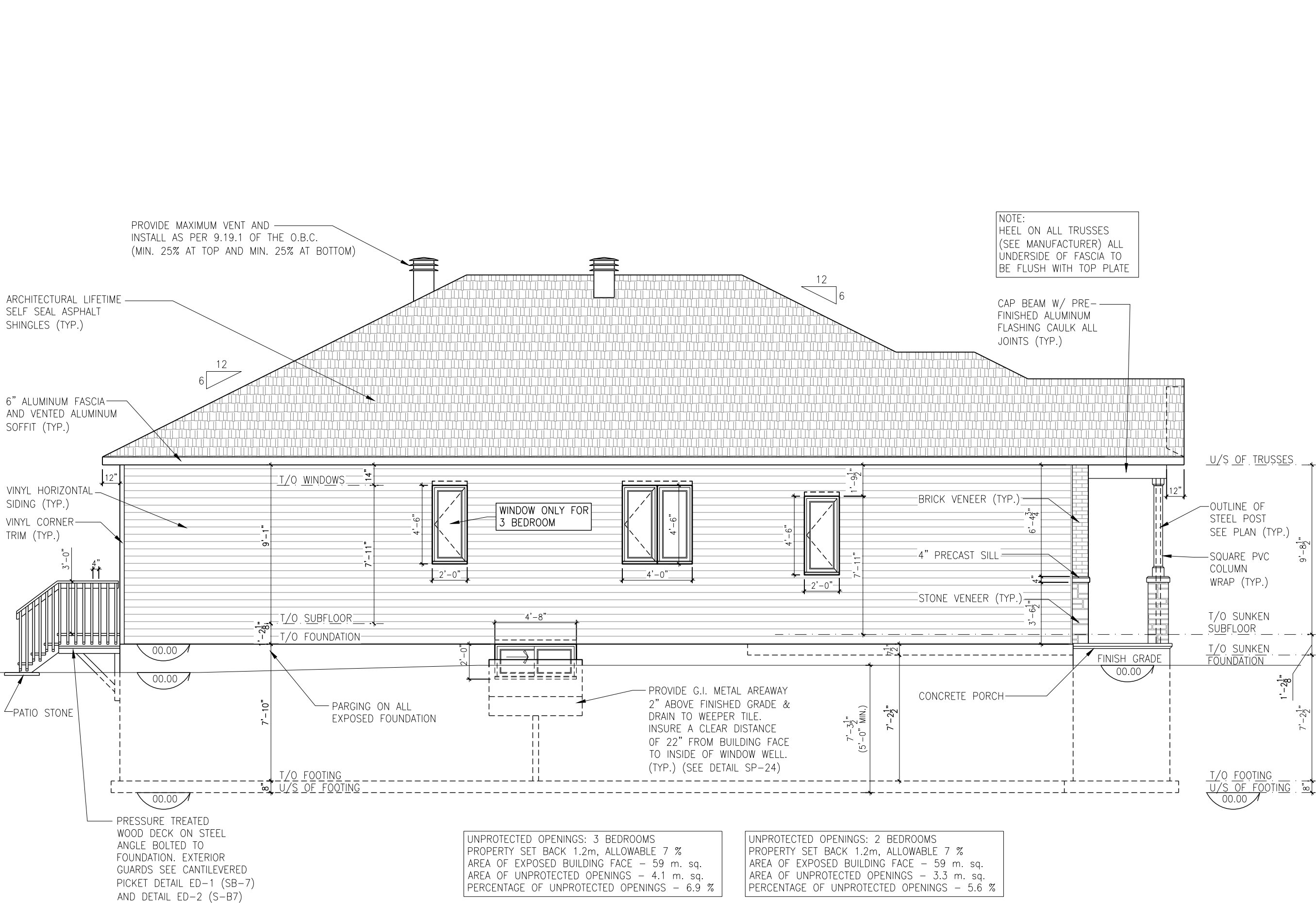
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A2a



LEFT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

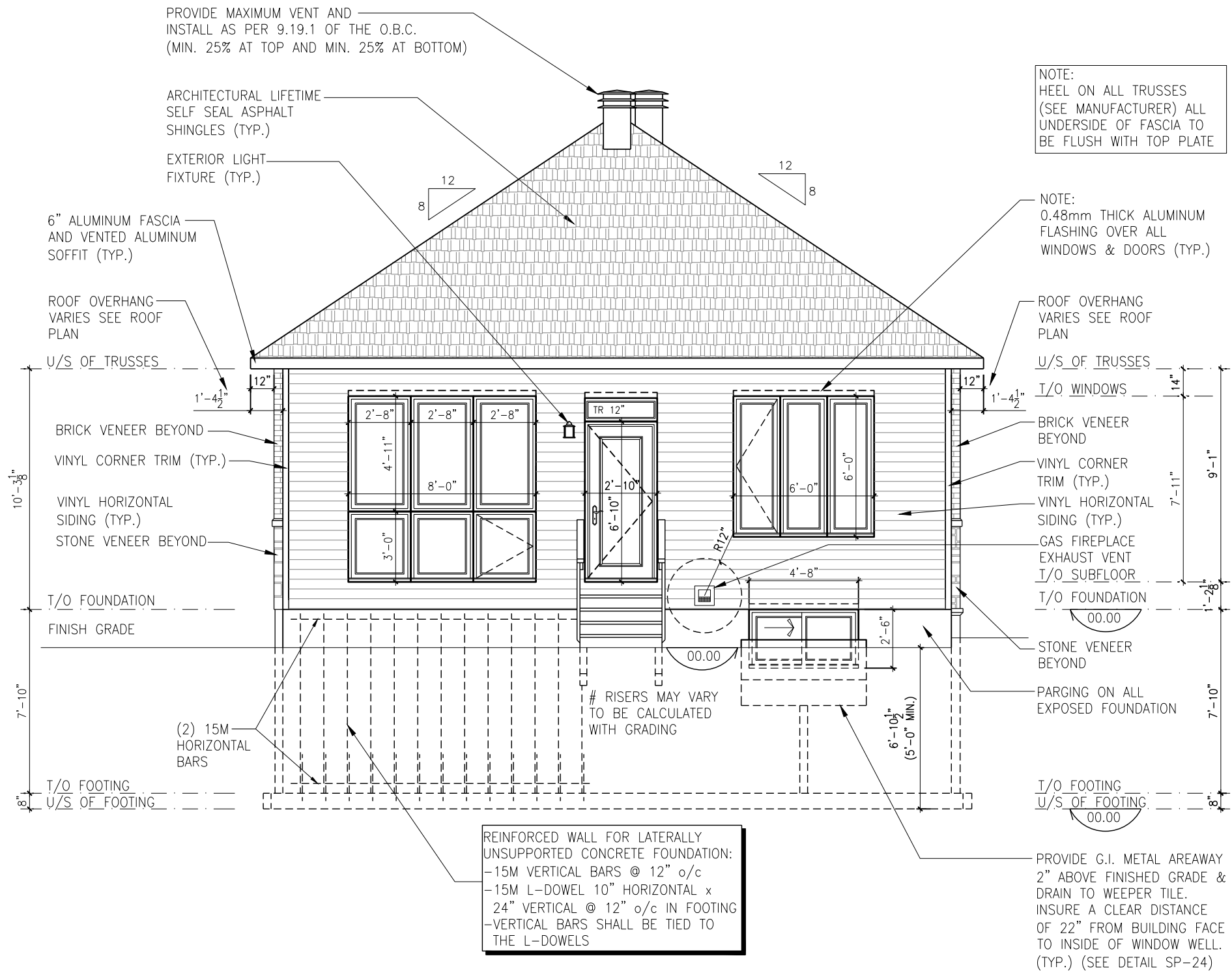
**LEFT ELEVATION
ELEVATION A**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**804 - THE MANNING
2023 FOOTPRINT**
(STANDARD DRAWINGS)

A3a

CONSTRUCTION SITES:
SHEA VILLAGE



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PCL10 - 10" PRECAST LINTEL

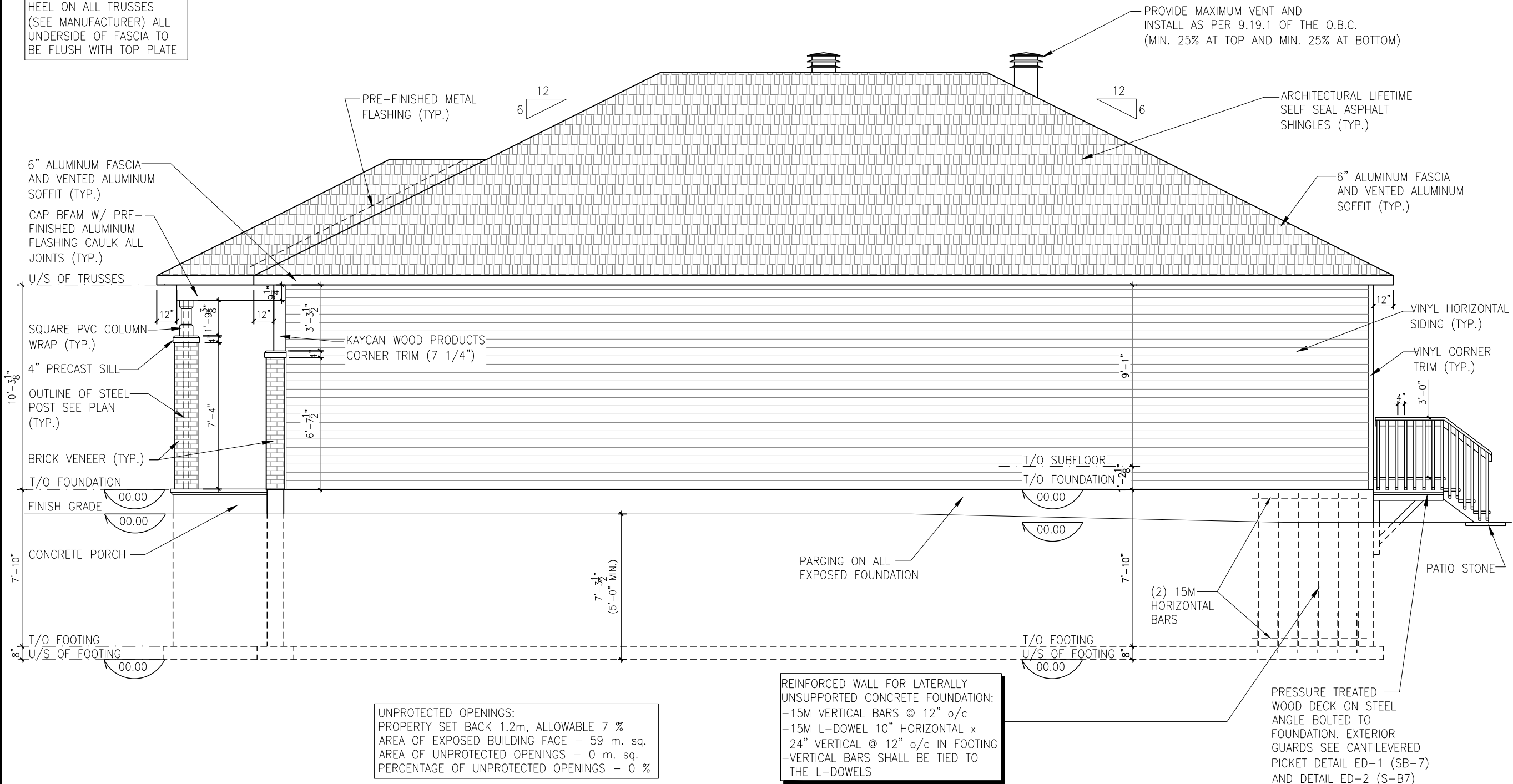
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



RIGHT ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION
ELEVATION B**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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804 - THE MANNING 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A2b



Valecraft
Homes (2019) Limited

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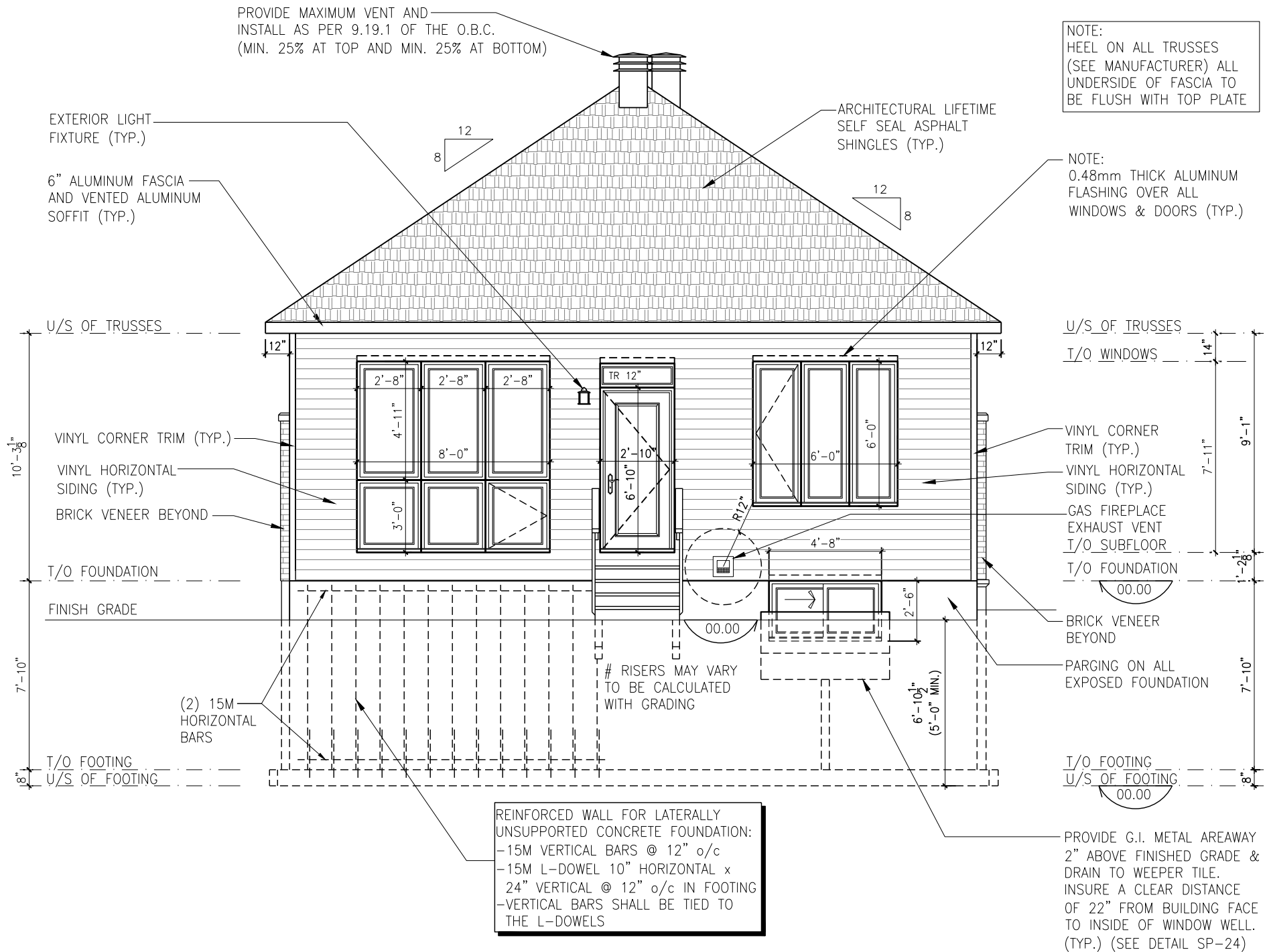
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LEFT ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A3b

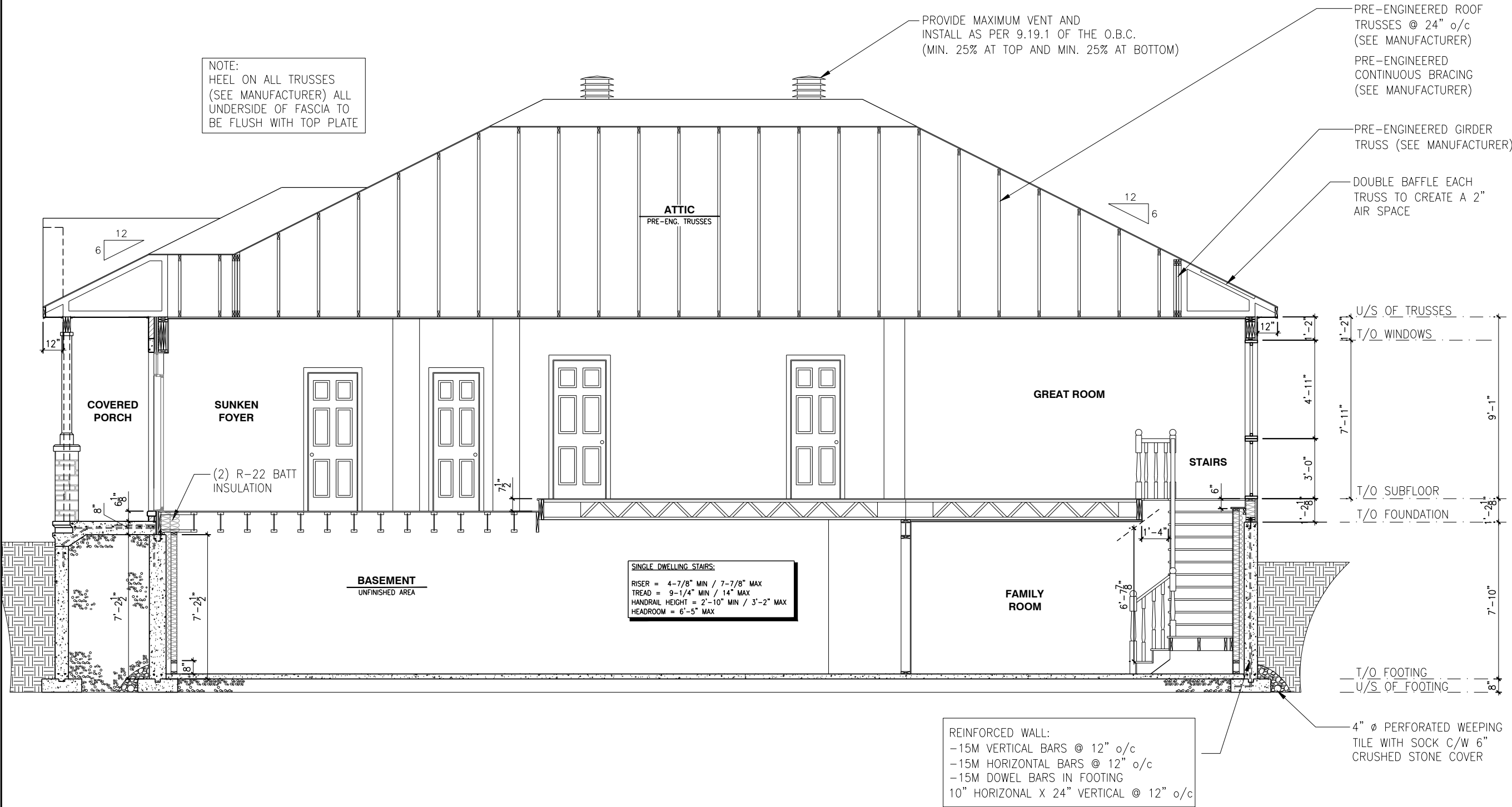


2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION
ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



BUILDING SECTION - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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EXTERIOR FINISH LEGEND:	
B	- BRICK (MAIN)
B1	- BRICK SOLDIER COURSE (ACCENT)
B2	- BRICK SOLDIER COURSE (ACCENT)
	+ 20mm PROUD
B3	- BRICK SLEEPER COURSE
B4	- STACK BOND (ACCENT)
B5	- BRICK SILL (ACCENT)
B6	- BRICK ROW LOCK (ACCENT)
B7	- BRICK CORBELLING
B8	- BRICK COINING 20mm PROUD
+20	- BRICK 20mm PROUD
-20	- BRICK 20mm RECESSED
S	- SIDING (HORIZONTAL)
SV	- SIDING (VERTICAL)
ST	- STONE VENEER
T	- TRIM 200mm COVE SIDING
AF	- ALUMINUM FASCIA
AC	- ALUMINUM CLADDING
AB	- 48" ALUMINUM BAND
AS	- ASPHALT SHINGLES
F	- FLASHING
V	- ROOF VENT (MAXIMUM)
P	- PARGING
PC	- PARGING
PCH10	- PRECAST HEADER 10"
PCH8	- PRECAST HEADER 8"
PCS	- PRECAST SILL
PCB	- PRECAST BAND
VS	- VINYL SHAKES
VEC	- SIDING (VERTICAL CORNER)
KC	- KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

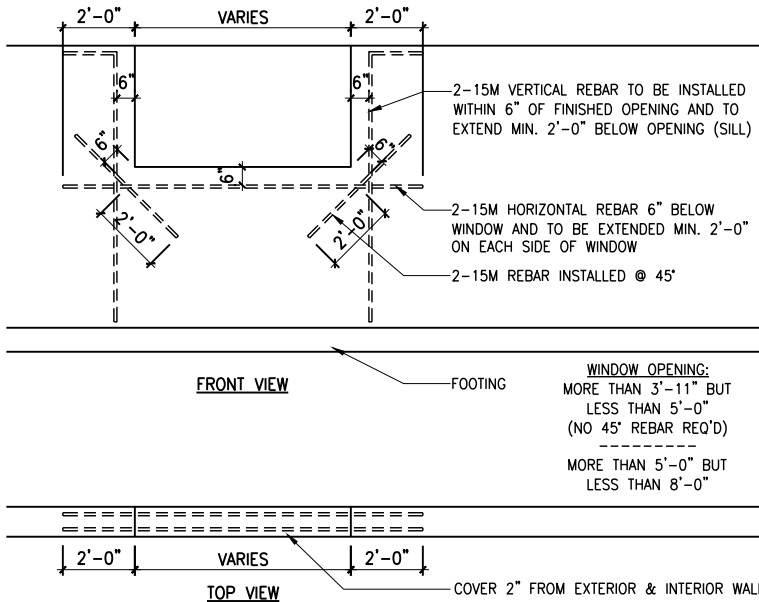
**BUILDING SECTION
ELEVATION A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**804 - THE MANNING
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A5a

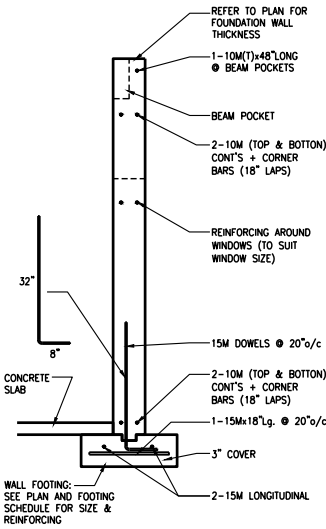
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



1
A.6

BASEMENT WINDOW REINFORCING

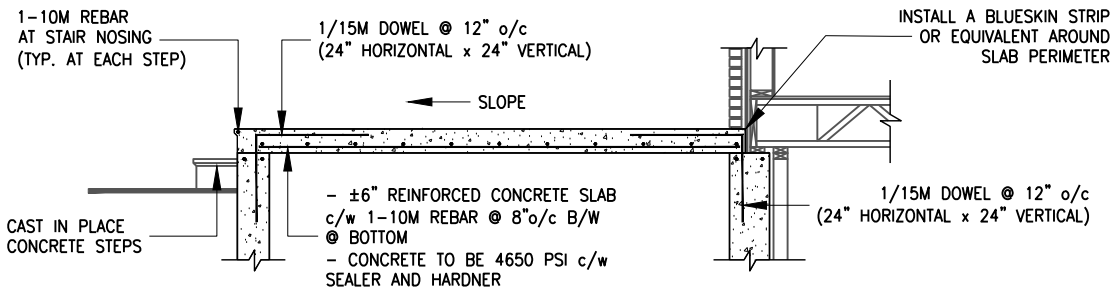
SCALE: 3/16" = 1'-0"



2
A.6

CONCRETE WALL REINFORCING

SCALE: 1/4" = 1'-0"



3
A.6

CONCRETE PORCH REINFORCING

SCALE: 1/4" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **FOOTING SCHEDULE AND CONCRETE DETAILS**

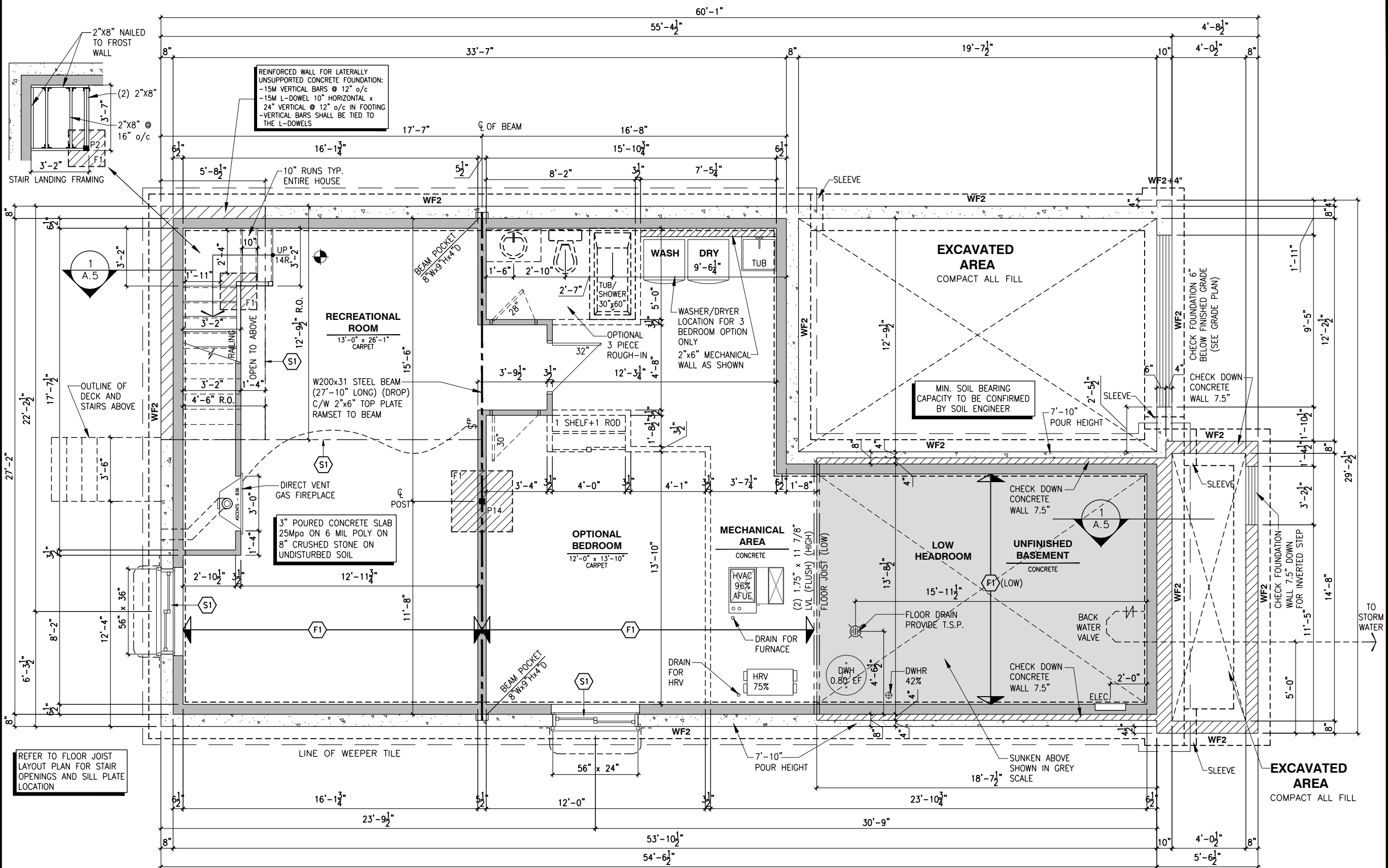
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A6

CONSTRUCTION SITES:
SHEA VILLAGE



REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION

BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

FLOOR FRAMING:
F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX
DATE: XX/XX/XXXX
Valecraft Homes (2019) Limited

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P10	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*)	= 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT FLOOR PLAN ELEVATION A AND B

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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NOTES:
STEEL LINTEL:
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2012 O.B.C. DRAWINGS

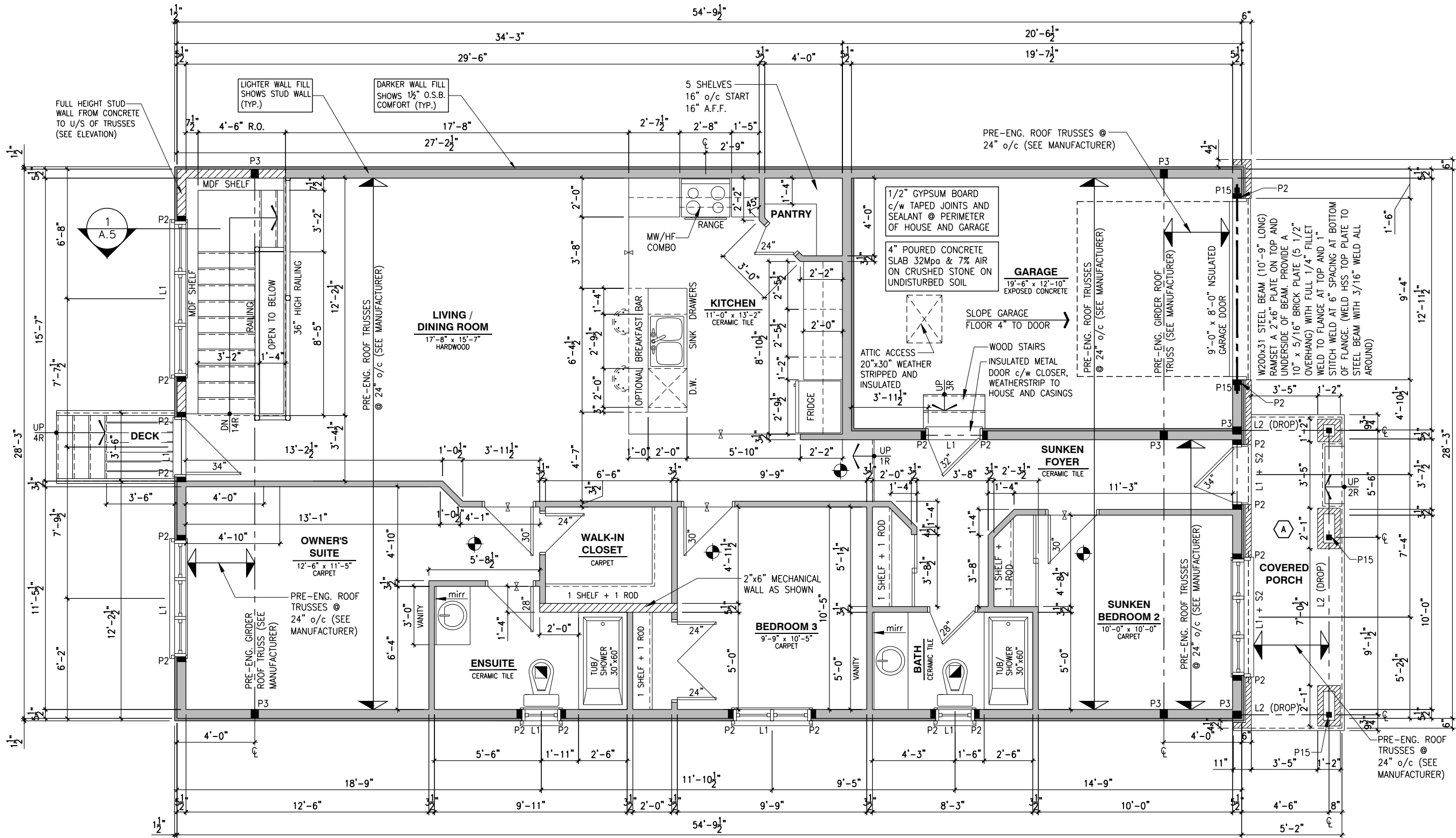
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7a



ROOF AND FLOOR LAYOUT NOTES:
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NOTES:
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PORCH CONSTRUCTION:
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NOTE:
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GENERAL NOTES:
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GROUND FLOOR PLAN - 3 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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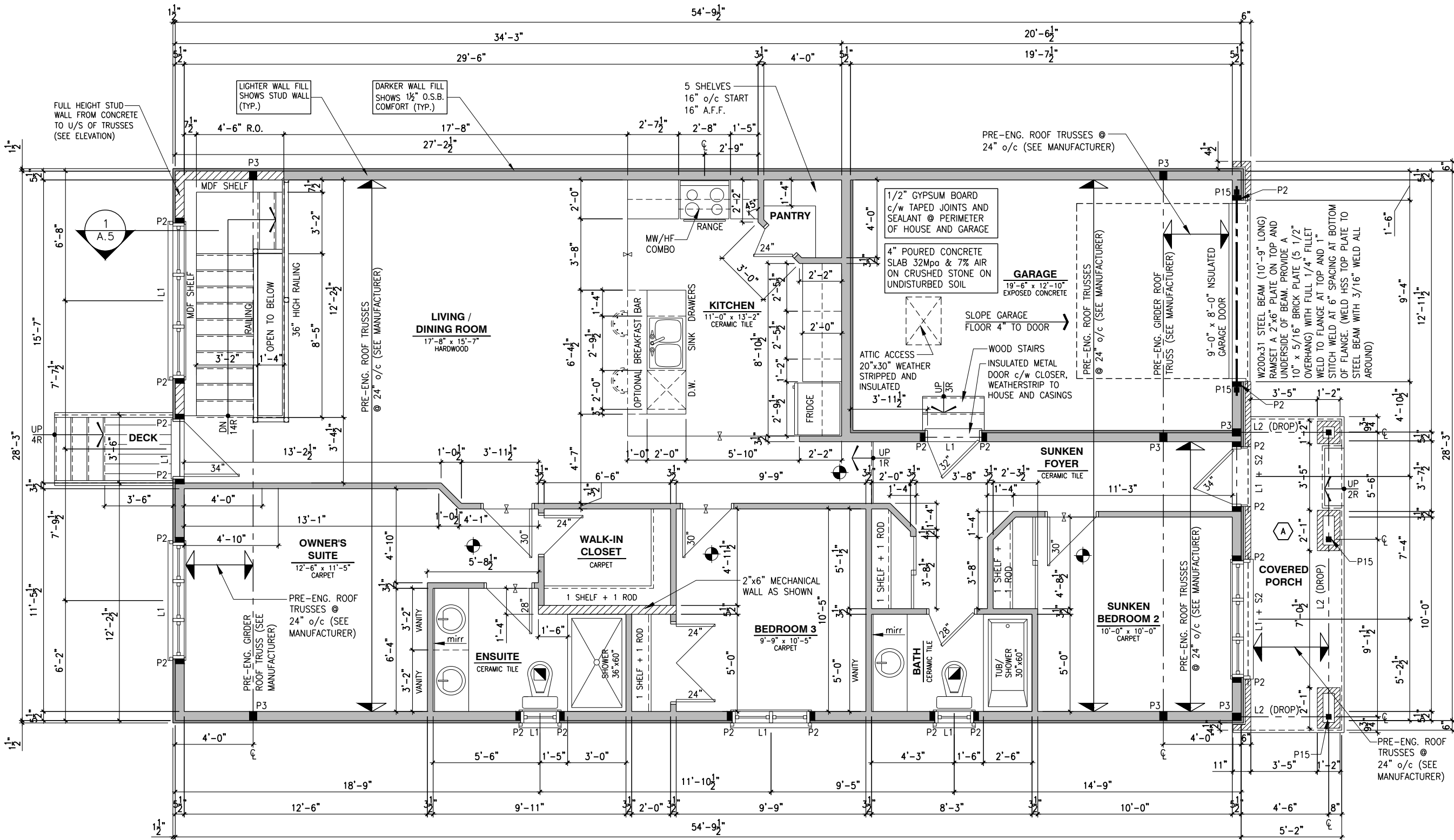
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- LINTEL TABLE:
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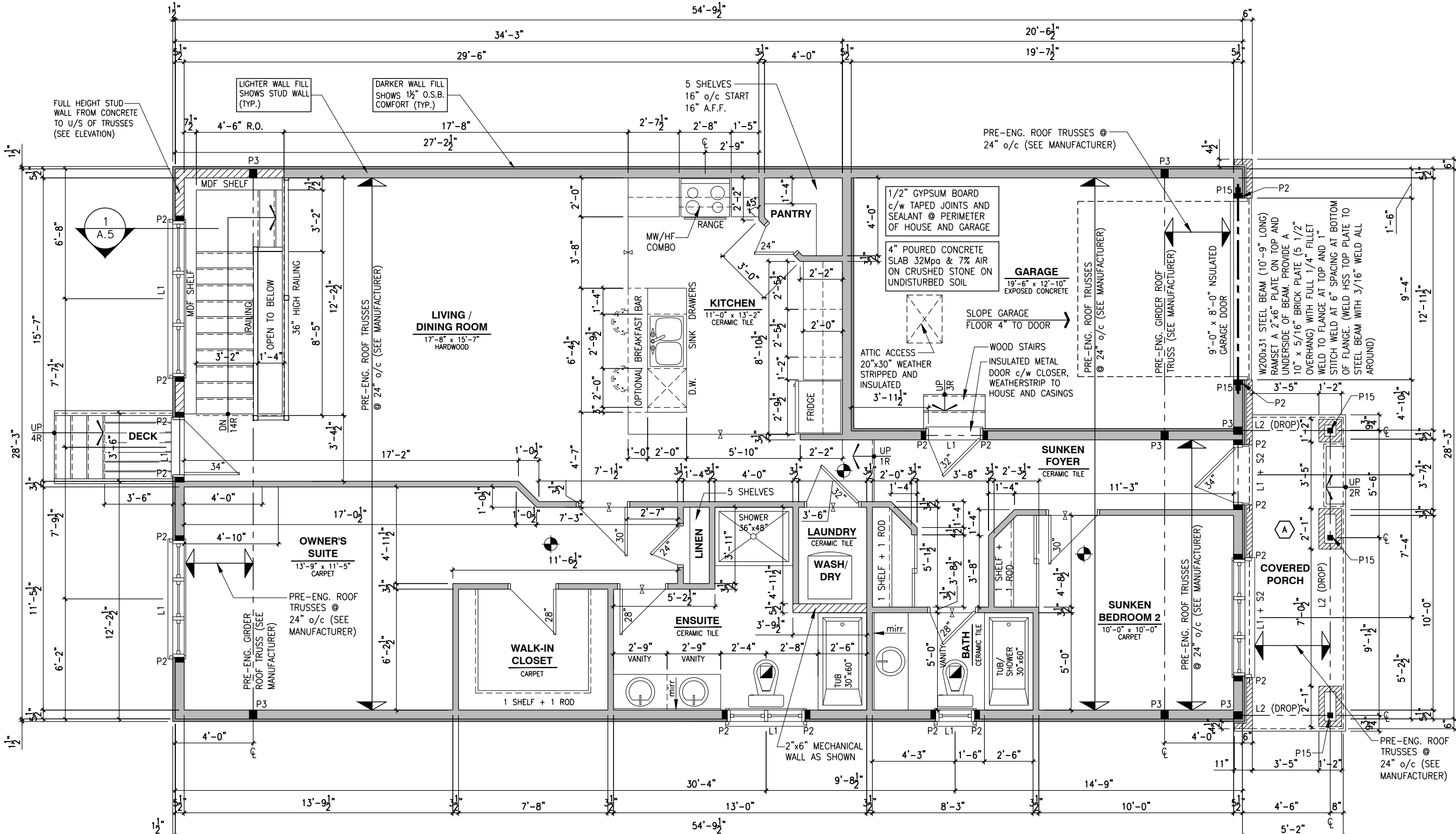
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7c



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GROUND FLOOR PLAN - 2 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 09/20/2023 DOYON

NO. DESCRIPTION DATE BY

DRAWING:

GROUND FLOOR - ELEVATION B

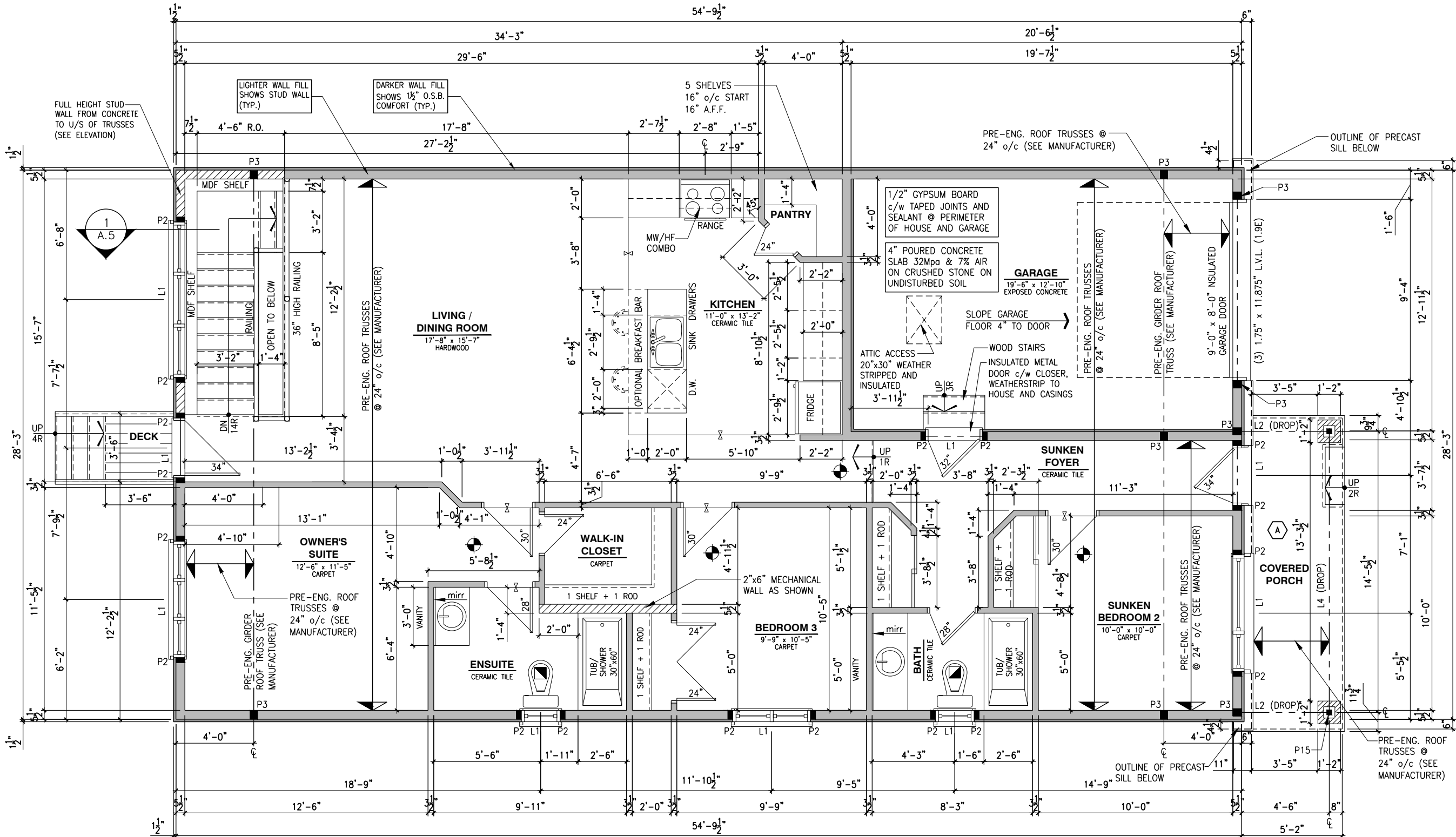
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING

2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7d



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
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PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

CONSTRUCTION SITES:
SHEA VILLAGE

GROUND FLOOR PLAN - 3 BEDROOM - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:

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LINTEL TABLE:
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POST TABLE:

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2012 O.B.C. DRAWINGS

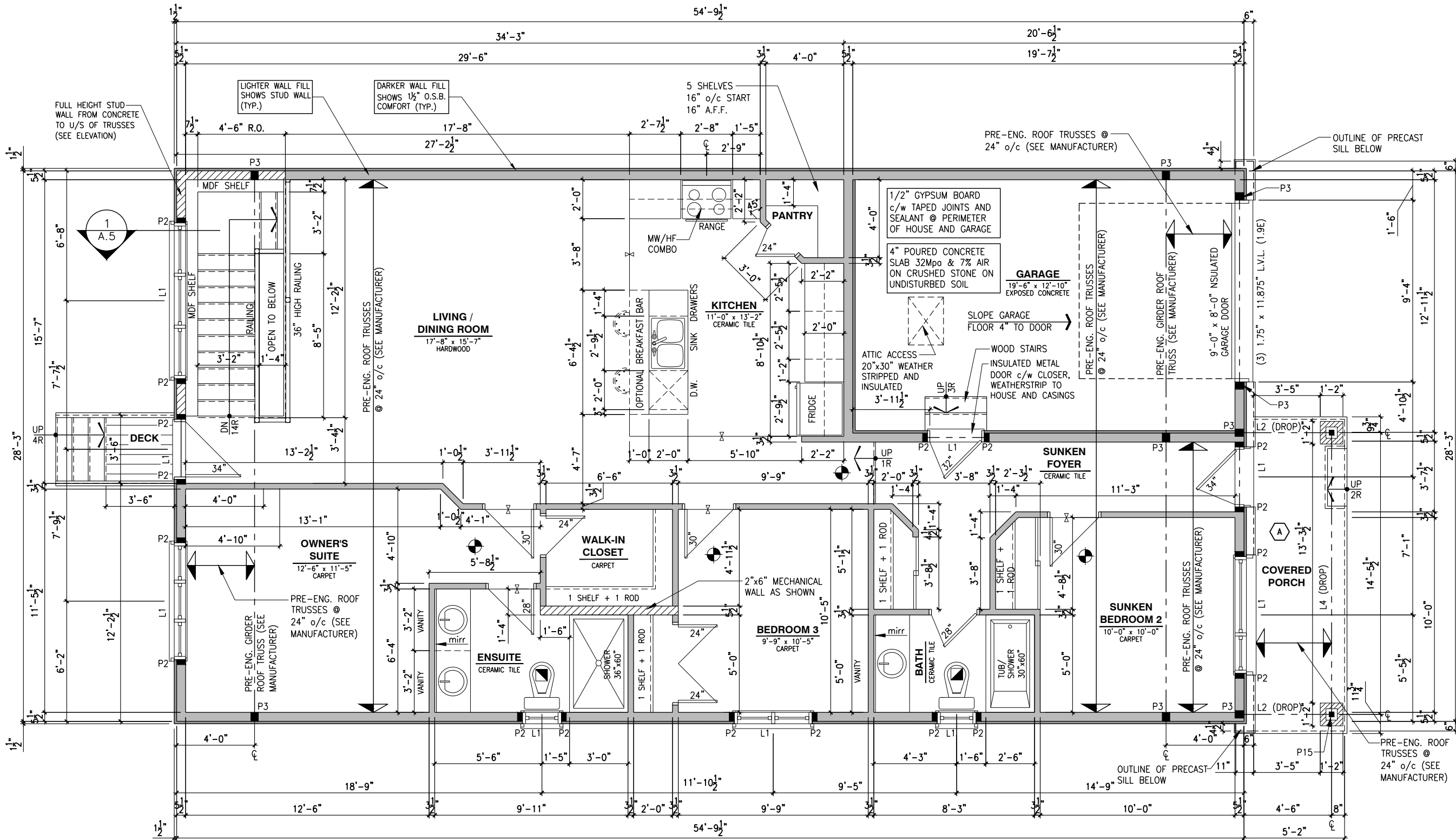
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7e



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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

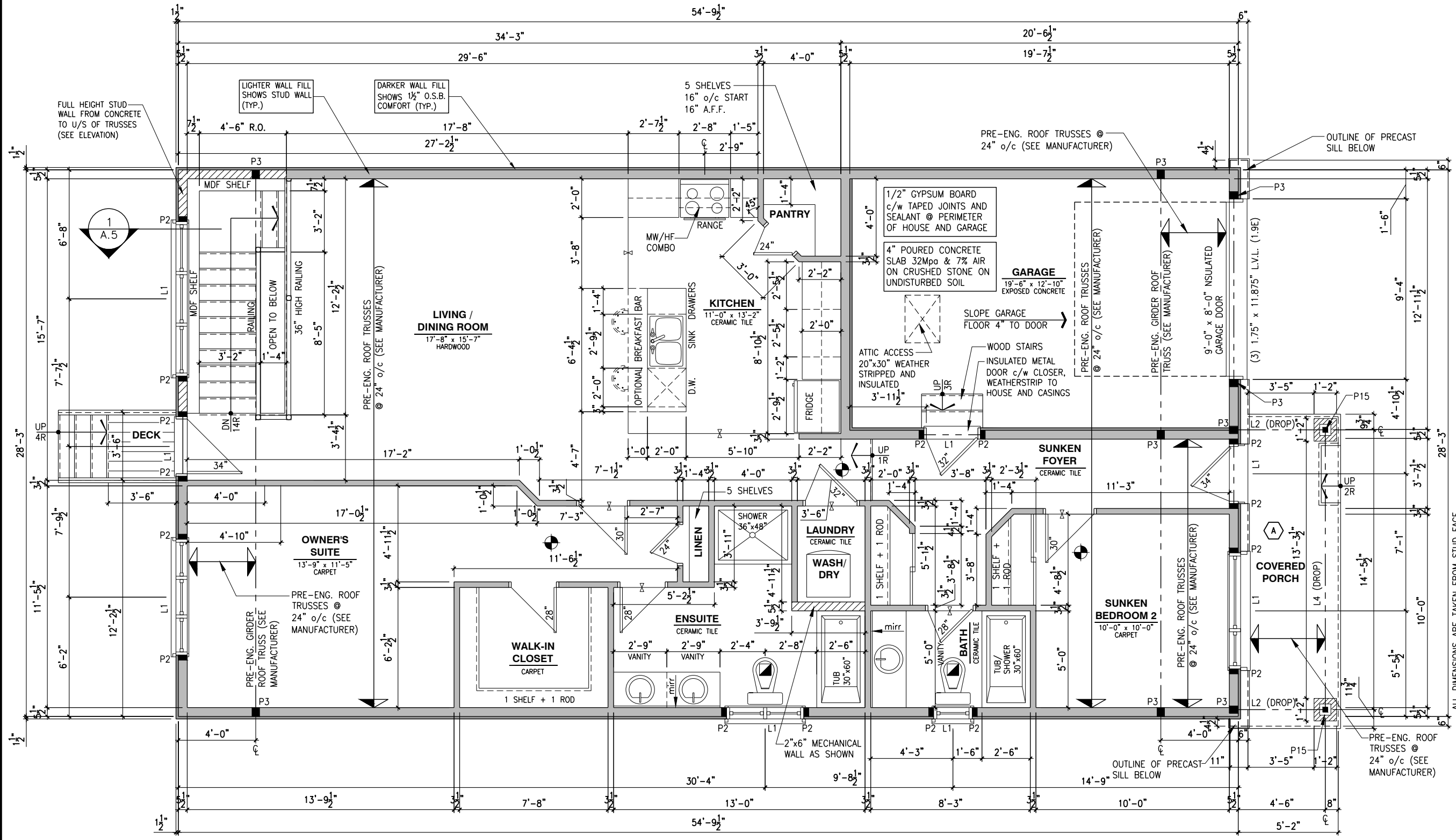
GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7f



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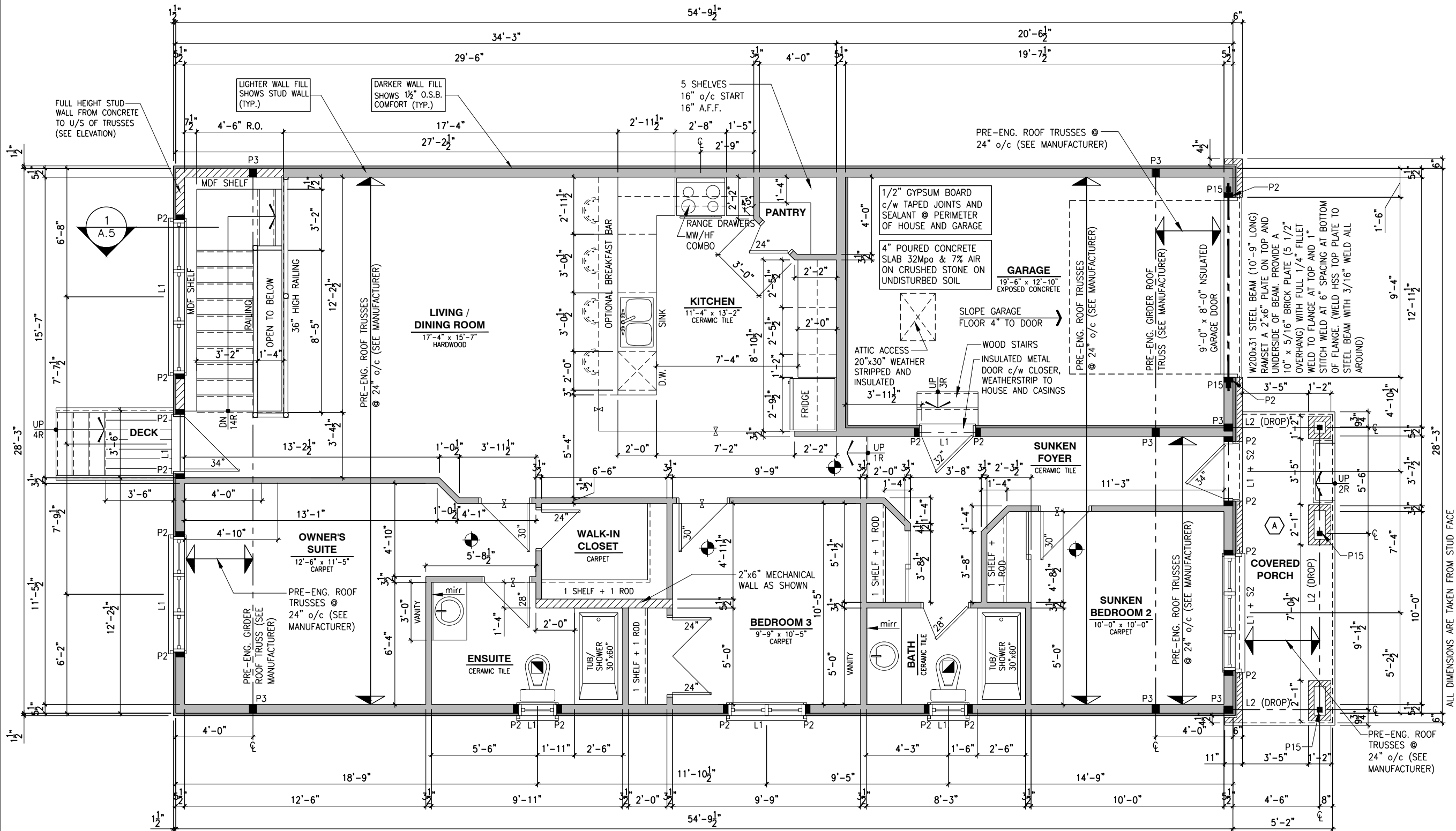
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LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7g

GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

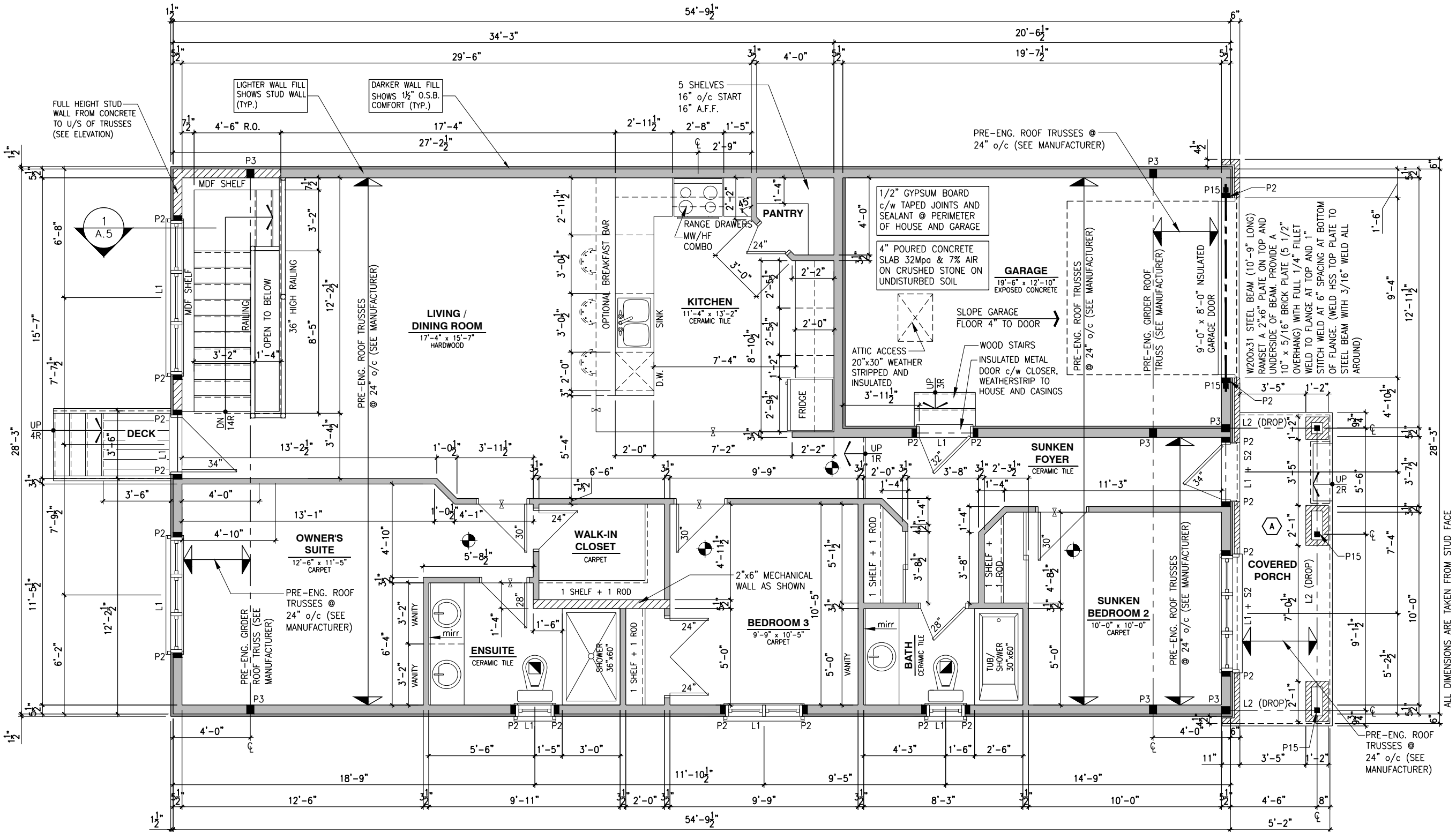
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7h



ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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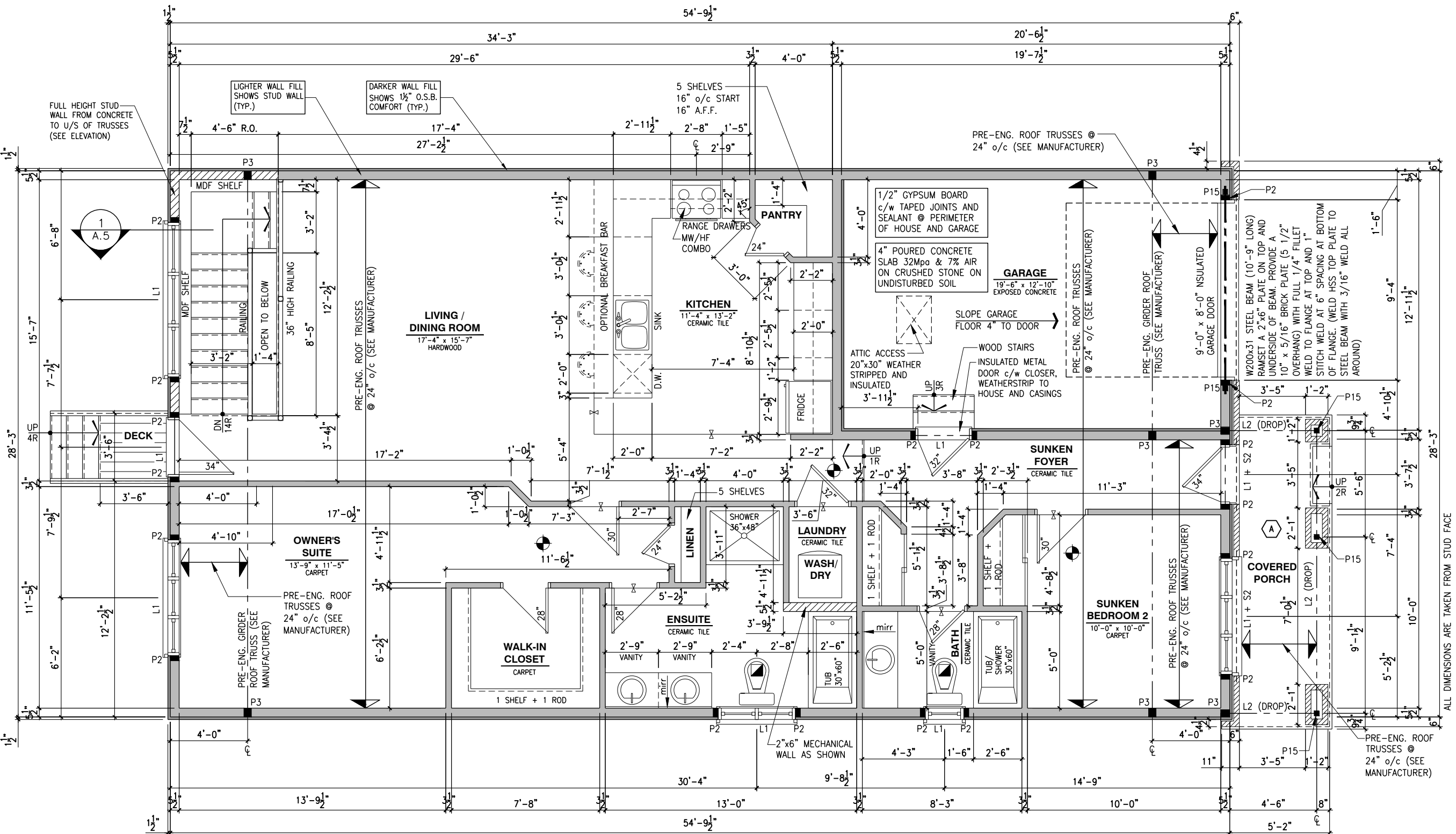
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7i



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GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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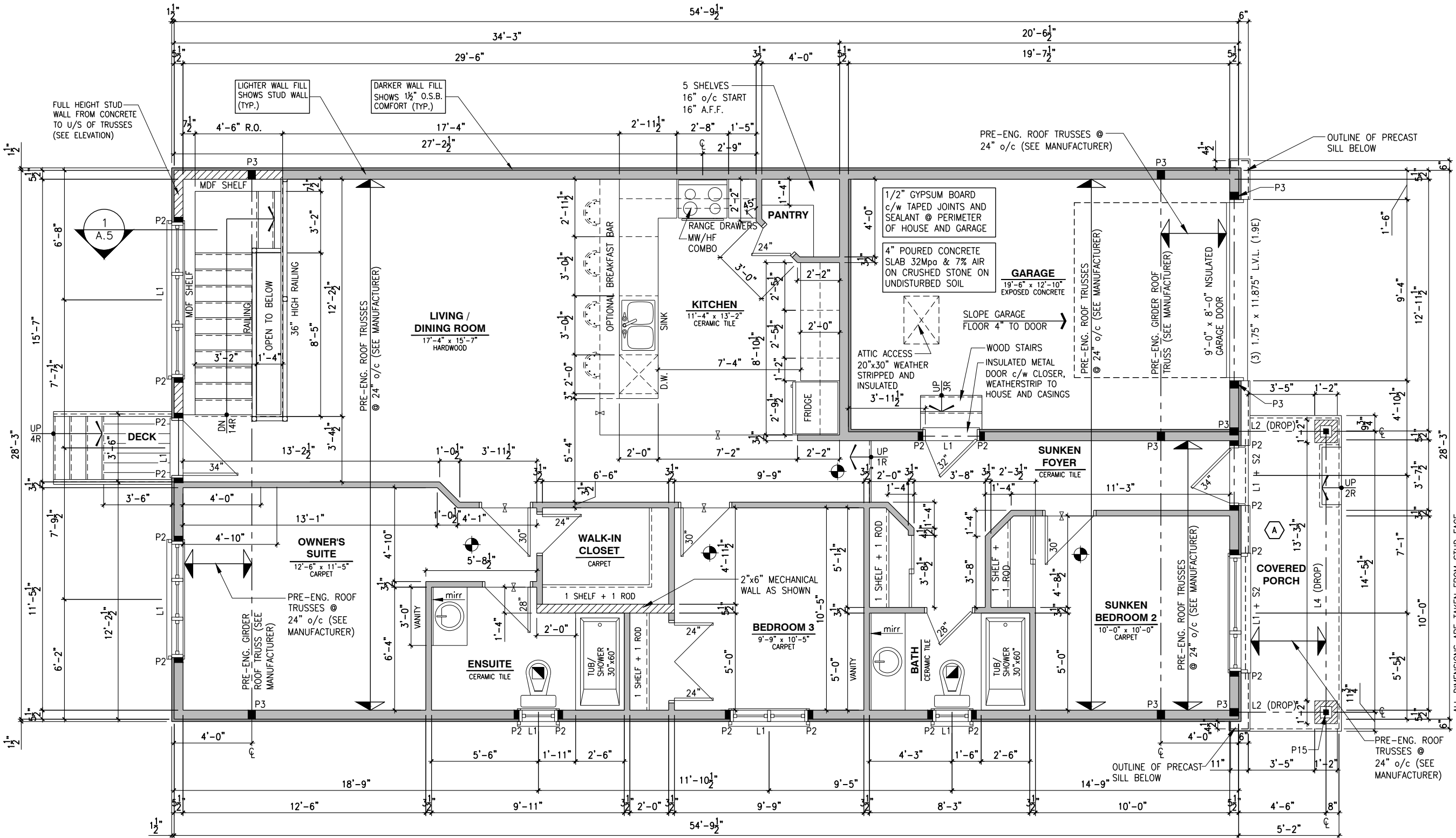
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7j



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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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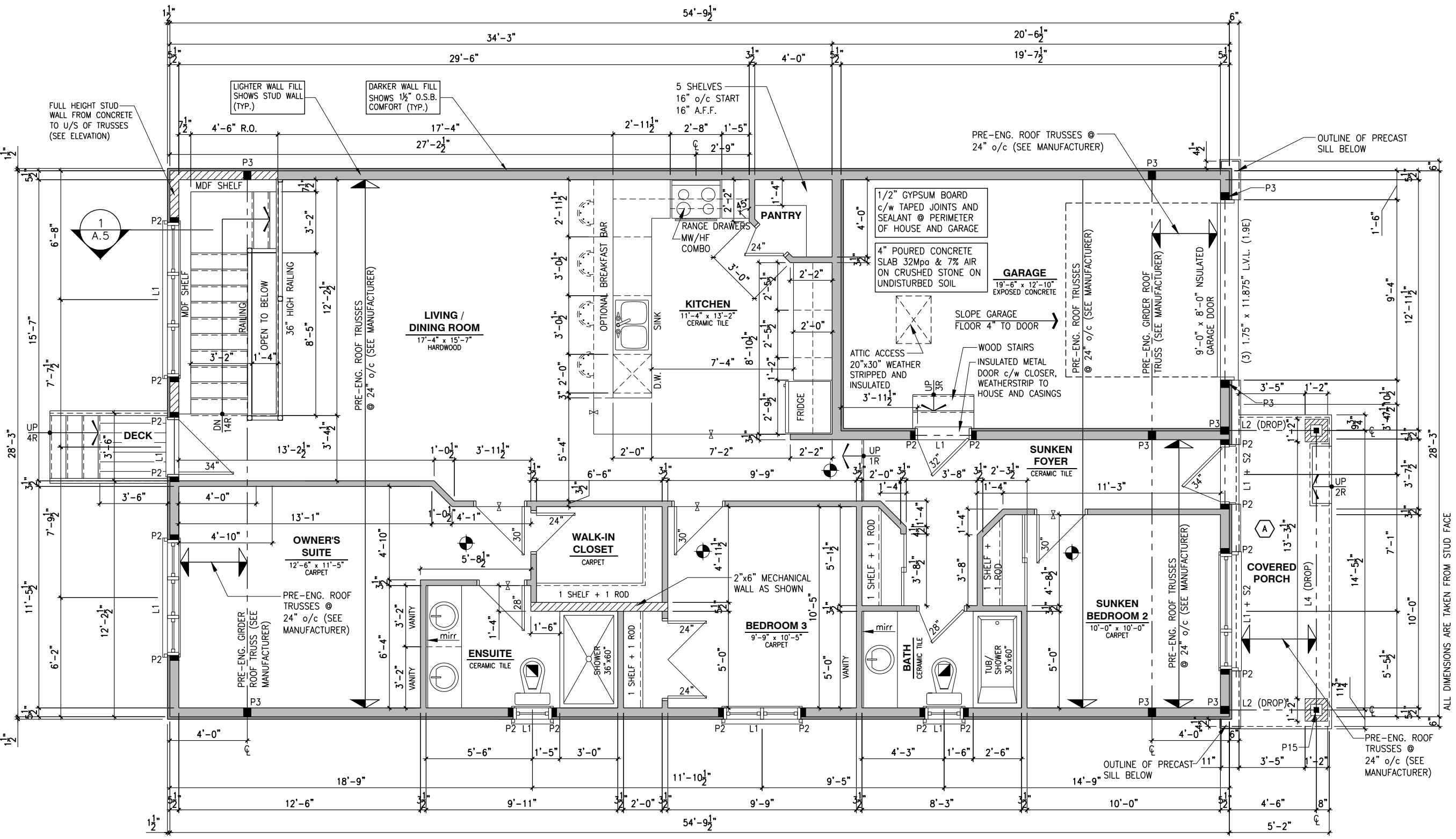
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NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7k



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- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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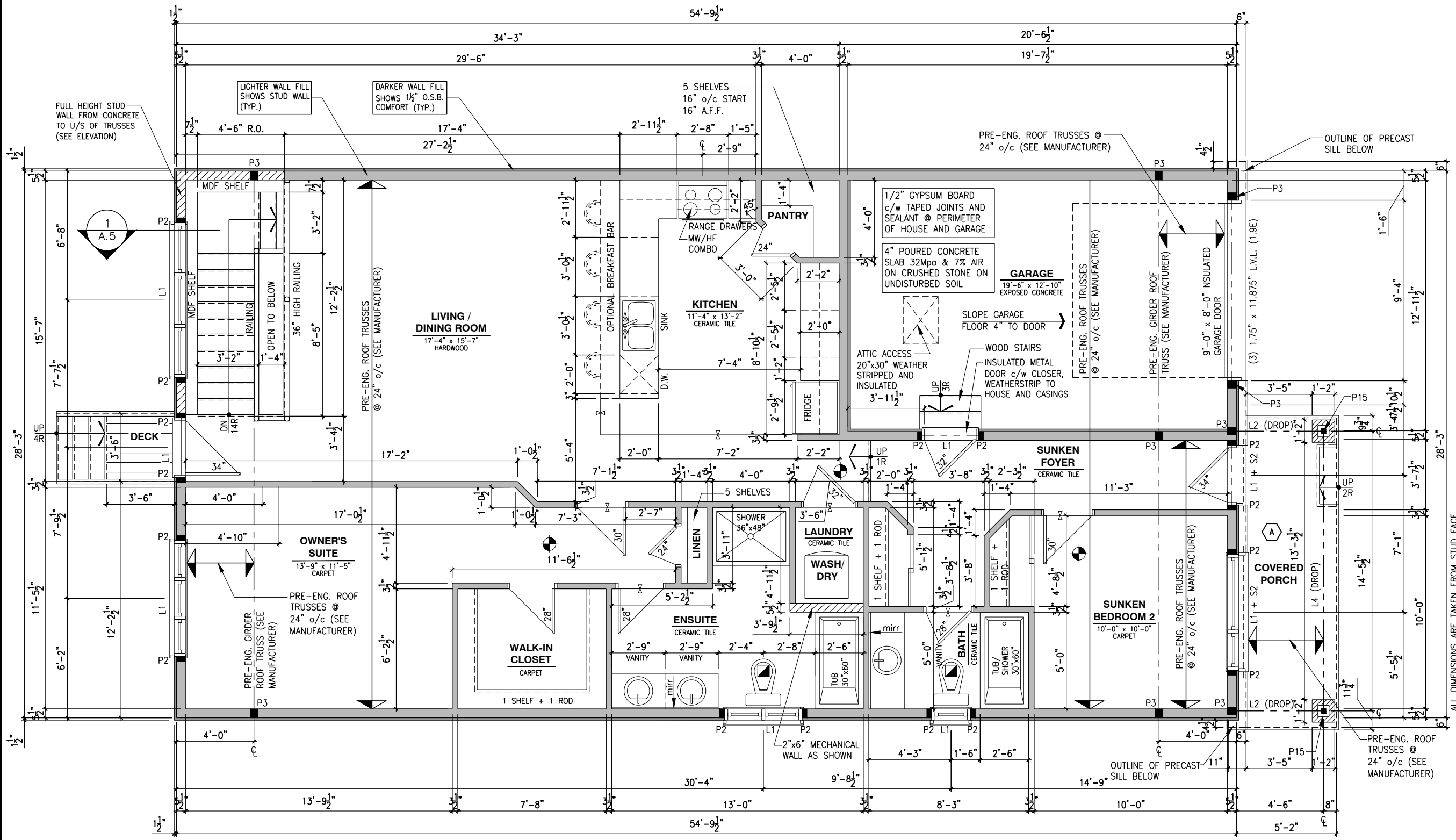
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:
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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
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P2 = 2-2x4 OR 2-2x6
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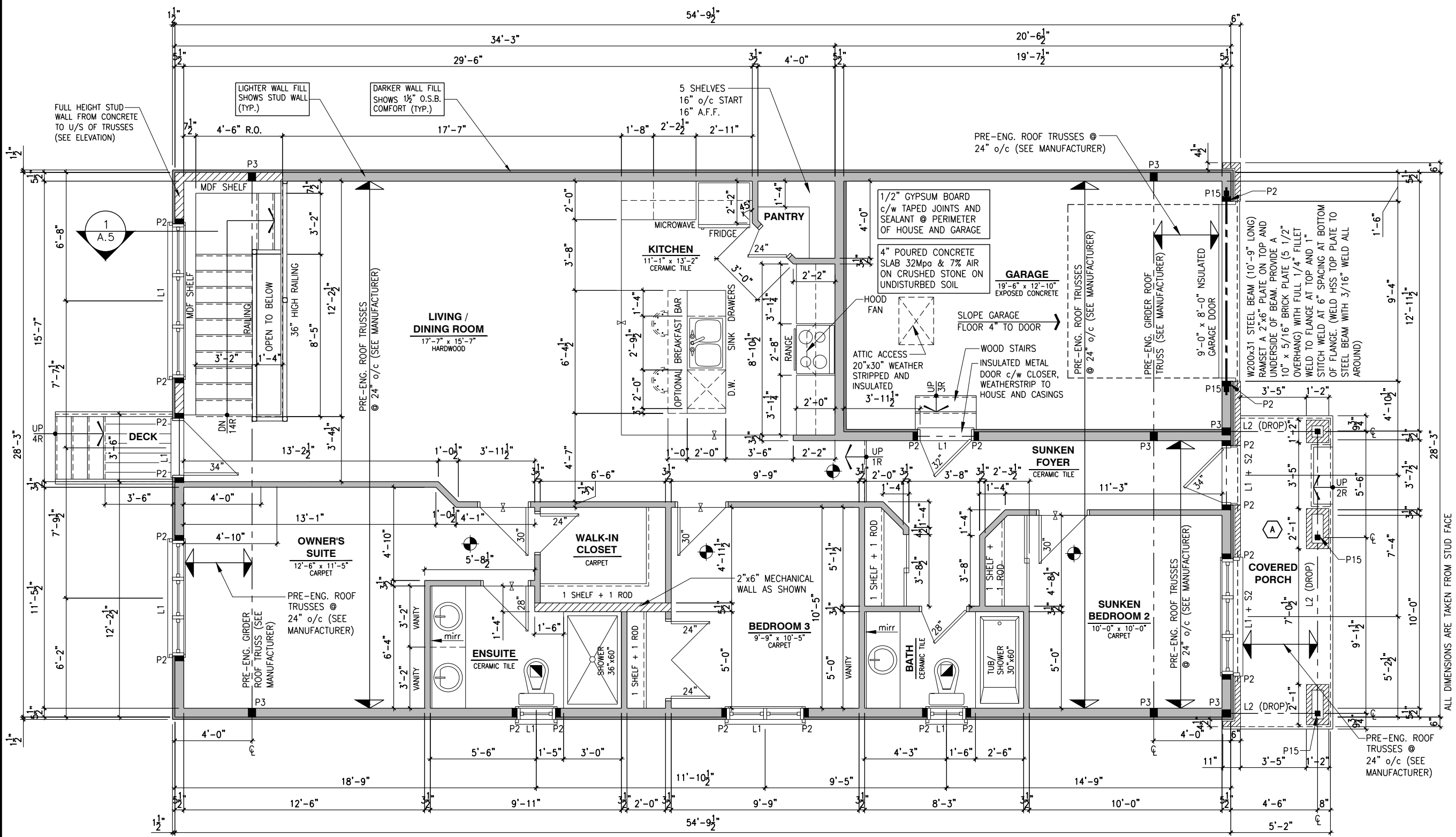
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7n



ROOF AND FLOOR LAYOUT NOTES:
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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 09/20/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING:

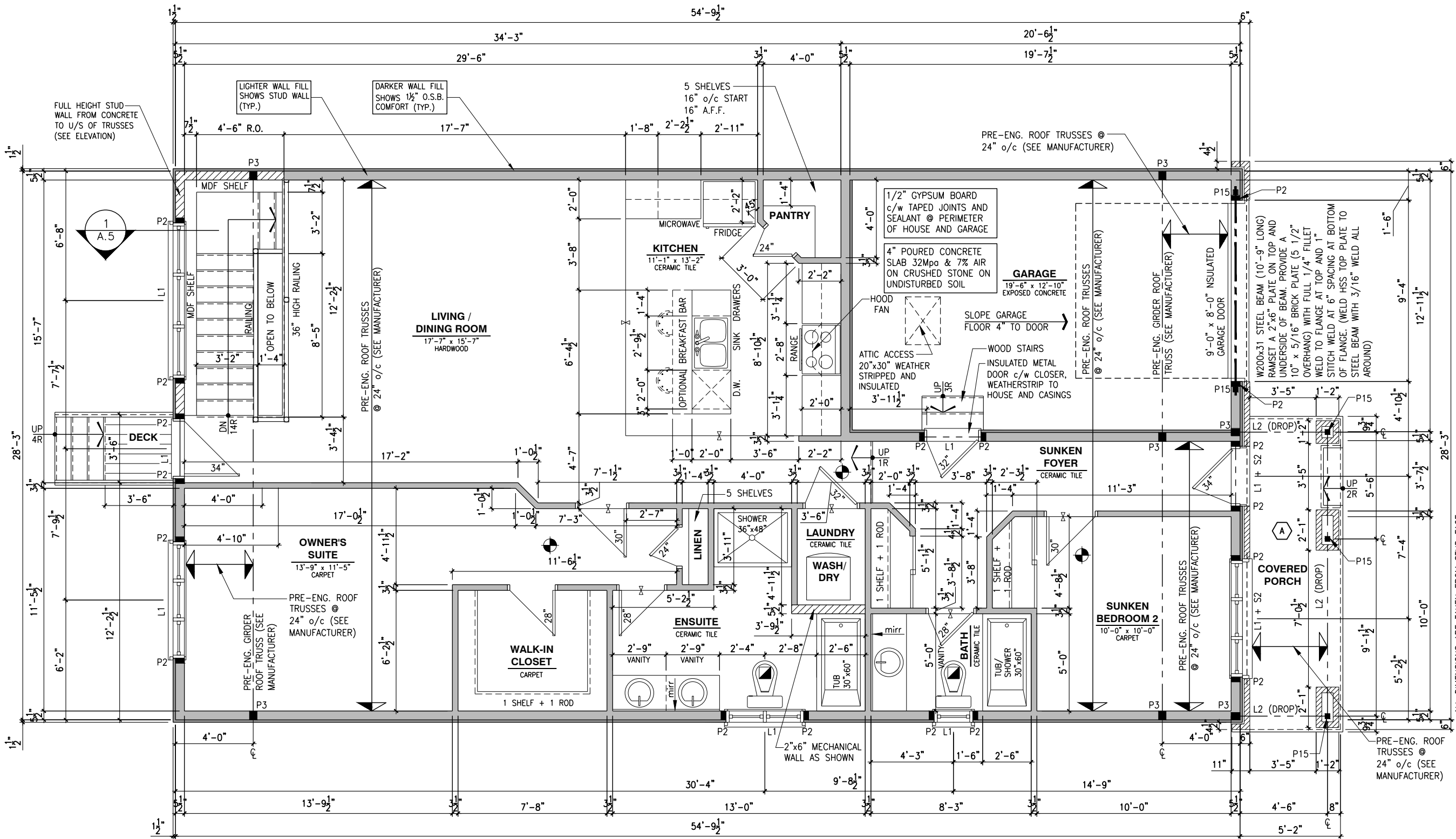
GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A7o



ROOF AND FLOOR LAYOUT NOTES:

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GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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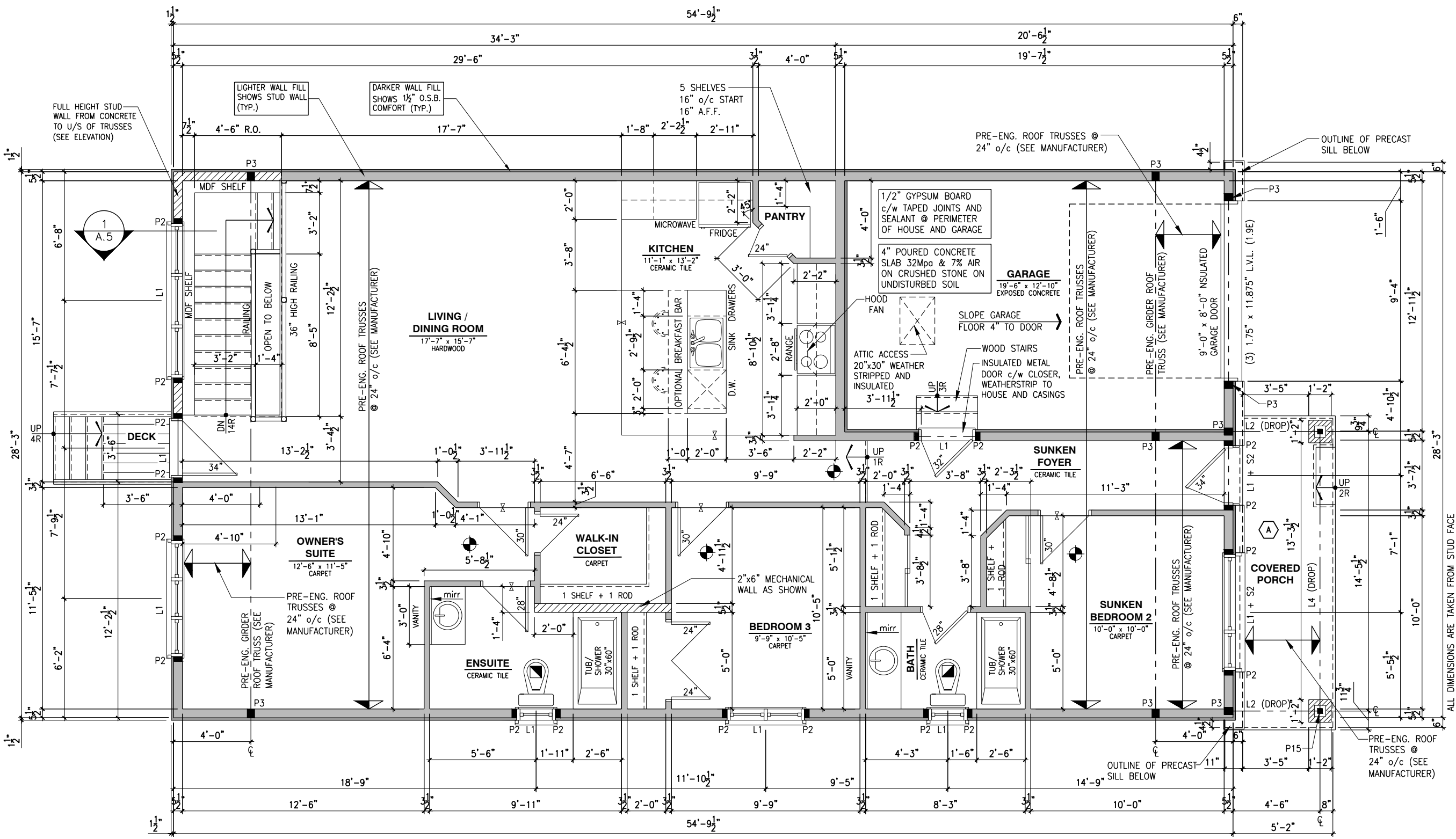
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2012 O.B.C. DRAWINGS

REV-1	NO.	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
		DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx



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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

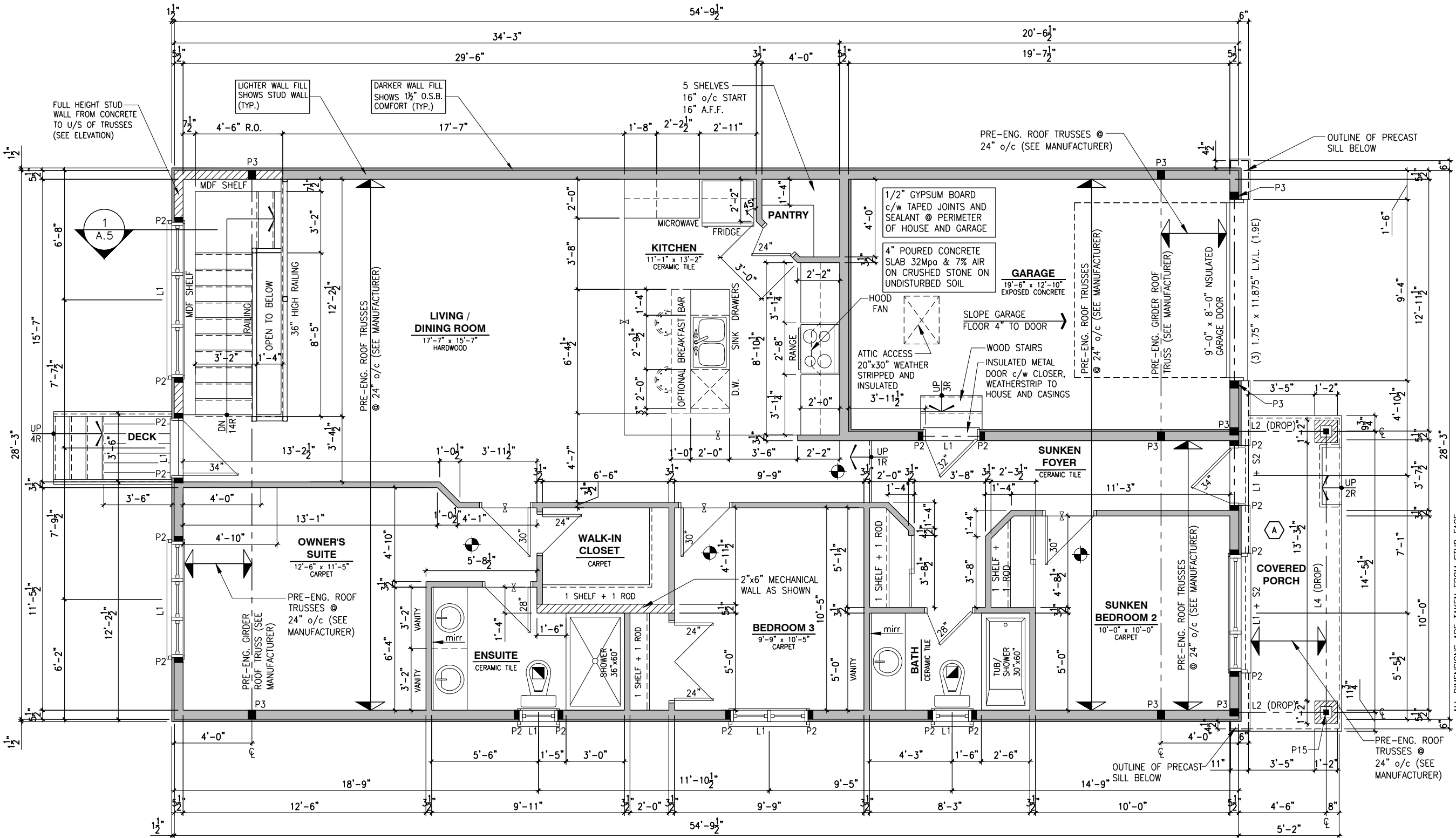
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7q



ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:
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PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- NOTES:
- STEEL LINTEL:
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 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
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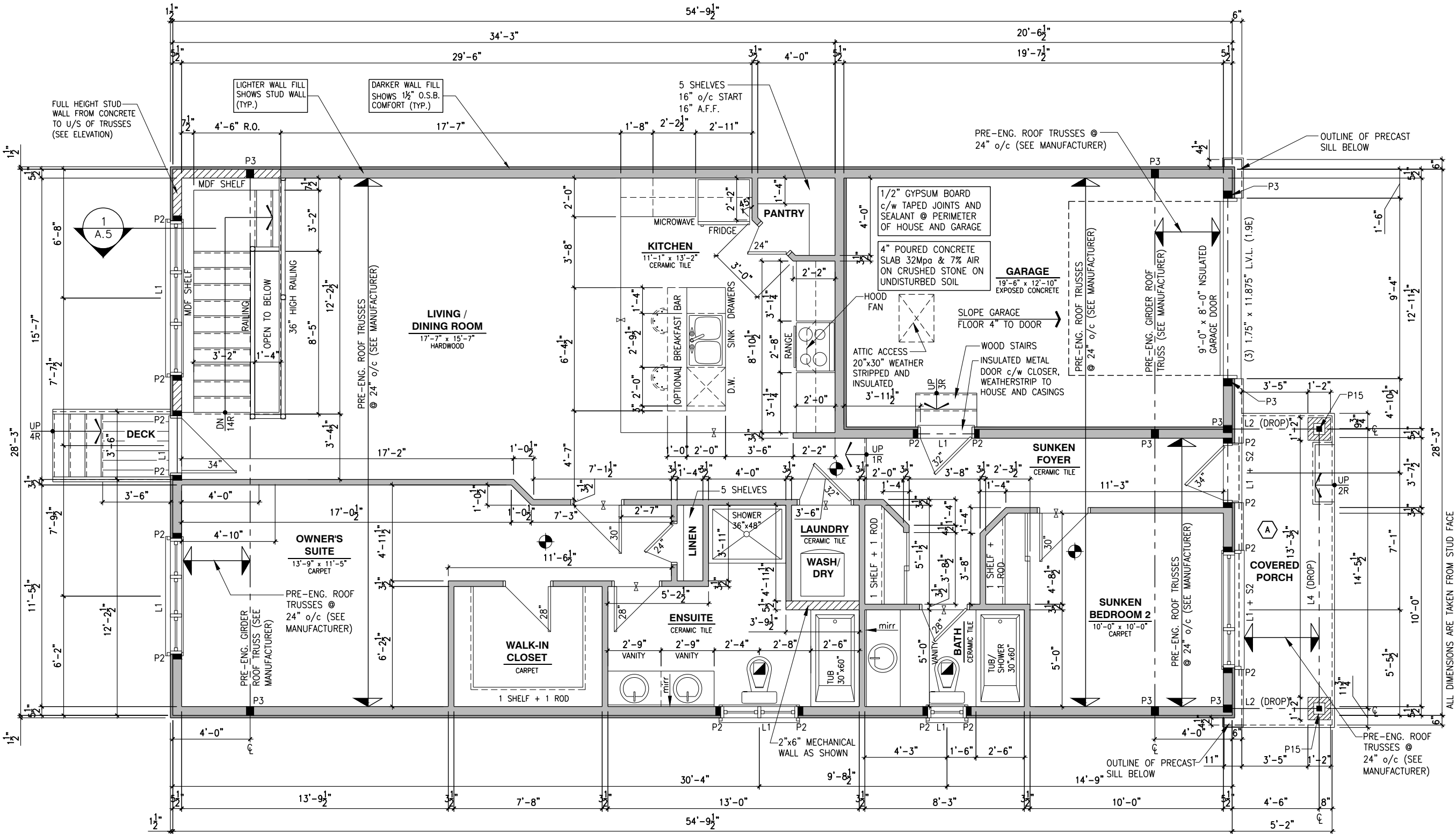
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7r



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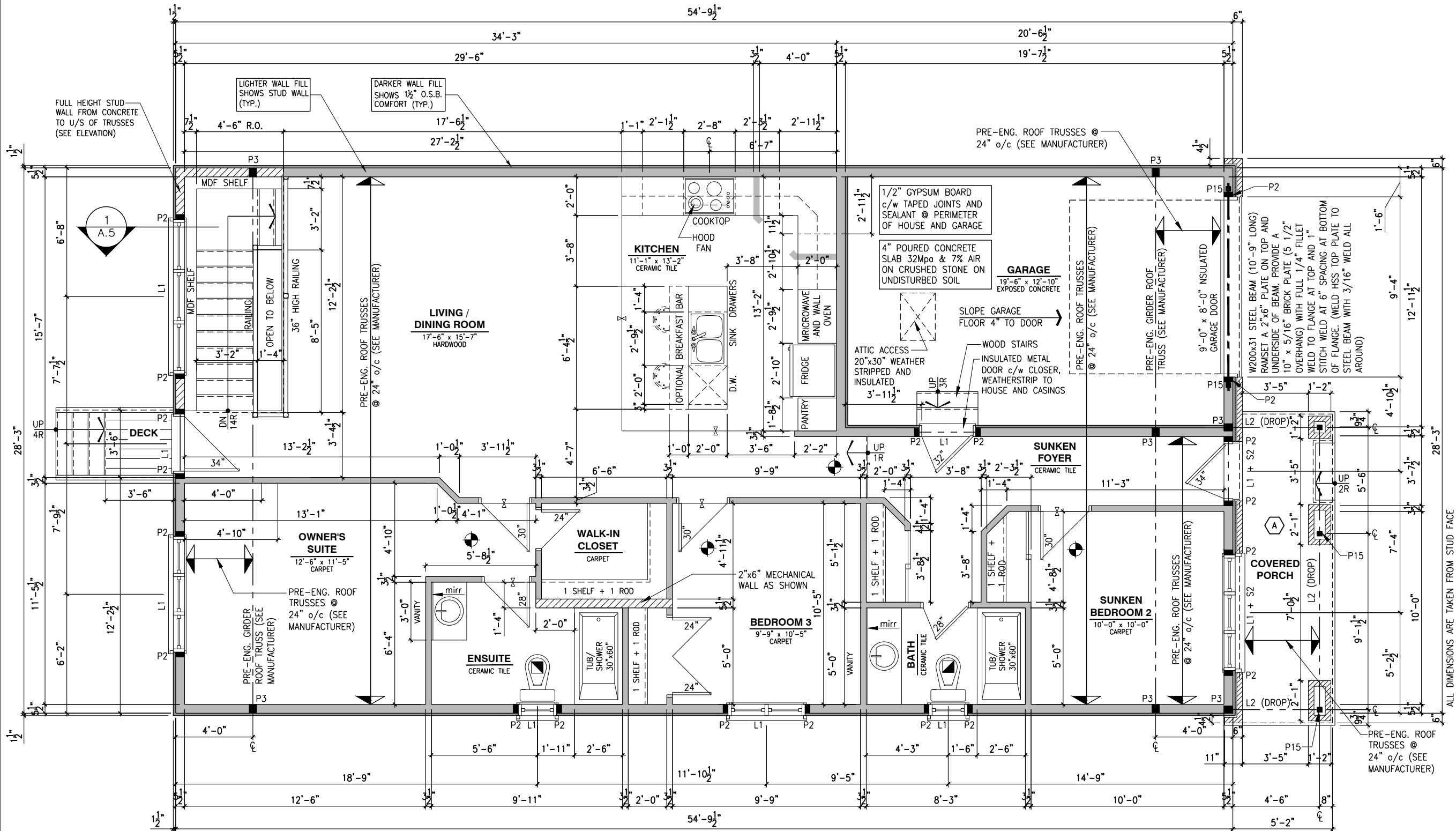
GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

CONSTRUCTION SITES:
SHEA VILLAGE

GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"



GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

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CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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LINTEL TABLE:

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7s

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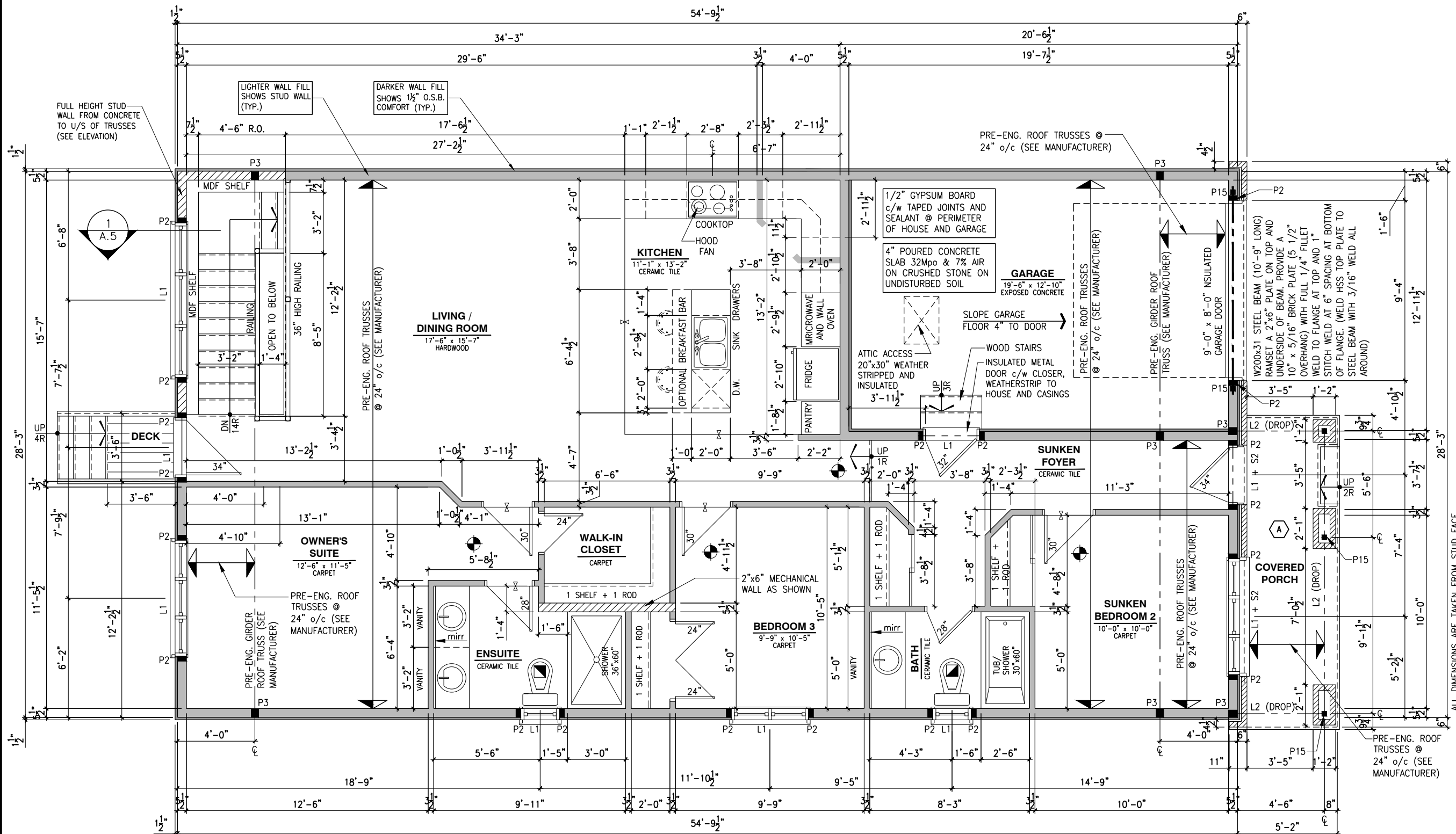
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
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804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

A7t



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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
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* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

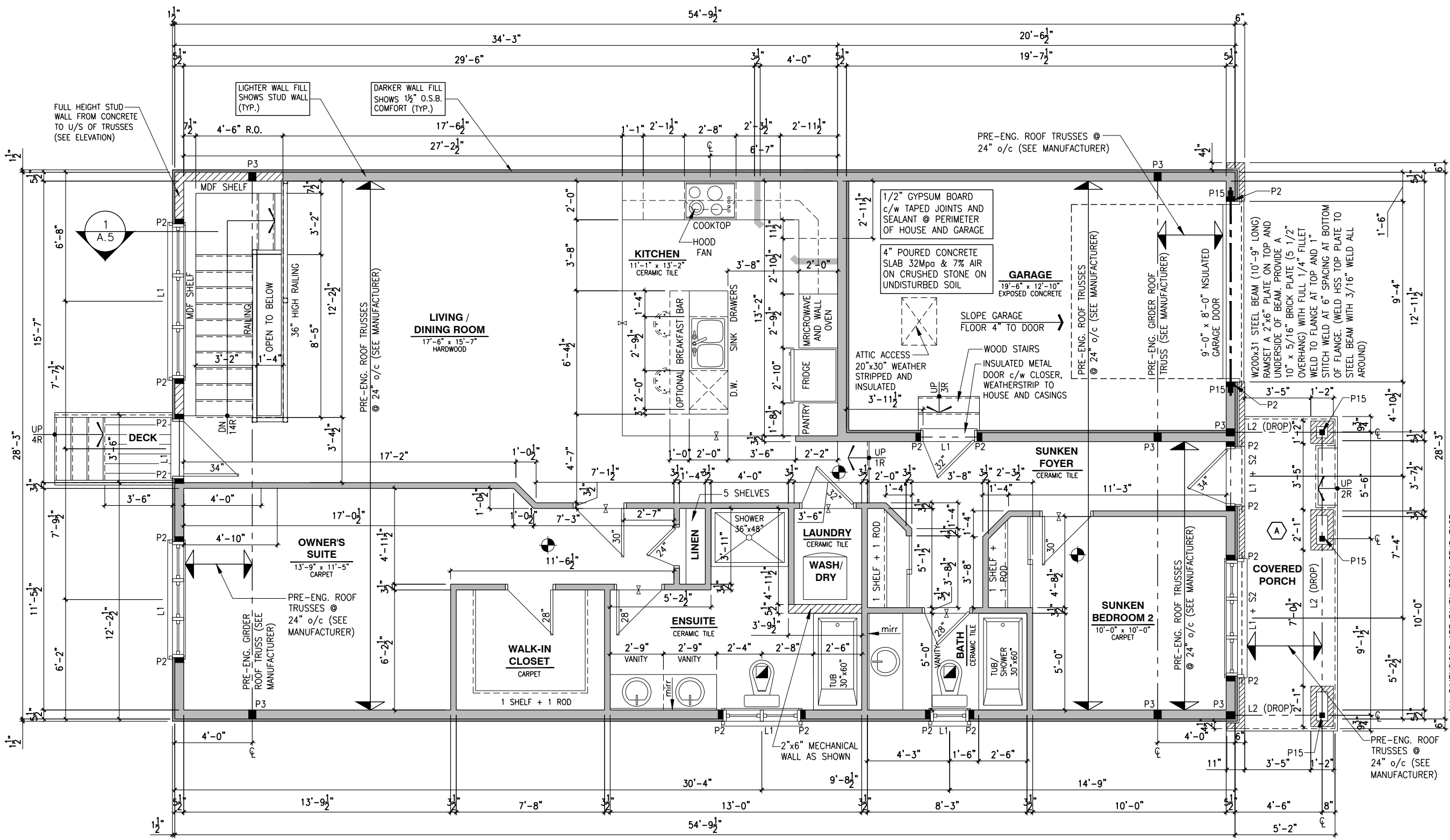
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7u



ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPECS AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

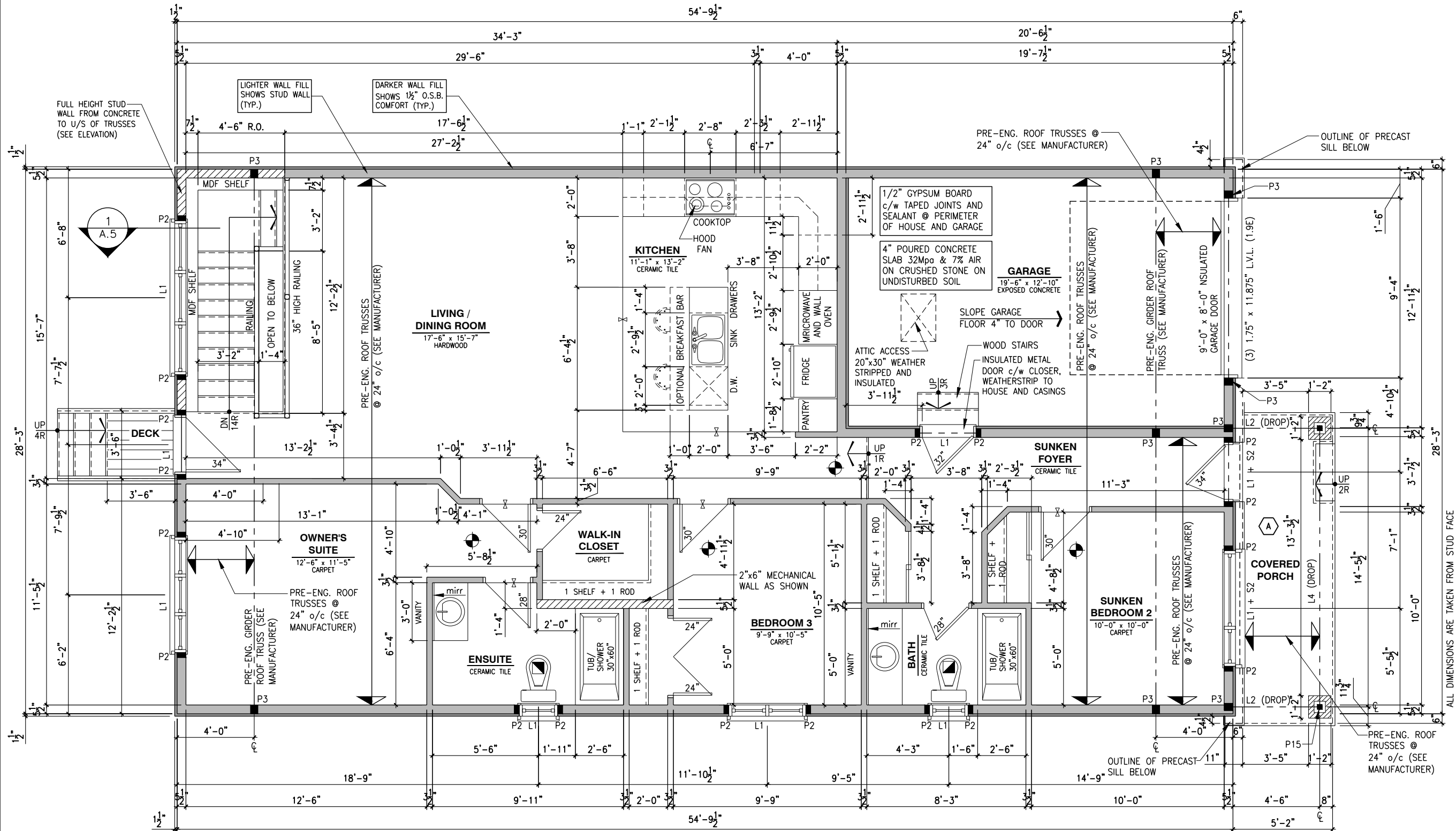
NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



ROOF AND FLOOR LAYOUT NOTES:

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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

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S3 = L 100x90x8
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7v

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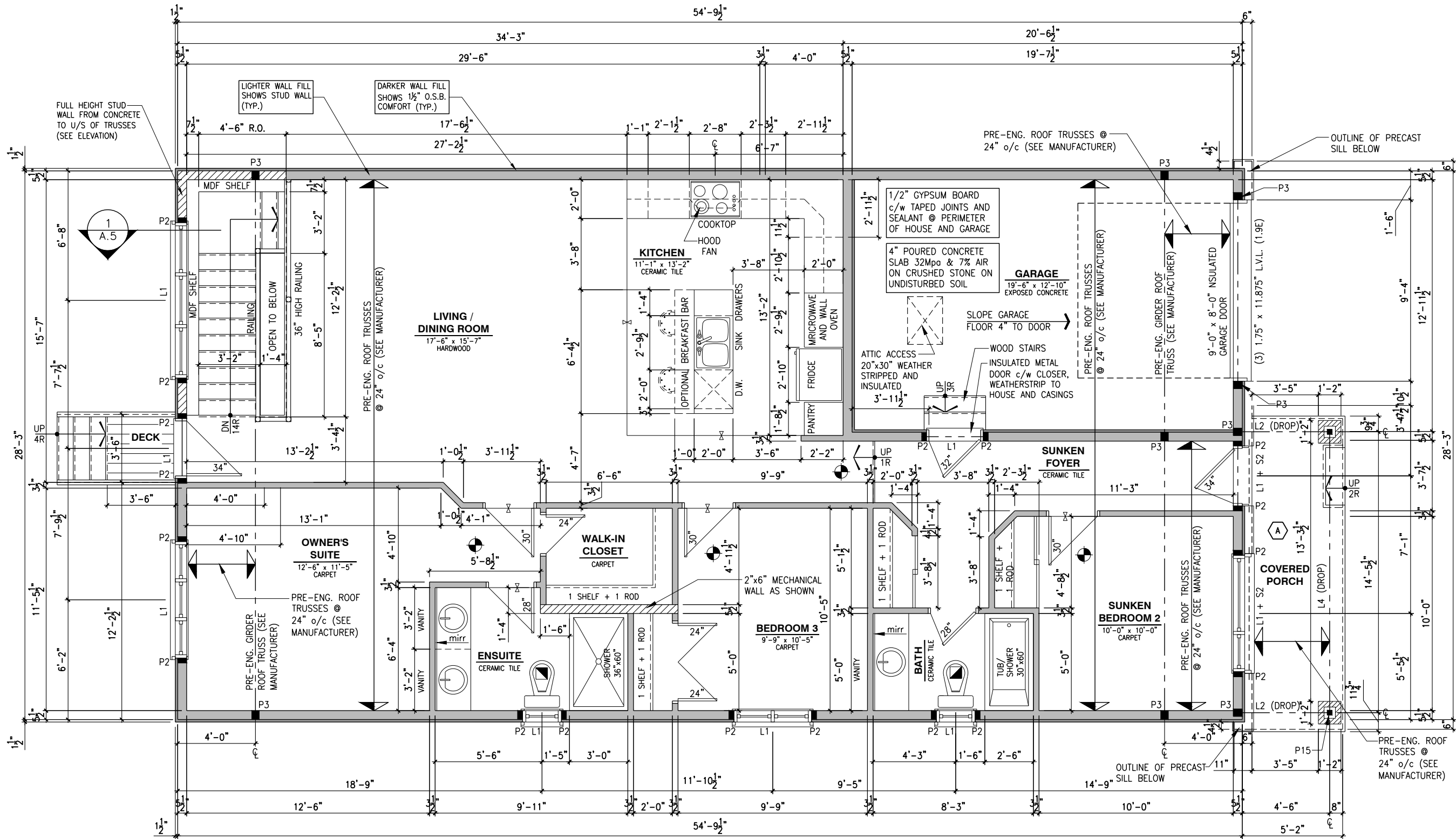
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



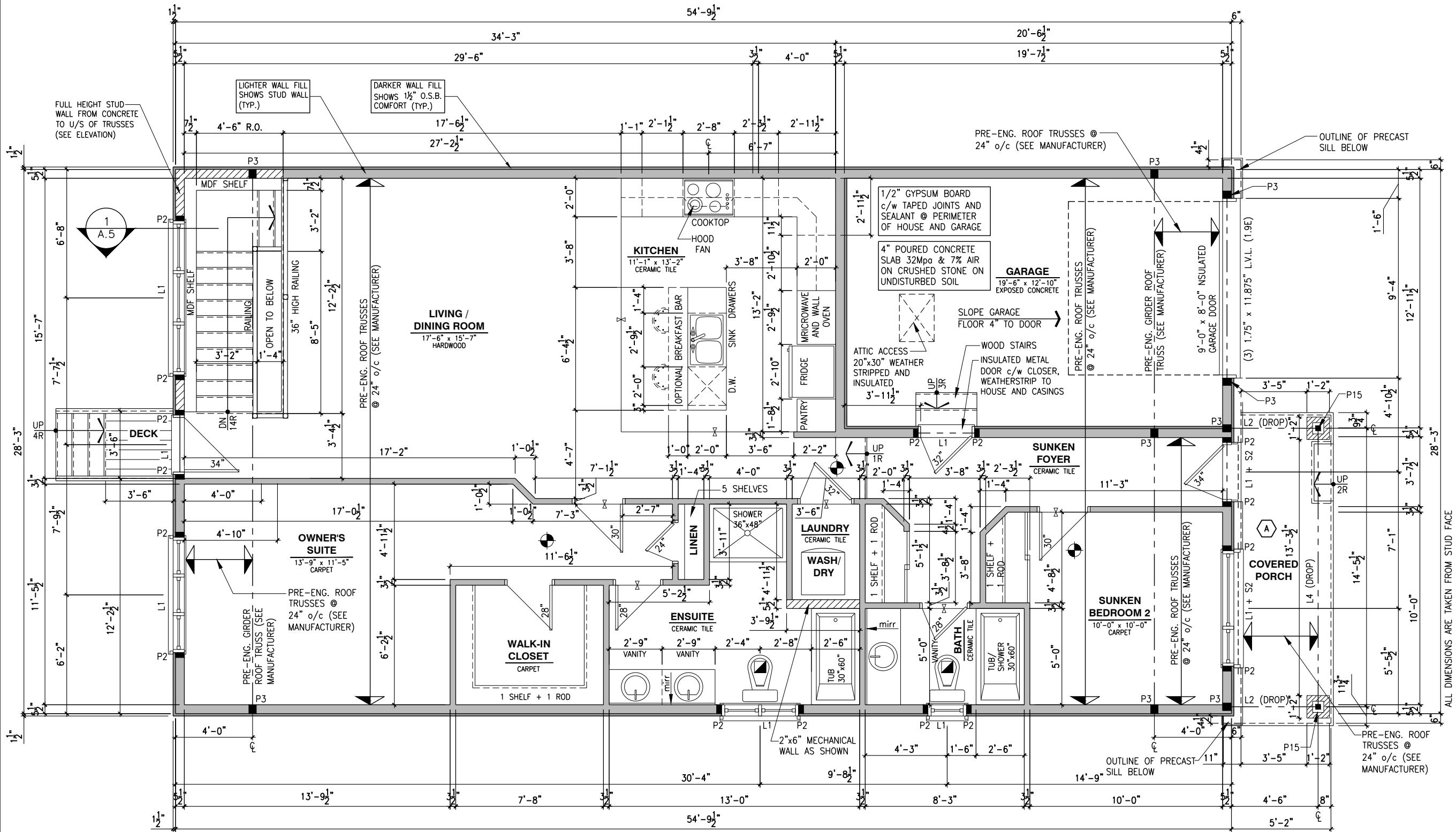
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NOTE:
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GENERAL NOTES:
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ROOF AND FLOOR LAYOUT NOTES:

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LOT: XXXX
DATE: XX/XX/XXXX



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REV-1	NO.	DESCRIPTION	DATE	BY
1		NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON

GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT

(STANDARD DRAWINGS)

CONSTRUCTION SITES:
SHEA VILLAGE

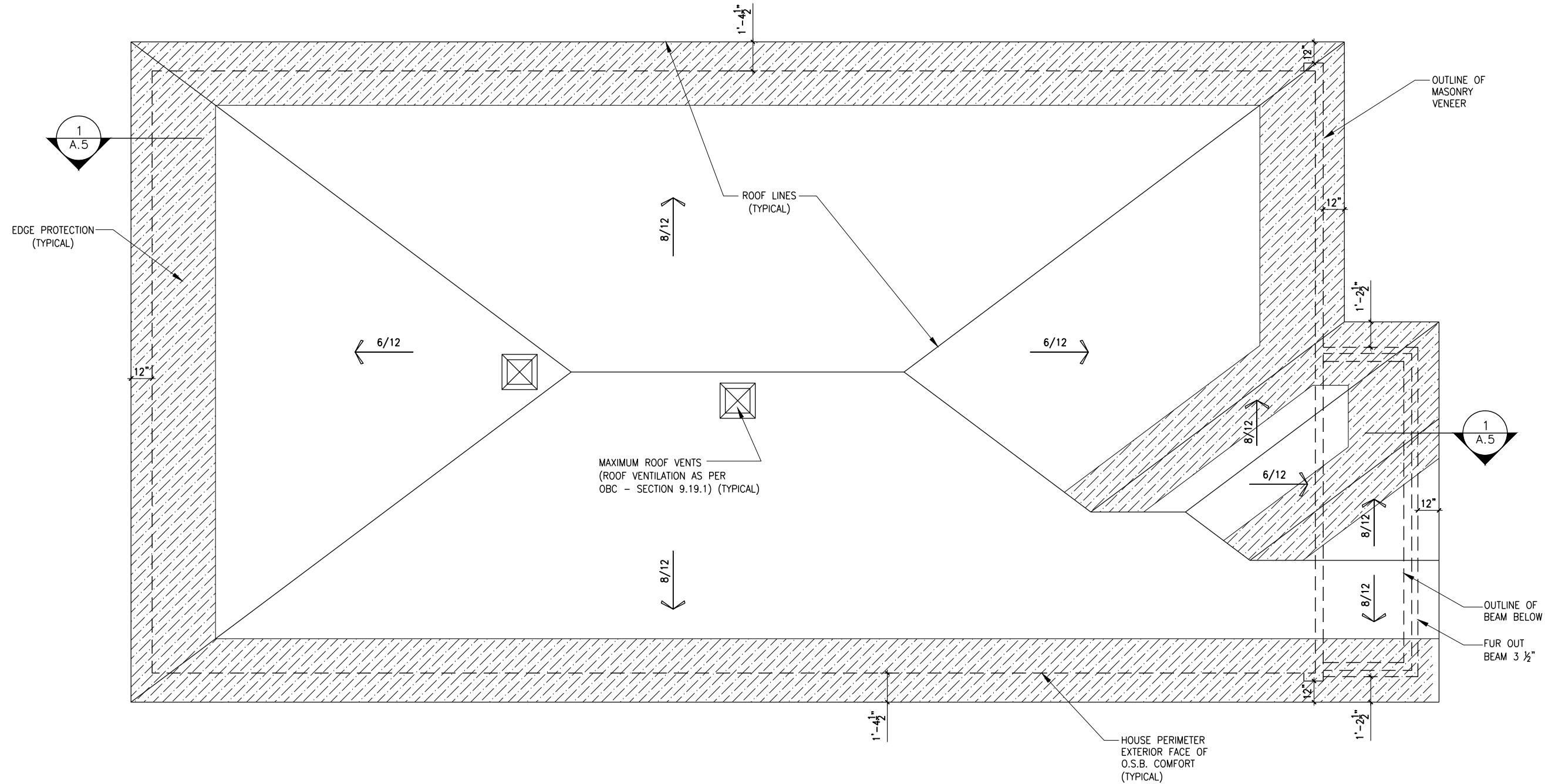
SHEET:
A7x

GROUND FLOOR PLAN - 2 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #44555
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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

ROOF PLAN - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A8a

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



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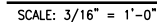
804 - THE MANNING 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8b

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CONSTRUCTION SITES:
SHEA VILLAGE

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SCALE: 3/16" = 1'-0"

[illegible]

804 - THE MANNING
2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:

A9c

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LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

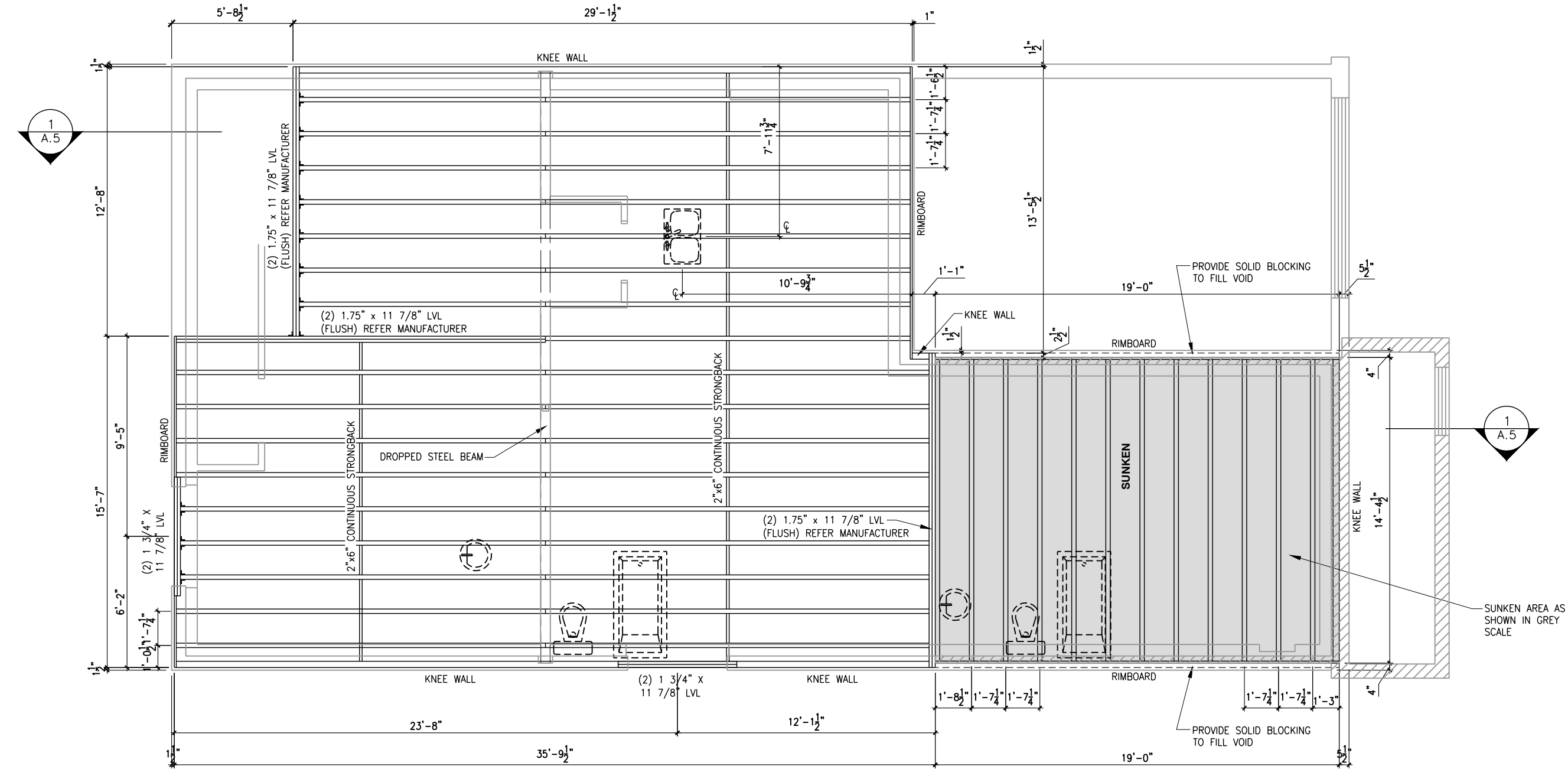
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GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			09/20/2023	DOYON

DRAWING: FLOOR JOIST FRAMING PLAN - ELEVATION A

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

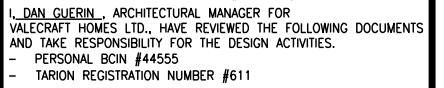
804 - THE MANNING 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A9d

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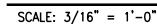
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(STANDARD DRAWINGS)

A9e

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Architectural floor plan of a building section, showing structural details, dimensions, and annotations. The plan includes a main rectangular area with a grid of structural members and a smaller, shaded rectangular area labeled "SUNKEN" on the right side.

Dimensions and Annotations:

- Overall Dimensions:**
 - Top: 29'-1 1/2"
 - Bottom: 35'-9 1/2"
 - Left: 12'-8"
 - Right: 19'-0"
- Structural Members:**
 - KNEE WALL:** Located along the top and bottom edges of the main area.
 - RIMBOARD:** Located along the top and bottom edges of the main area.
 - 2" x 6" CONTINUOUS STRONGBACK:** Vertical members running through the main area.
 - DROPPED STEEL BEAM:** A horizontal member in the main area.
 - (2) 1.75" x 11 7/8" LVL (FLUSH) REFER MANUFACTURER:** Horizontal members at the top and bottom of the main area.
 - (2) 1 3/4" x 11 7/8" LVL:** Vertical members on the left side of the main area.
 - (2) 1 3/4" x 11 7/8" LVL:** Vertical members at the bottom of the main area.
- SUNKEN AREA:**
 - Shaded rectangular area on the right side.
 - Dimensions: 14'-4 1/2" (width), 19'-0" (length).
 - Annotations: "SUNKEN AREA AS SHOWN IN GREY SCALE", "PROVIDE SOLID BLOCKING TO FILL VOID".
- Other Annotations:**
 - "PROVIDE SOLID BLOCKING TO FILL VOID" (multiple locations).
 - "KNEE WALL" (multiple locations).
 - "RIMBOARD" (multiple locations).
 - "2" x 6" CONTINUOUS STRONGBACK" (multiple locations).
 - "DROPPED STEEL BEAM" (multiple locations).
 - "(2) 1.75" x 11 7/8" LVL (FLUSH) REFER MANUFACTURER" (multiple locations).
 - "(2) 1 3/4" x 11 7/8" LVL" (multiple locations).

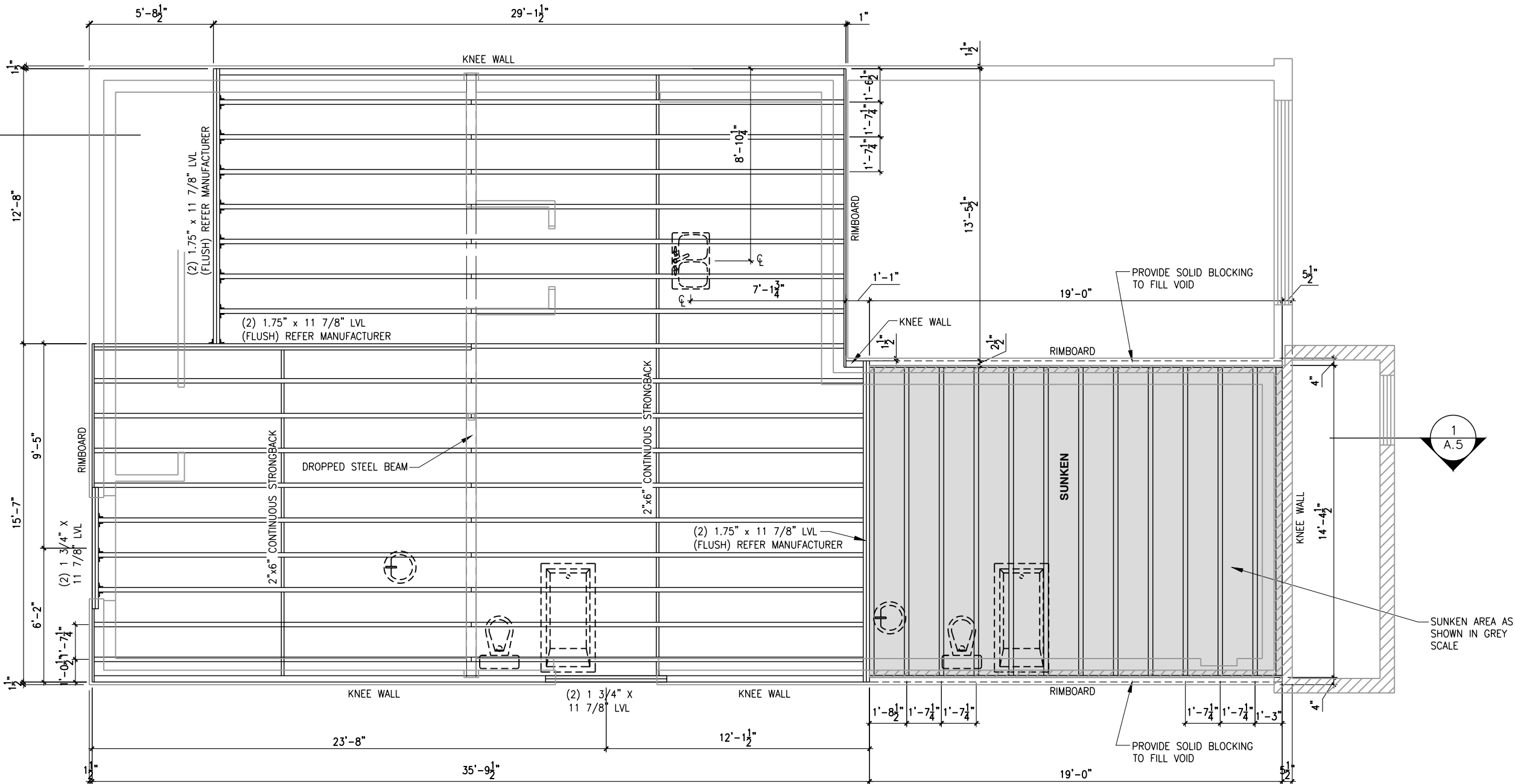
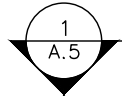
SCALE: 3/16" = 1'-0"

804 - THE MANNING
2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:

A9f

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GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FLOOR JOIST
FRAMING PLAN - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9g

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CONSTRUCTION SITES:
SHEA VILLAGE

[illegible]

DRAWING: **FLOOR JOIST
FRAMING PLAN - ELEVATION A**

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9h

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CONSTRUCTION SITES:
SHEA VILLAGE

[illegible]

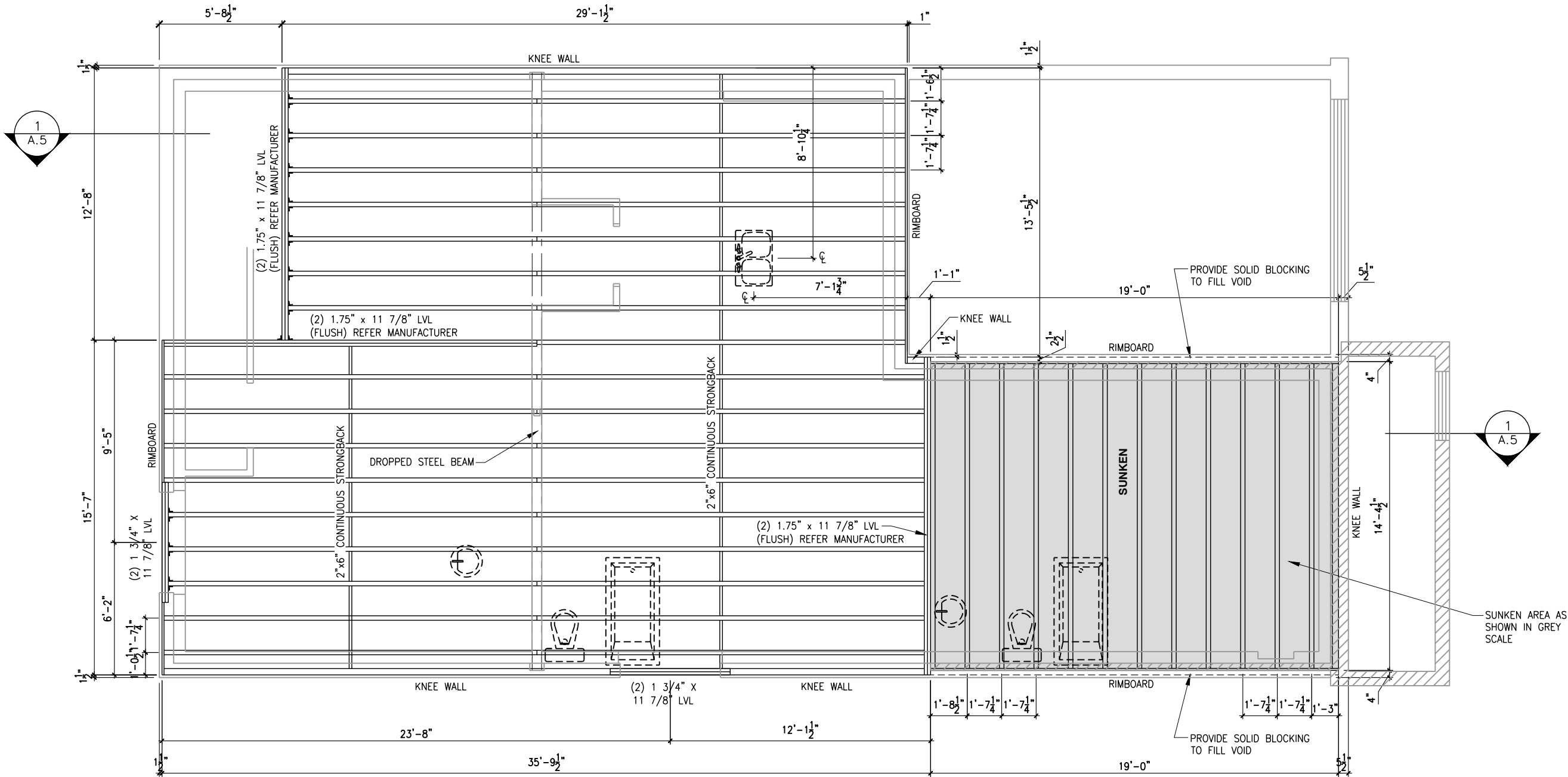
DRAWING: **FLOOR JOIST
FRAMING PLAN - ELEVATION B**

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9i

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GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FLOOR JOIST
FRAMING PLAN - ELEVATION A

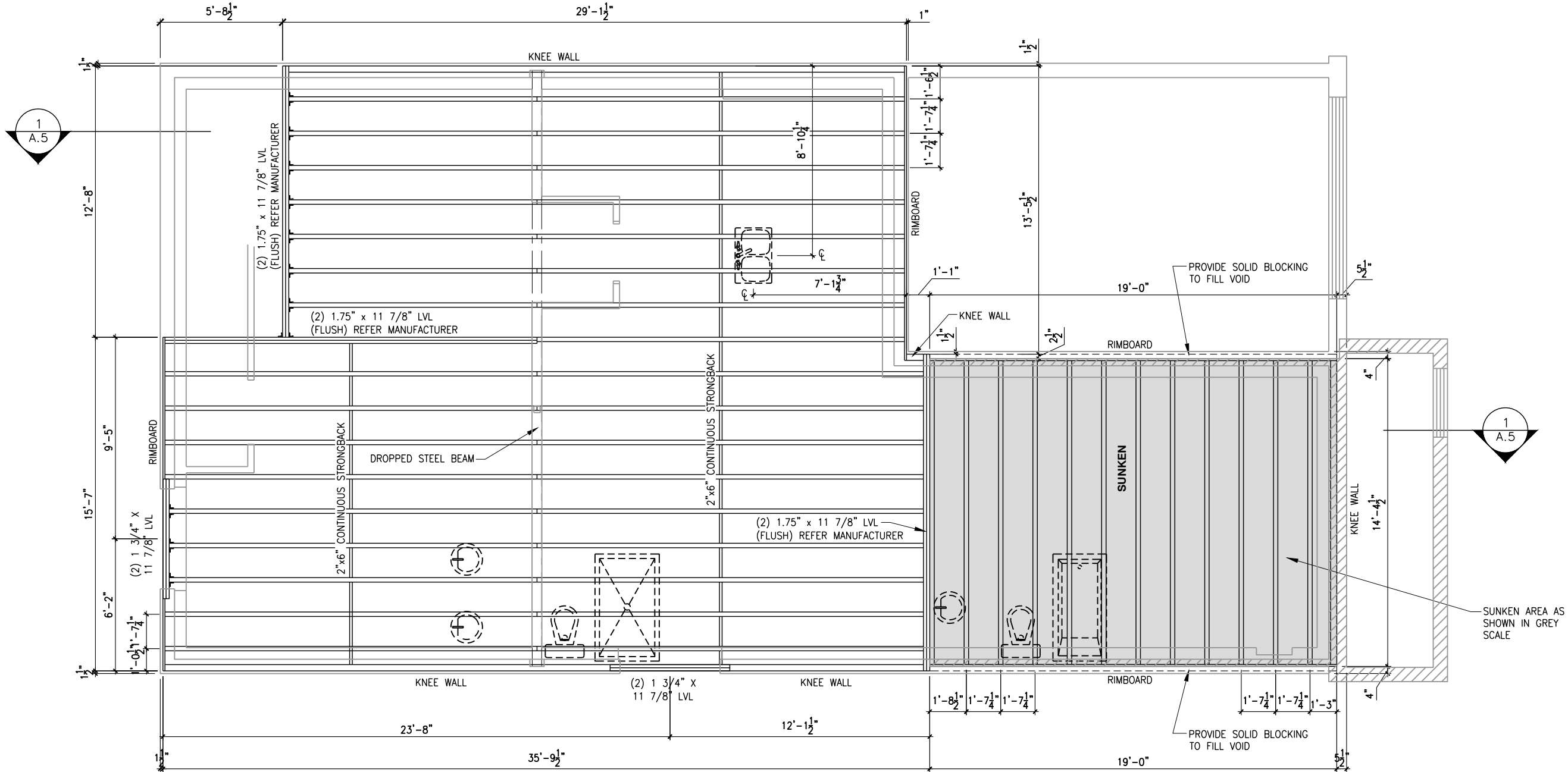
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804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9k

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GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #3 - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

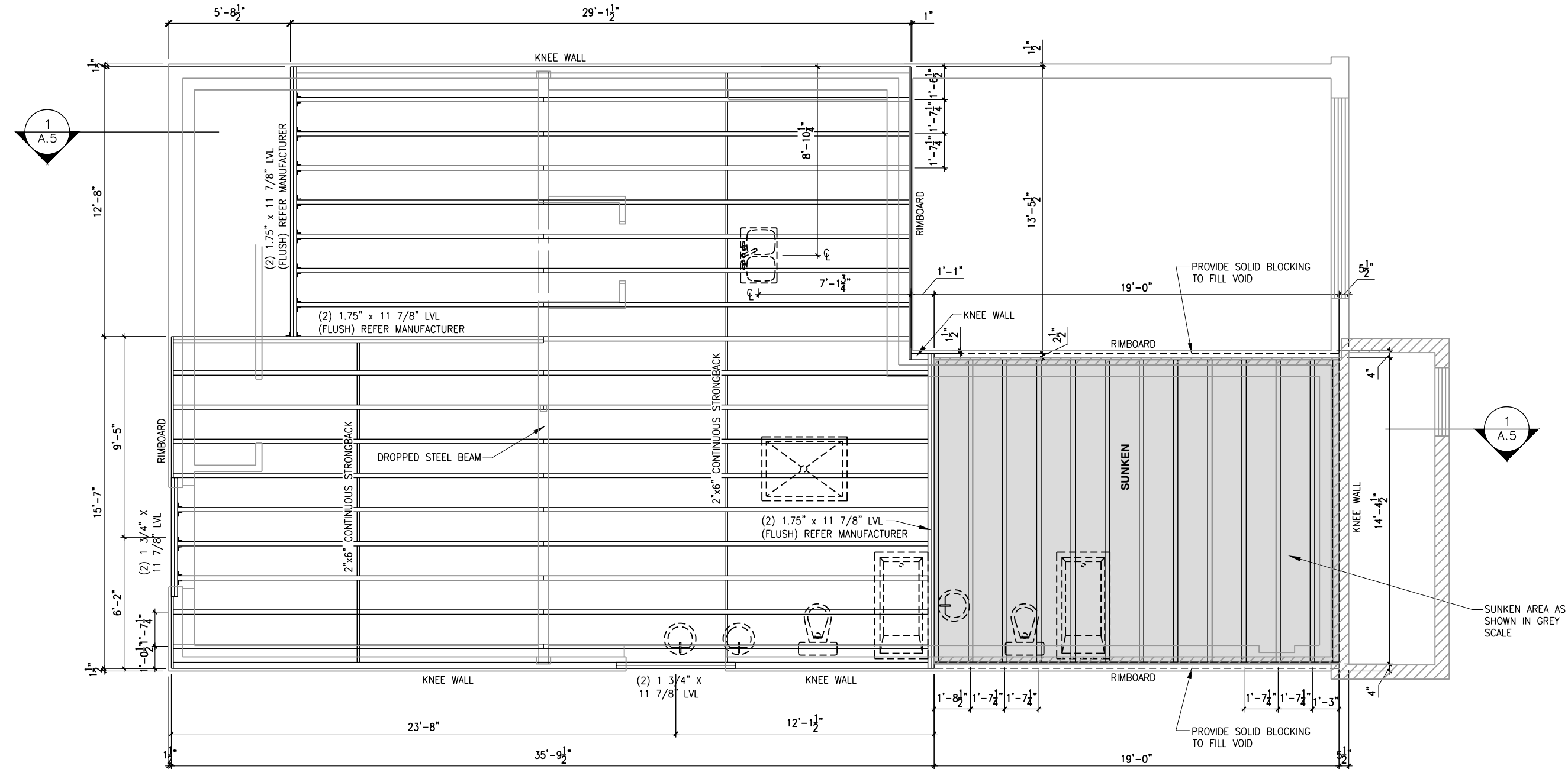
DRAWING: FLOOR JOIST FRAMING PLAN - ELEVATION A

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

804 - THE MANNING 2023 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A9I

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GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - 2 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	DOYON	BY

DRAWING: FLOOR JOIST FRAMING PLAN - ELEVATION B

ADDRESS: XX

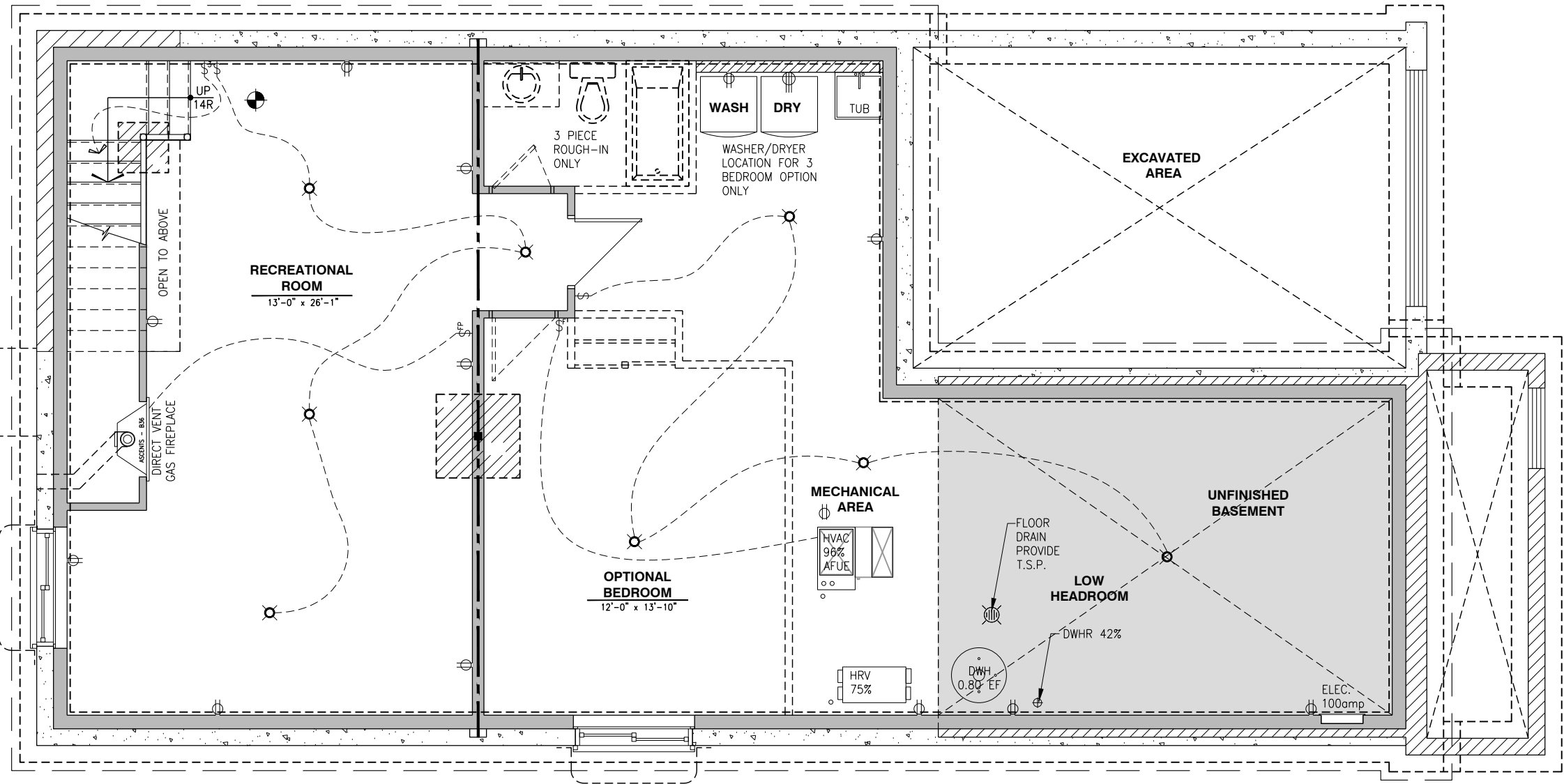
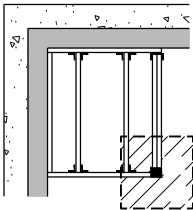
SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

804 - THE MANNING 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A9m



ELECTRICAL PLAN BASEMENT
SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- ⚡ SINGLE POLE SWITCH
- ⚡ 3 WAY SWITCH
- ⚡ 4 WAY SWITCH
- ⚡ FURNACE SWITCH
- ⚡ FP FIREPLACE SWITCH
- ⚡ DUPLEX OUTLET (12" HIGH)
- ⚡ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⚡ GFI GROUND FAULT INTERVOLT
- ⚡ WP WEATHER PROOF DUPLEX OUTLET
- ⚡ SPLIT OUTLET
- ⚡ 220 VOLT OUTLET
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ⚡ CEILING MOUNTED LIGHT FIXTURE
- ⚡ POT LIGHT
- ⚡ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⬜ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

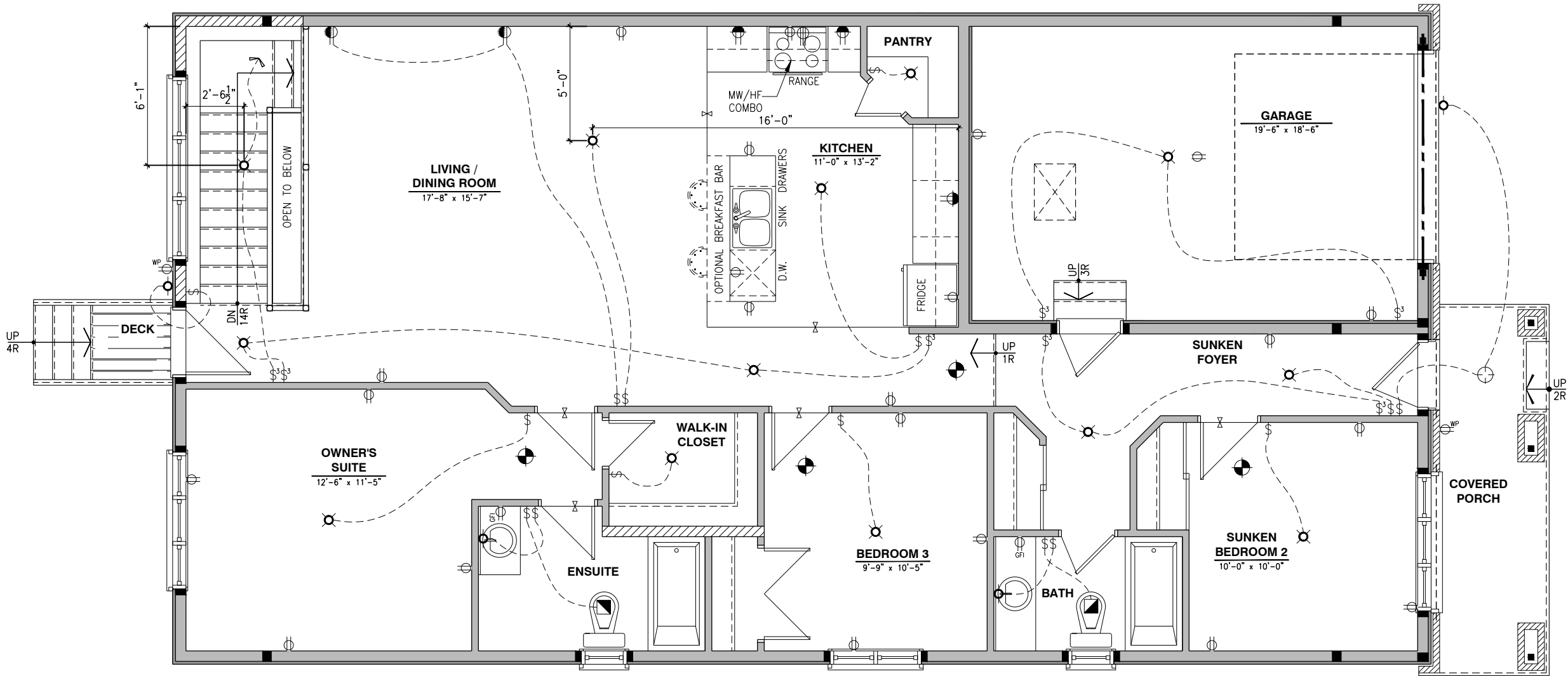
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN - BASEMENT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.1



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GF1 GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- MECH

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - STANDARD KITCHEN - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

















Valecraft
Homes (2019) Limited

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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 SINGLE POLE SWITCH
 3 WAY SWITCH
 4 WAY SWITCH
 FURNACE SWITCH
 FIREPLACE SWITCH
 DUPLEX OUTLET (12" HIGH)
 DUPLEX OUTLET (UPPER HALF SWITCH)
 GROUND FAULT INTERRUPT
 WEATHER PROOF DUPLEX OUTLET
 SPLIT OUTLET
 220 VOLT OUTLET
 WALL MOUNTED LIGHT FIXTURE
 CEILING MOUNTED LIGHT FIXTURE
 POT LIGHT

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

[illegible]

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

SHEET:

E.4

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$MECH PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

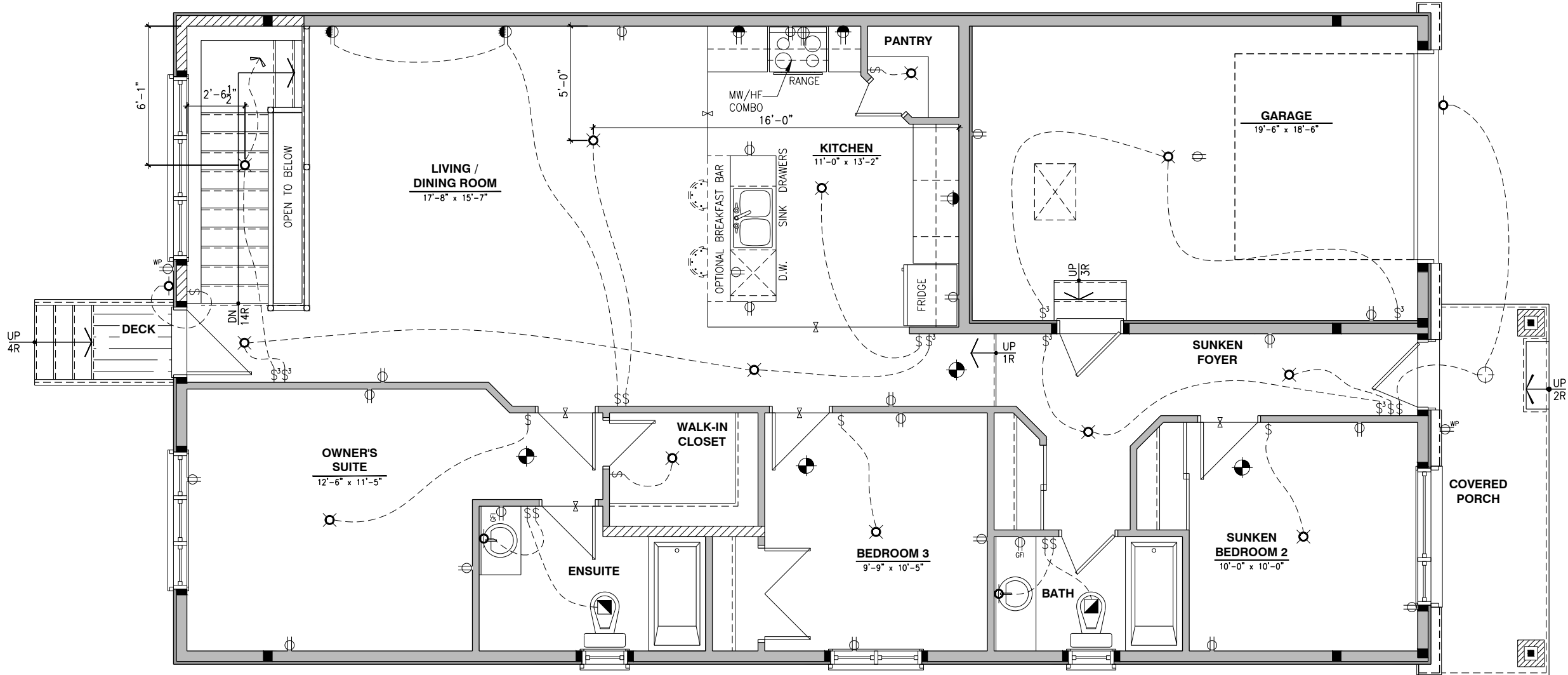
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.5



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - STANDARD KITCHEN - ELEVATION B
SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- PERSONAL BCIN #44555
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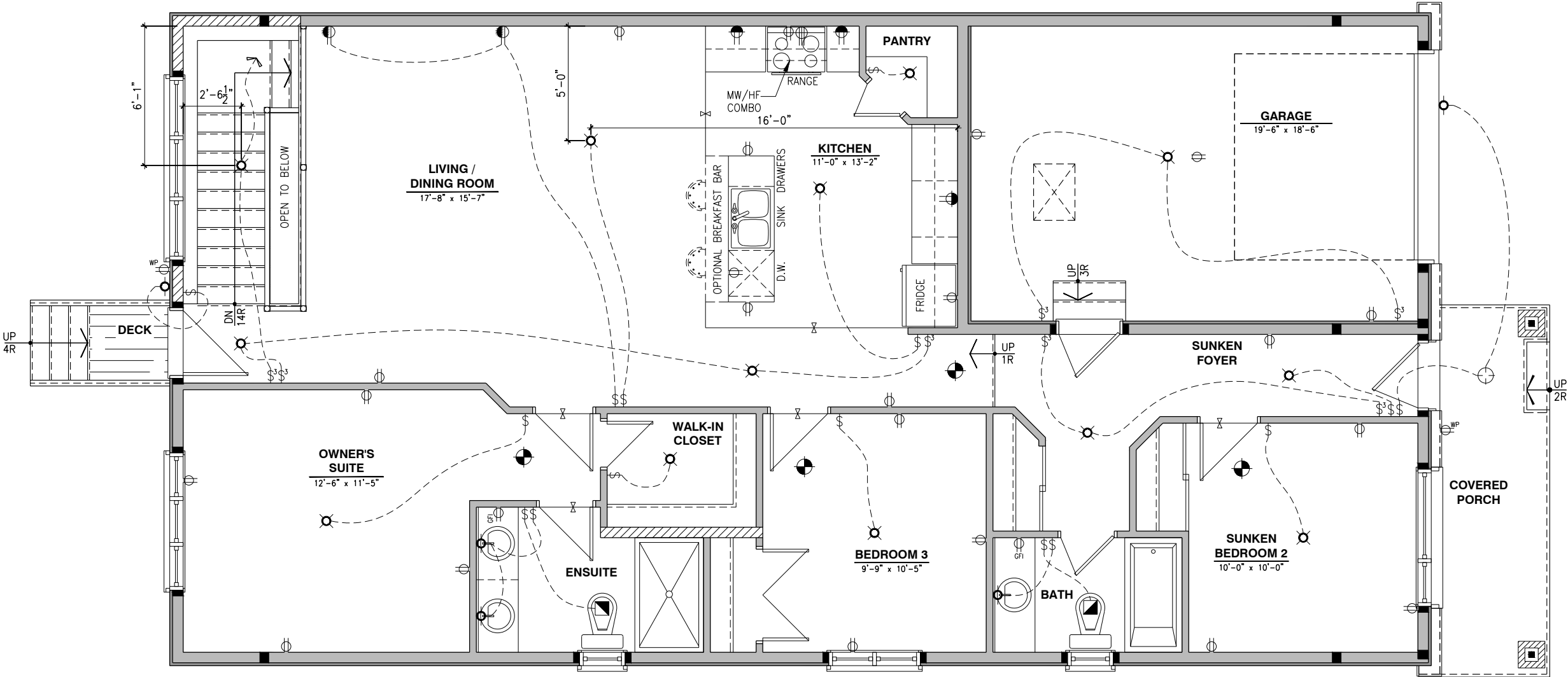
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WLM WALL MOUNTED LIGHT FIXTURE
- \$CMLF CEILING MOUNTED LIGHT FIXTURE
- \$PL POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ME = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.6



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- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- Ø

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

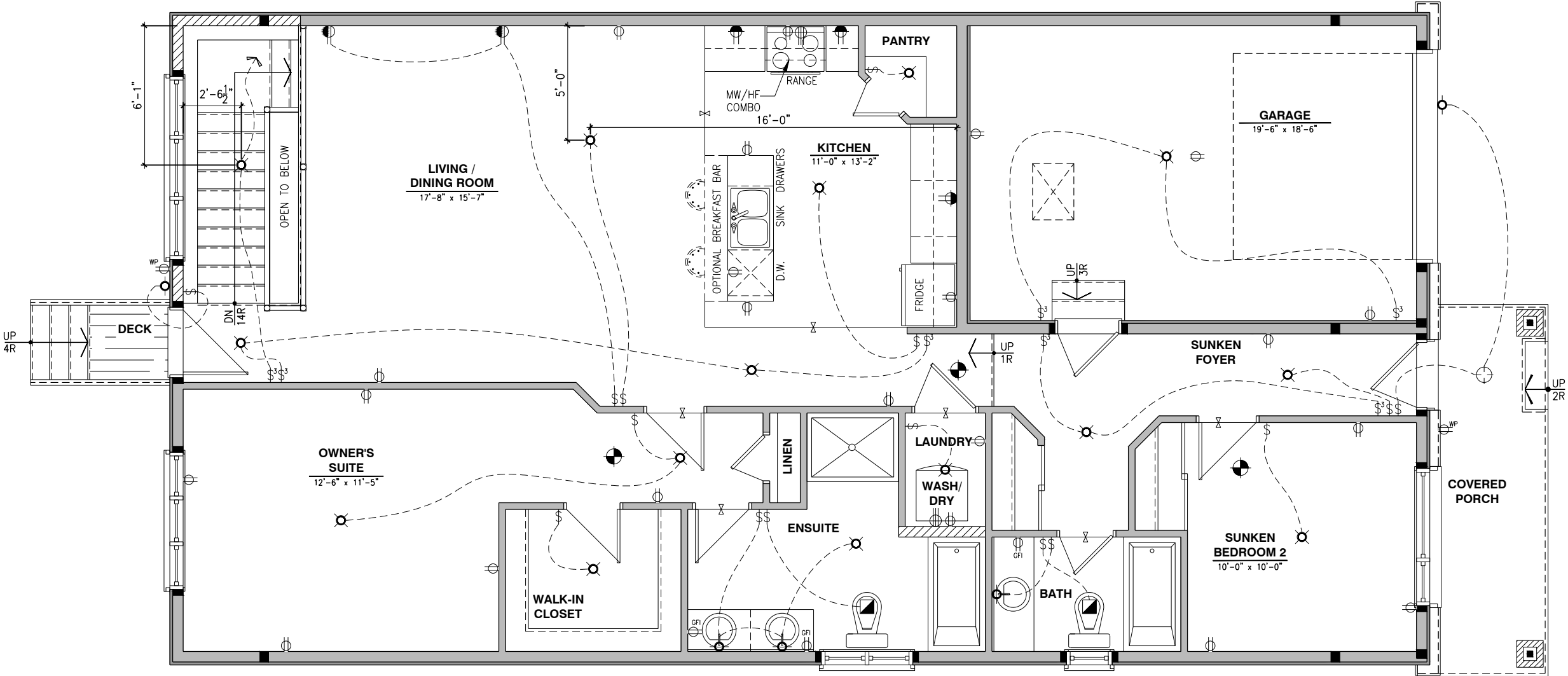
DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

E.7



ELECTRICAL PLAN - GROUND FLOOR - 2 BEDROOM - STANDARD KITCHEN - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊙

WALL MOUNTED LIGHT FIXTURE
- ⊙

CEILING MOUNTED LIGHT FIXTURE
- ⊙

POT LIGHT
- ⊙

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

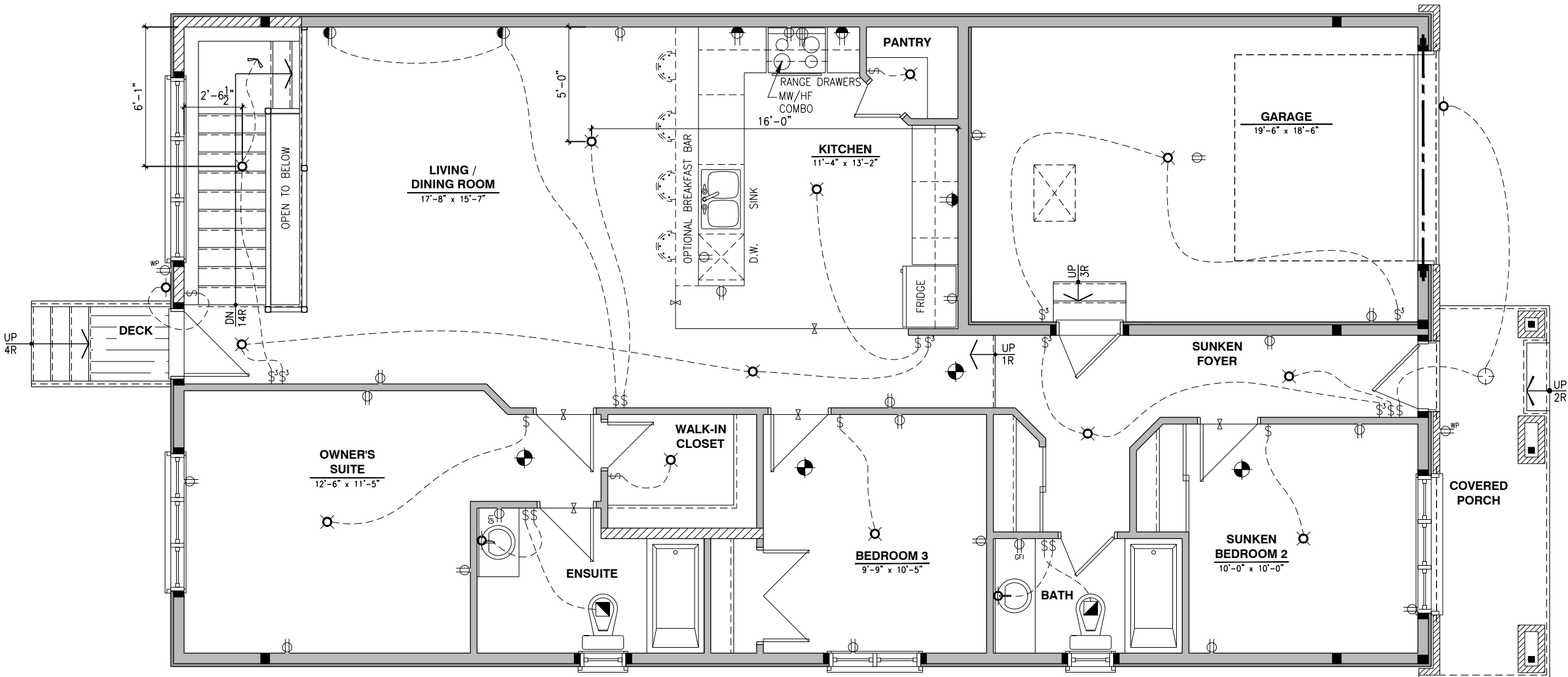
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.8



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

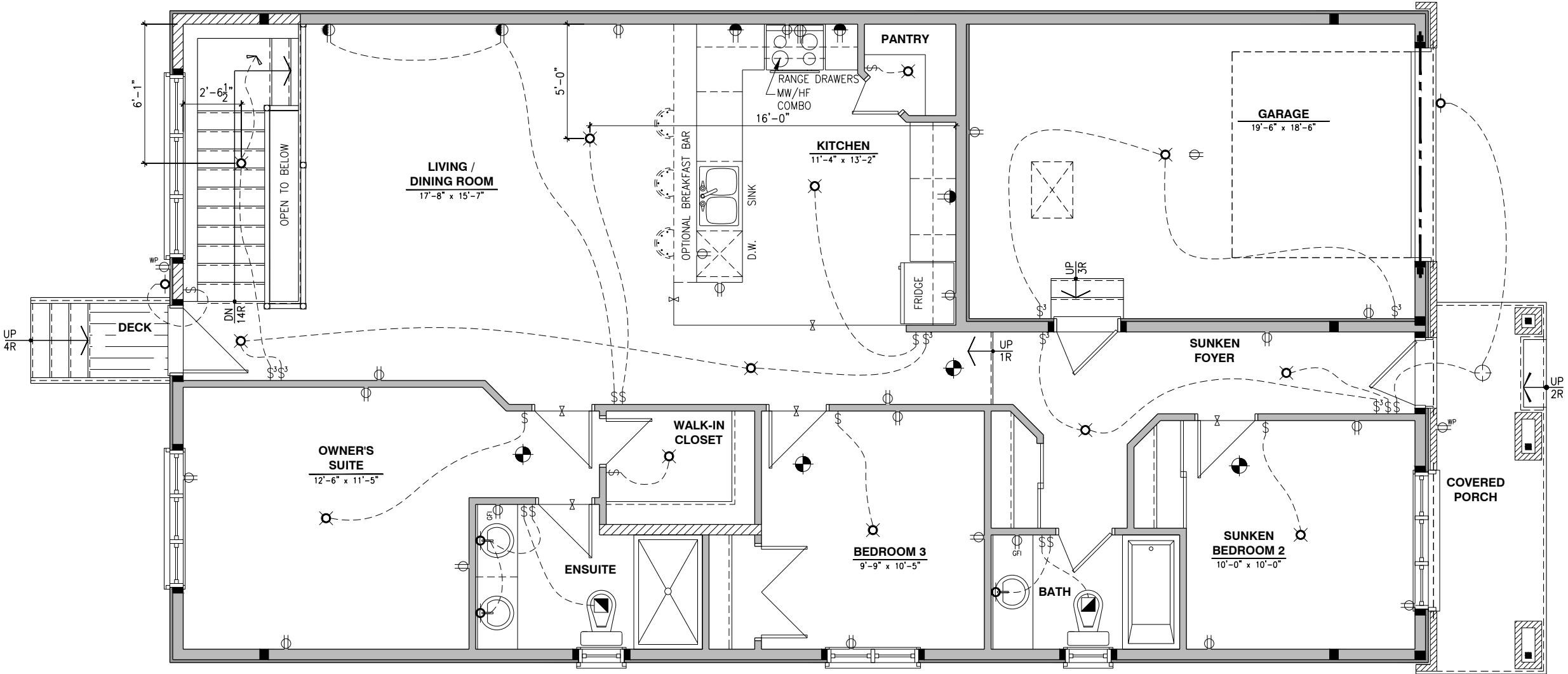
DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.9



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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

















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-  SINGLE POLE SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  FURNACE SWITCH
-  FIREPLACE SWITCH
-  DUPLEX OUTLET (12" HIGH)
-  DUPLEX OUTLET (UPPER HALF SWITCH)
-  GROUND FAULT INTERVOLT
-  WEATHER PROOF DUPLEX OUTLET
-  SPLIT OUTLET
-  220 VOLT OUTLET
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  POT LIGHT
-  SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

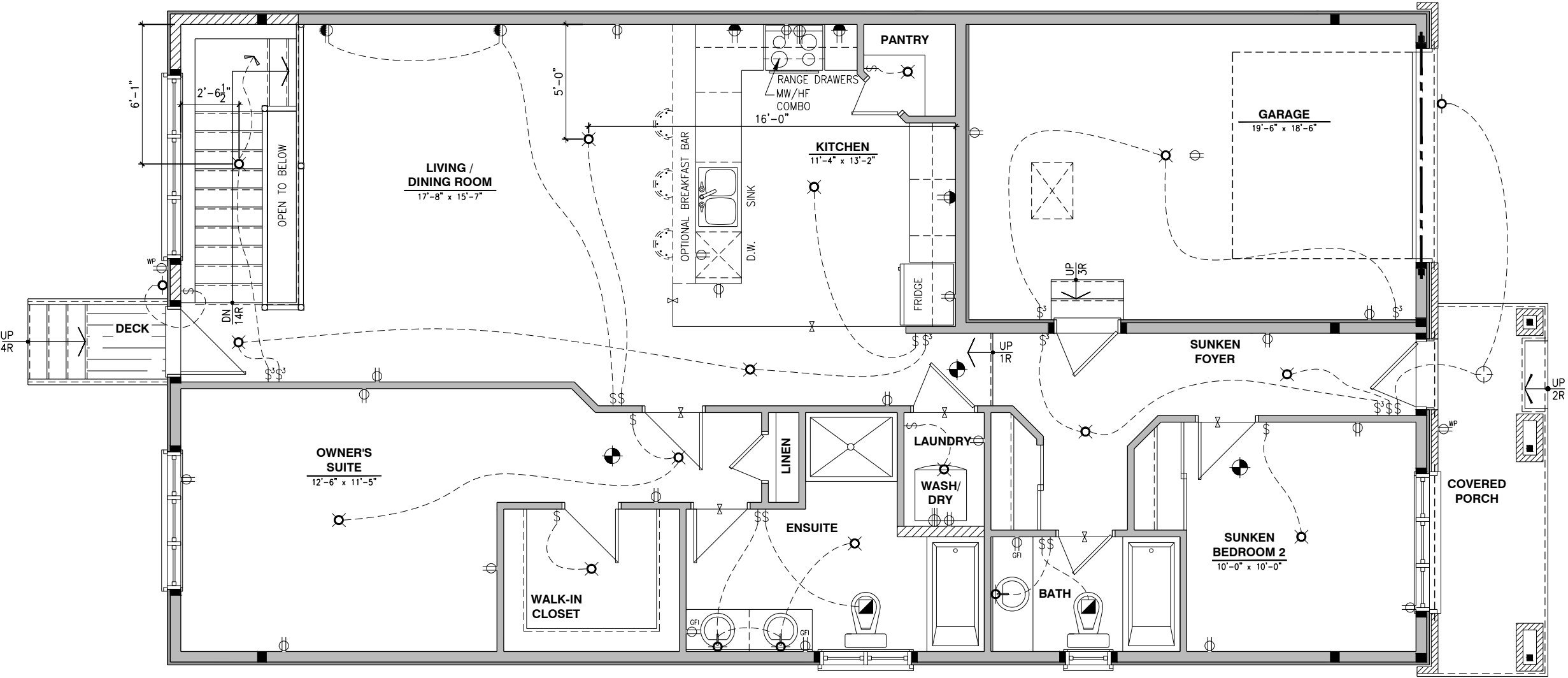
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.10



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- Ø

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

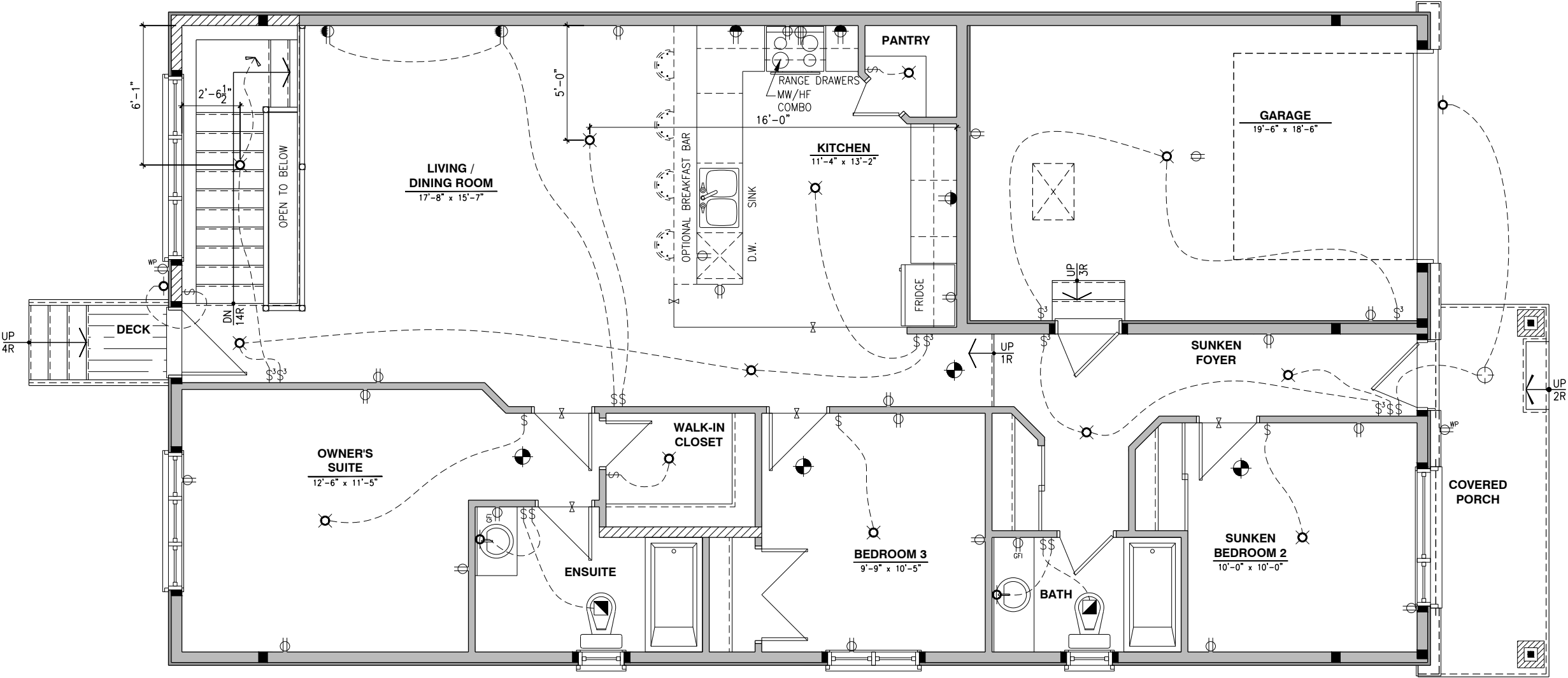
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.11



LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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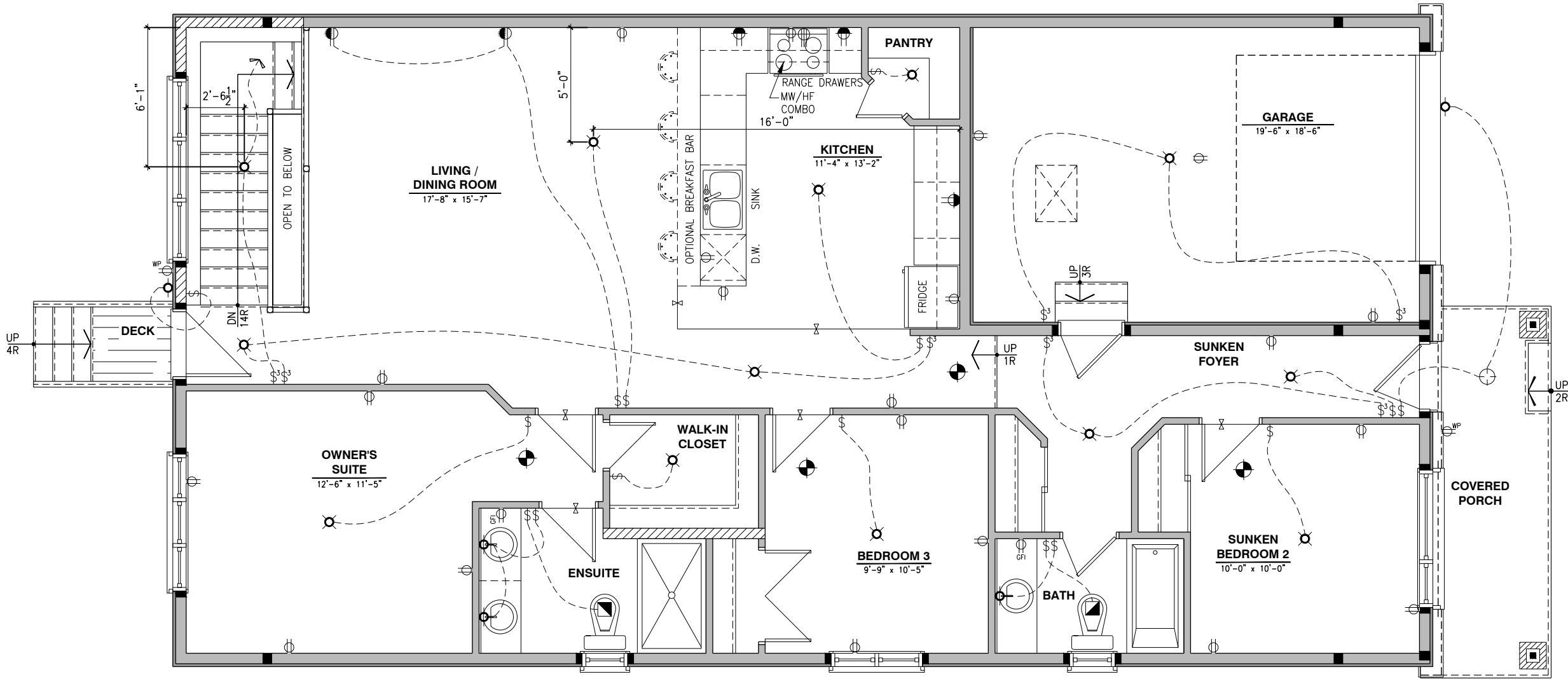
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
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- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.12

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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














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2012 O.B.C. DRAWINGS

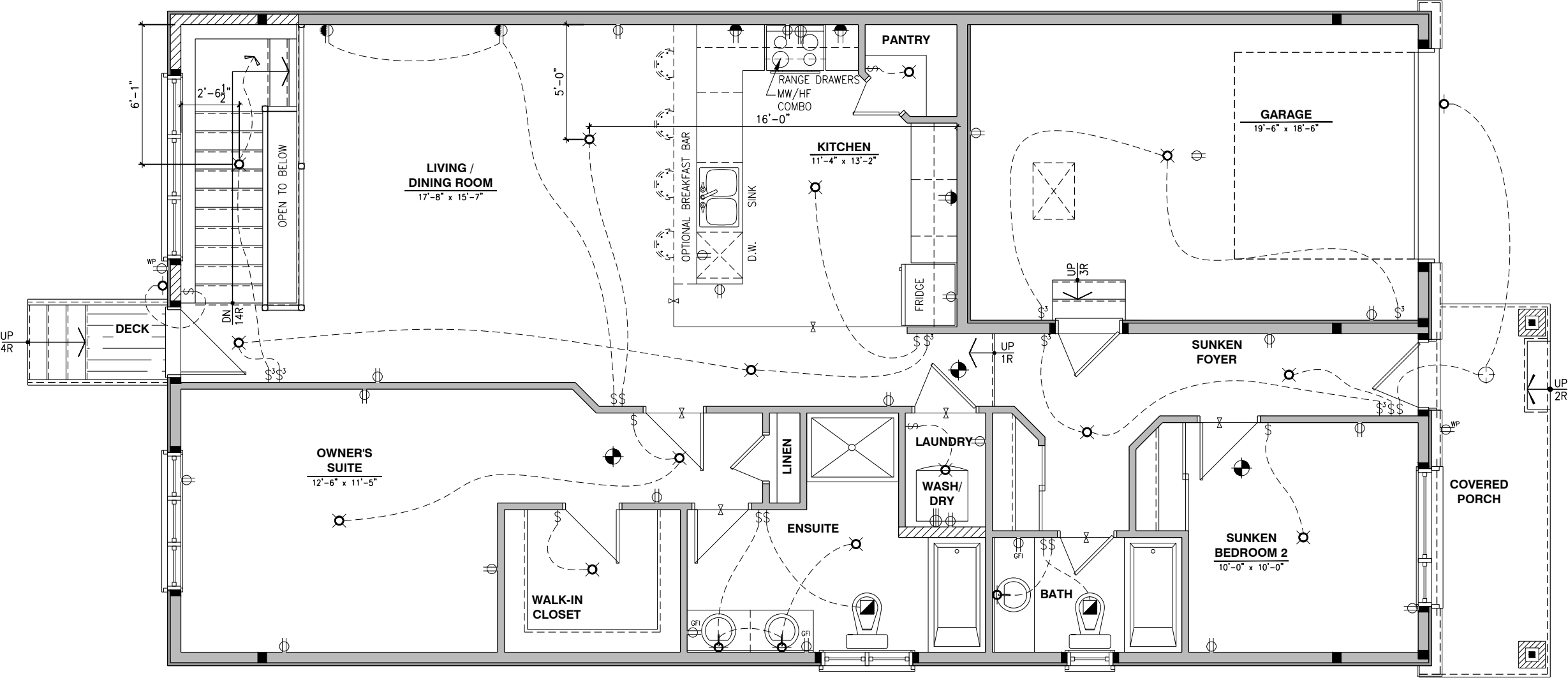
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.13



ELECTRICAL PLAN - GROUND FLOOR - 2 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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











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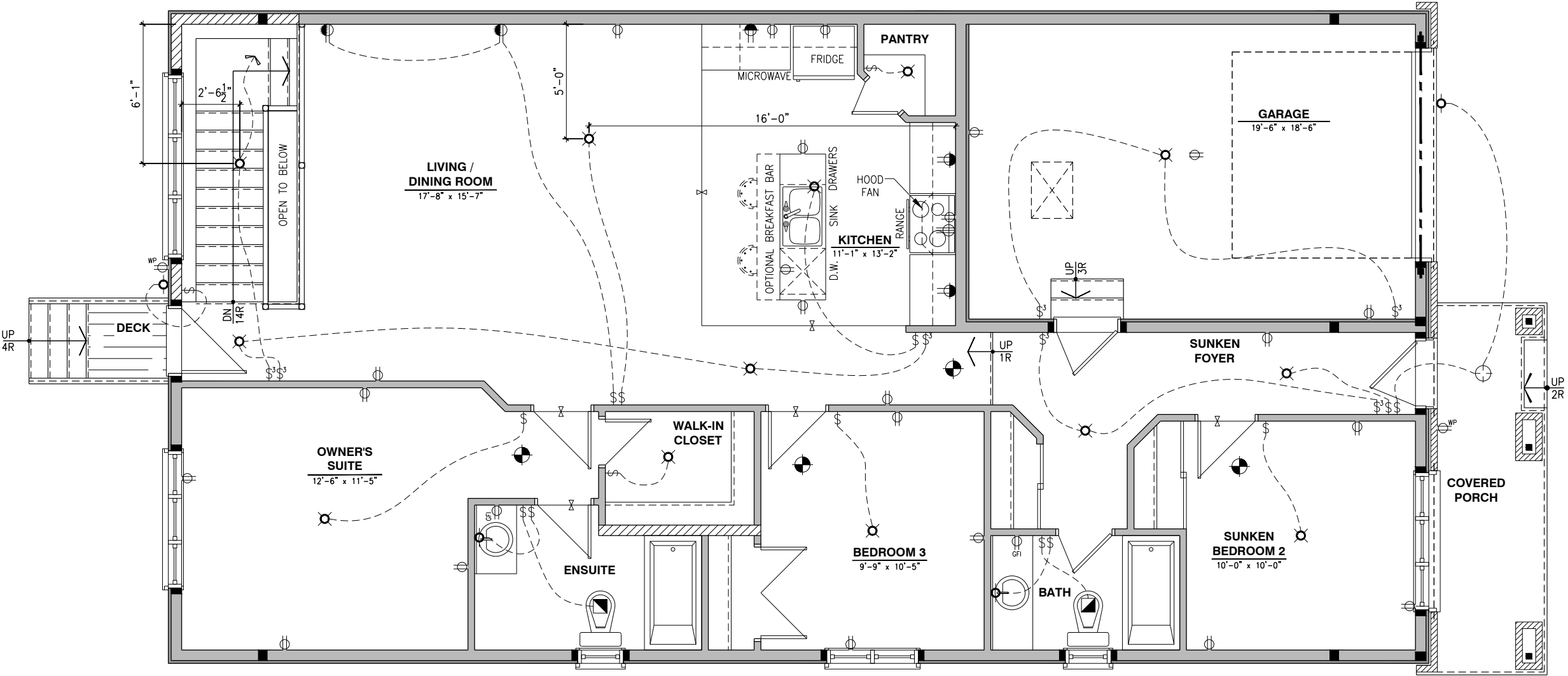
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.14



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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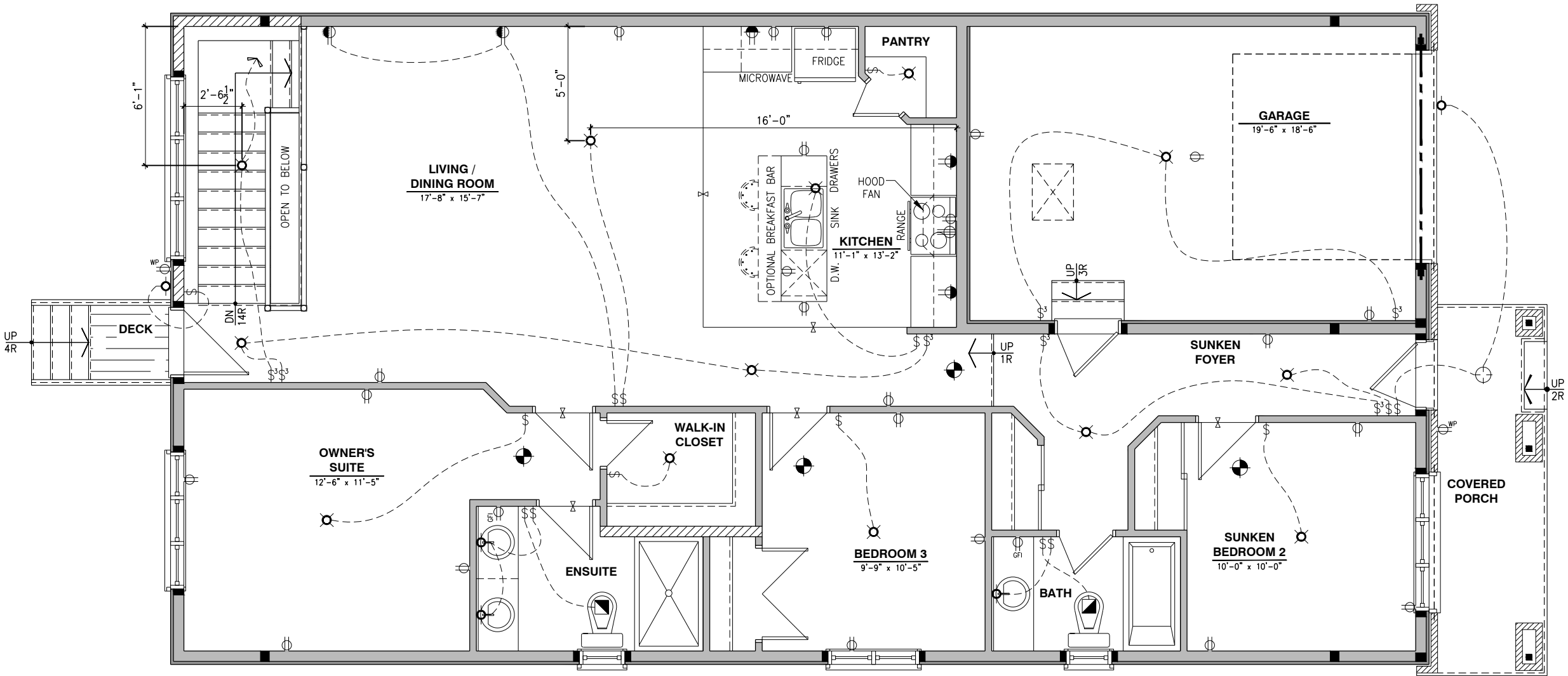
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- \$220 220 VOLT OUTLET
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- \$POT POT LIGHT
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- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.15

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










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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

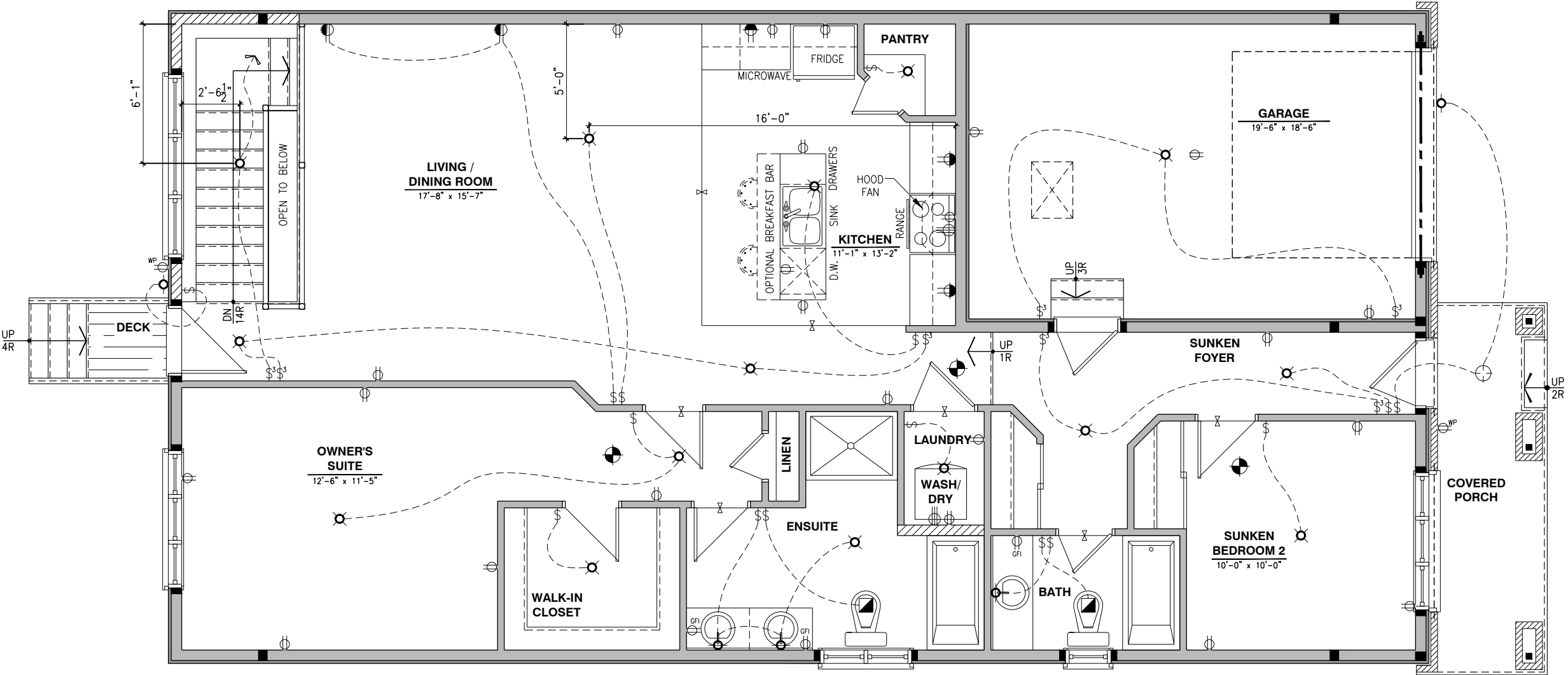
DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

ELECTRICAL PLAN - GROUND FLOOR - 2 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
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POT LIGHT
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

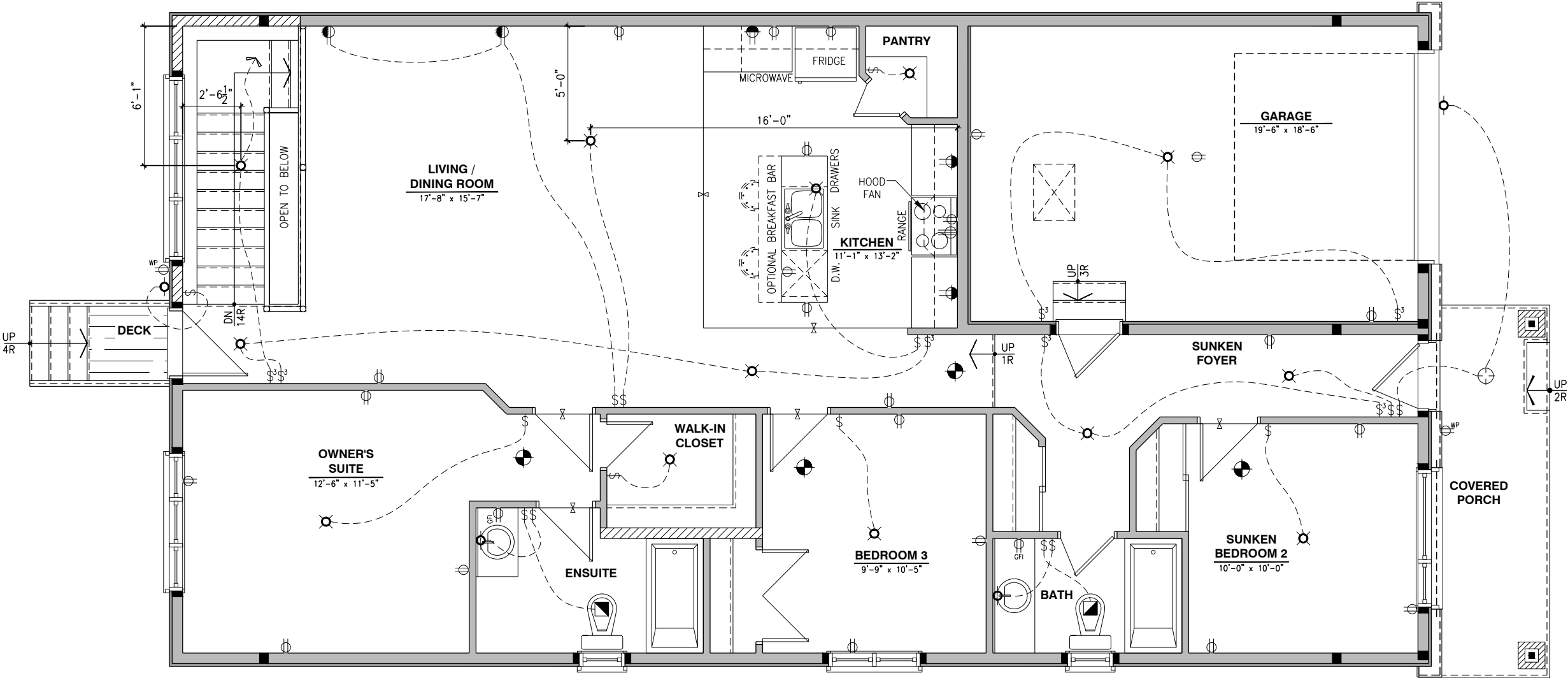
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.17



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

















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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

-  SINGLE POLE SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  FURNACE SWITCH
-  FIREPLACE SWITCH
-  DUPLEX OUTLET (12" HIGH)
-  DUPLEX OUTLET (UPPER HALF SWITCH)
-  GROUND FAULT INTERVOLT
-  WEATHER PROOF DUPLEX OUTLET
-  SPLIT OUTLET
-  220 VOLT OUTLET
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  POT LIGHT
-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.18

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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














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-  SINGLE POLE SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  FURNACE SWITCH
-  FIREPLACE SWITCH
-  DUPLEX OUTLET (12" HIGH)
-  DUPLEX OUTLET (UPPER HALF SWITCH)
-  GFI
-  WP
-  SPLIT OUTLET
-  220 VOLT OUTLET
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  POT LIGHT
-  SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

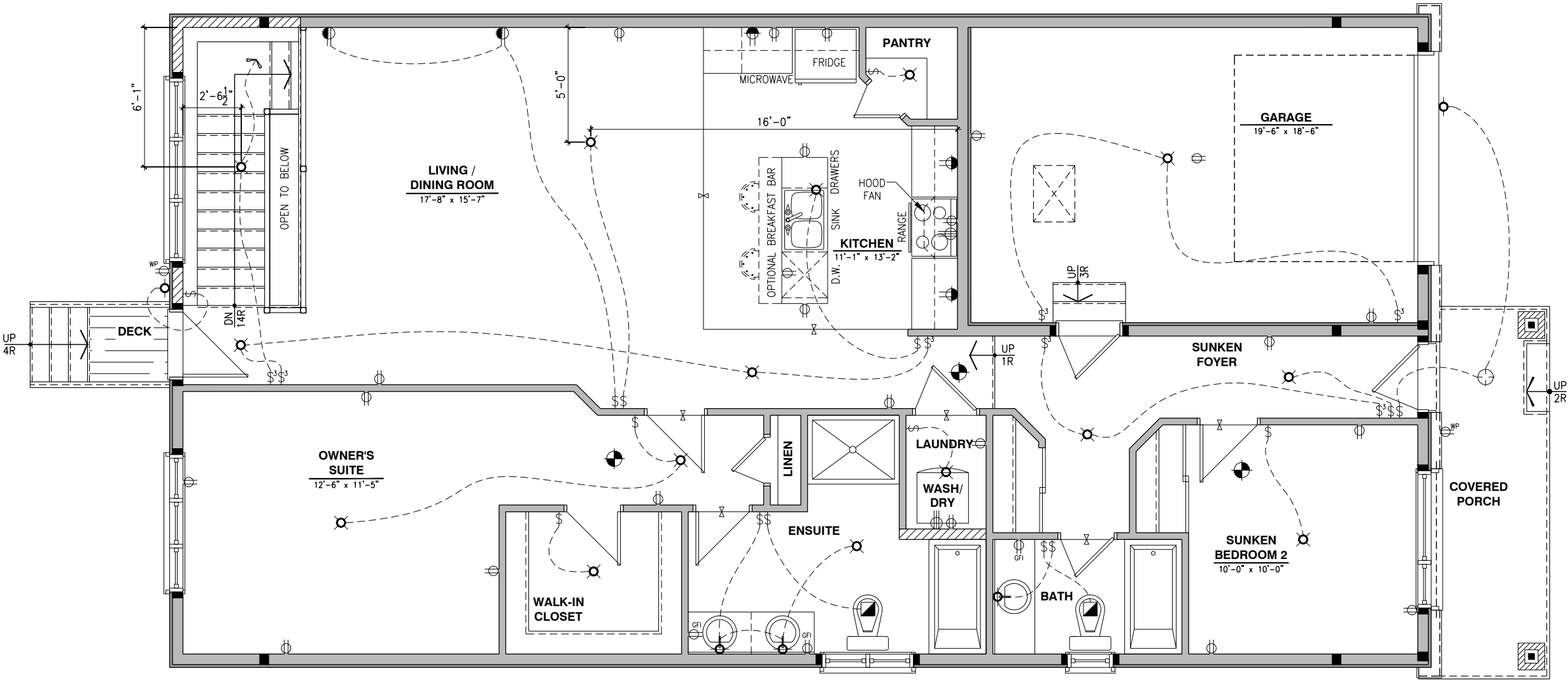
804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **E.19**

ELECTRICAL PLAN - GROUND FLOOR - 2 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ME

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.20

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$MECH PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

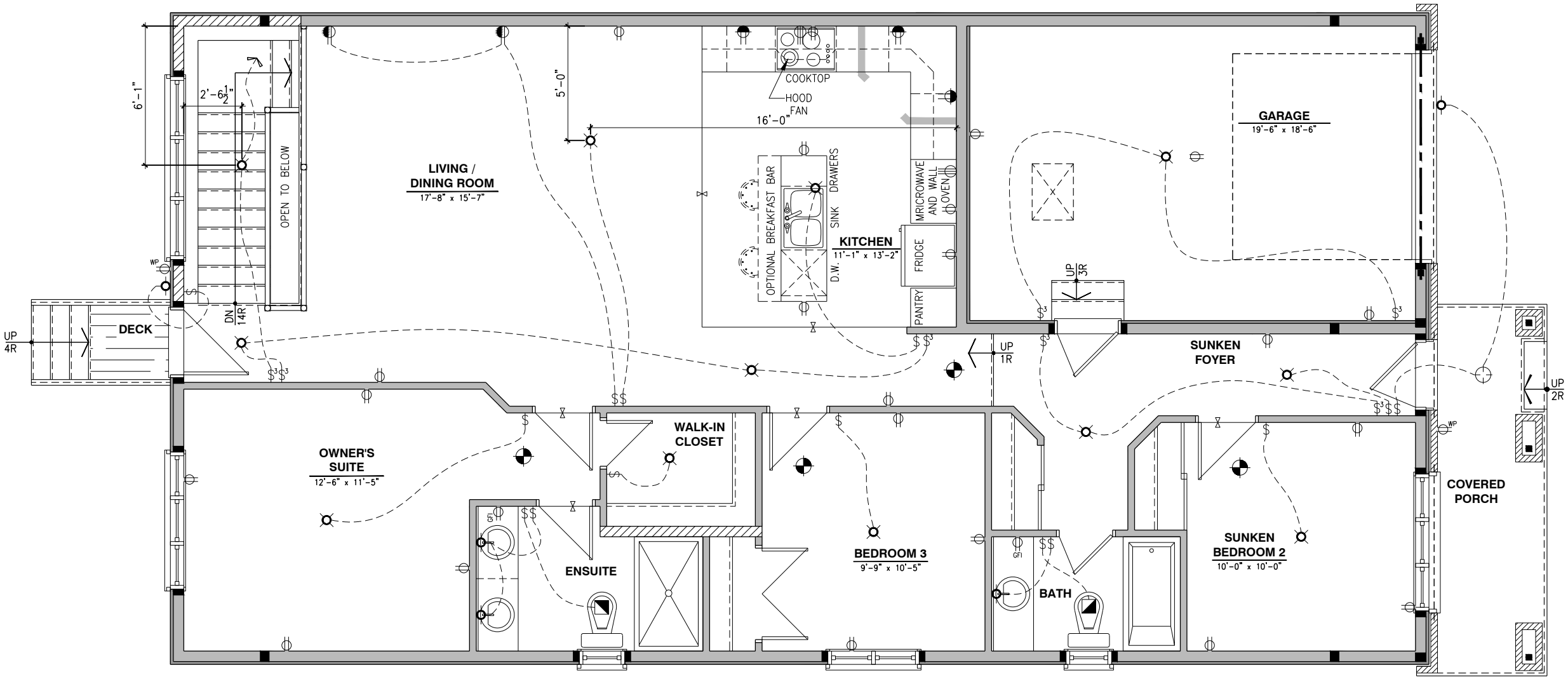
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.21



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊙

WALL MOUNTED LIGHT FIXTURE
- ⊙

CEILING MOUNTED LIGHT FIXTURE
- ⊙

POT LIGHT
- ⊙

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

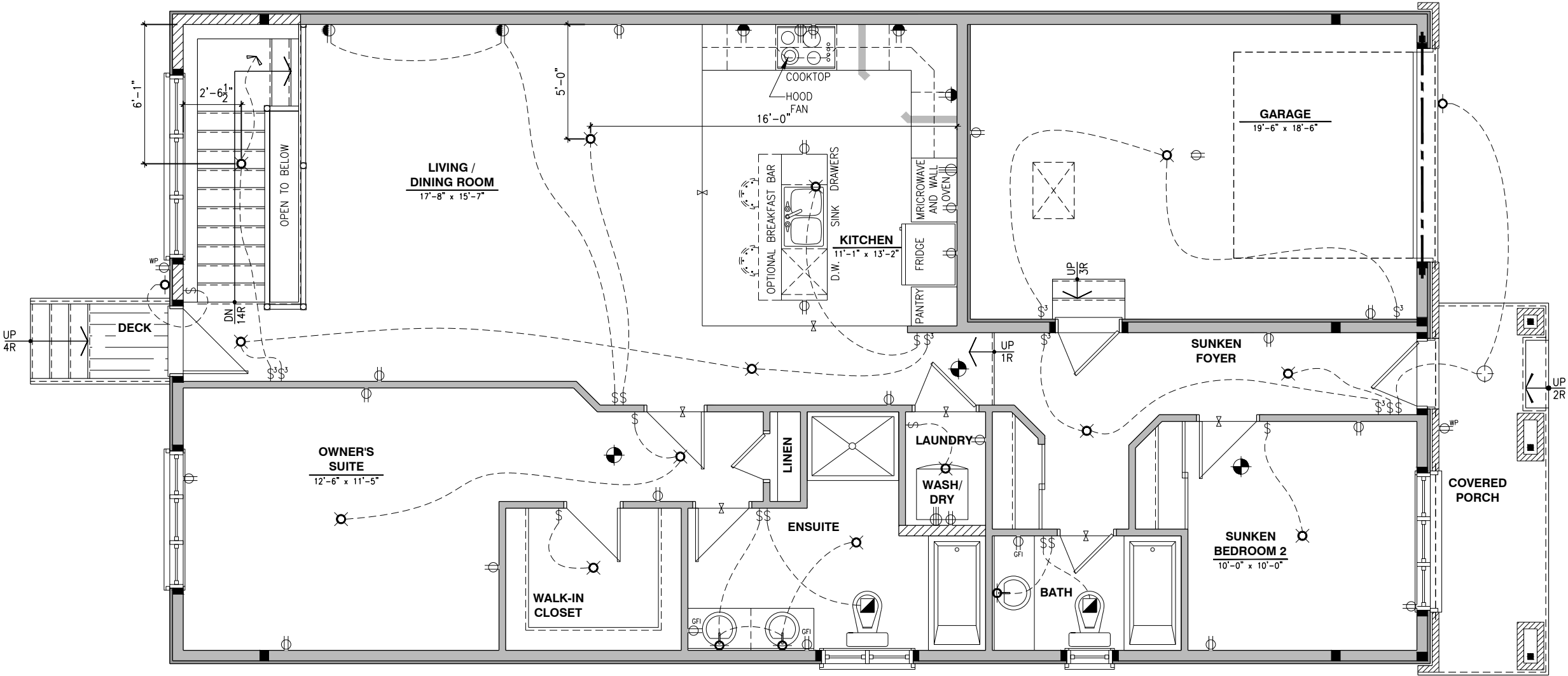
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **E.22**



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊗

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

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2012 O.B.C. DRAWINGS

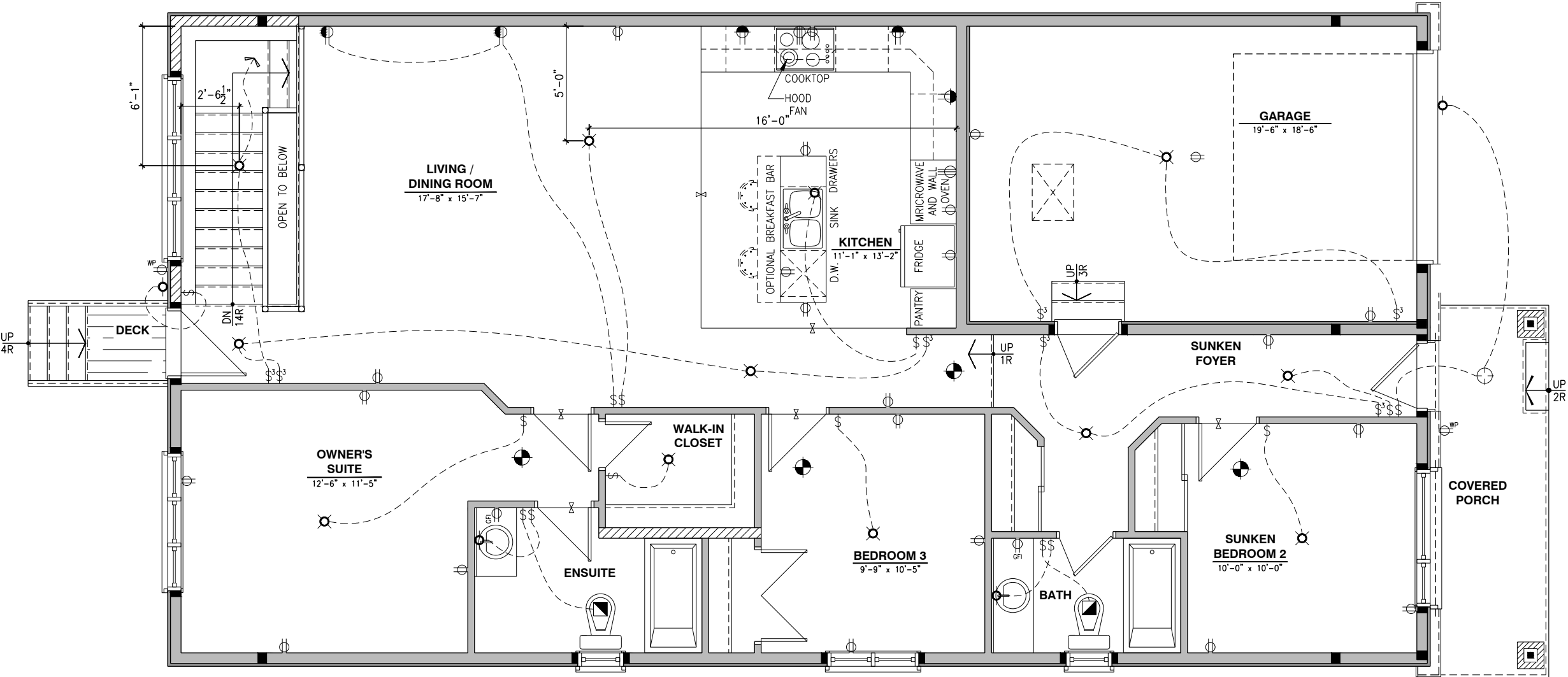
REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.23



LOT: XXXX
DATE: XX/XX/XXXX



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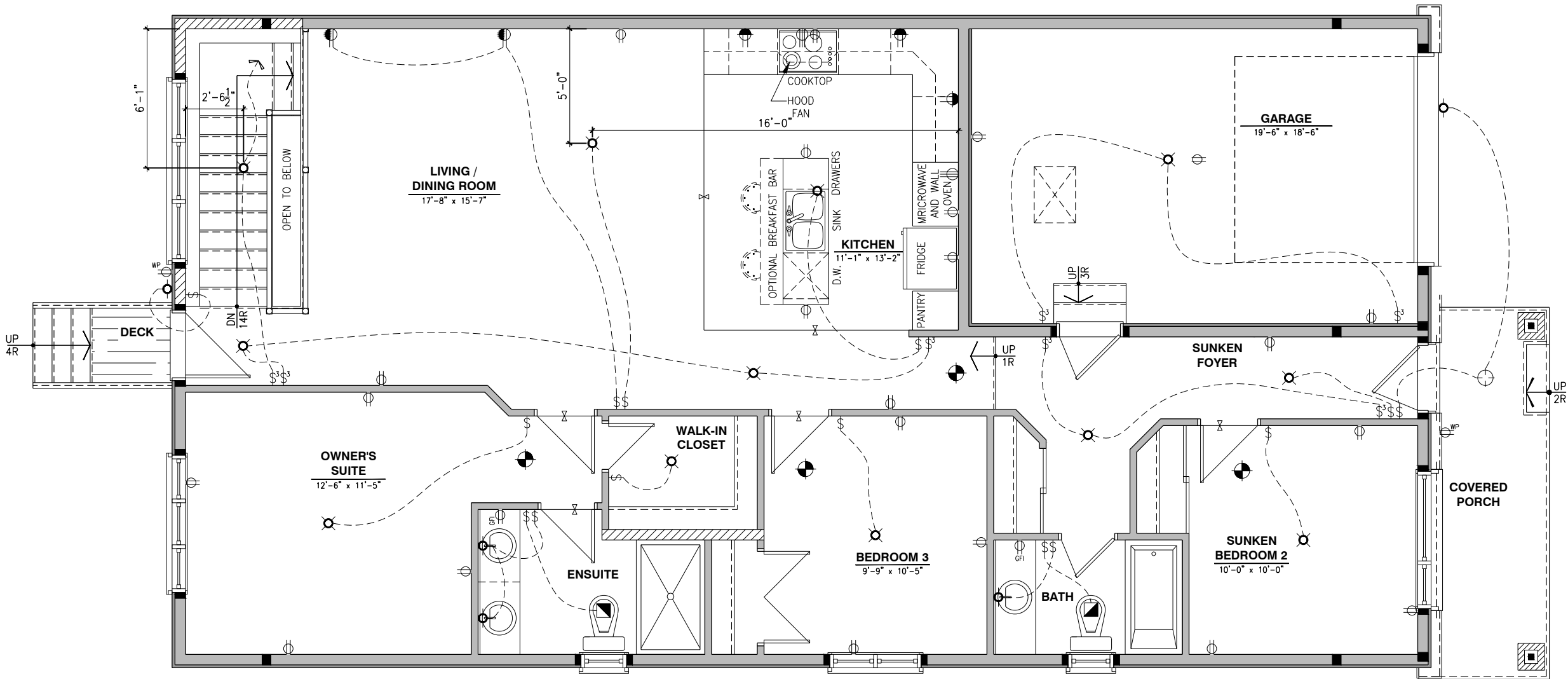
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.24

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL 4 PC ENSUITE - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊙

WALL MOUNTED LIGHT FIXTURE
- ⊙

CEILING MOUNTED LIGHT FIXTURE
- ⊙

POT LIGHT
- ⊙

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	09/20/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

804 - THE MANNING
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.25

