

3 BEDROOM:

GROSS INSULATED = 293 M. SQ.
WALL AREA

GROSS WINDOW = 25.9 M. SQ.
AREA

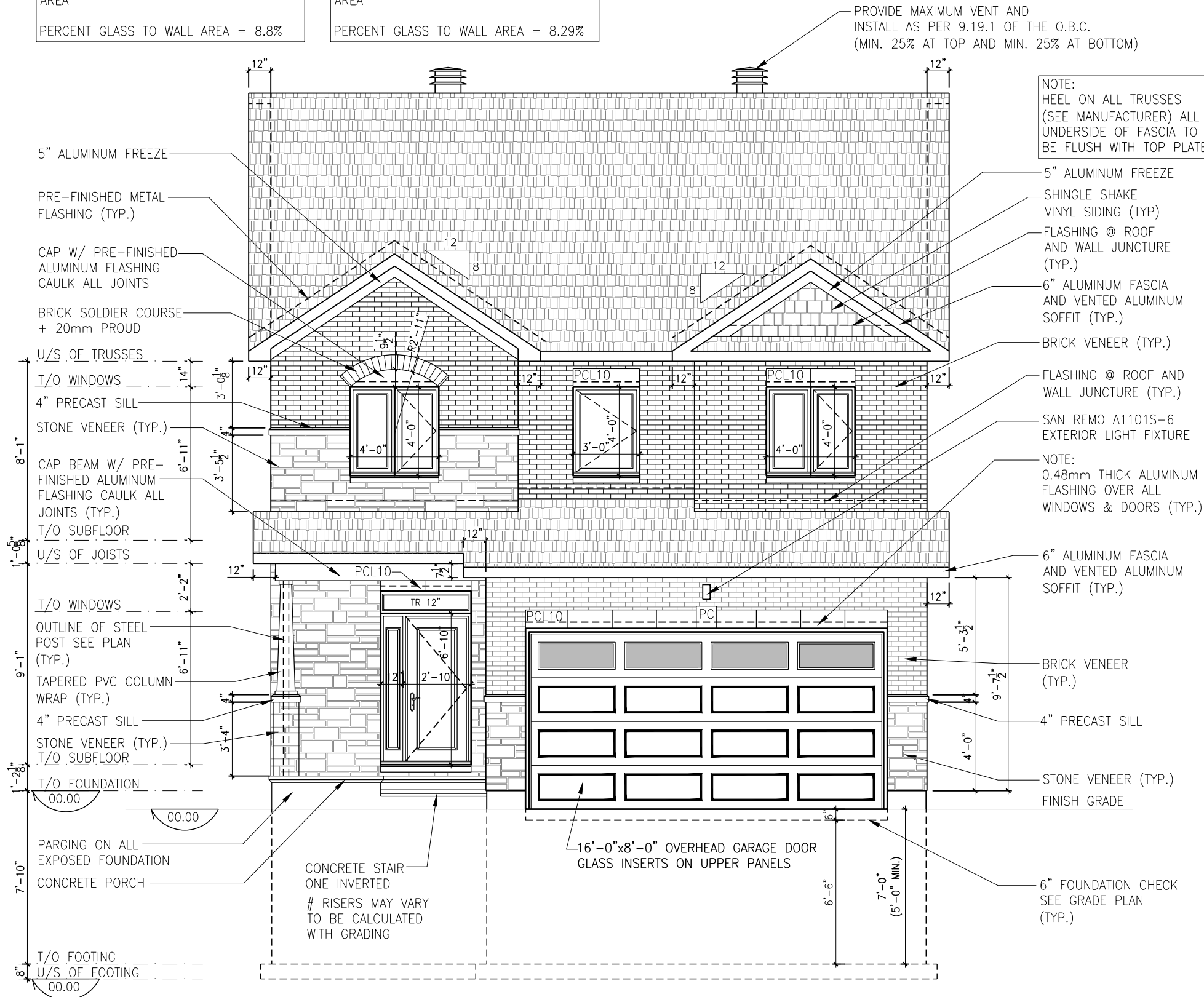
PERCENT GLASS TO WALL AREA = 8.8%

4 BEDROOM:

GROSS INSULATED = 293 M. SQ.
WALL AREA

GROSS WINDOW = 24.3 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 8.29%



FRONT ELEVATION - 3 AND 4 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION - 3 AND 4
BEDROOM - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A1a



Valecraft
Homes (2019) Limited

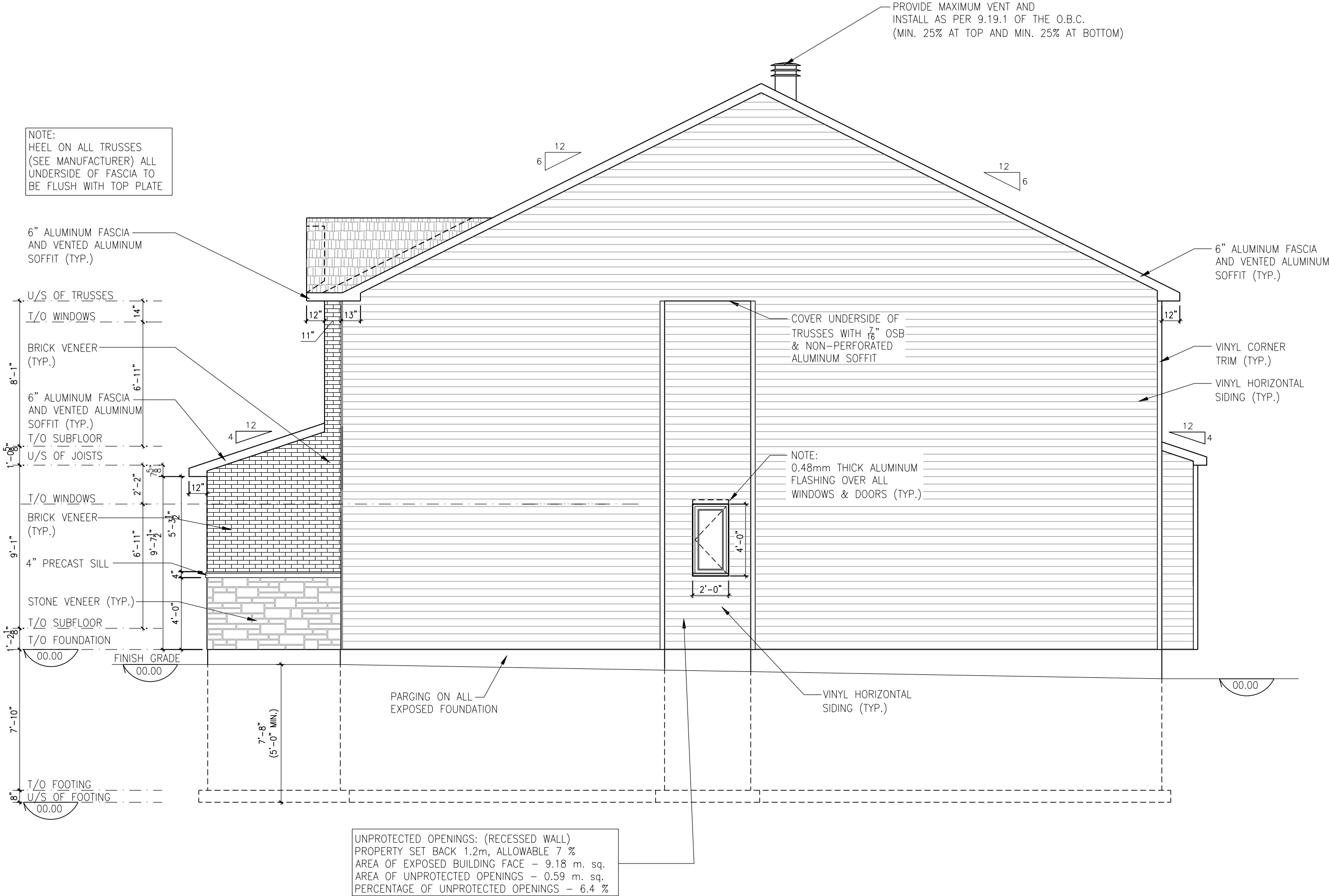
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826 - THE BRADLEY 2022 FOOTPRINT

SHEET:
A2a



RIGHT ELEVATION - 4 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: **RIGHT ELEVATION**
4 BEDROOM - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2a

CONSTRUCTION SITES:
SHEA VILLAGE

PERCENT GLASS TO WALL AREA = 9.9%

PERCENT GLASS TO WALL AREA = 9%

— PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

— BRICK VENEER
(TYP.)

— 6" FOUNDATION CHECK
SEE GRADE PLAN
(TYP.)

U/S OF TRUSSES
 T/O WINDOWS
 4" PRECAST SILL
 8'-1"
 CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)
 T/O SUBFLOOR
 U/S OF JOISTS
 1'-0 5/8"
 T/O WINDOWS
 4" PRECAST SILL
 9'-1"
 OUTLINE OF STEEL POST SEE PLAN (TYP.)
 BRICK VENEER (TYP.)
 T/O SUBFLOOR
 T/O FOUNDATION
 1'-2 1/4"
 00.00
 7'-10"
 PAVING ON ALL EXPOSED FOUNDATION
 CONCRETE PORCH
 8"
 T/O FOOTING
 U/S OF FOOTING
 00.00

CONCRETE STAIR—
ONE INVERTED
RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

16'-0"x8'-0" OVERHEAD GARAGE DOOR
GLASS INSERTS 3 STACKED

FRONT ELEVATION - 3 AND 4 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



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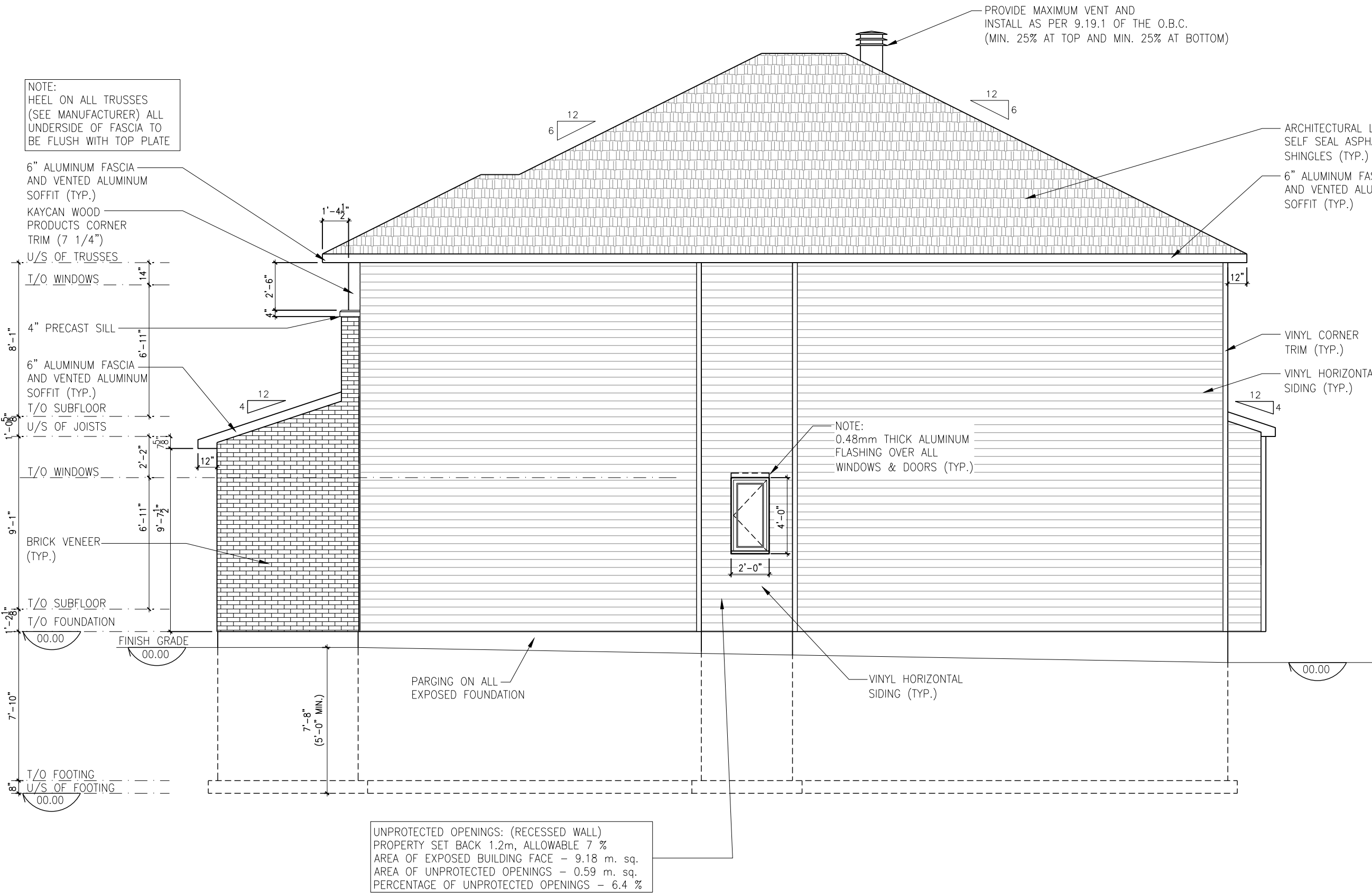
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BEDROOM - ELEVATION B**

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A1b



RIGHT ELEVATION - 3 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

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LOT: XXXX
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NO.

NEW STANDARD DRWG
DESCRIPTION

MODIFICATION
DATE

12/20/2022
DOYON
BY

DRAWING: **RIGHT ELEVATION
3 BEDROOM - ELEVATION B**

ADDRESS:
xx

SCALE:
3/16" = 1'-0"

DATE:
xx/xx/xxxx

**826 - THE BRADLEY
2022 FOOTPRINT**
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SHEET:
A2b



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UNPROTECTED OPENINGS: (RECESSED WALL)
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 9.18 m. sq.
AREA OF UNPROTECTED OPENINGS - 0.59 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 6.4 %

CONSTRUCTION SITES:
SHEA VILLAGE

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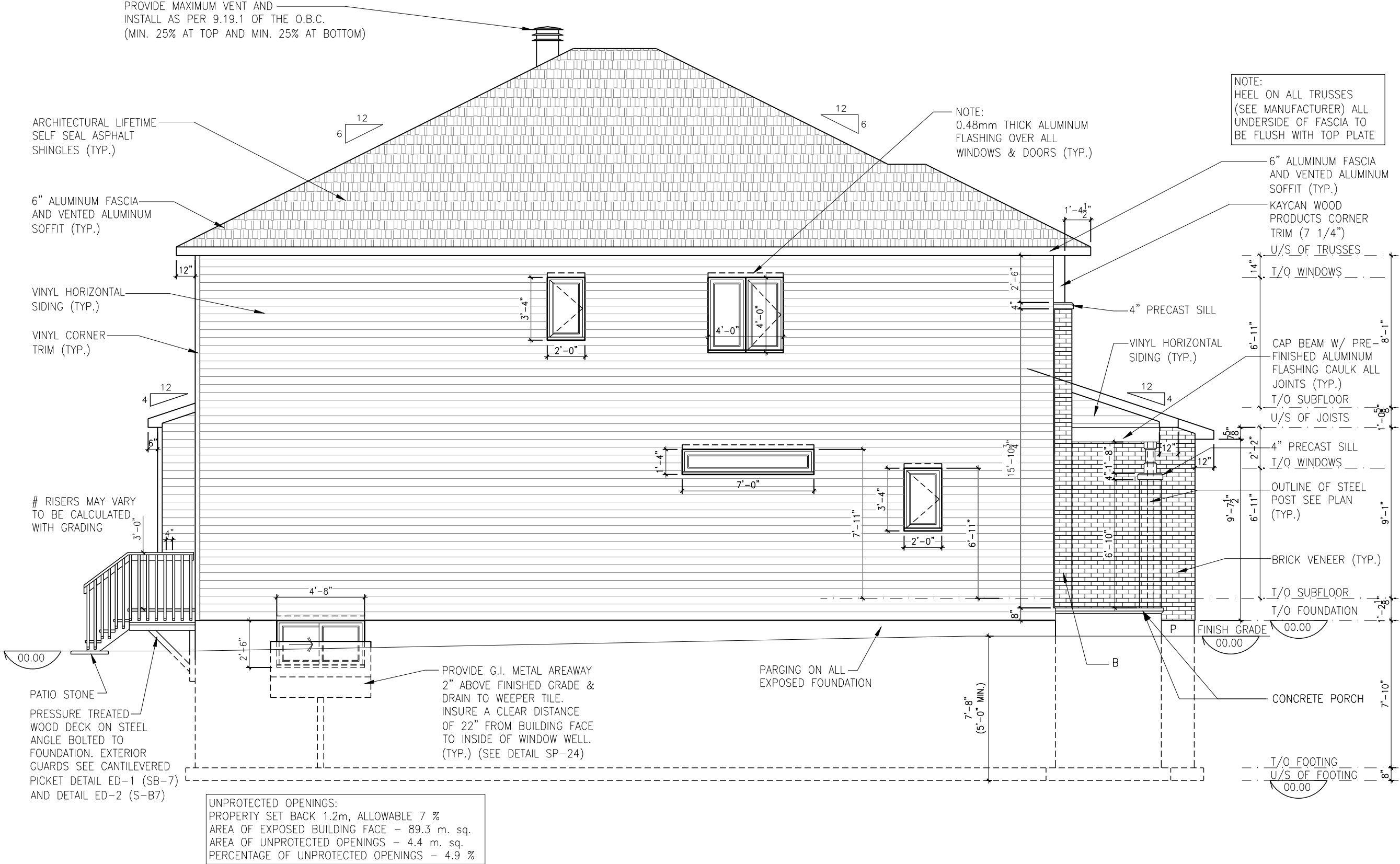
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DRAWING: LEFT ELEVATION
3 AND 4 BEDROOM - ELEVATION B

ADDRESS:	SCALE:	DATE:
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826 - THE BRADLEY
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SHEET:
A3b



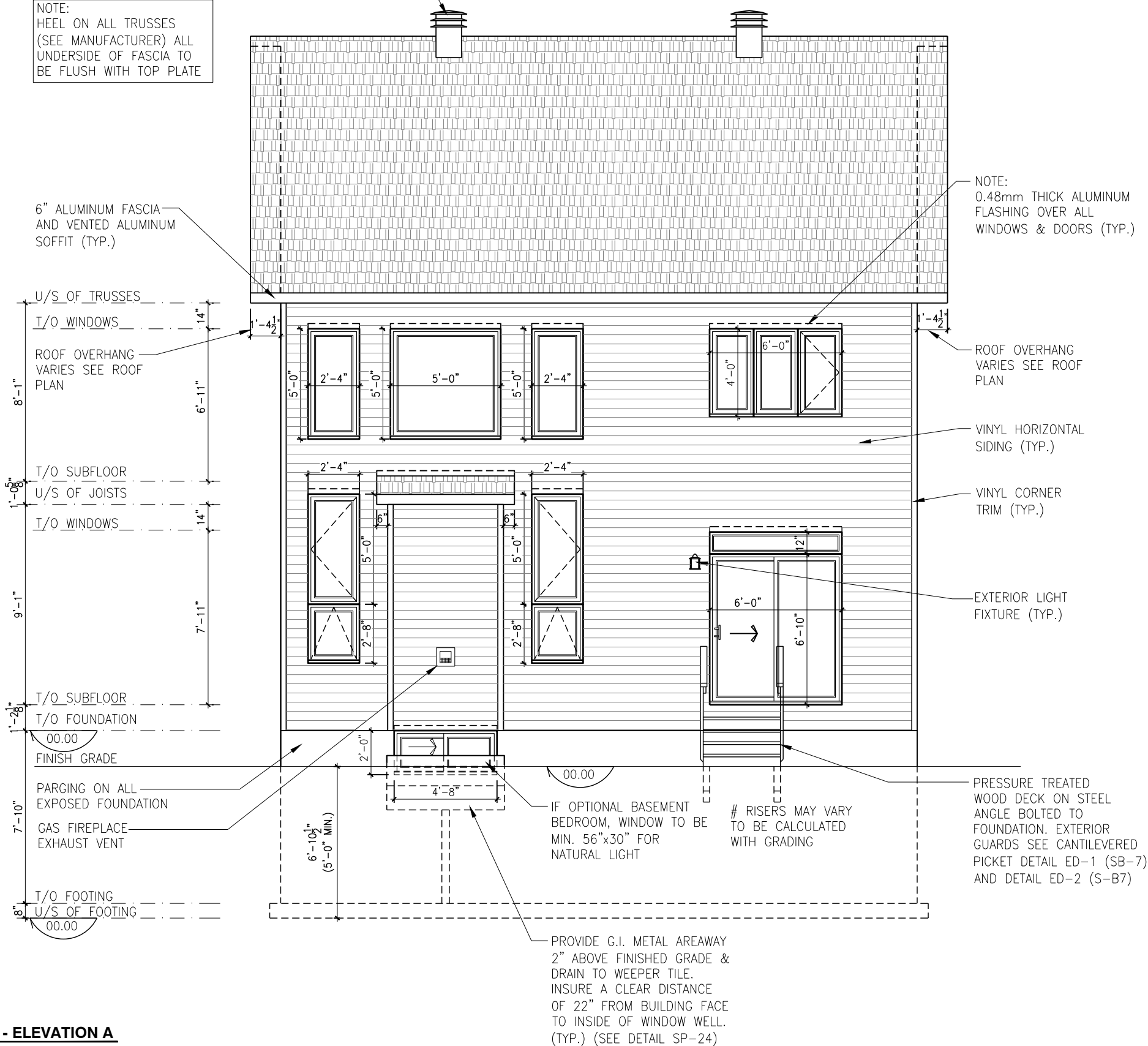
LEFT ELEVATION - 3 AND 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



REAR ELEVATION - 3 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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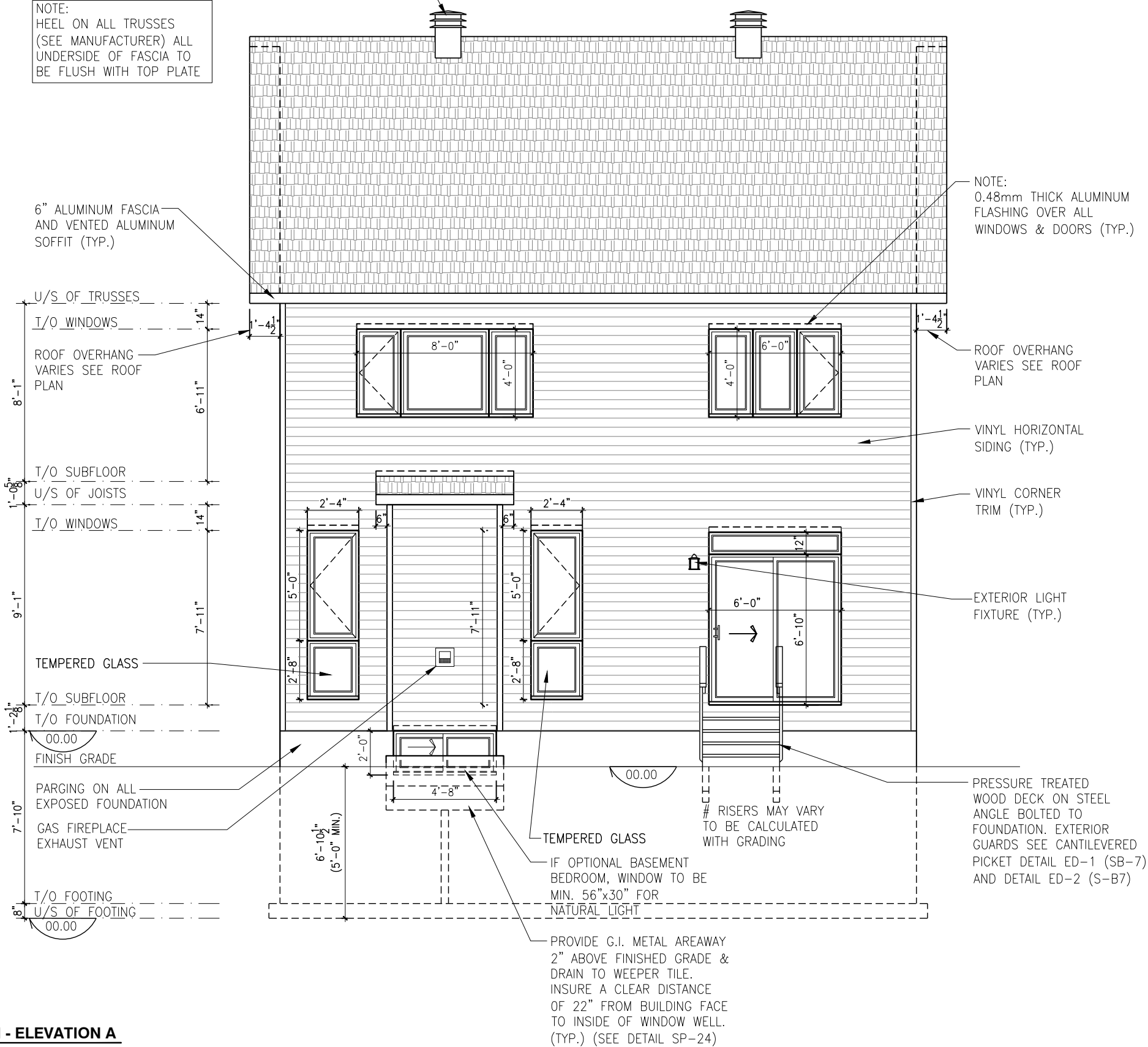
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2022 FOOTPRINT**
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A4a

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NOTE:
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LOT: XXXX
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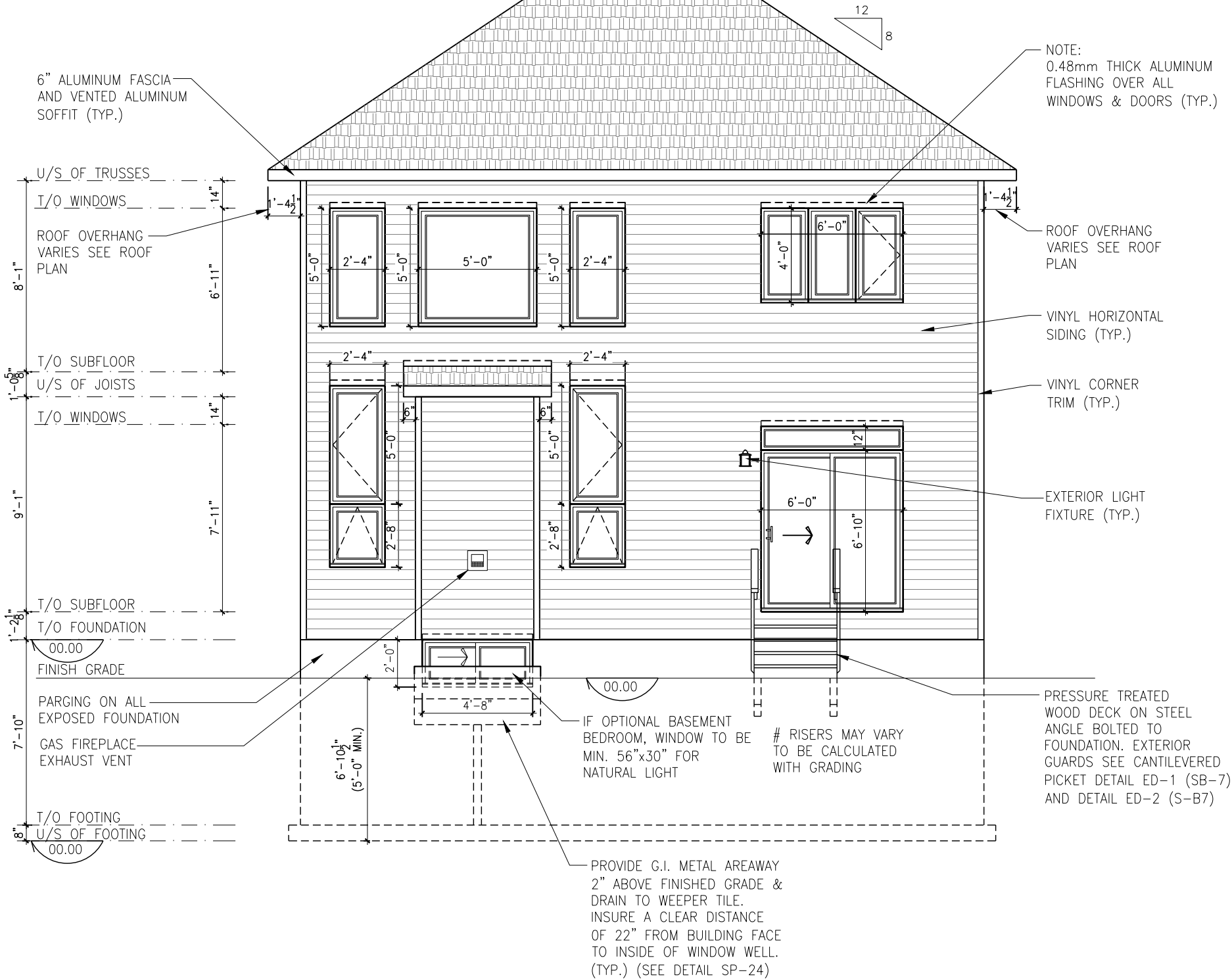
A4a

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CONSTRUCTION SITES:
SHEA VILLAGE

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(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
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(SEE MANUFACTURER) ALL
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BE FLUSH WITH TOP PLATE



REAR ELEVATION - 3 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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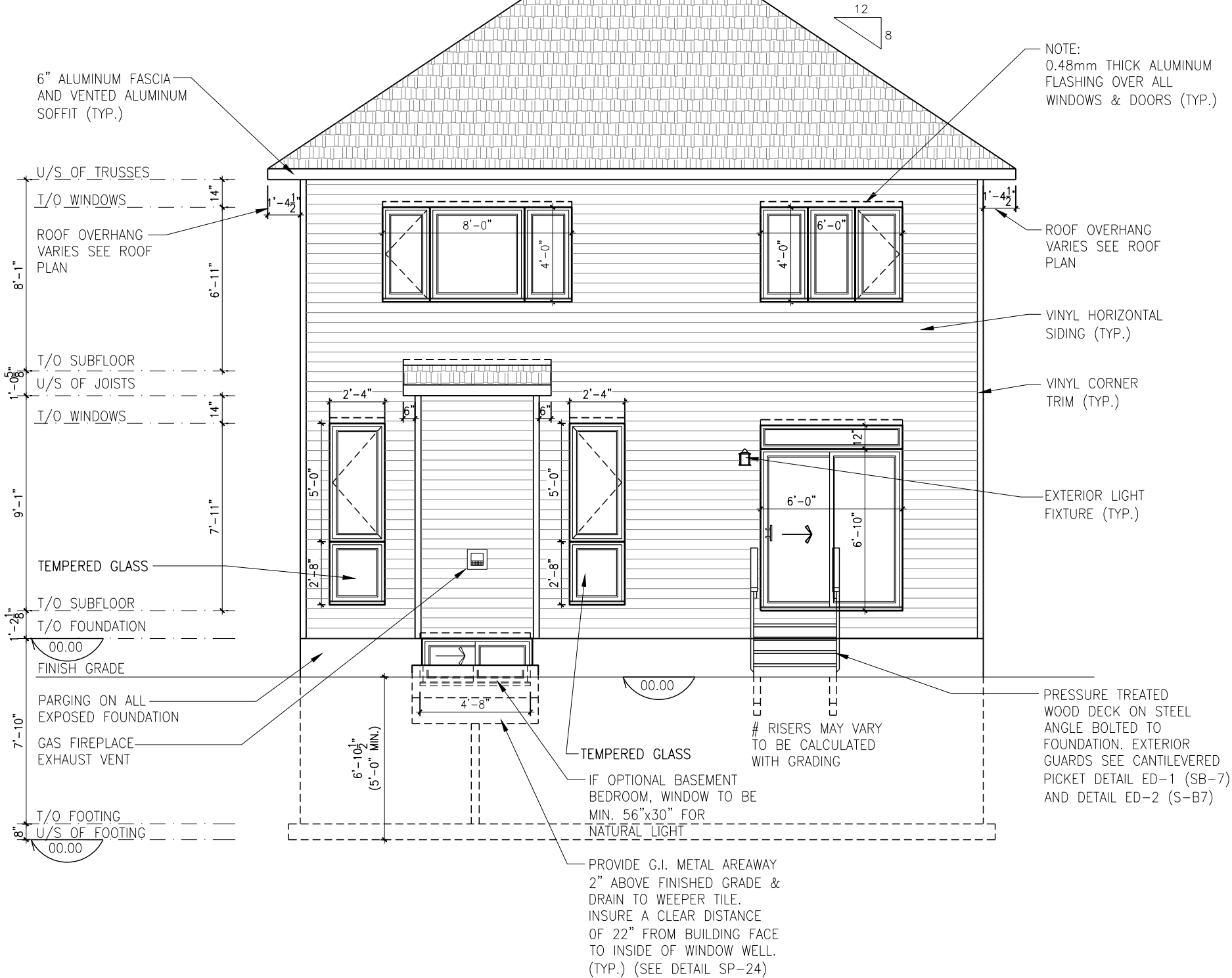
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REAR ELEVATION - 4 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
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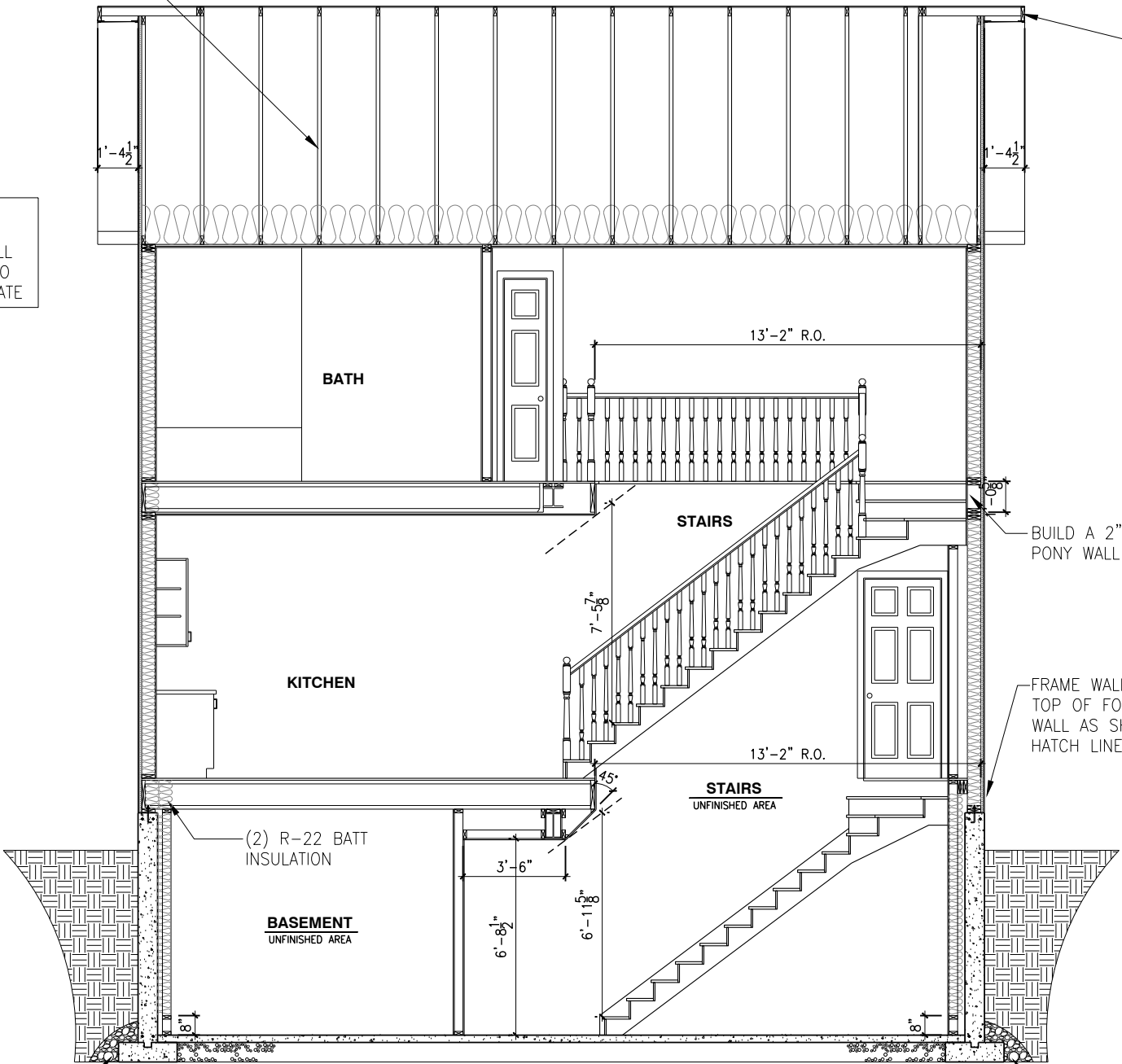
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A4b

PRE-ENGINEERED ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)
PRE-ENGINEERED CONTINUOUS BRACING (SEE MANUFACTURER)

NOTE:
HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

4" Ø PERFORATED WEeping TILE WITH SOCK C/W 6" CRUSHED STONE COVER



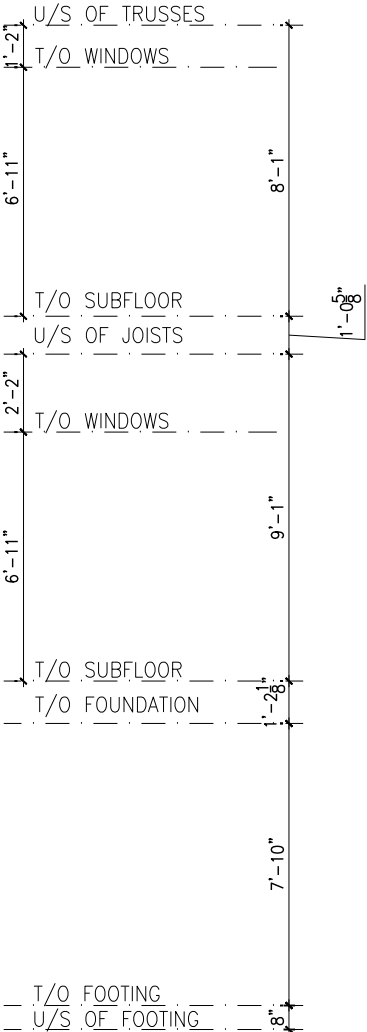
SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

AF

BUILD A 2"x6" PONY WALL

FRAME WALL ON TOP OF FOUNDATION WALL AS SHOWN IN HATCH LINES

4" Ø PERFORATED WEeping TILE WITH SOCK C/W 6" CRUSHED STONE COVER



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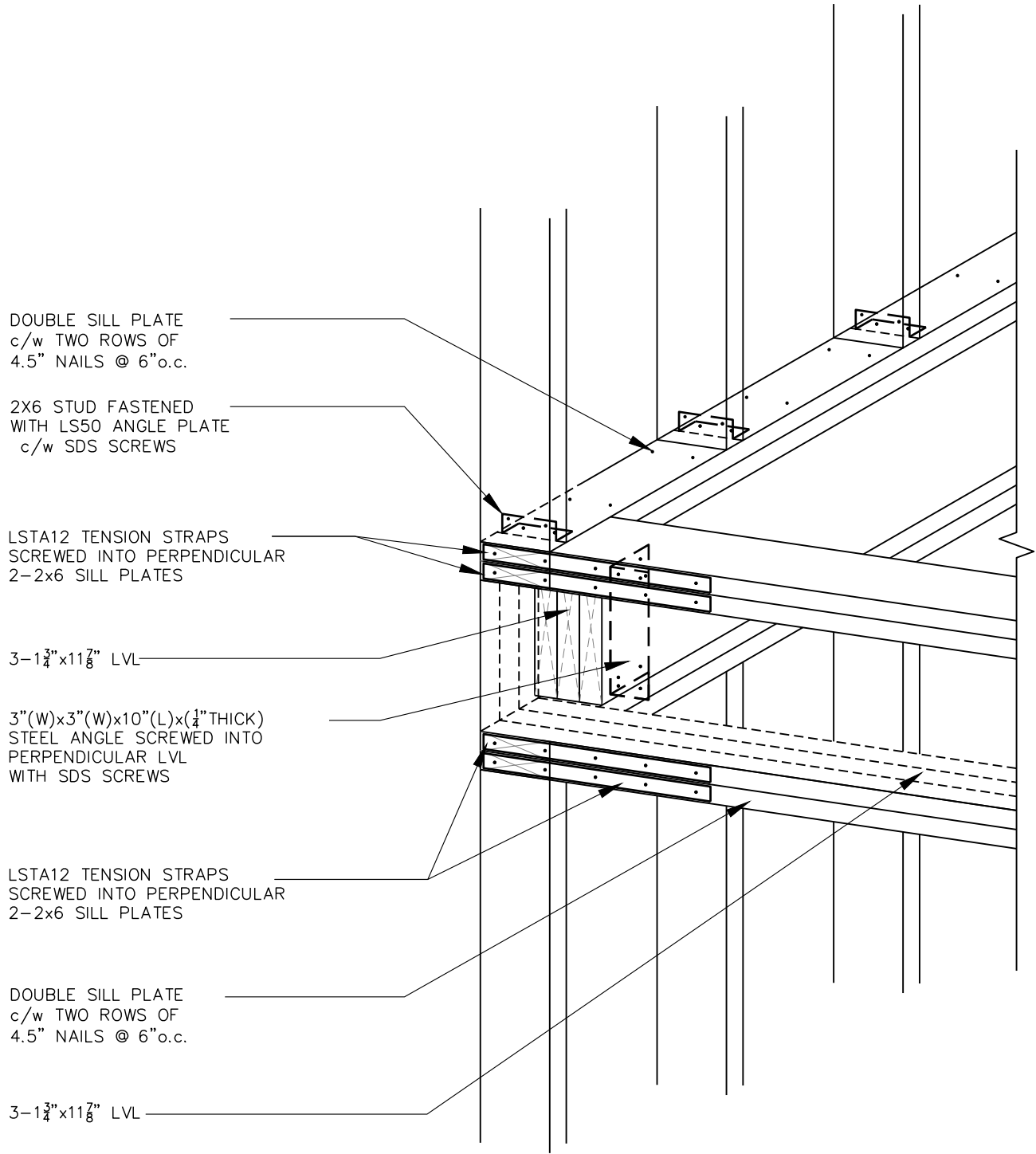
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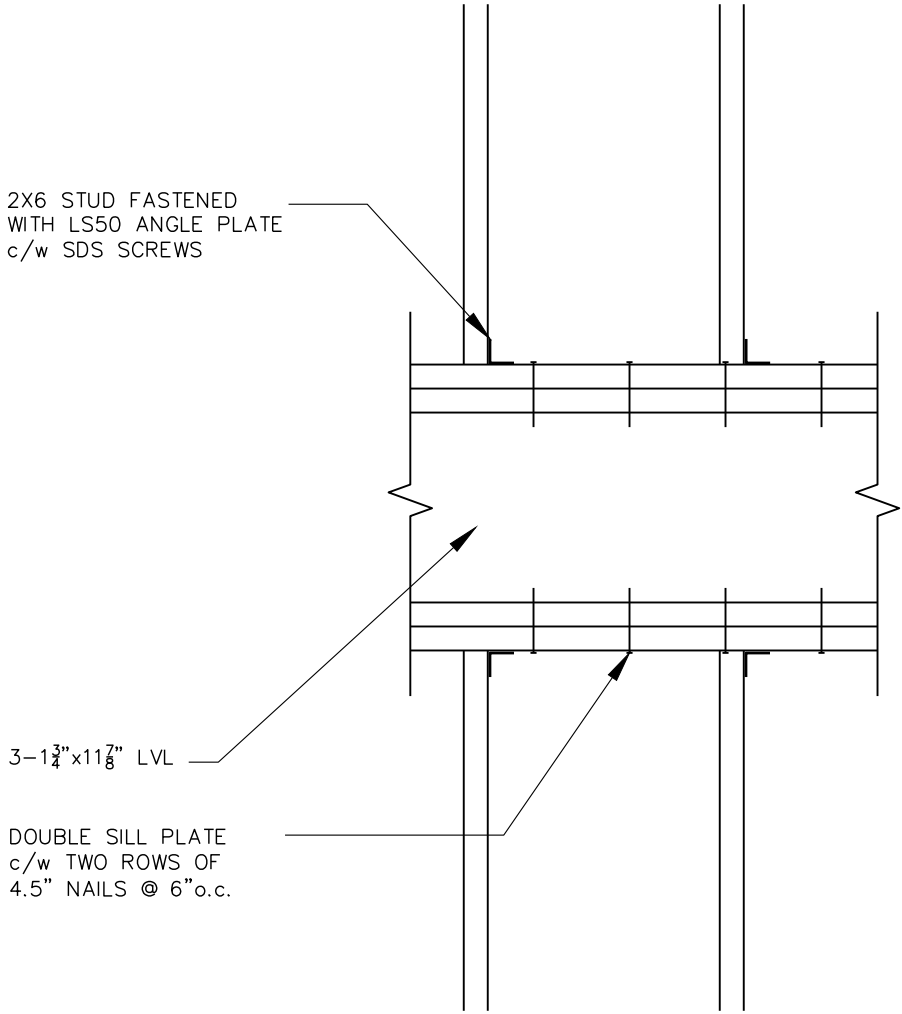
THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7/4" LAP



BOX BEAM AT CORNER
SCALE: 1/2" = 1'-0"



BOX BEAM PARTIAL ELEVATION
SCALE: 1/2" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BOX BEAM FRAMING DETAIL

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
D2

CONSTRUCTION SITES:
SHEA VILLAGE

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w

- NOTES:
- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
 - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
 - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
 - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
 - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
 - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

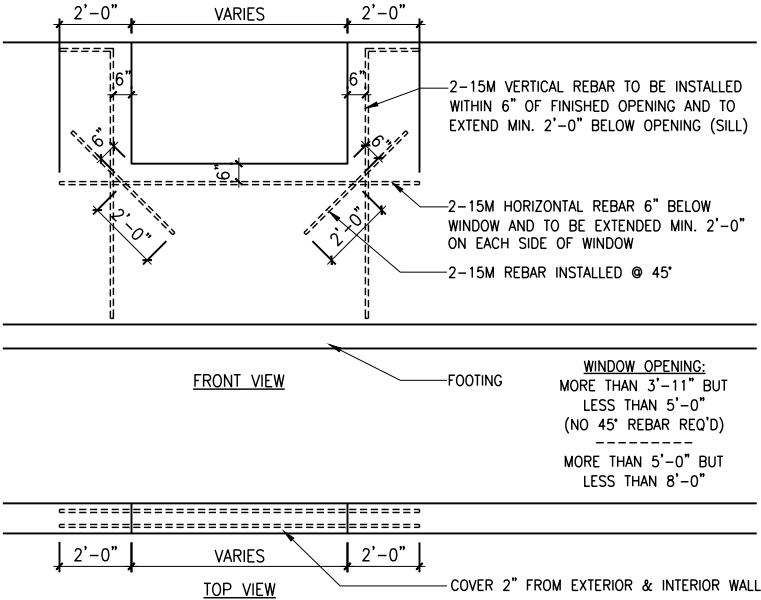
FOOTING TABLE & DETAILS

ADDRESS:xx	SCALE:3/16" = 1'-0"	DATE:xx/xx/xxxx
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826 - THE BRADLEY 2022 FOOTPRINT

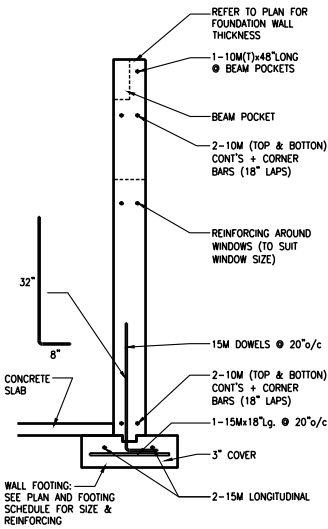
(STANDARD DRAWINGS)

A6



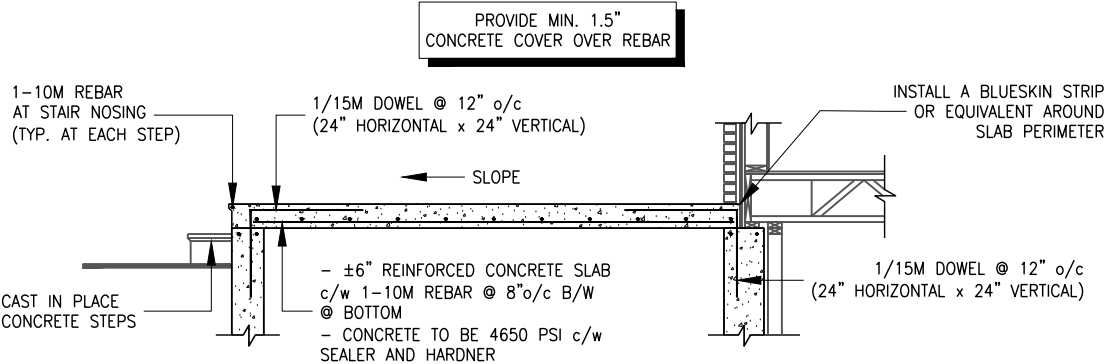
1 BASEMENT WINDOW REINFORCING

A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING

A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING

A.6 SCALE: 1/4" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

LOT: XXXX
DATE: XX/XX/XXXX

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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12x ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

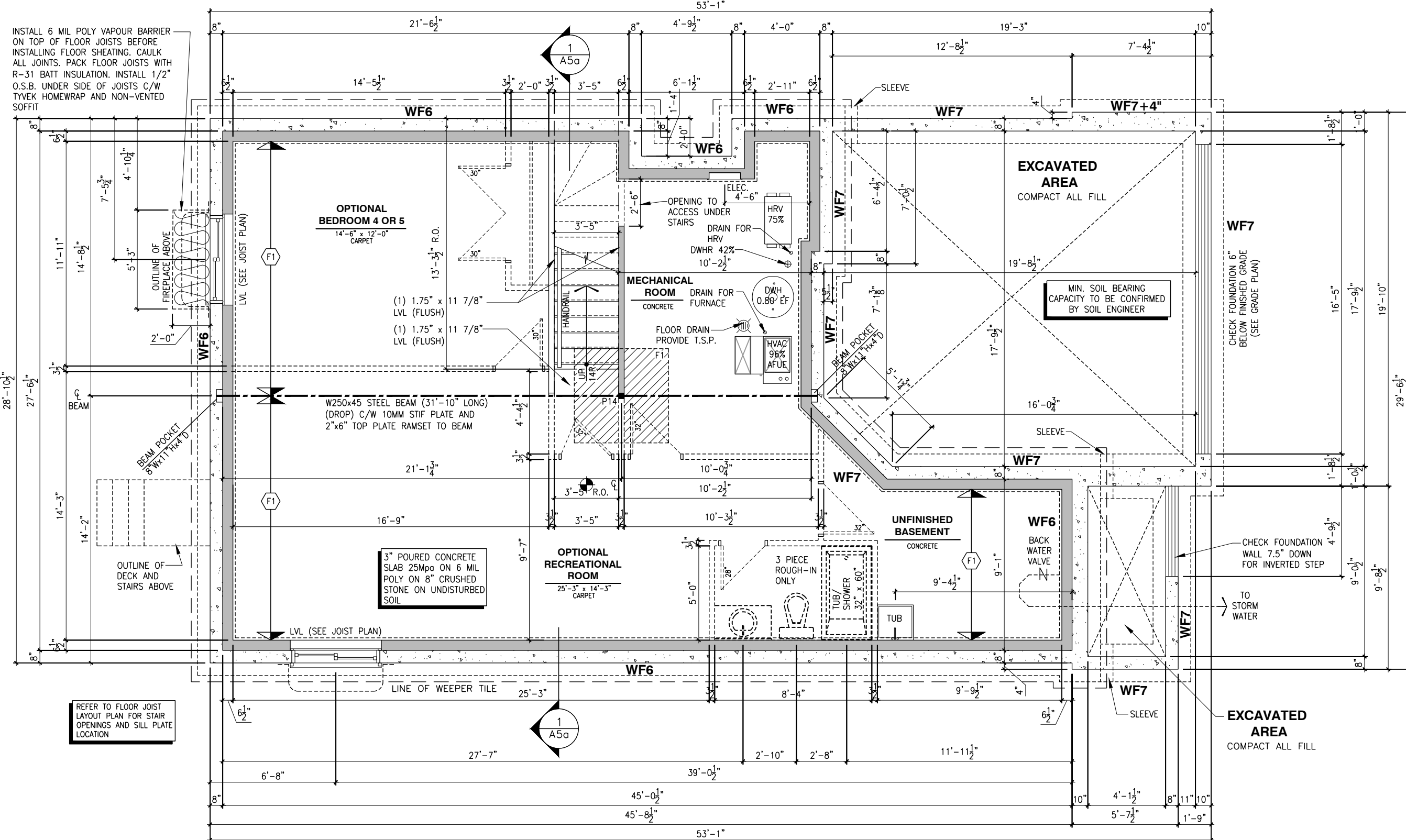
DRAWING: **BASEMENT FLOOR PLAN**
3 AND 4 BED. - ELEV. A, B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

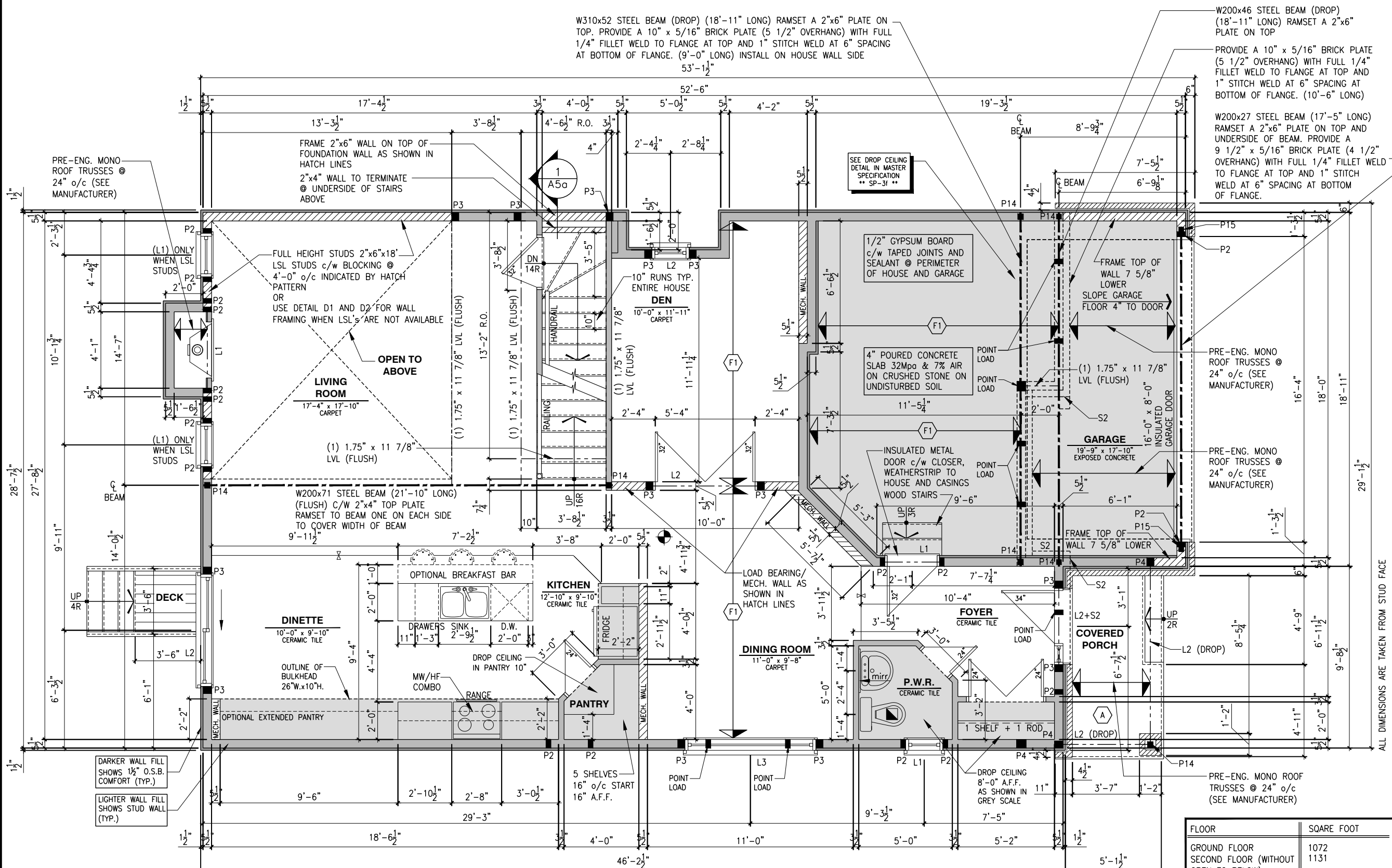
SHEET:
A6a



BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
3 BEDROOM - ELEV. A

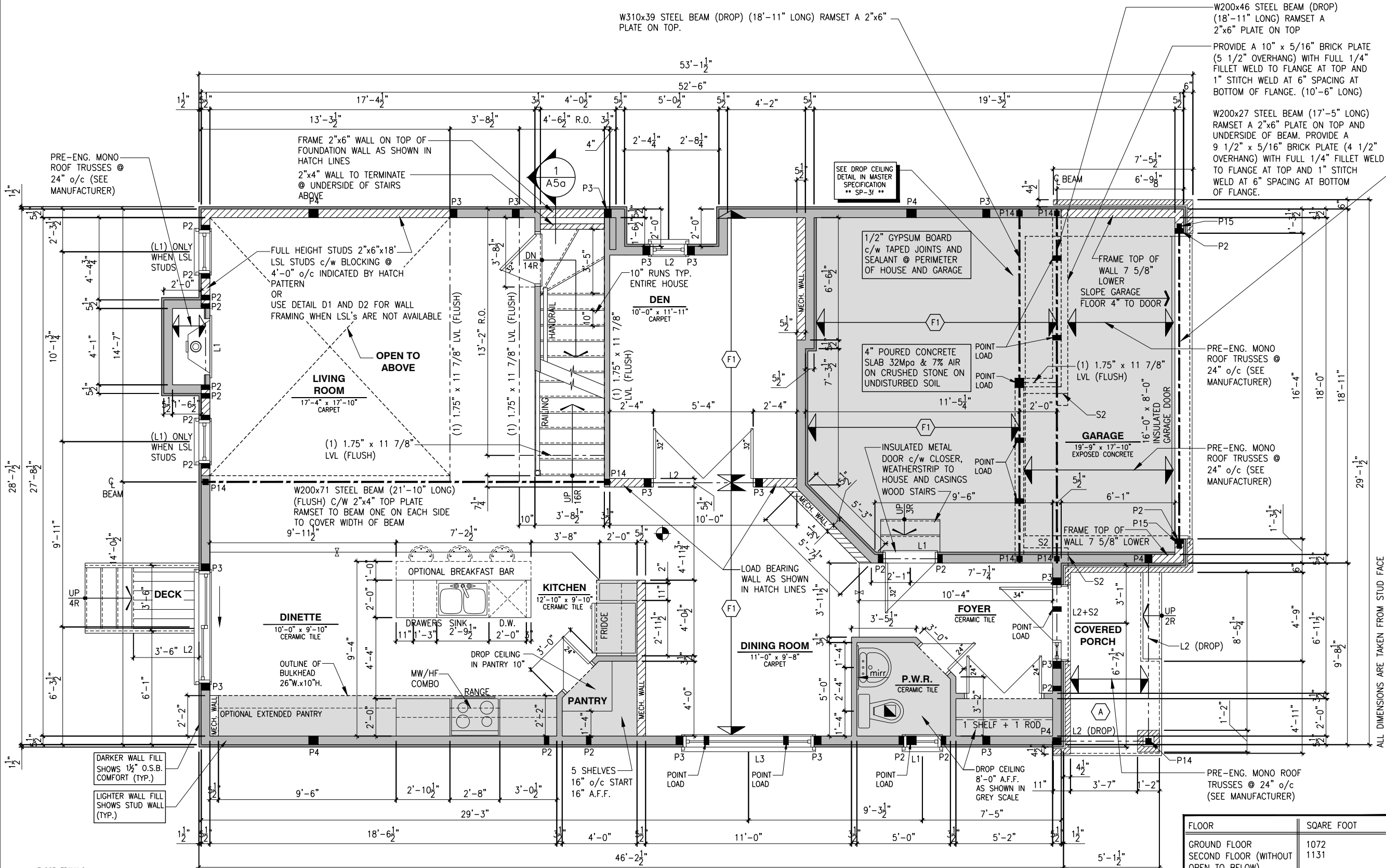
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A7a**

GROUND FLOOR PLAN - 3 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTES:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

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LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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POST TABLE:

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P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

MECH. WALL = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

GROUND FLOOR PLAN 3 BEDROOM - ELEV. B

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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826 - THE BRADLEY

2022 FOOTPRINT

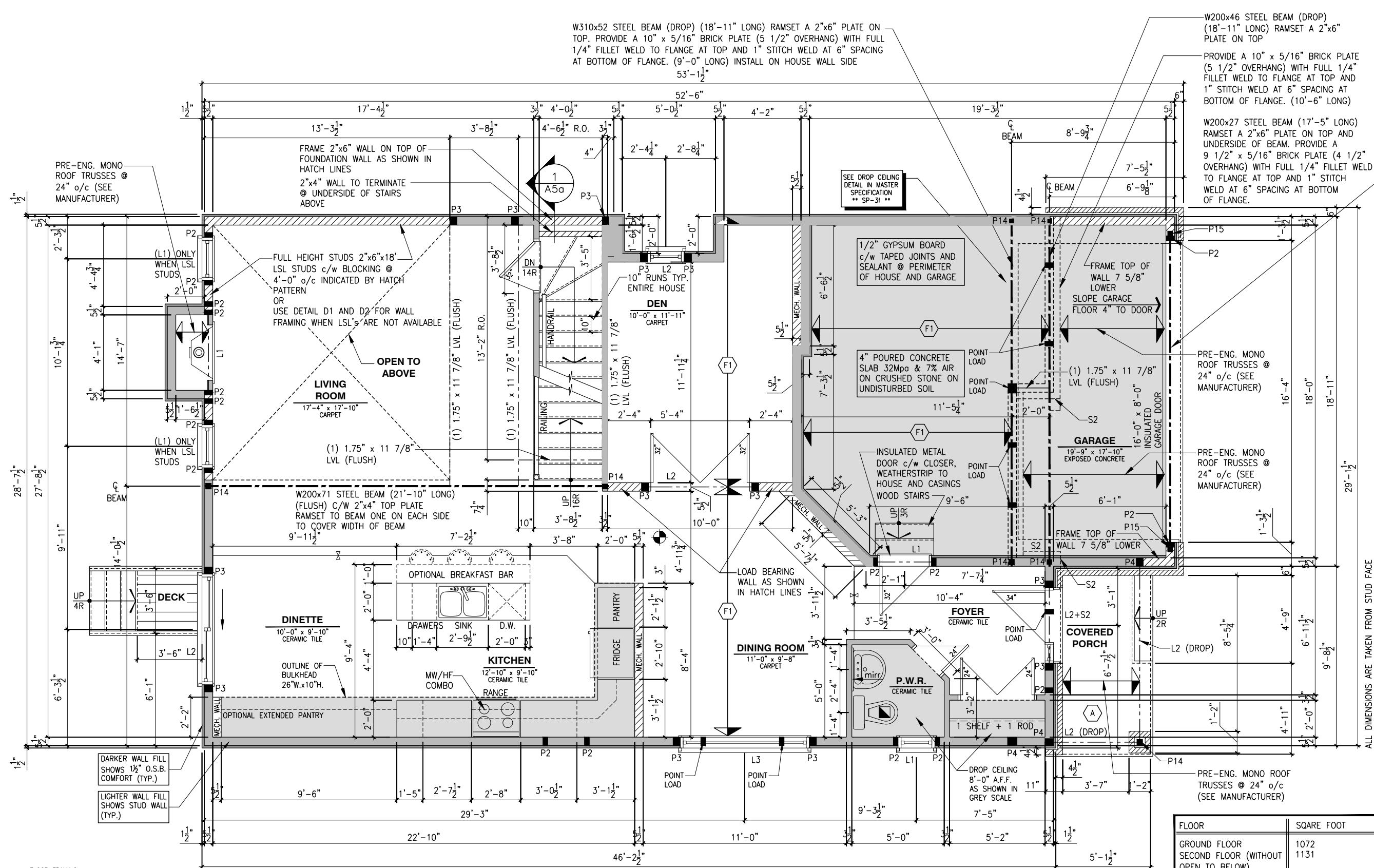
(STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

SHEET:

A7b



FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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FLOOR	SOARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIOR REGISTRATION NUMBER #611

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
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S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x12 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN 3 BEDROOM - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

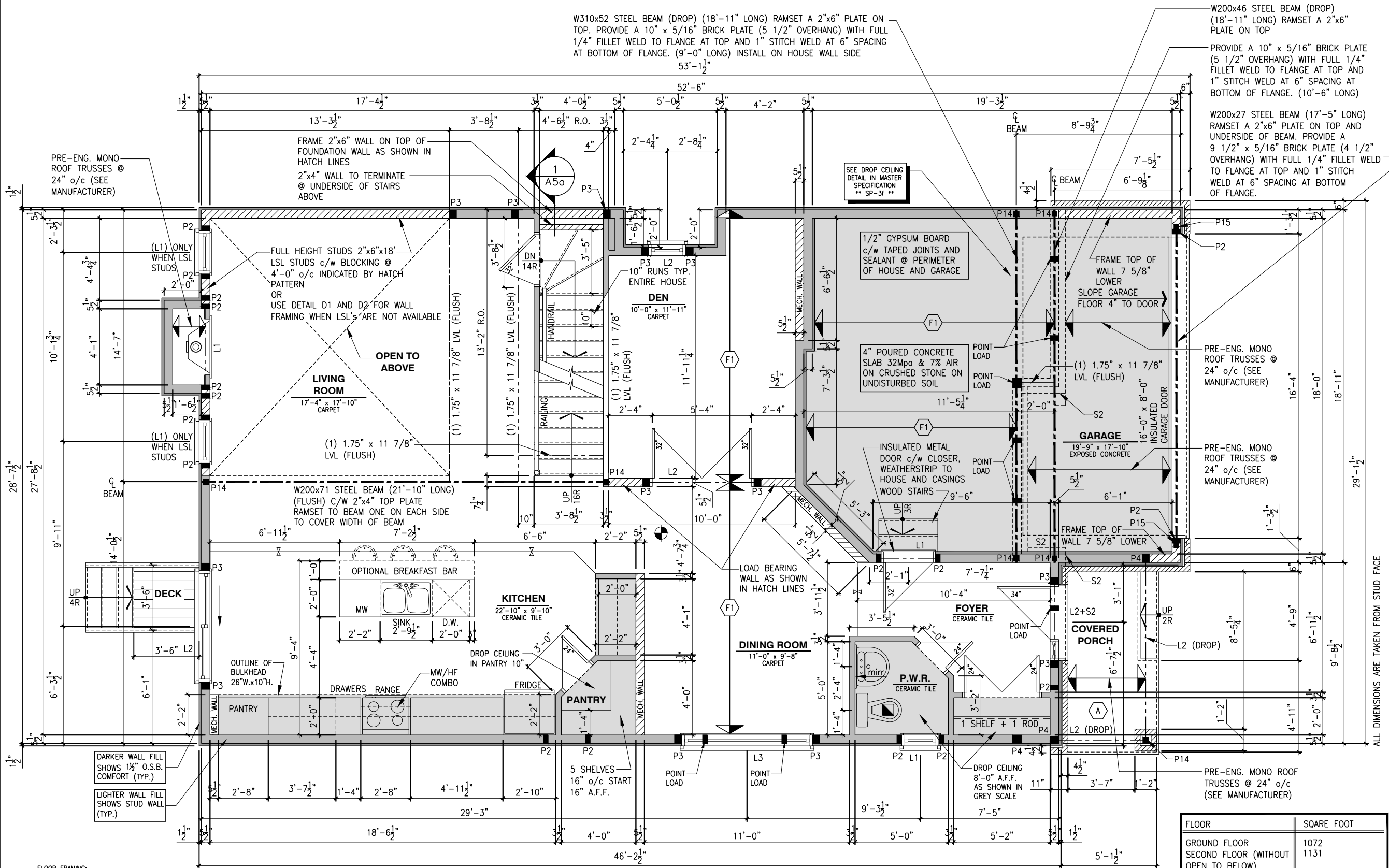
(STANDARD DRAWINGS)

A7c

GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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STEEL LINTEL:

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P5 = 5-2x4 OR 5-2x6
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
3 BEDROOM - ELEV. A

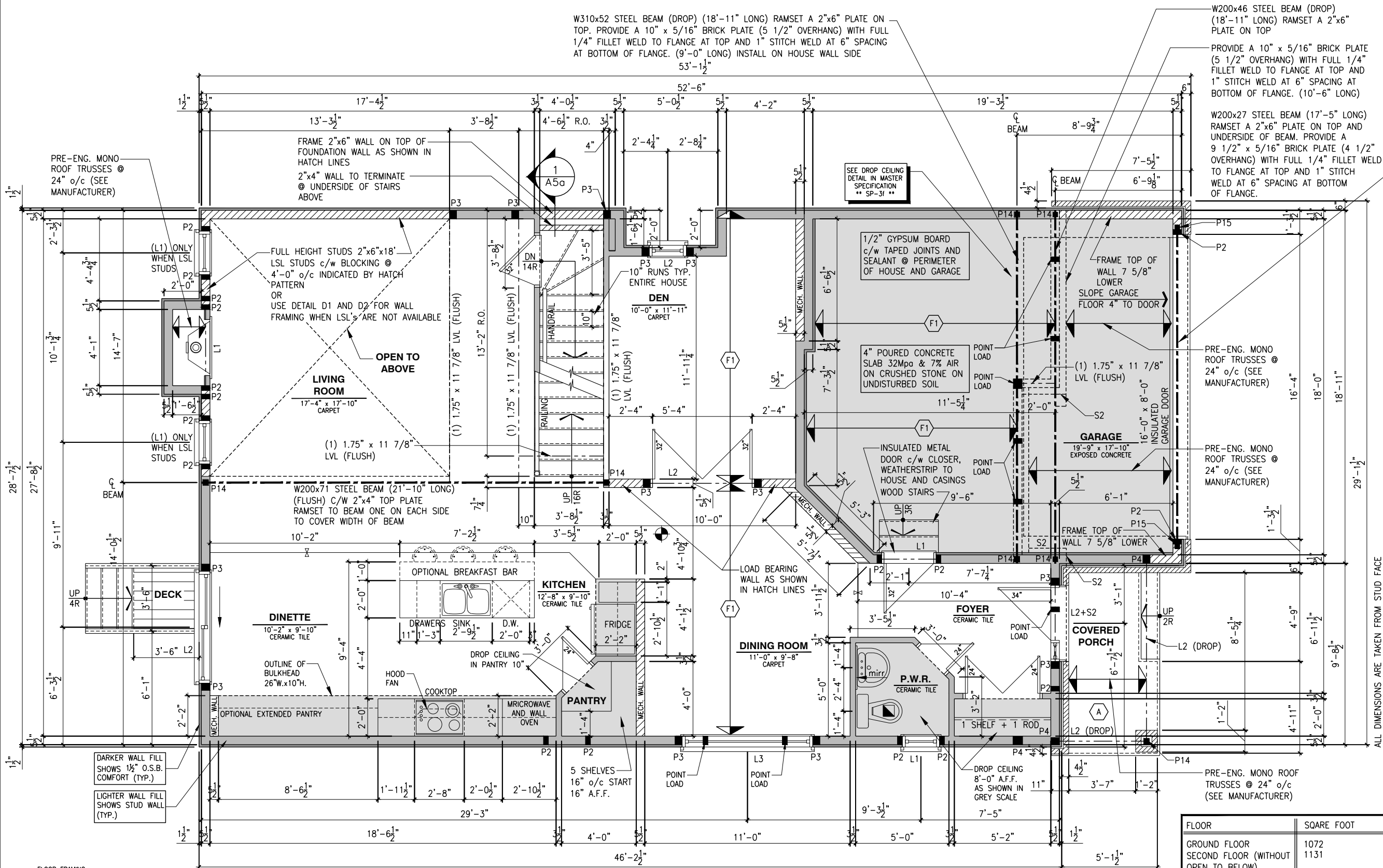
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A7e**

CONSTRUCTION SITES:
SHEA VILLAGE





FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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SINGLE DWELLING STAIRS:

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NOTE:

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NOTES:

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FLOOR	SQUARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x12 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:

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- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 12/20/2022 DOYON

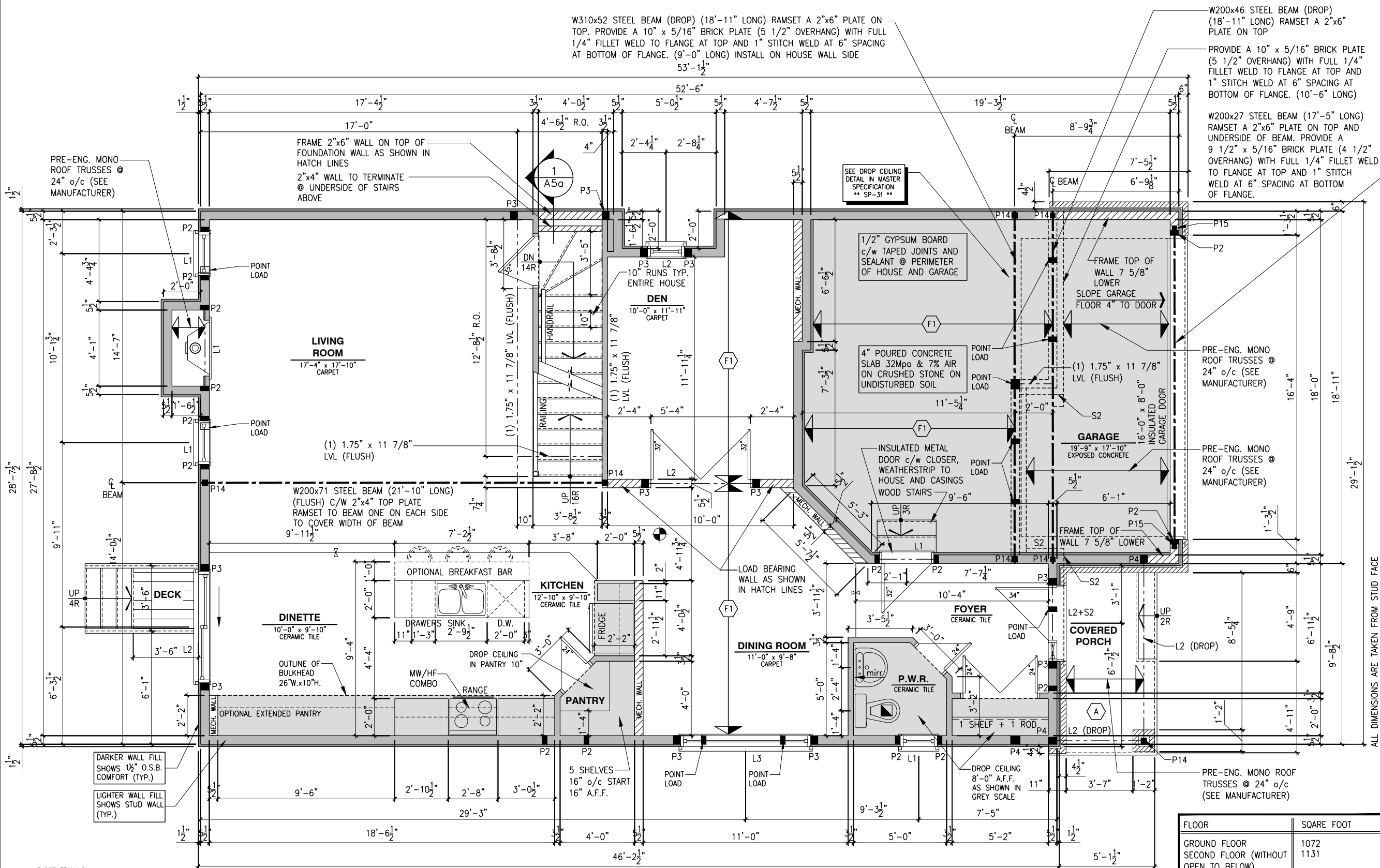
DRAWING: **GROUND FLOOR PLAN**
3 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7g



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

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NOTE:

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FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 12/20/2022 DOYON

DRAWING: GROUND FLOOR PLAN
4 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

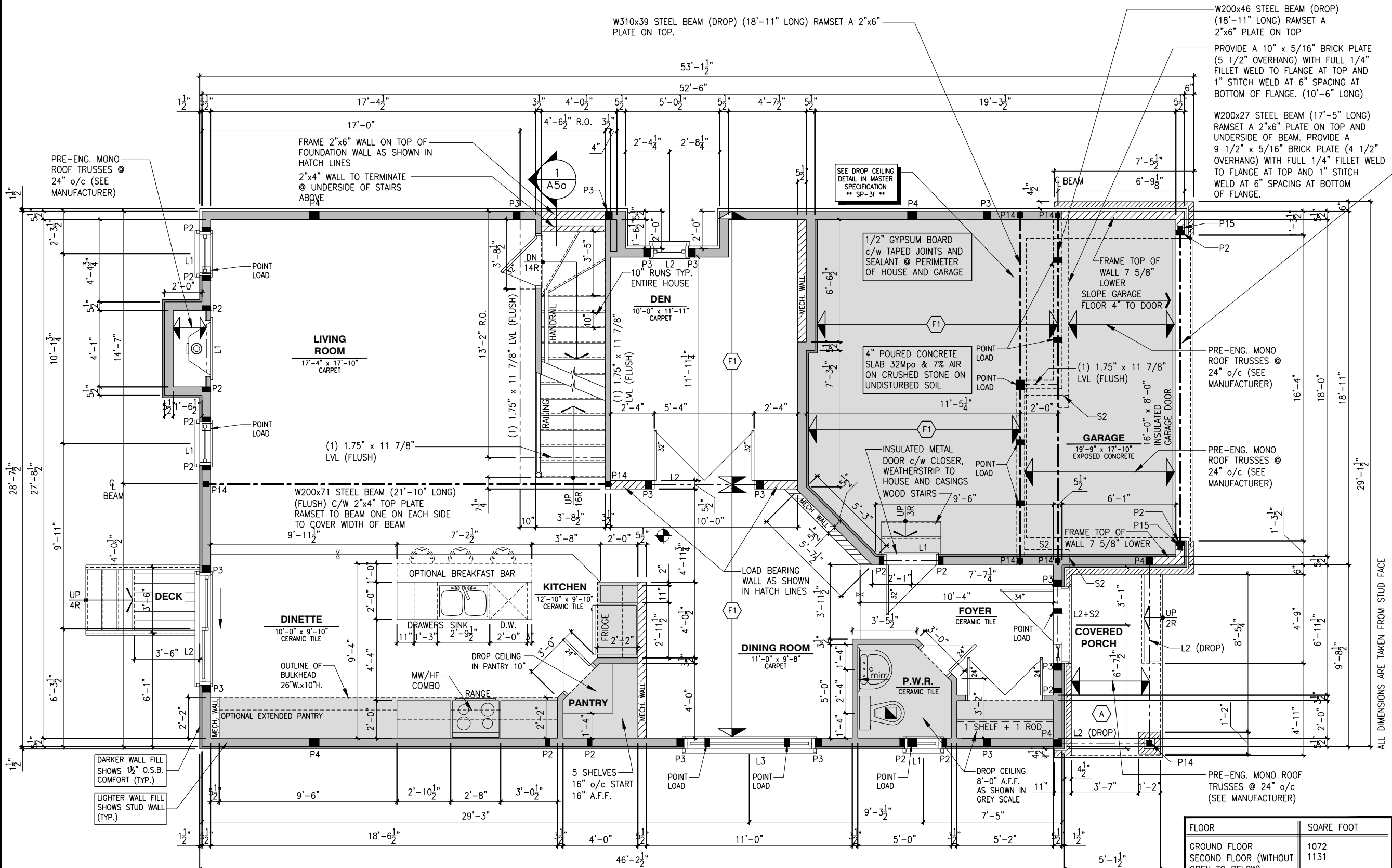
(STANDARD DRAWINGS)

SHEET:
A7i

CONSTRUCTION SITES:
SHEA VILLAGE

GROUND FLOOR PLAN - 4 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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- TARIOR REGISTRATION NUMBER #611

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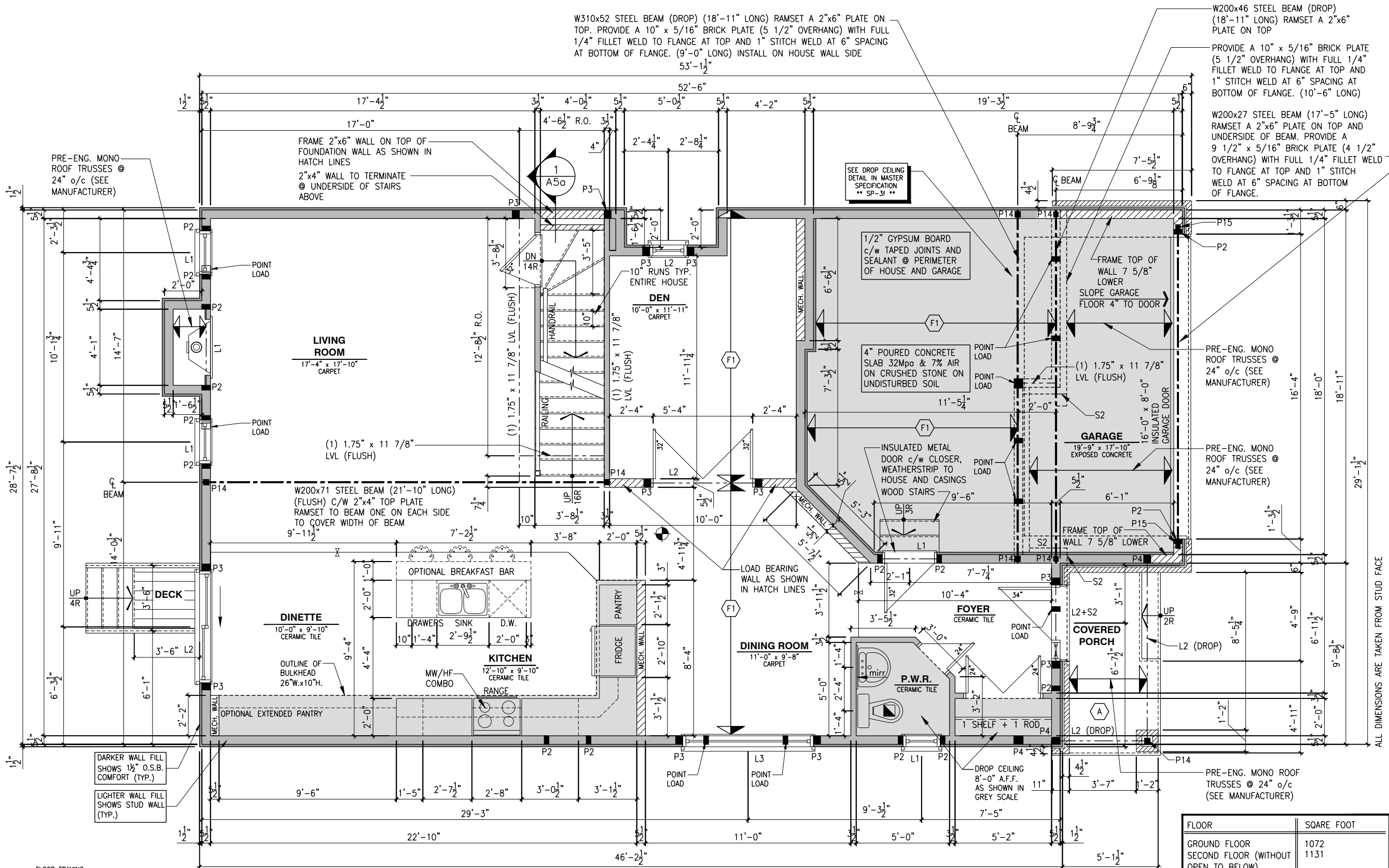
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG	MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY	
DRAWING: GROUND FLOOR PLAN				
4 BEDROOM - ELEV. B				
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx	
826 - THE BRADLEY				
2022 FOOTPRINT				
(STANDARD DRAWINGS)				

CONSTRUCTION SITES: **SHEA VILLAGE**

SHEET: **A7j**



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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FLOOR	SQARE FOOT
GROUND FLOOR	1072
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GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN 4 BEDROOM - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

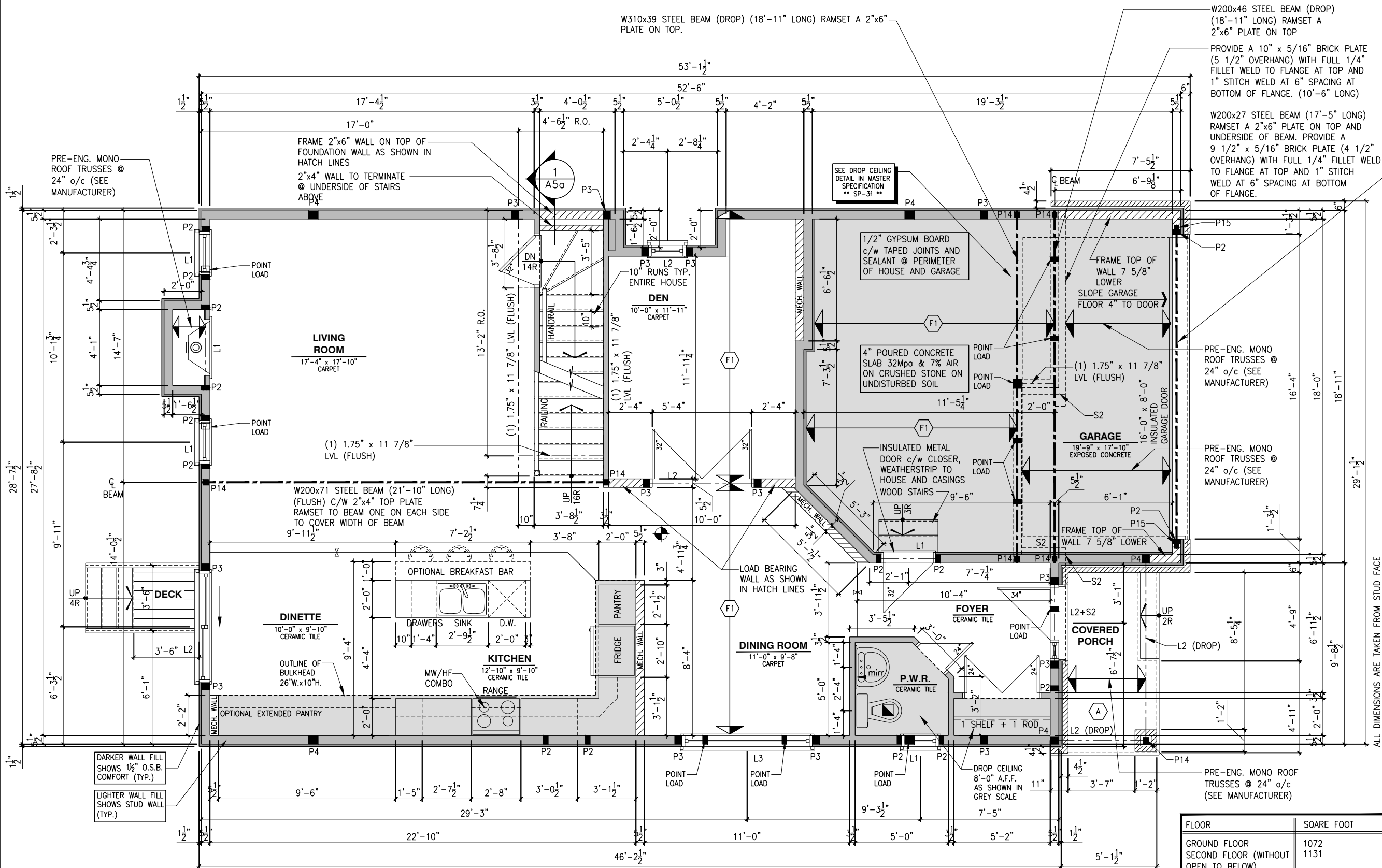
(STANDARD DRAWINGS)

A7k

GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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LINTEL TABLE:

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 12/20/2022 DOYON

NO. DESCRIPTION DATE BY

DRAWING: **GROUND FLOOR PLAN**
4 BEDROOM - ELEV. B

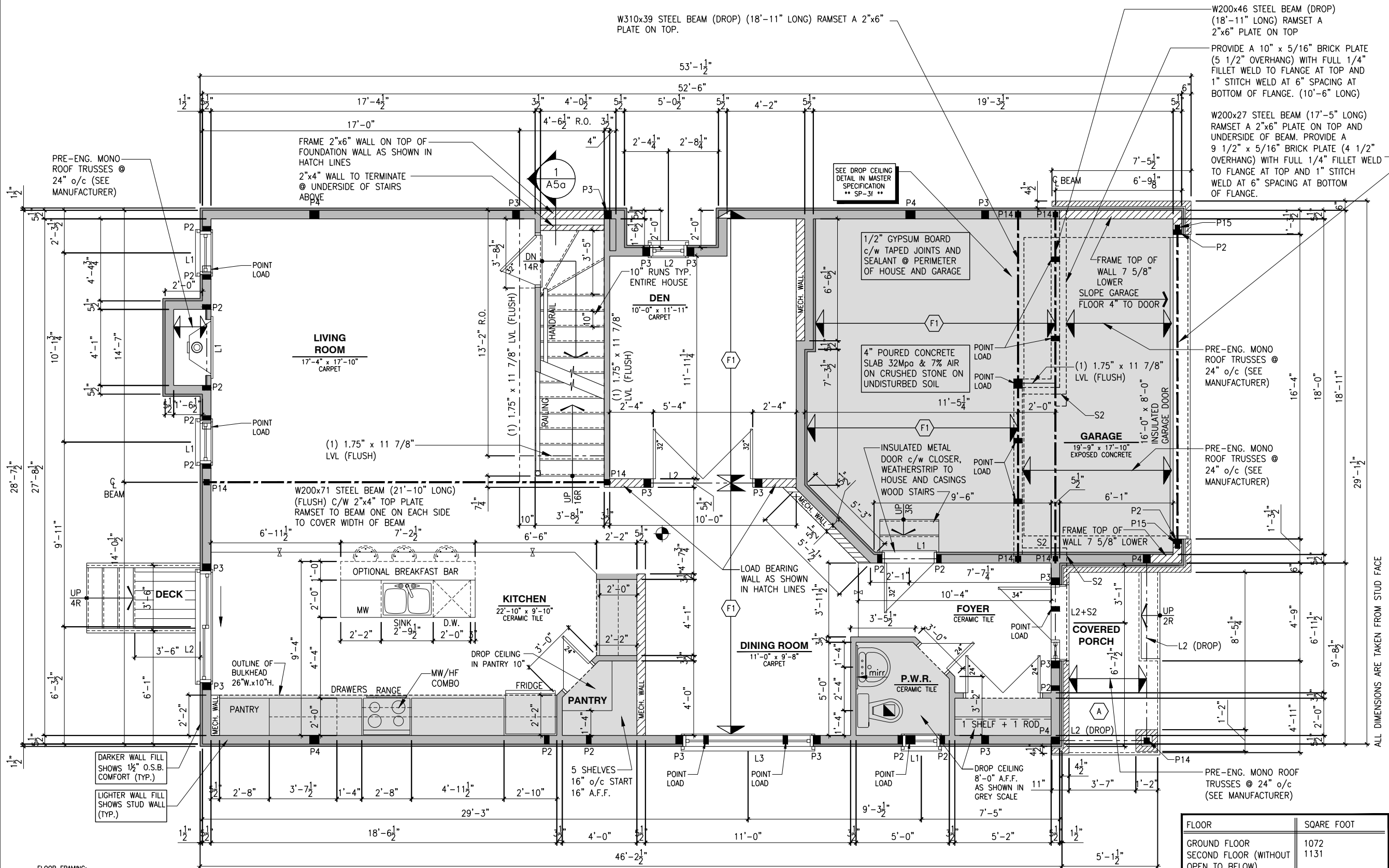
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A71

A7m



FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

GROUND FLOOR PLAN 4 BEDROOM - ELEV. B

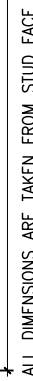
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7n

CONSTRUCTION SITES:
SHEA VILLAGE

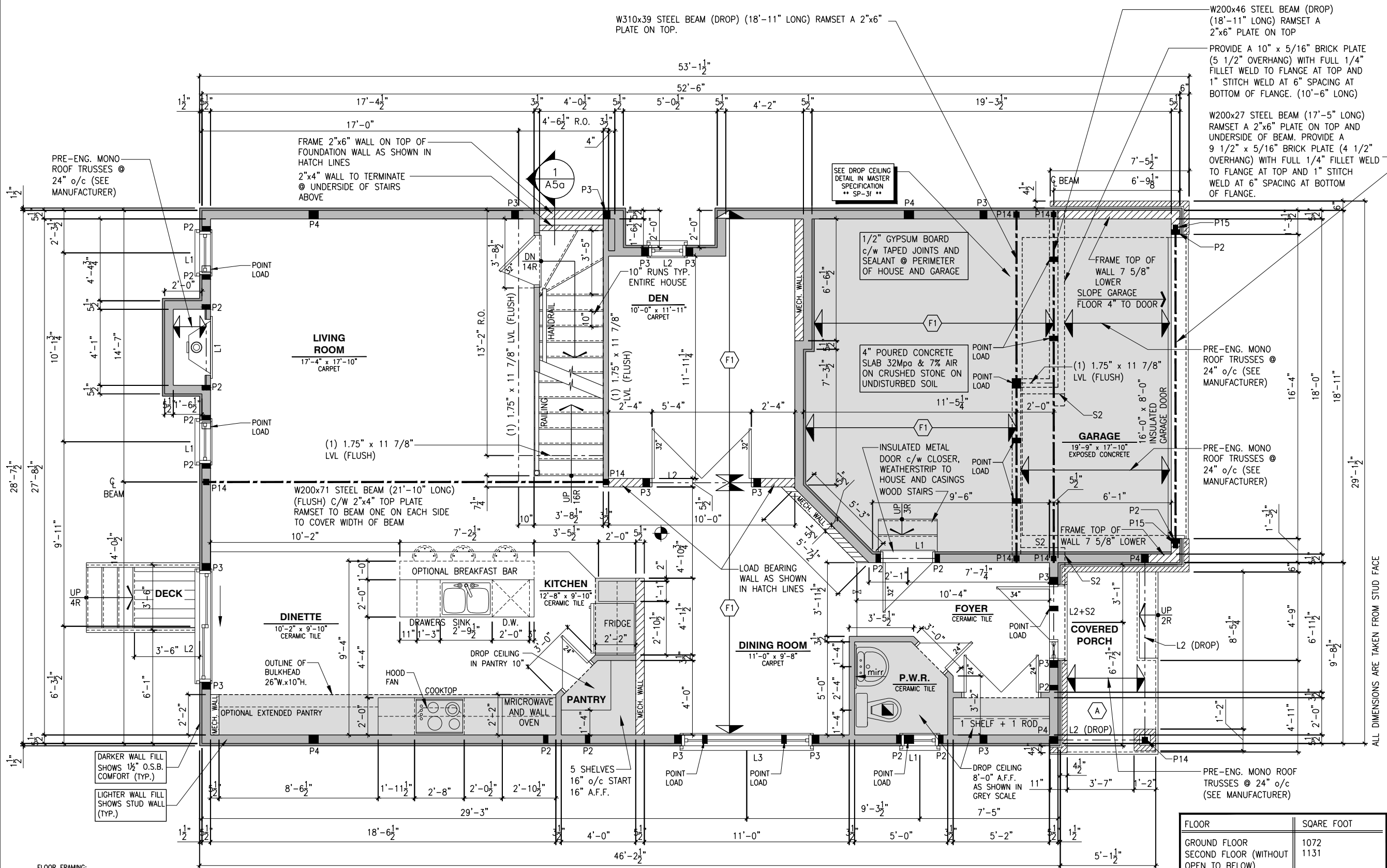


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GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
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REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN 4 BEDROOM - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**826 - THE BRADLEY
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:
A7p

RISER = 5" MIN / 7-7/8" MAX
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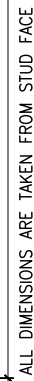
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
 RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
 TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
 WIDTH: MIN 860mm (2'-10")
 HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
 LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SCALE: 3/16" = 1'-0"

A8a



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• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:


P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x130x12 TOP PL. (*)

(*) = 2-12 ϕ ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
3 BEDROOM - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

SHEET:
A8a

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED.**

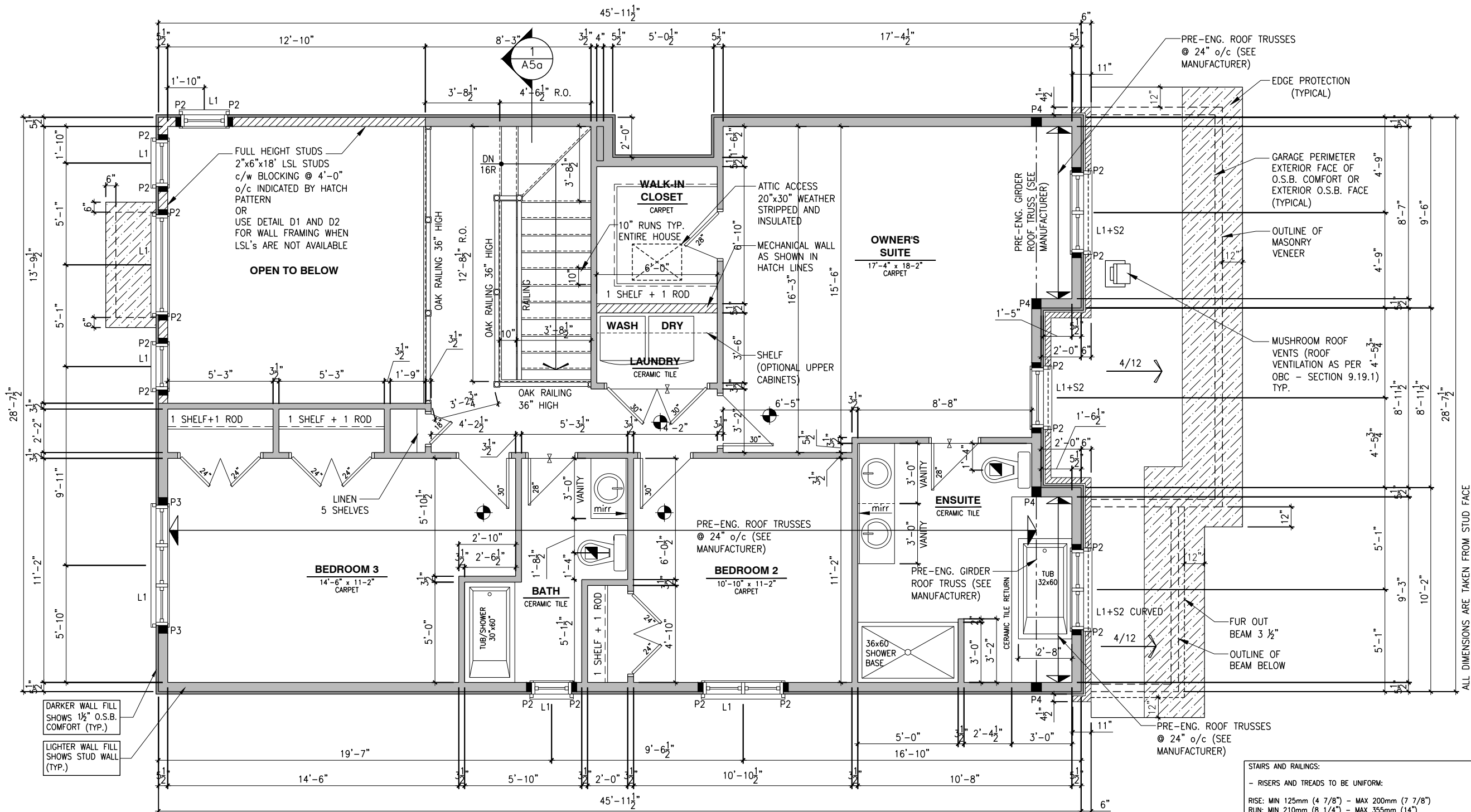
ELEV. A (ENSUITE UPGRADE)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A8b**



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

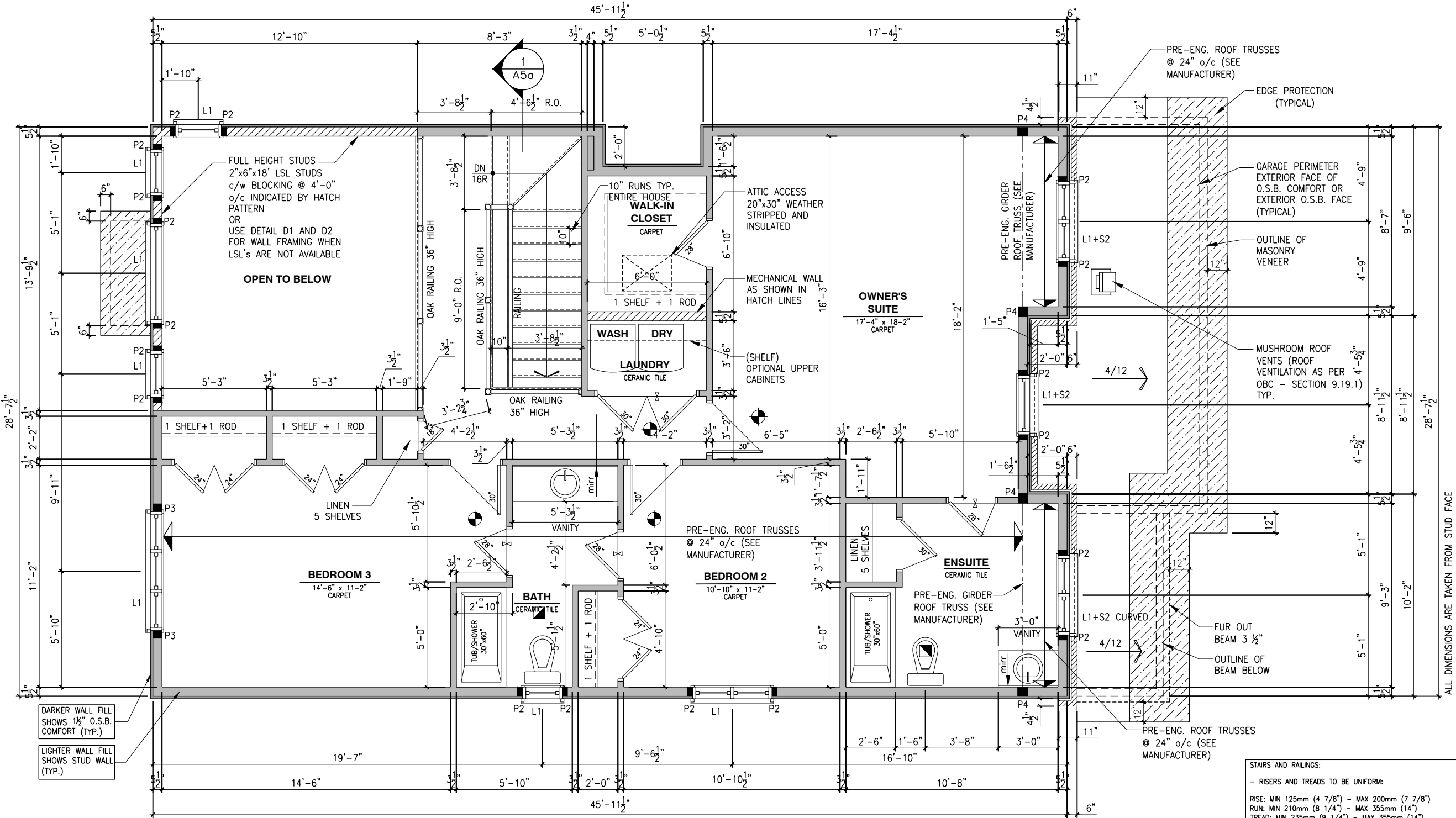
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (JACK & JILL)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
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NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
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STAIRS AND RAILINGS:
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TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
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- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:
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P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 T&B PL. (*) + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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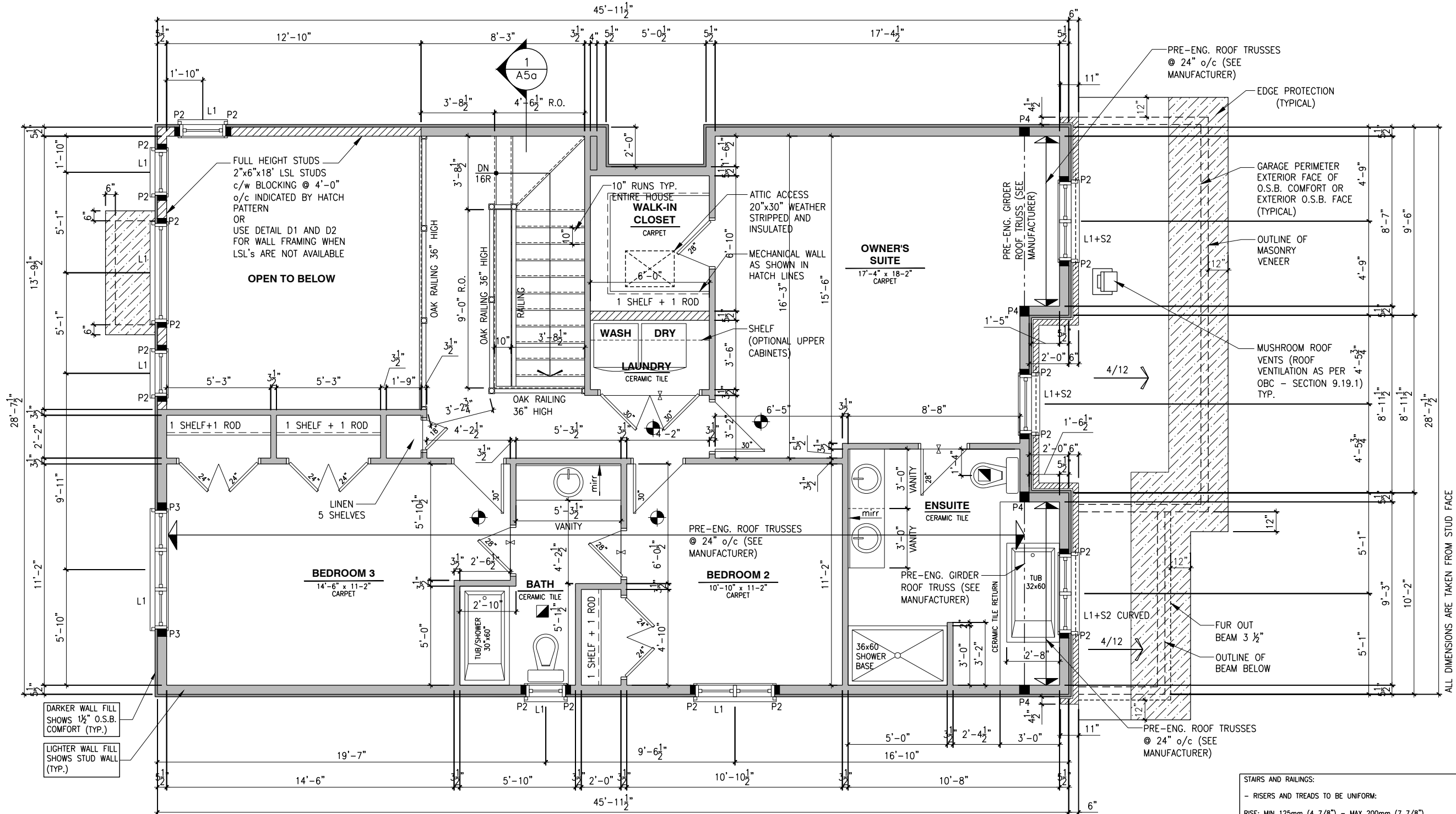
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - 3 BED. ELEV. A (JACK & JILL)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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ROOF AND FLOOR LAYOUT NOTES:
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NOTE:
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NOTES:
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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. A (JACK & JILL + ENS)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

A8d

RISER = 5" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 THE CLEARANCE BETWEEN A HANDRAIL AND ANY
 SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
 HEADROOM = 6'-5" MIN

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
 RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
 TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
 WIDTH: MIN 860mm (2'-10")
 HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
 LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

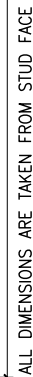
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

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- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SCALE: 3/16" = 1'-0"



Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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LINTEL TABLE:

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	By

DRAWING: **SECOND FLOOR PLAN**
3 BEDROOM - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8e

CONSTRUCTION SITES:
SHEA VILLAGE

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NO.	DESCRIPTION	DATE	BY

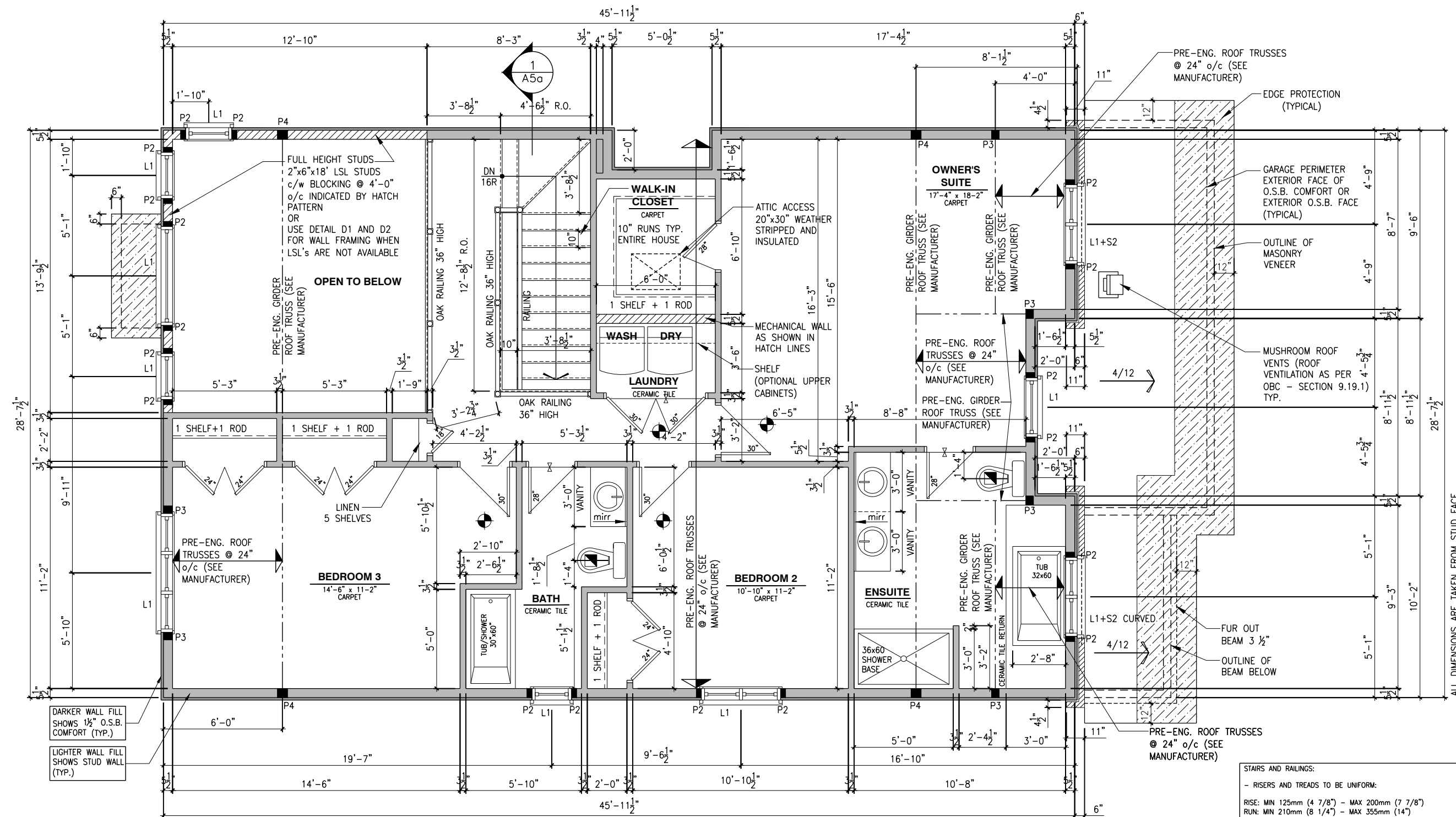
DRAWING: **SECOND FLOOR - 3 BED.**
ELEV. B (ENSUITE UPGRADE)

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A8f**



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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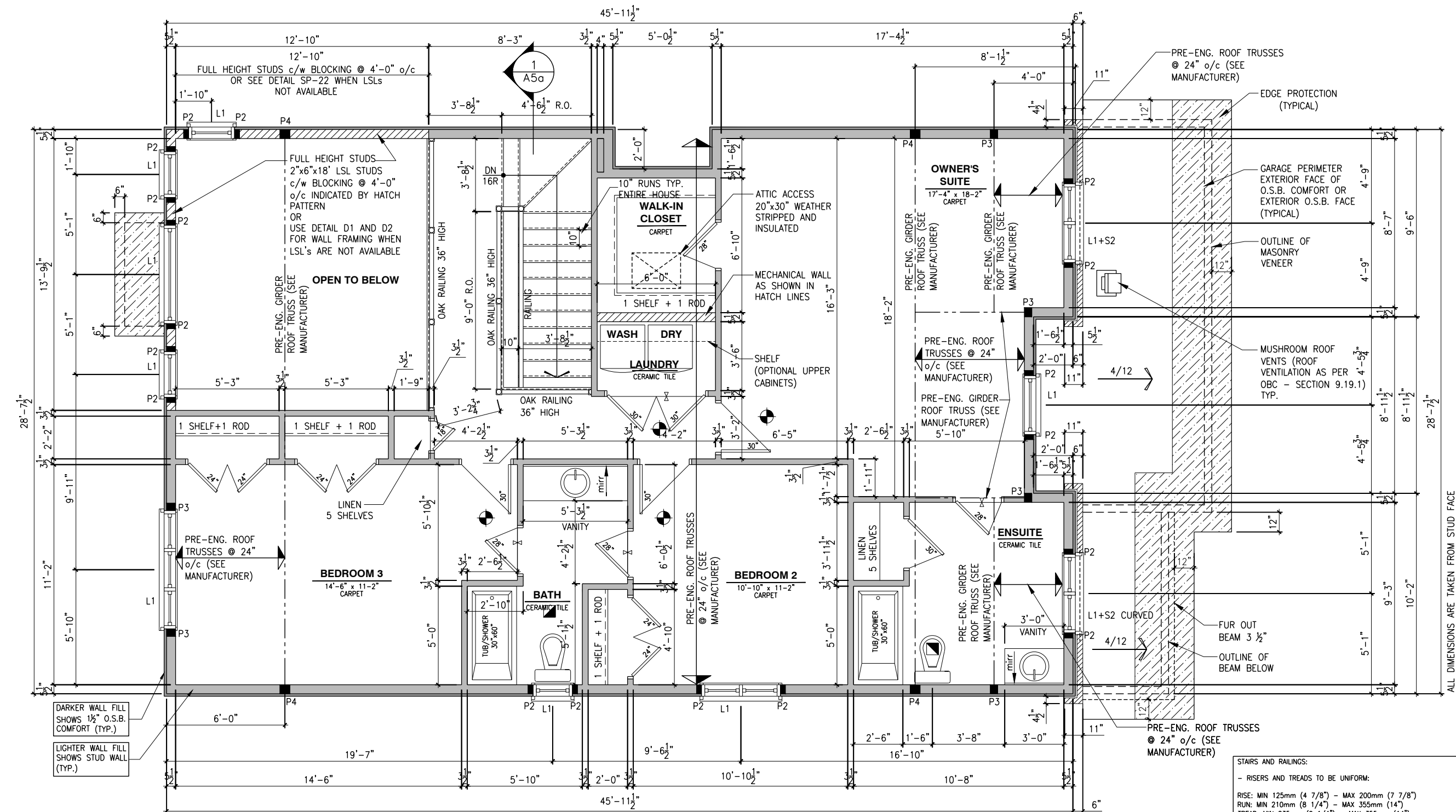
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED.
ELEV. B (JACK AND JILL)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**826 - THE BRADLEY
2022 FOOTPRINT**

SHEET: **A8g**



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL)

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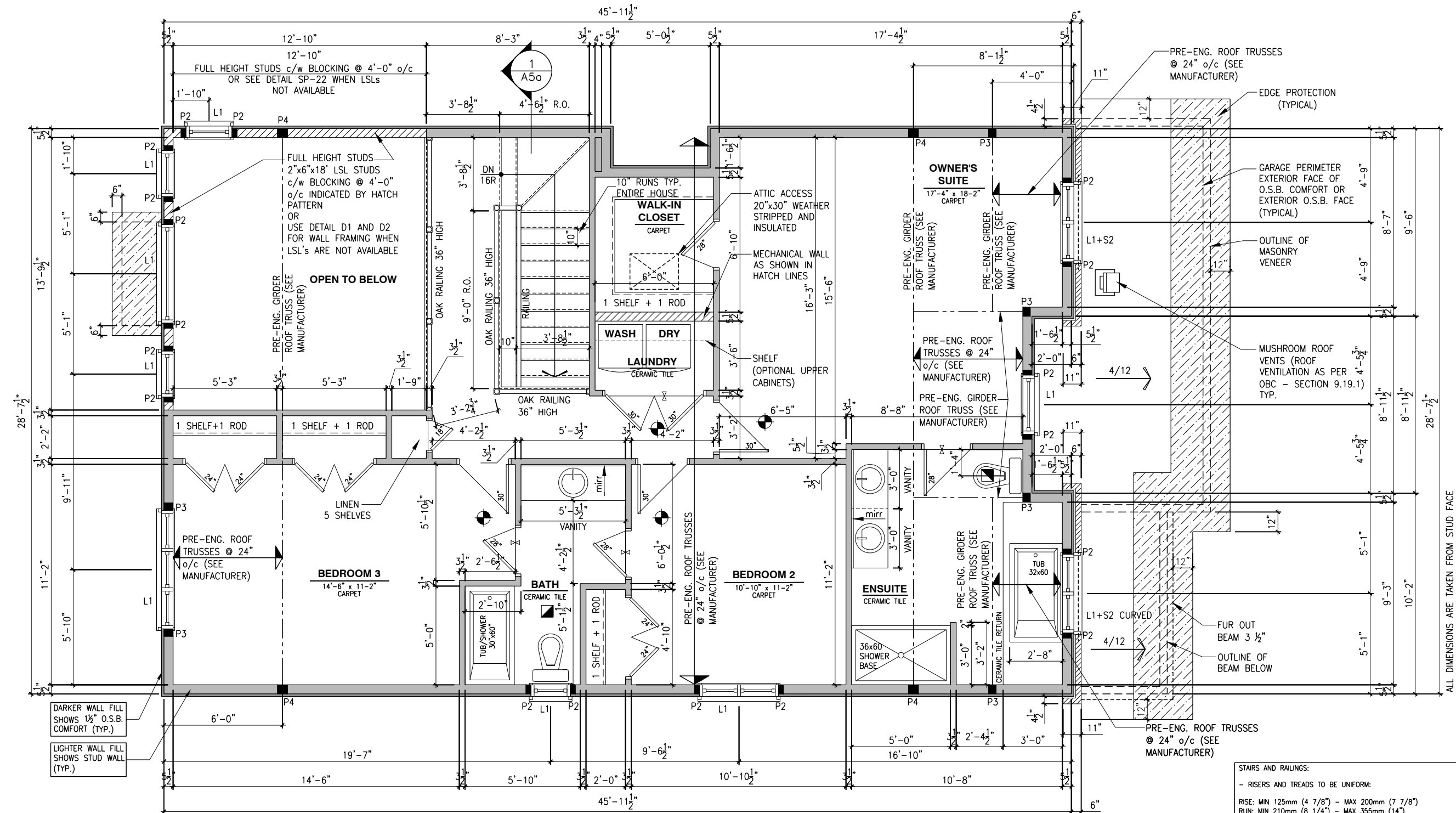
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826 - THE BRADLEY
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(STANDARD DRAWINGS)

SHEET: **A8h**



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

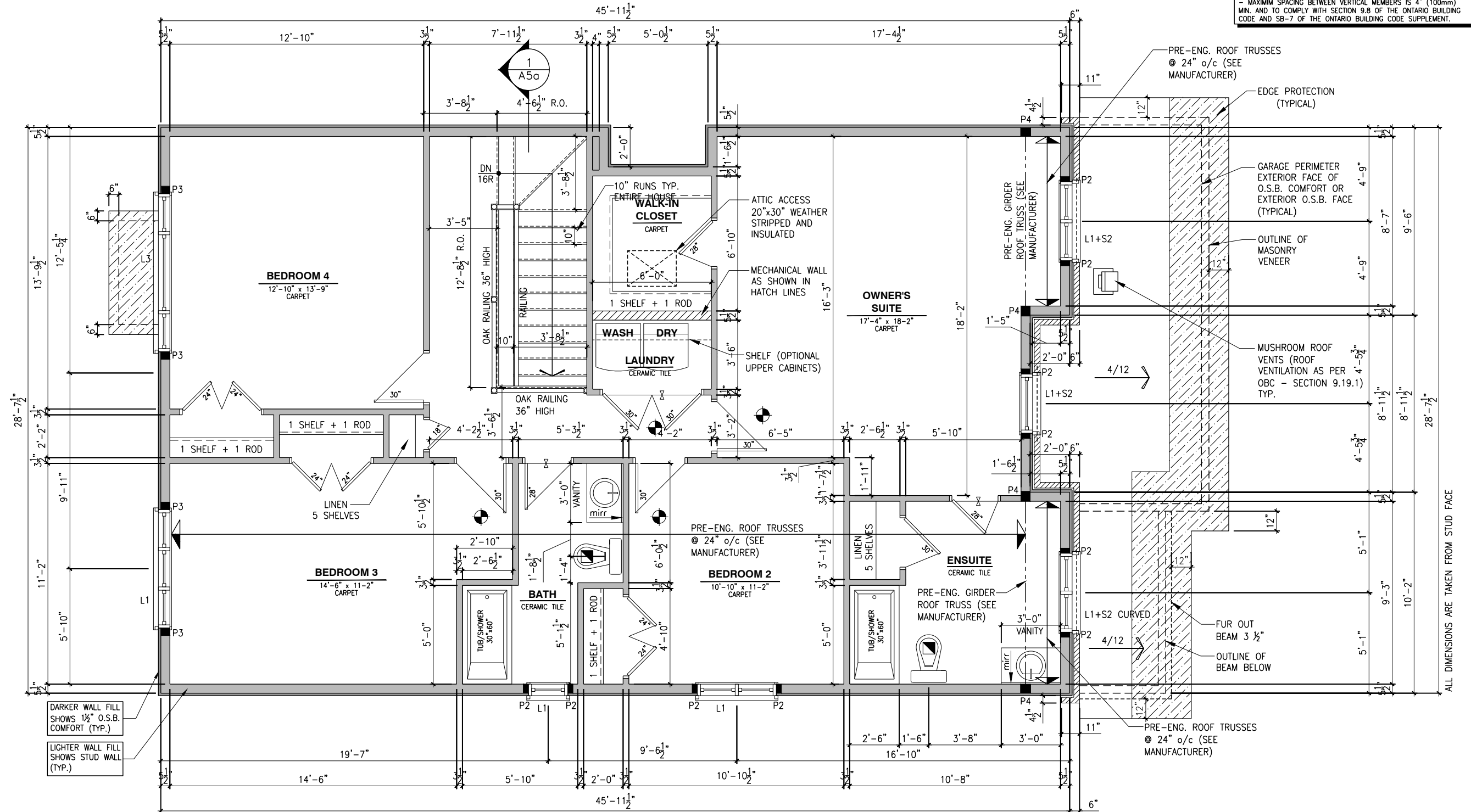
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
4 BEDROOM - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A8i**

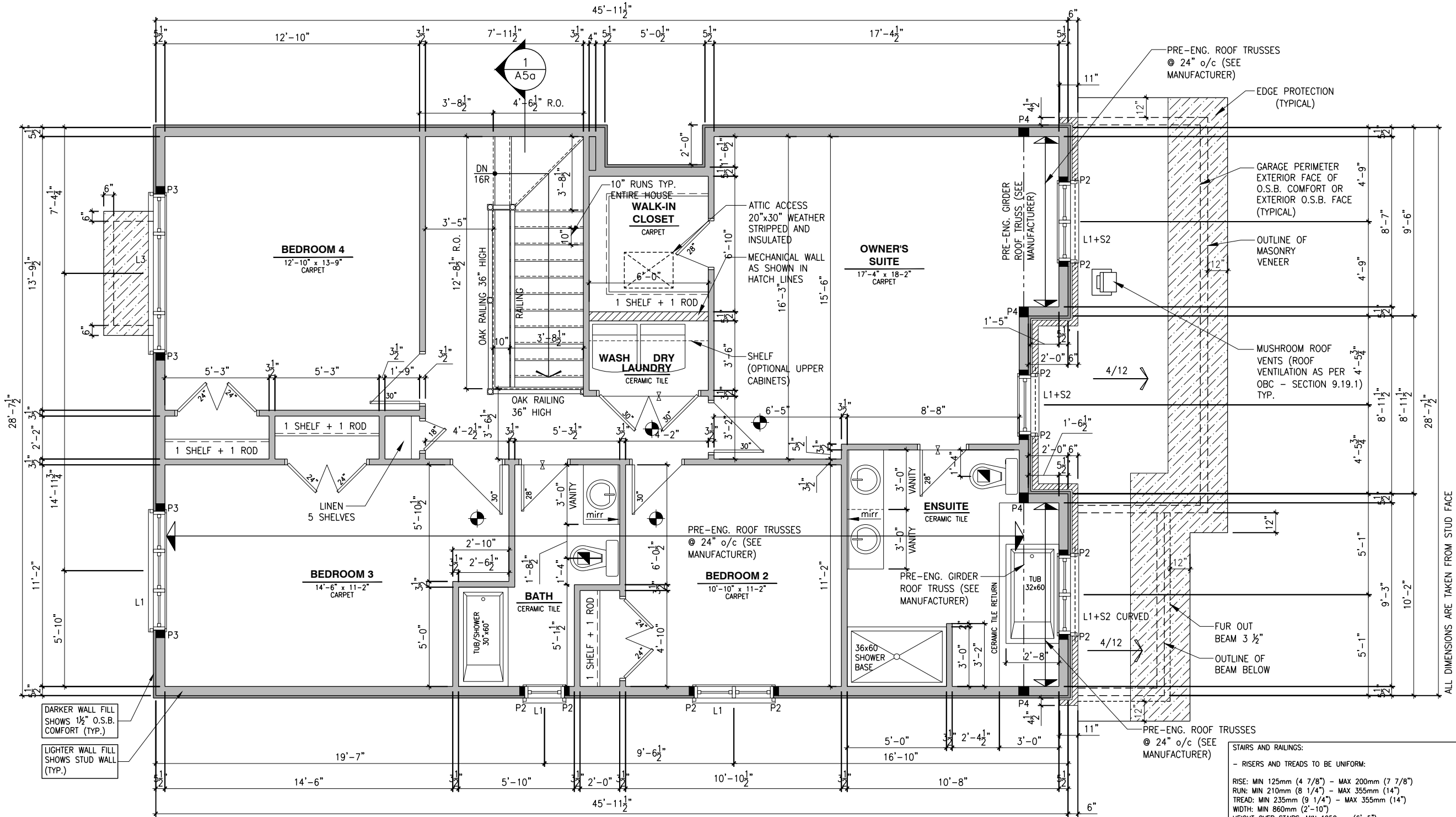


SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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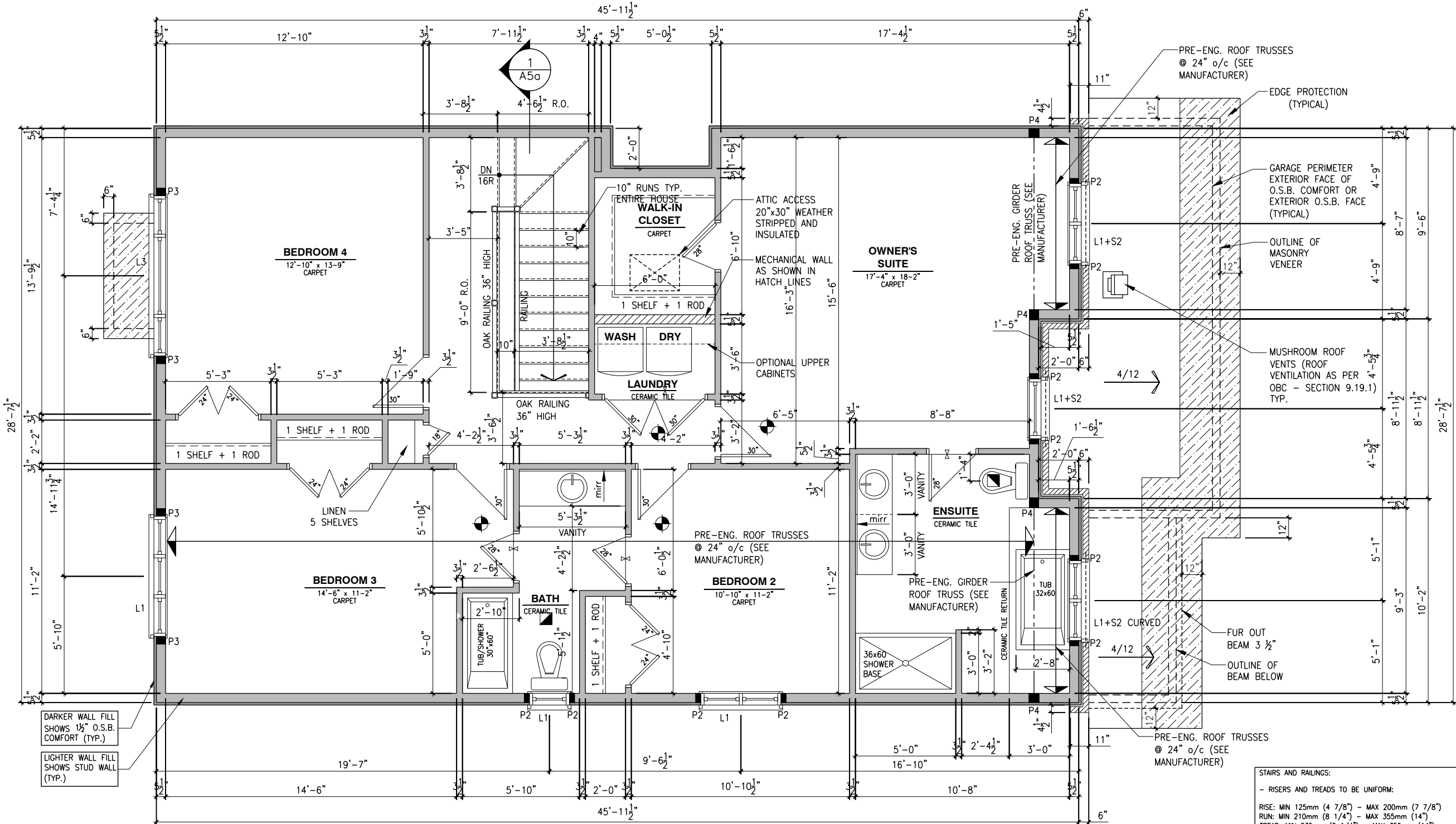
DRAWING: **SECOND FLOOR - 4 BED. ELEV. A (ENSUITE UPGRADE)**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

CONSTRUCTION SITES: **SHEA VILLAGE**

SHEET: **A8j**



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

DRAWING: **SECOND FLOOR - 4 BED. ELEV. A (ENSUITE UPGRADE)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

A81

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

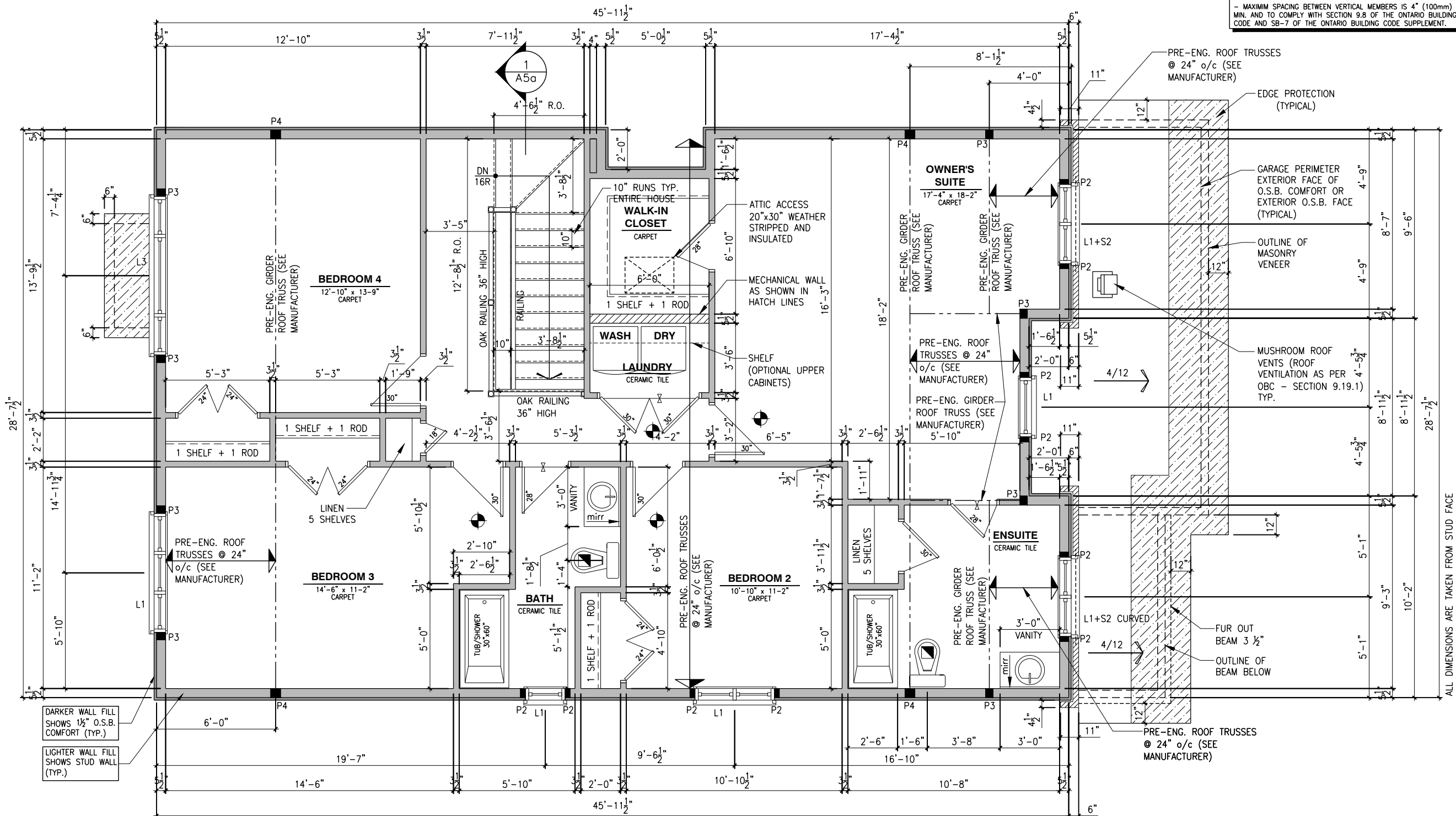
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x12 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12x ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

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- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN
4 BEDROOM - ELEVATION B

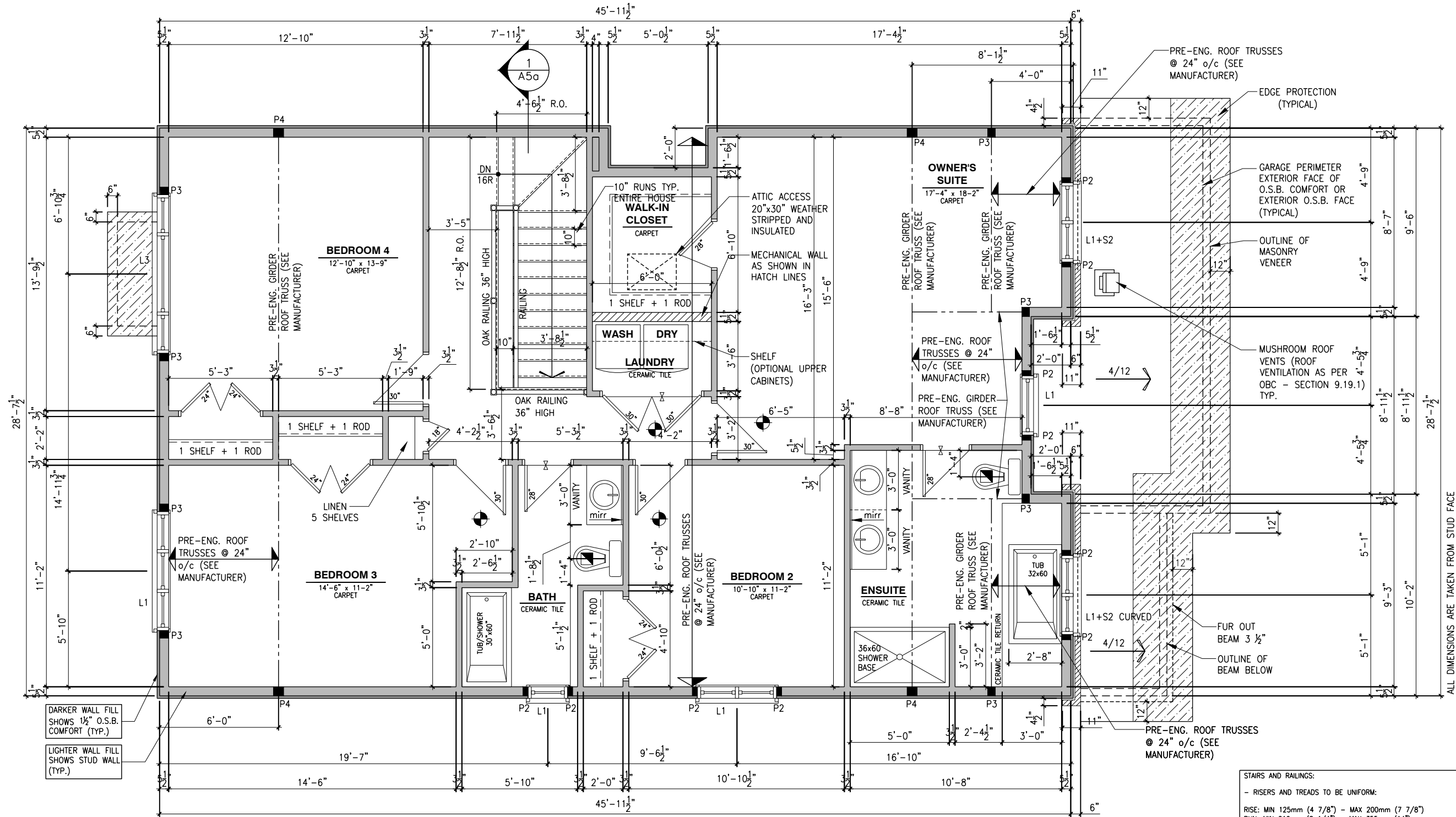
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8m



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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LOT: XXXX
DATE: XX/XX/XXXX

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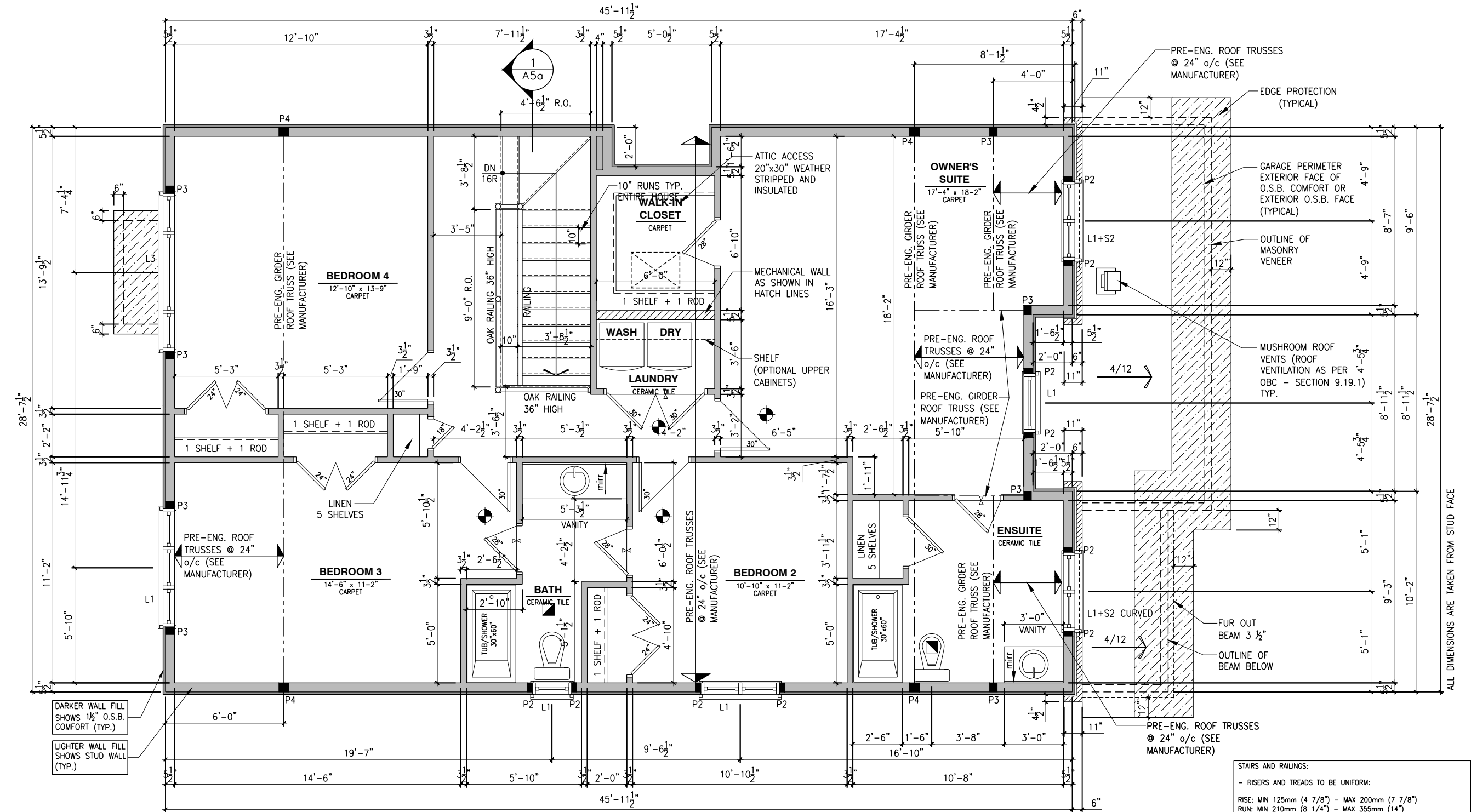
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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A8n



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (JACK & JILL)

SCALE: 3/16" = 1'-0"

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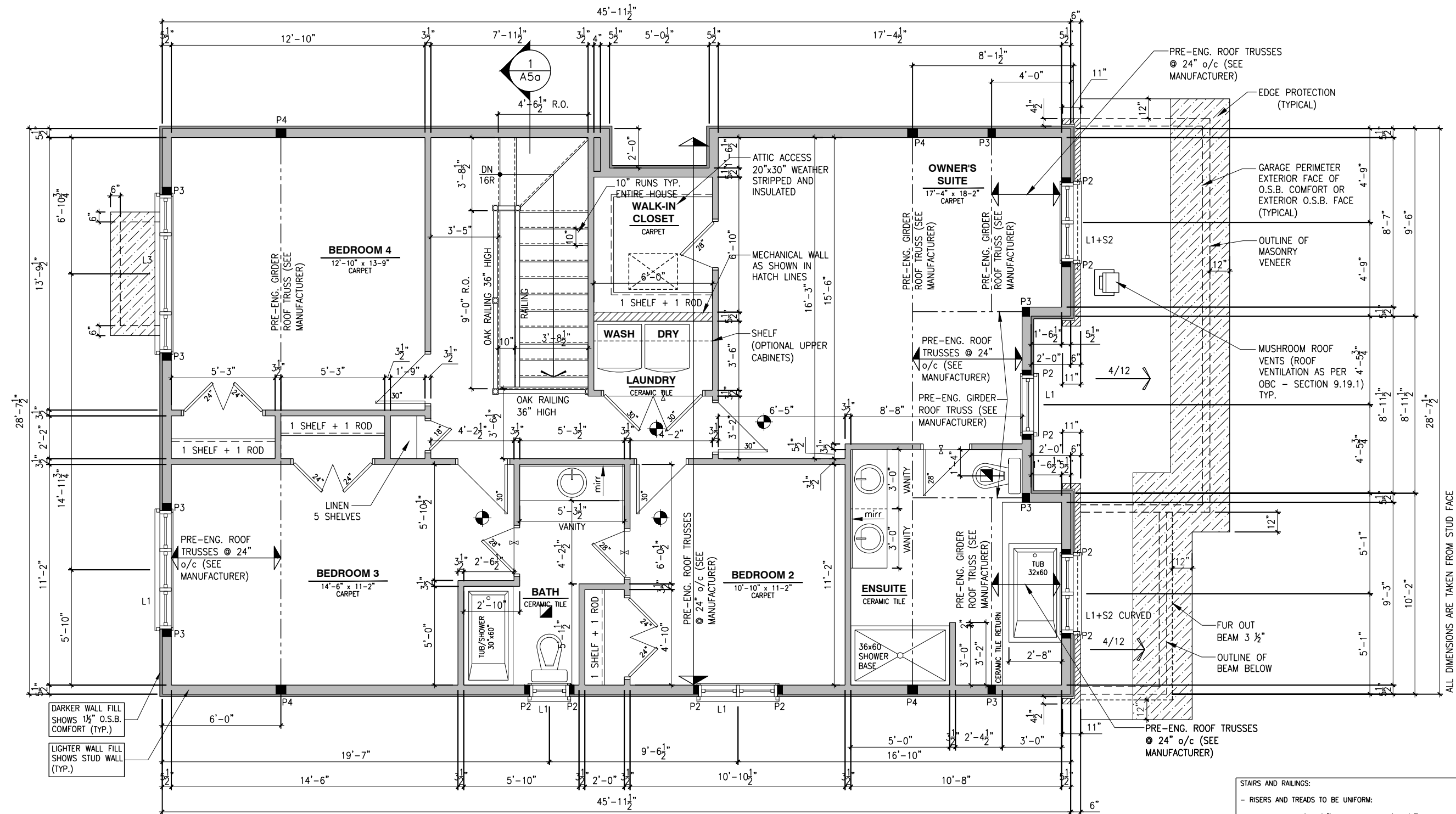
DRAWING: **SECOND FLOOR - 4 BED. ELEV. B (JACK & JILL)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A80



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

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HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON

DRAWING: **SECOND FLOOR - 4 BED. ELEV. B (JACK & JILL + ENS.)**

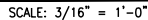
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

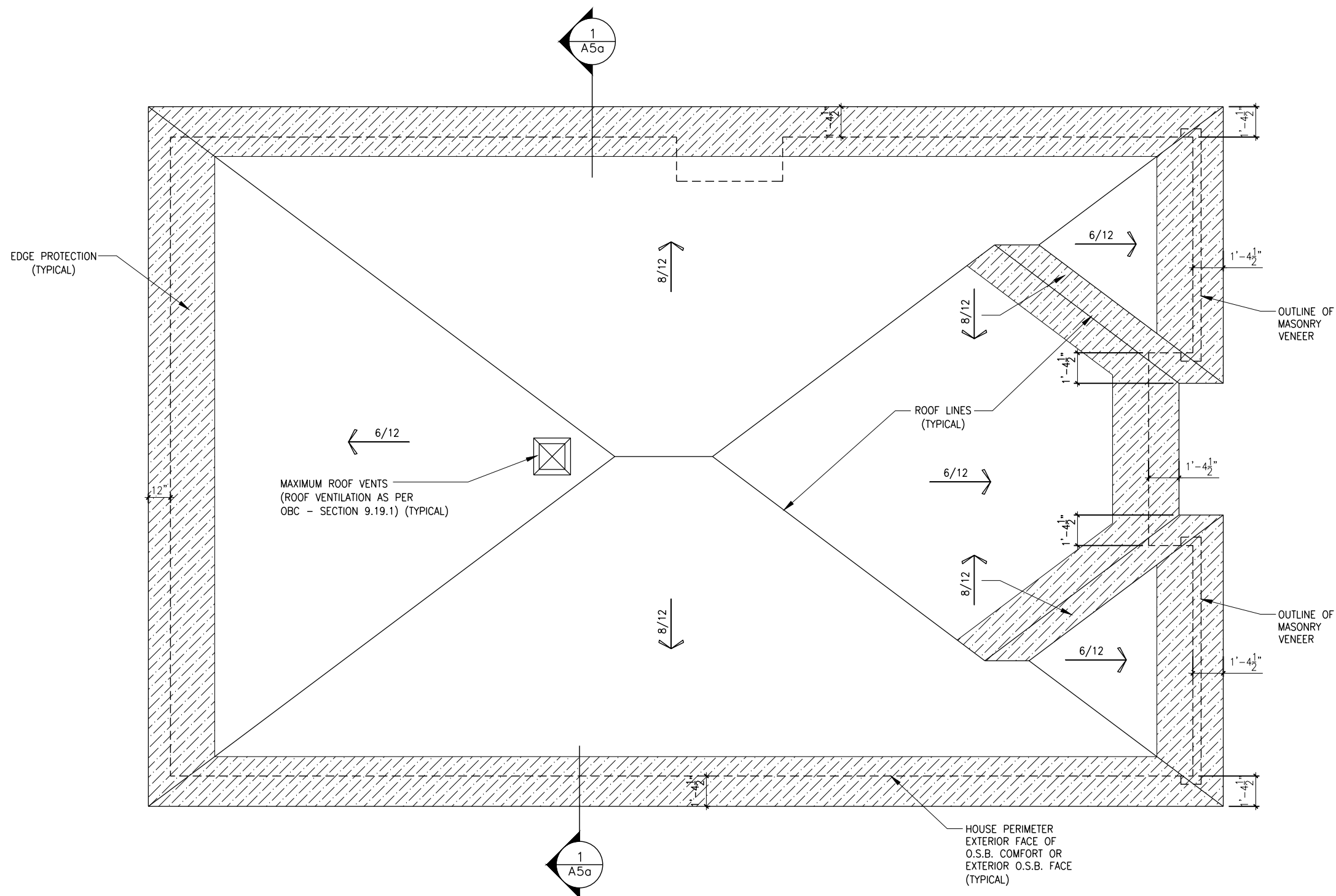
A8p

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



CONSTRUCTION SITES:
SHEA VILLAGE

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SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



Valecraft
Homes (2019) Limited

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- POST BY USP
- | | | | | |
|----|---|-------|----|-------|
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| P3 | = | 3-2x4 | OR | 3-2x6 |
| P4 | = | 4-2x4 | OR | 4-2x6 |
| P5 | = | 5-2x4 | OR | 5-2x6 |
| P6 | = | 6-2x4 | OR | 6-2x6 |

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ROOF PLAN**
3 & 4 BEDROOM - ELEVATION B

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A9b

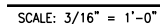


Valecraft
Homes (2019) Limited

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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(STANDARD DRAWINGS)

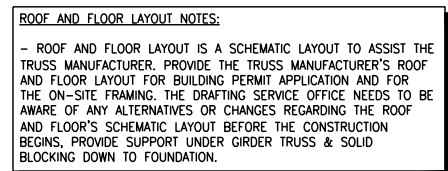
A10a



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SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

SHEET:
A10b

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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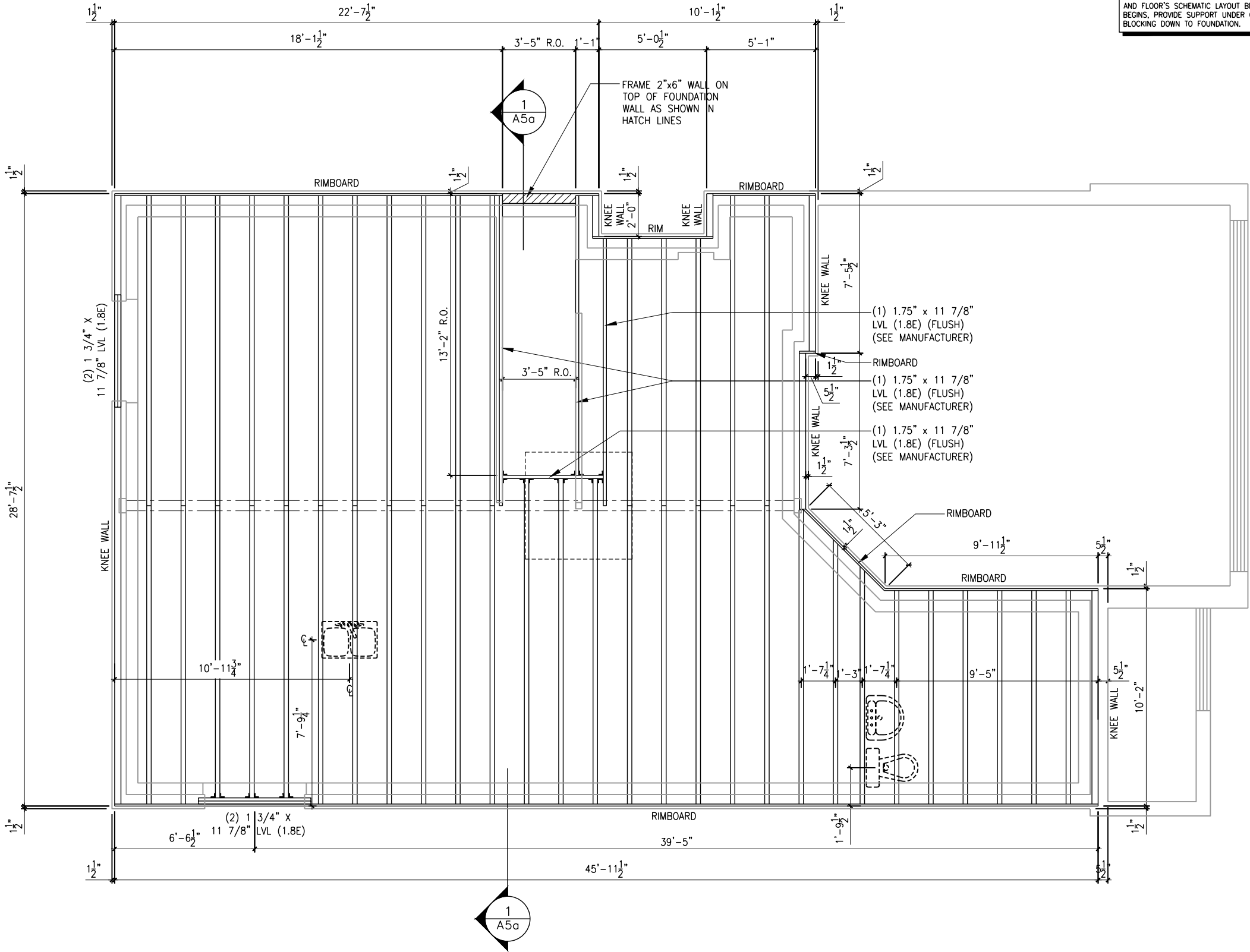
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GROUND FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A AND B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

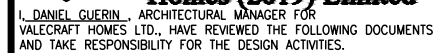
DRAWING: GROUND - JOIST LAYOUT
3 AND 4 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A10c

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

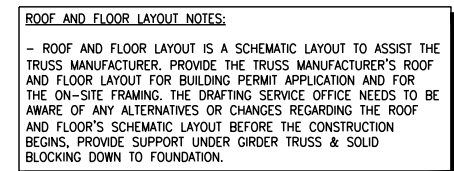
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SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10d

LOT: XXXX
DATE: XX/XX/XXXX



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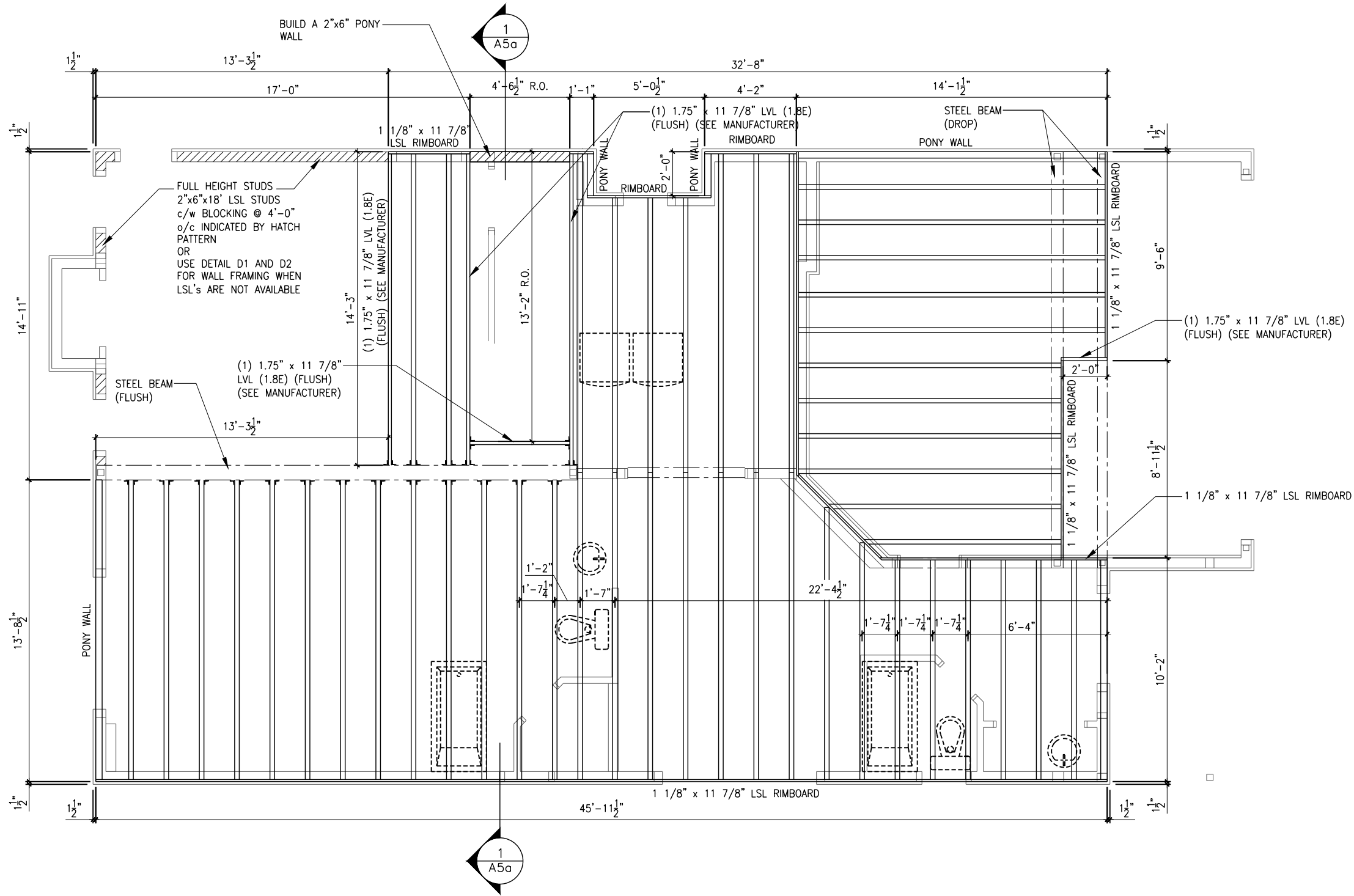
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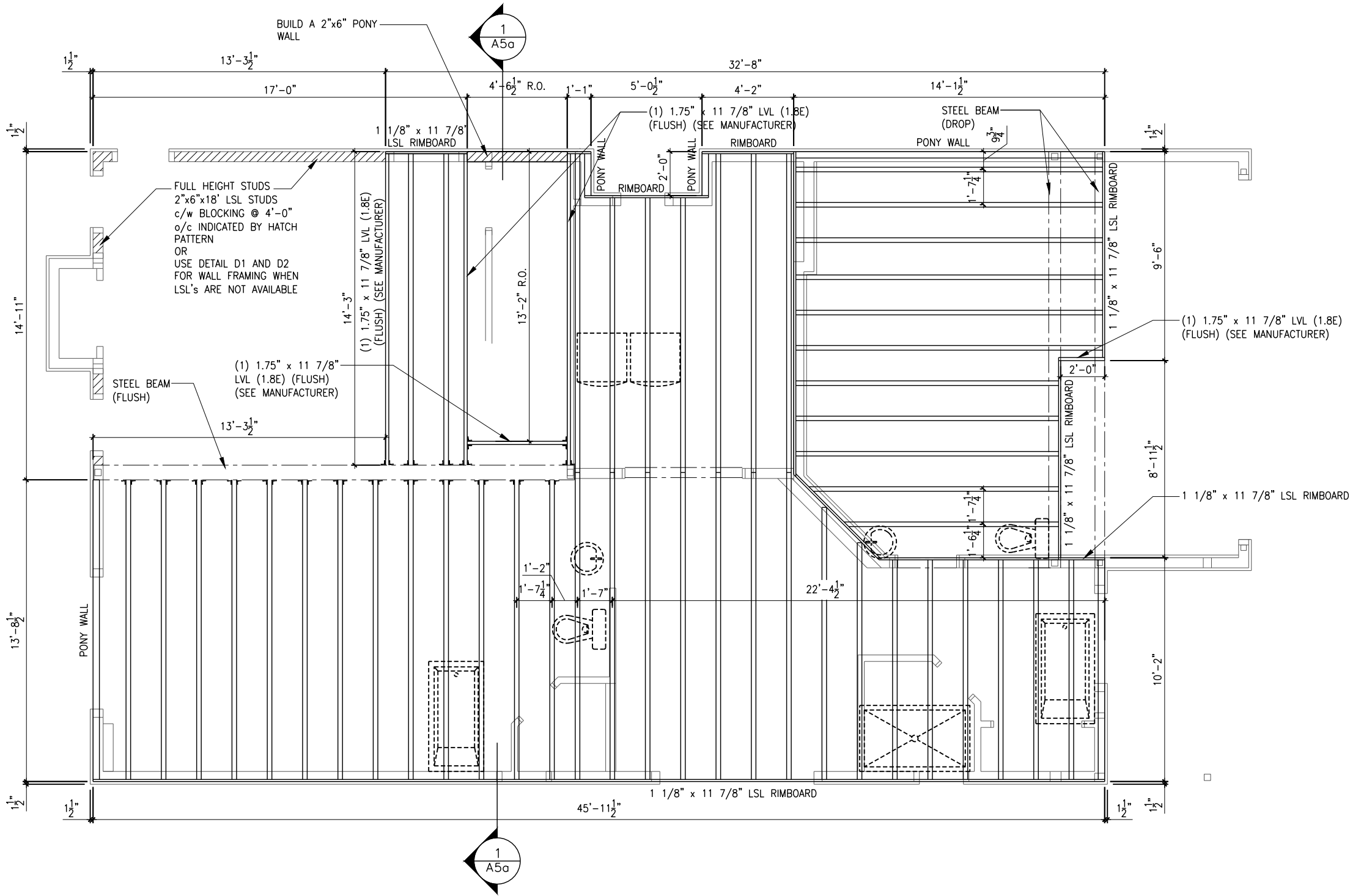
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SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: 2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B			
ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx	
826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS)			SHEET: A11a



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LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
3 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11b

CONSTRUCTION SITES:
SHEA VILLAGE



Valecraft
Homes (2019) Limited

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SHEET:
A11c

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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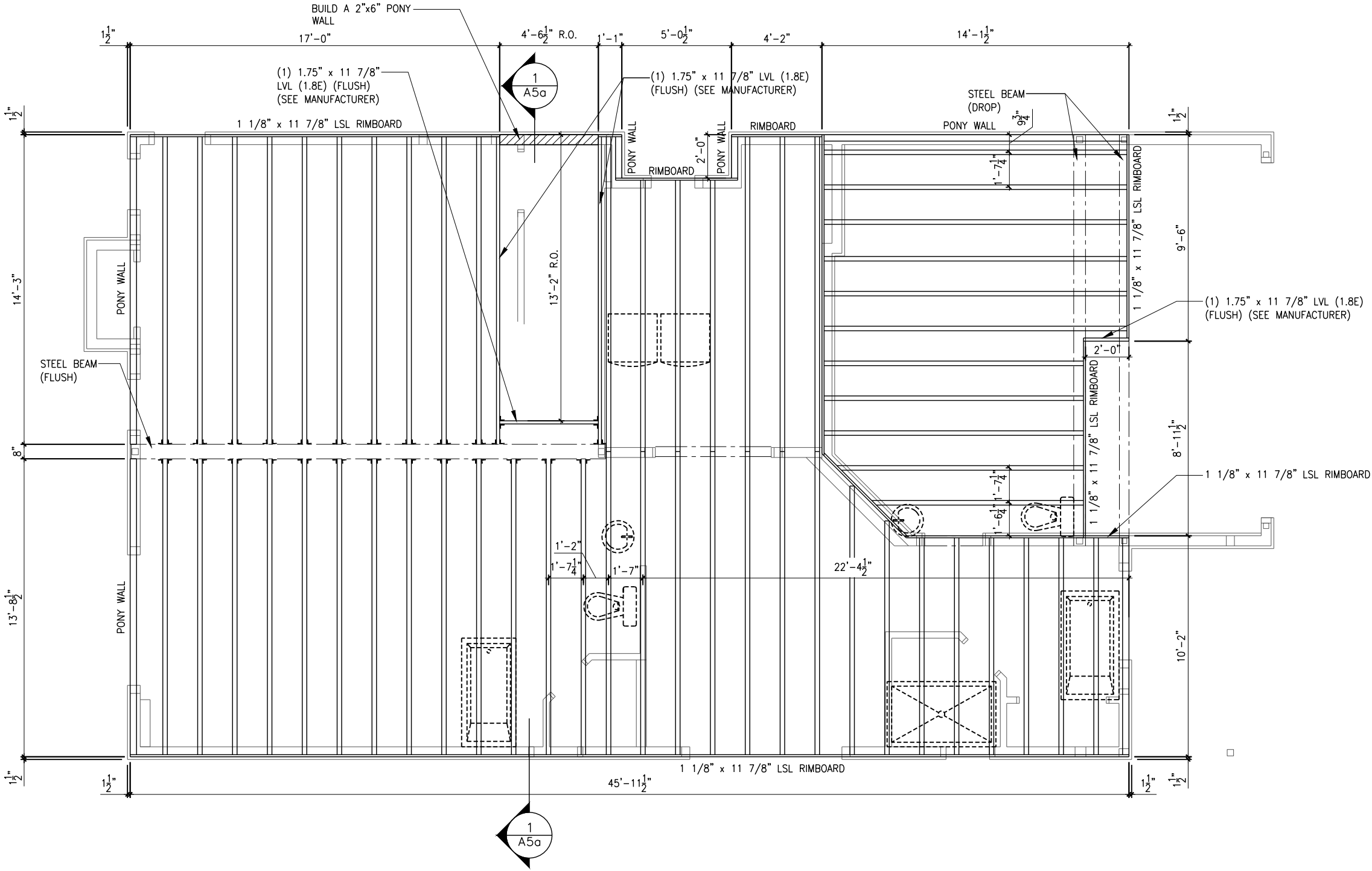
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SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

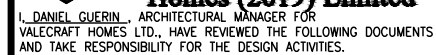
DRAWING: 2nd FLOOR-JOIST LAYOUT
4 BED. - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A11d

DATE: XX/XX/XXXX



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- TARIFF REGISTRATION NUMBER #611

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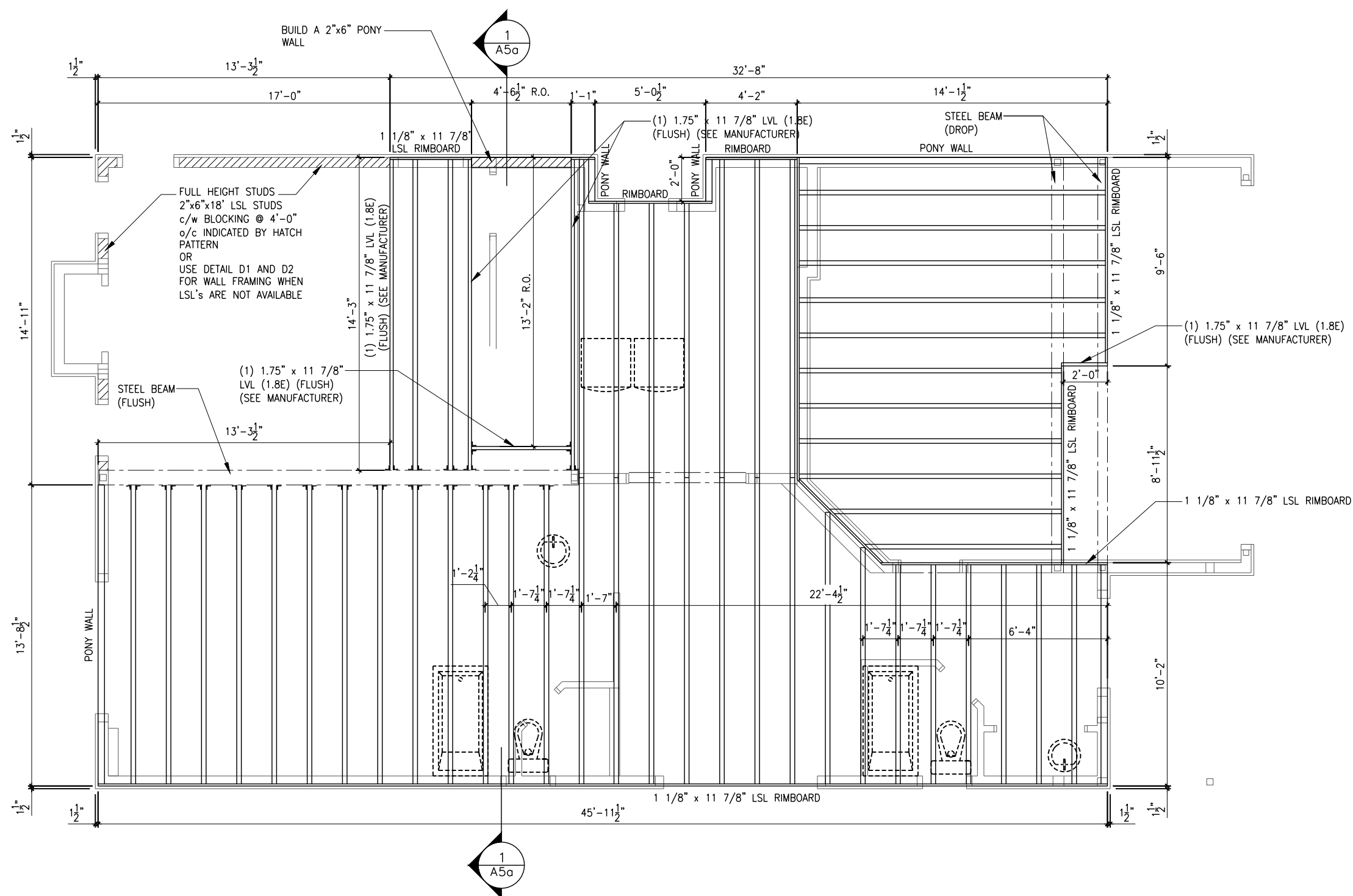
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

(STANDARD DRAWINGS)

SHEET:
A11e

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 - TARIION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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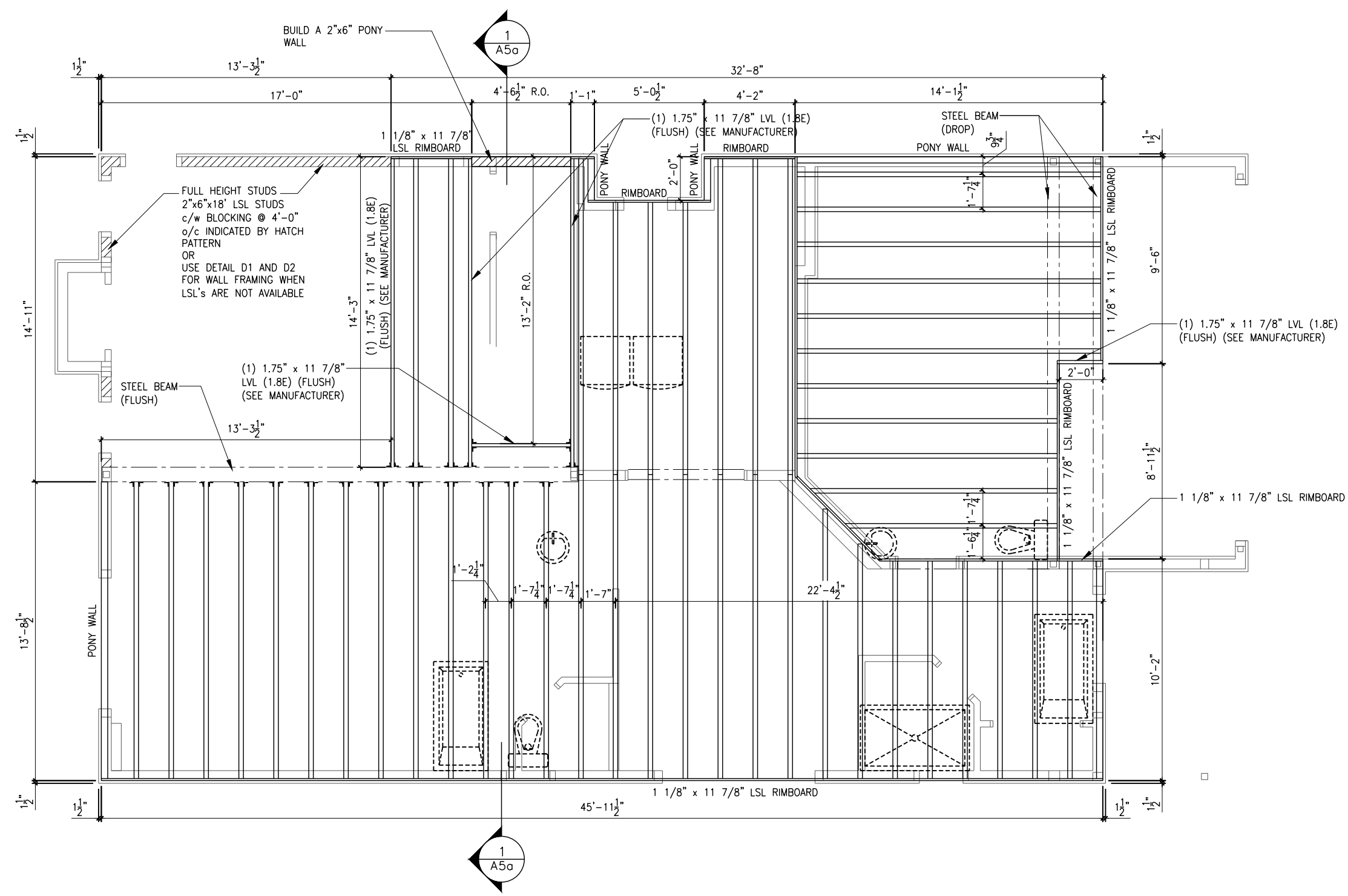
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ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B (JACK & JILL ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

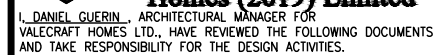
DRAWING: 2nd FLOOR-JOIST LAYOUT
3 BED. - ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A11f

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

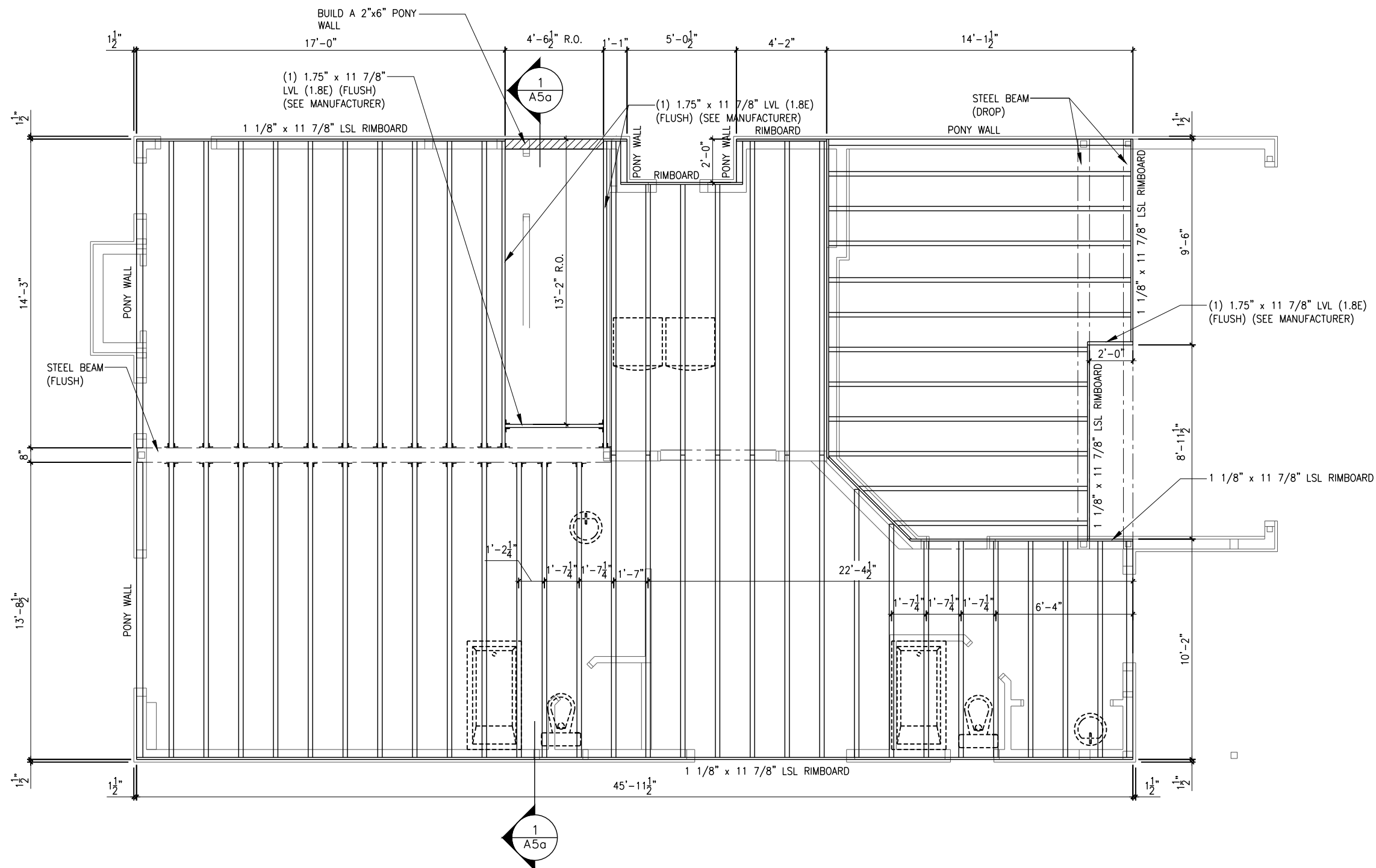
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SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

(STANDARD DRAWINGS)

SHEET:
A11g

LOT: XXXX
DATE: XX/XX/XXXX



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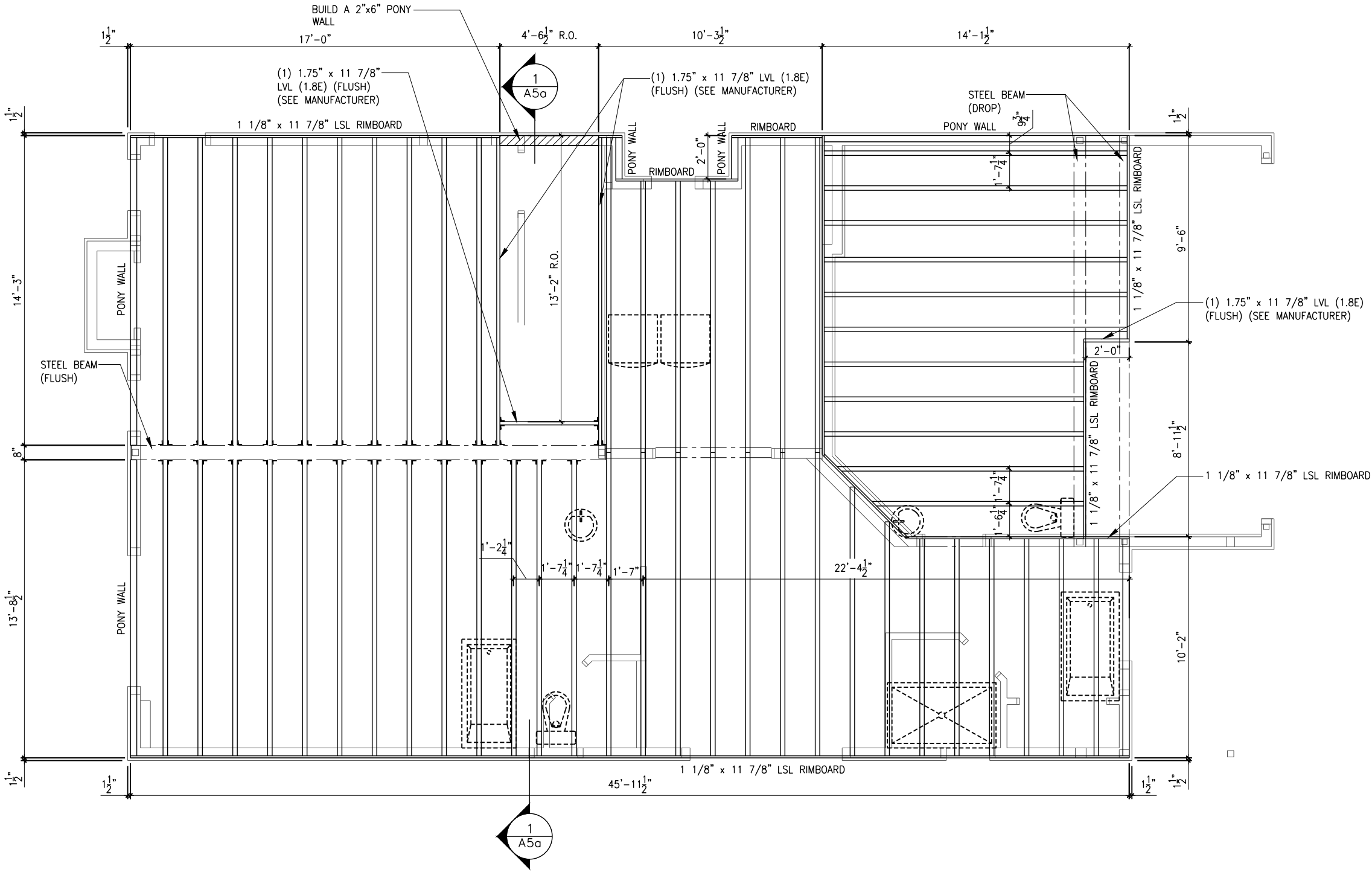
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SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (JACK & JILL ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

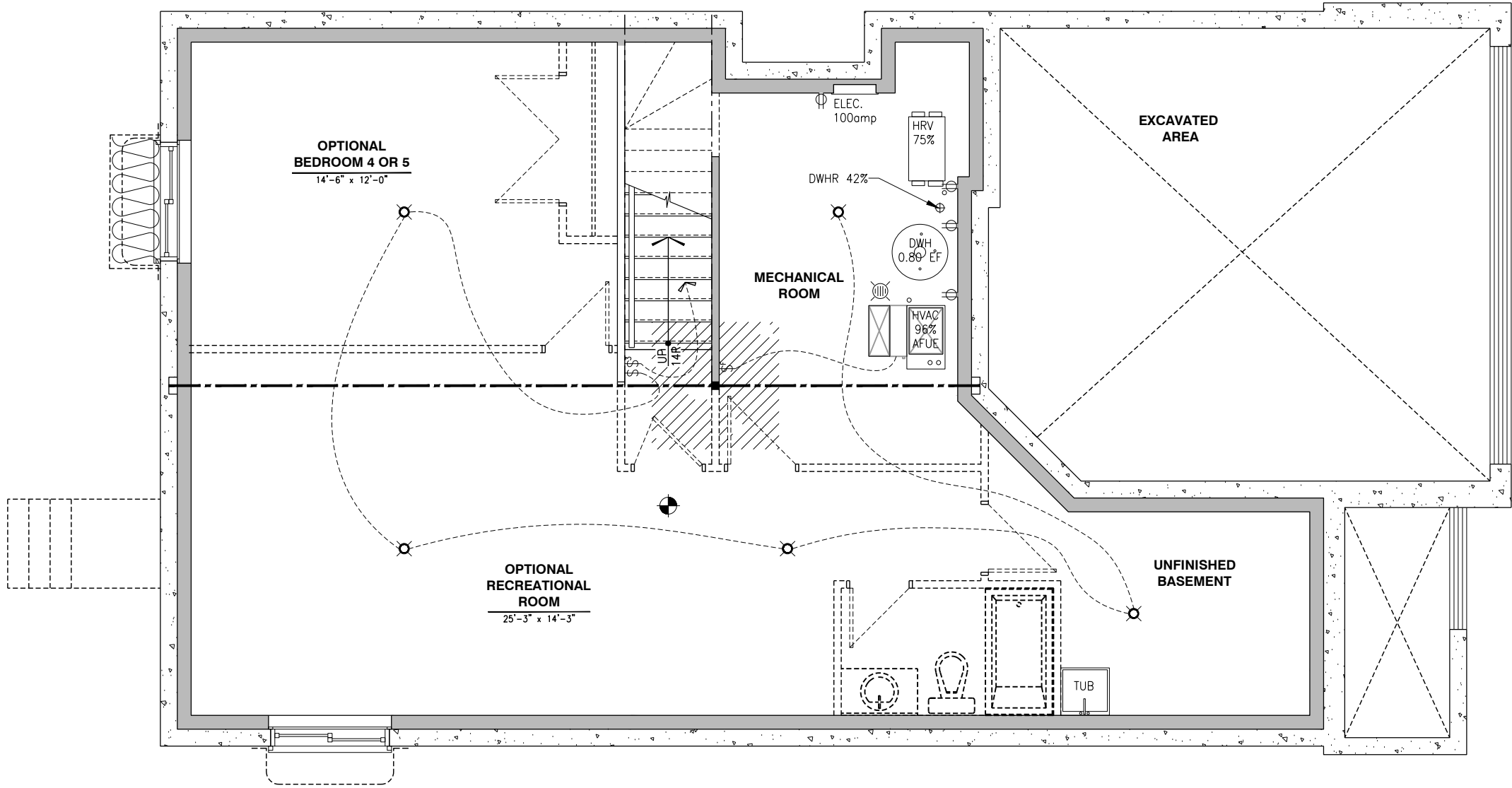
DRAWING: 2nd FLOOR-JOIST LAYOUT
4 BED. - ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A11h



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
ELECTRICAL PLAN - BASEMENT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX



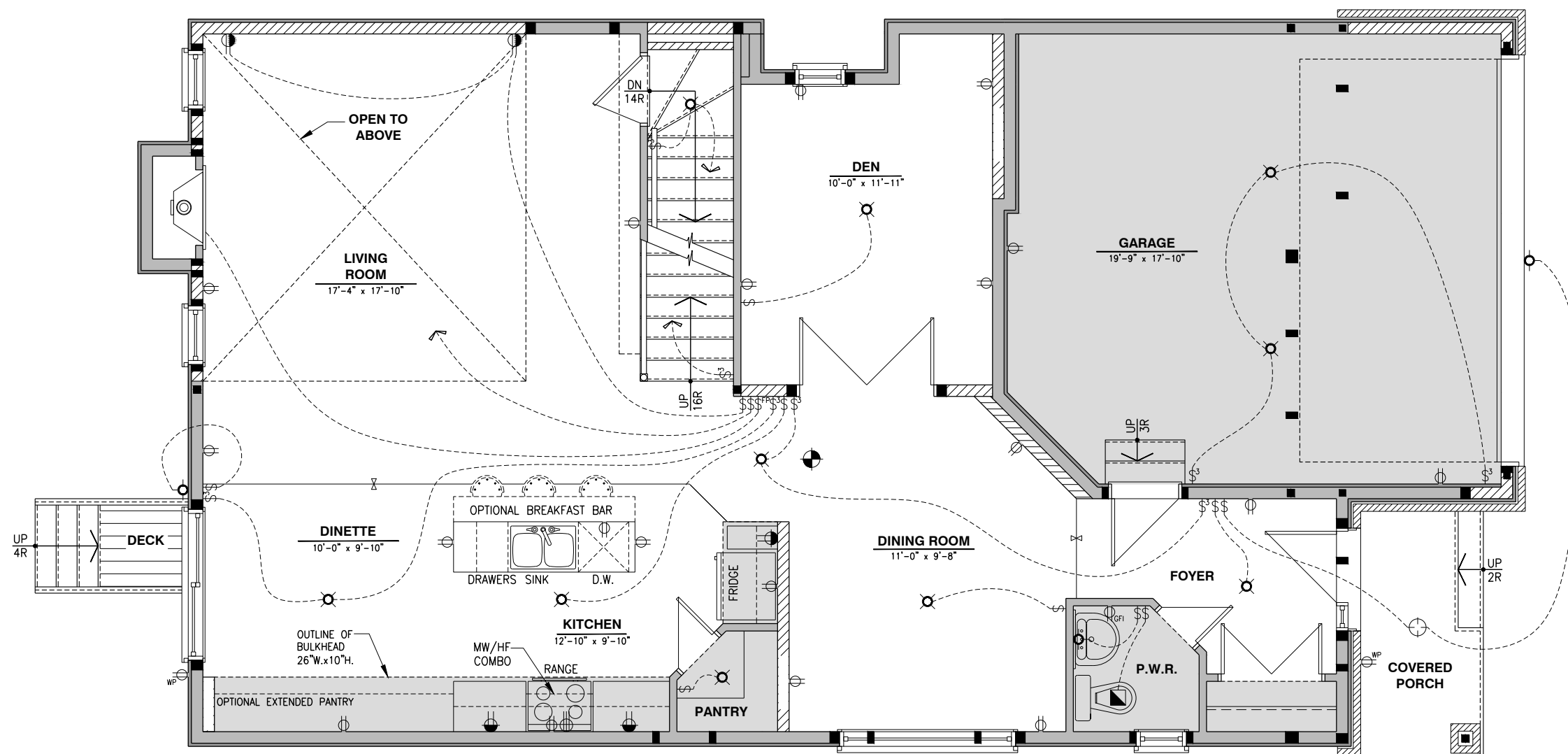
Valecraft
Homes (2019) Limited

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

SHEET:
E.2a



SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

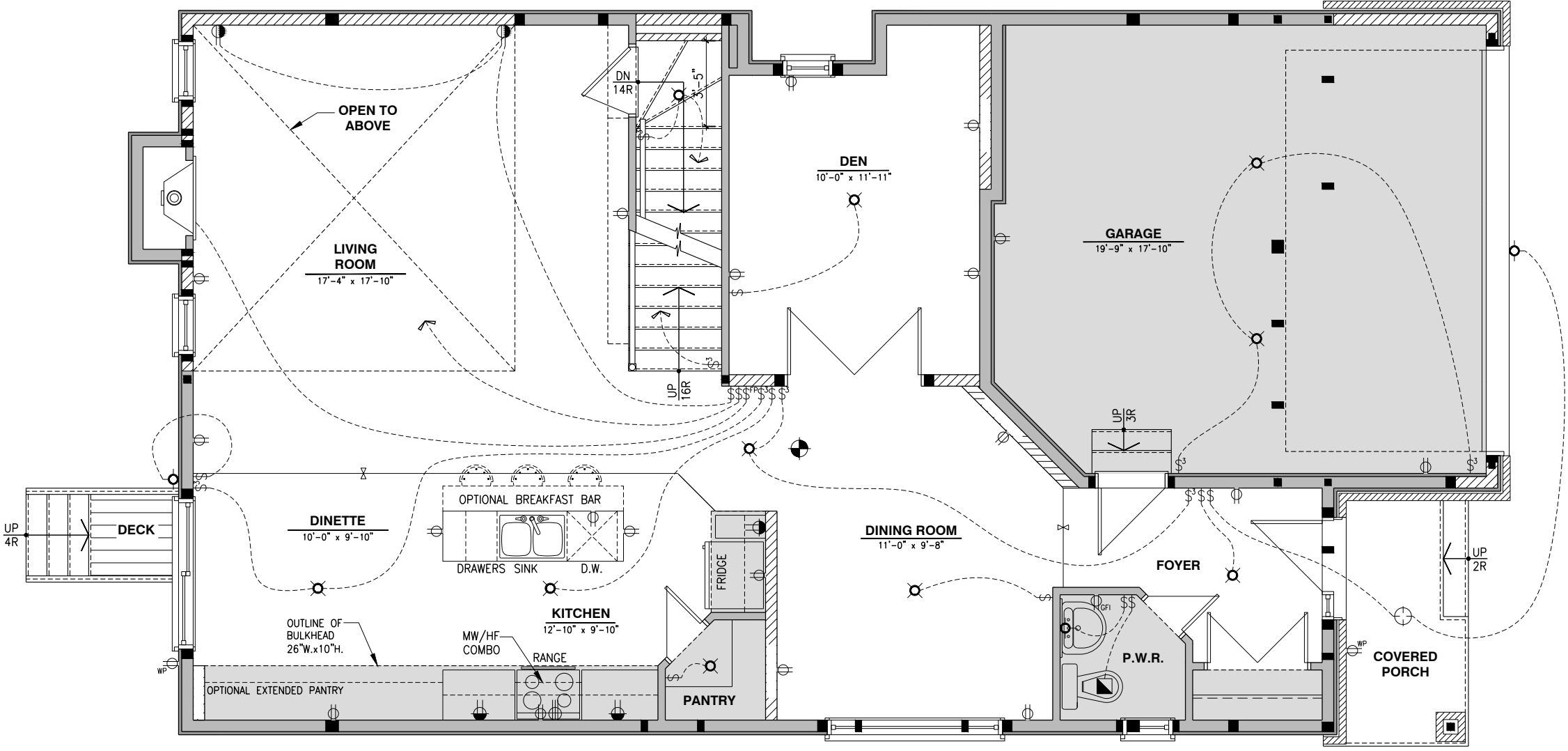
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E.2b

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

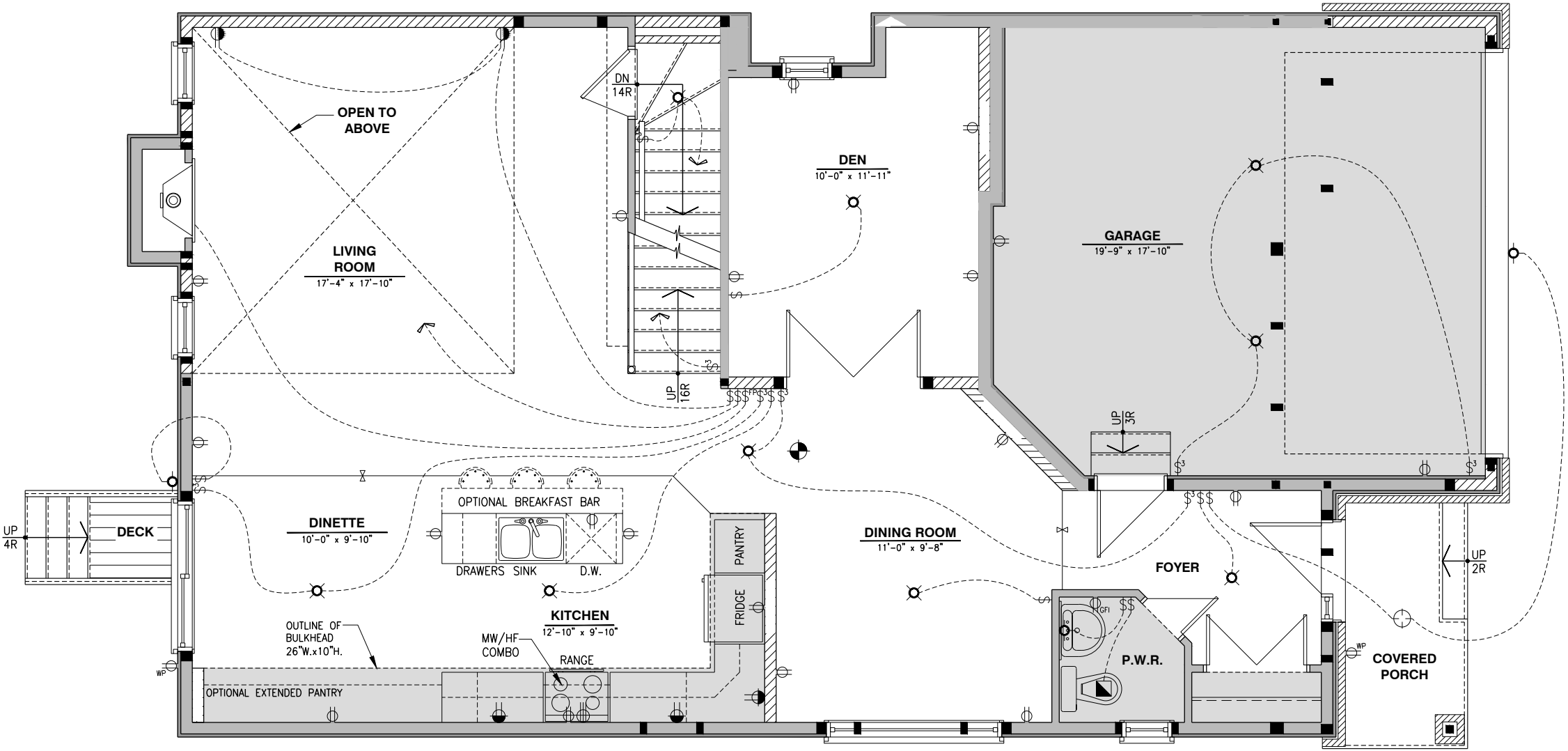
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2c

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

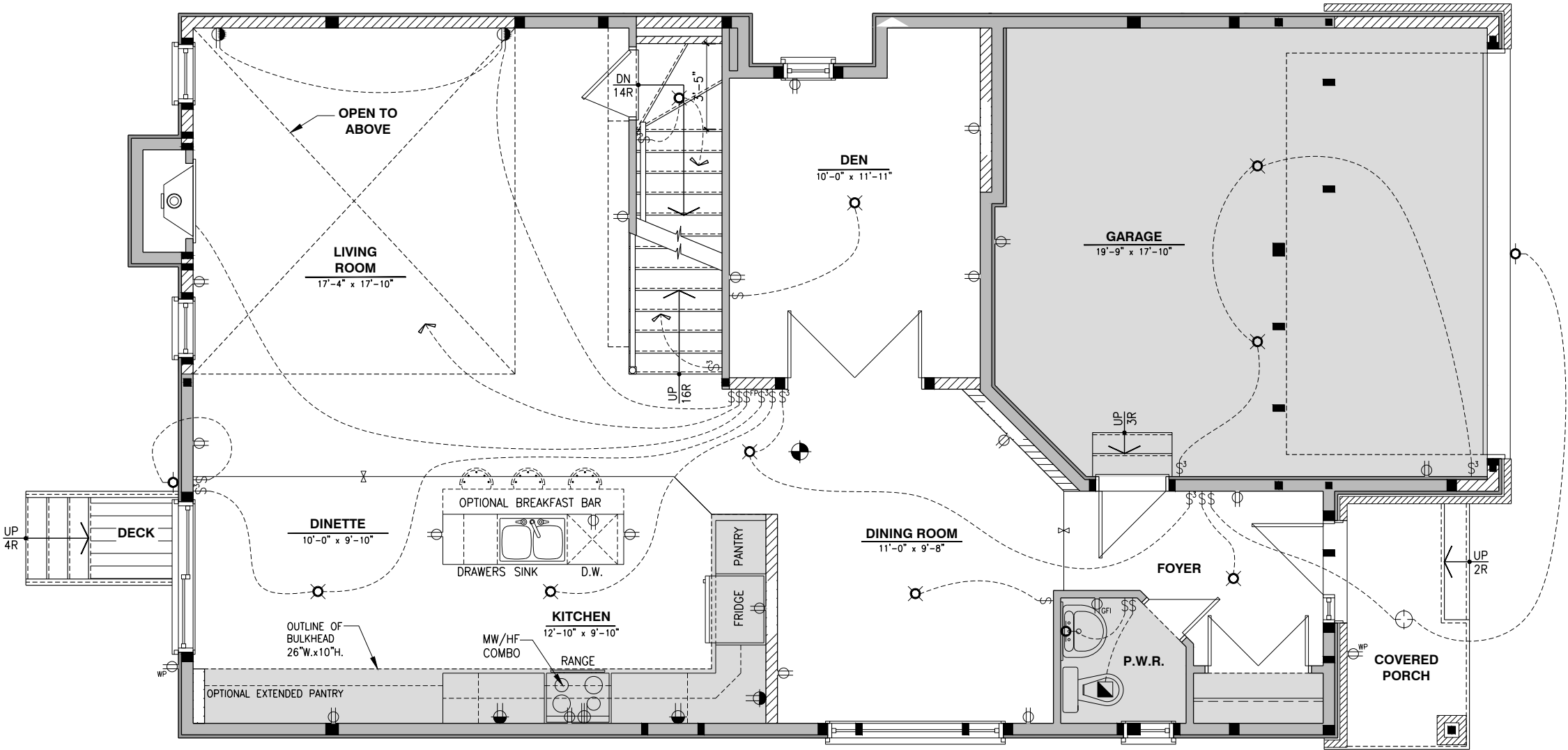
DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #1- ELEVATION B

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



Valecraft
Homes (2019) Limited

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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SHEET:
E.2e

SCALE: 3/16" = 1'-0"

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- \$ SINGLE POLE SWITCH
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

LOT: XXXX
DATE: XX/XX/XXXX



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- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WLM WALL MOUNTED LIGHT FIXTURE
- \$CMF CEILING MOUNTED LIGHT FIXTURE
- \$PL POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ME = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

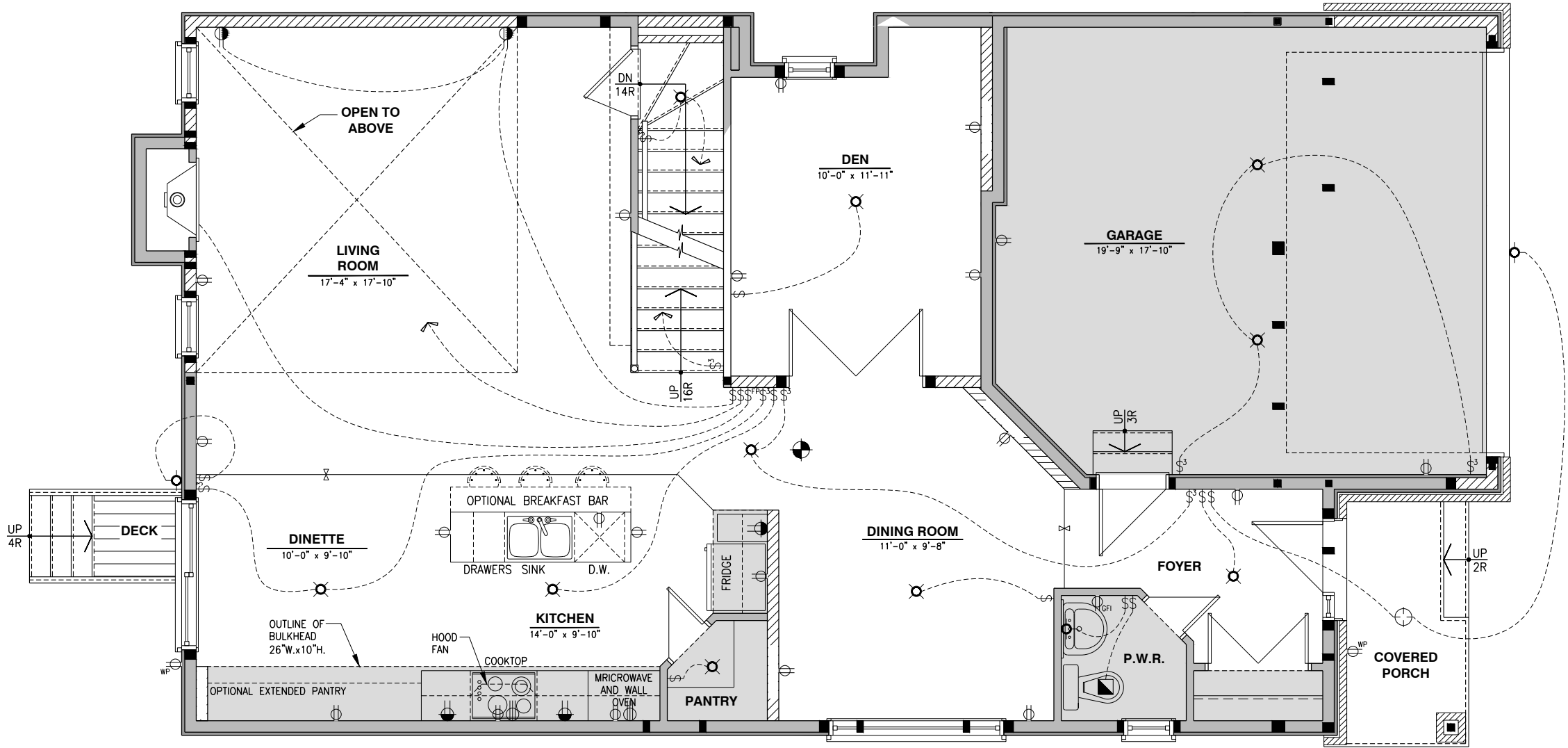
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2g



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #3- ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

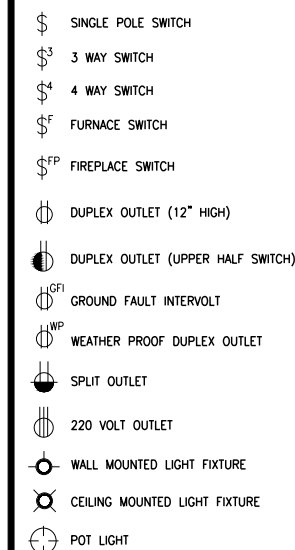
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE.

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES IN ALARM MODE; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

SHEET:
E.2h

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

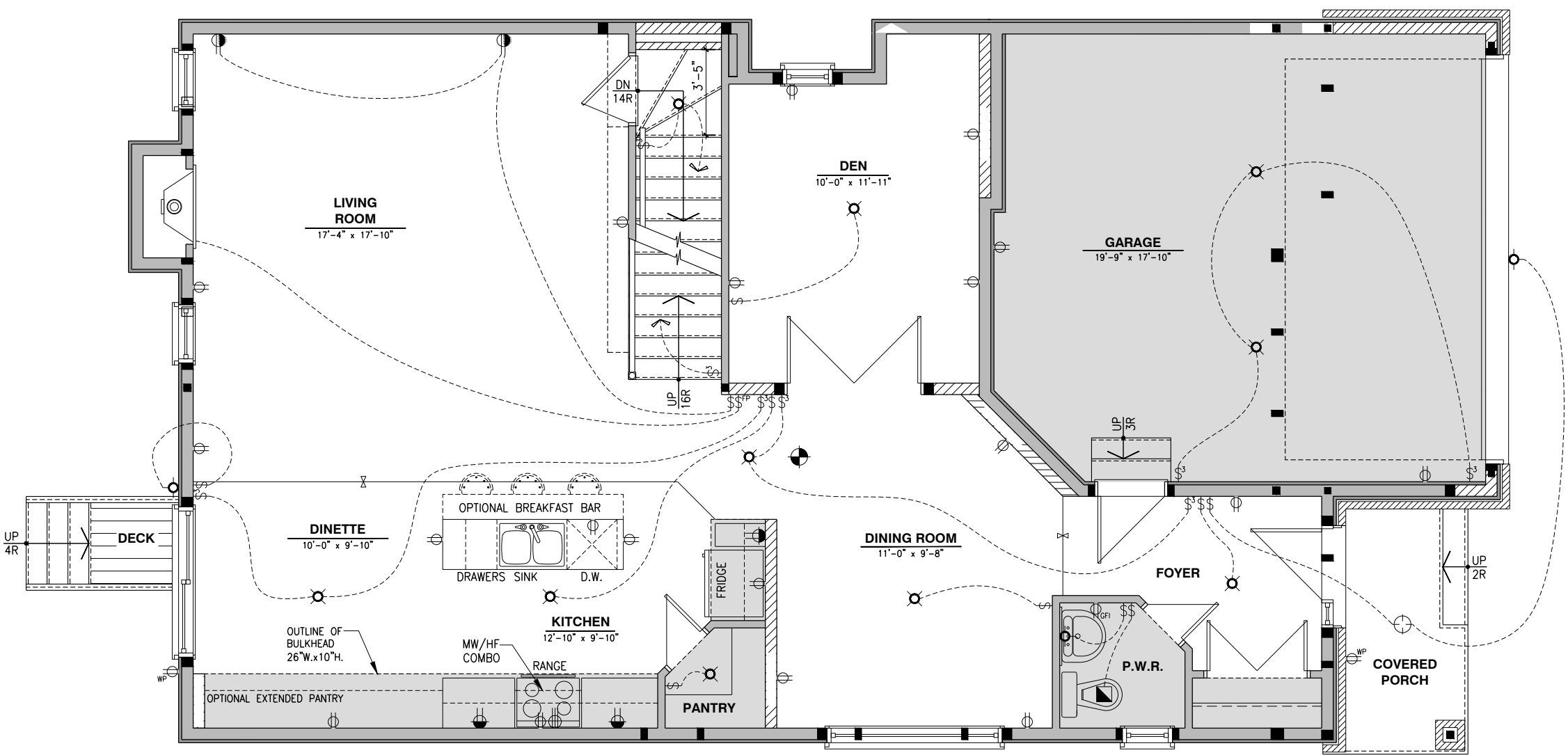
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2i



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - STANDARD KITCHEN - ELEVATION A
SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT

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■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

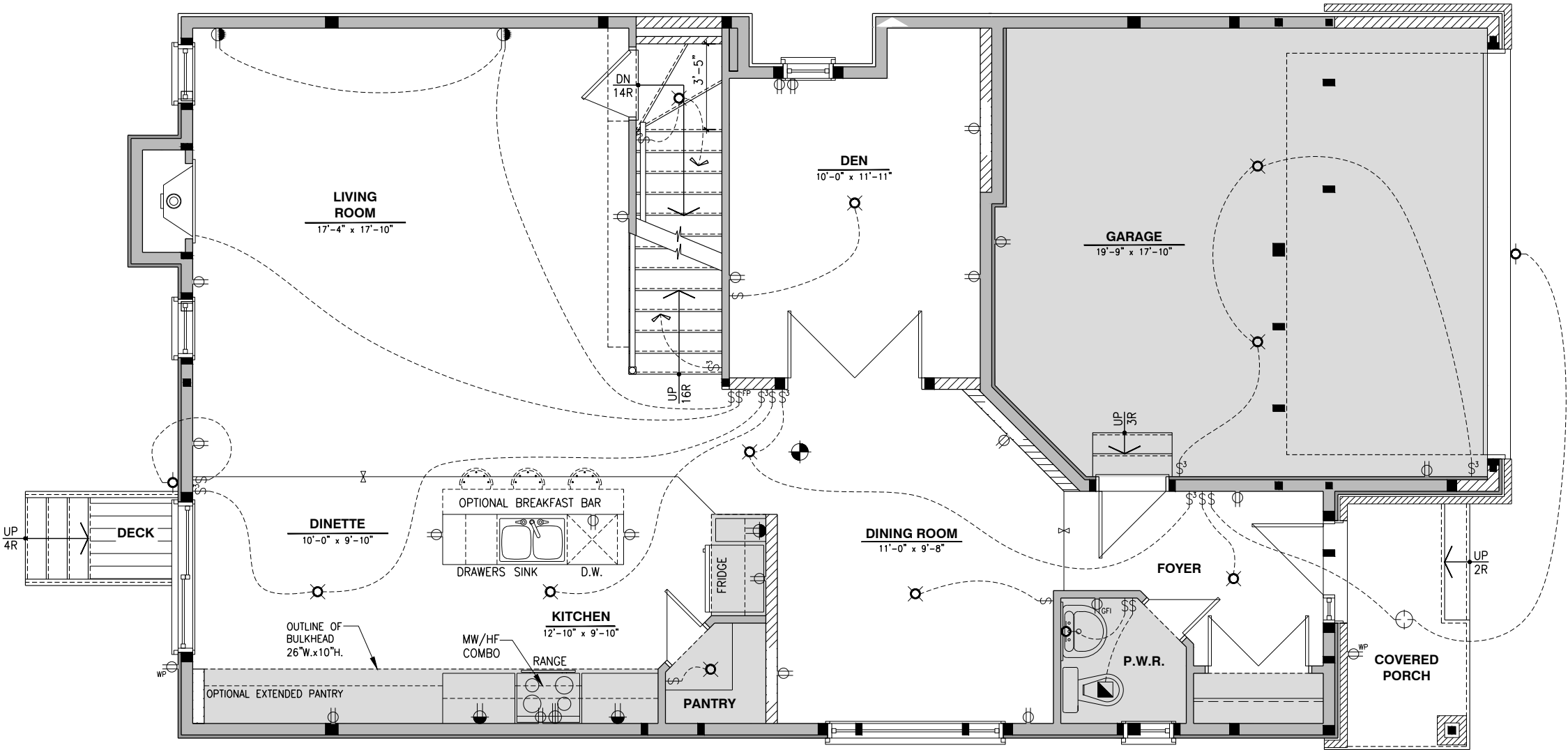
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2j



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$X CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

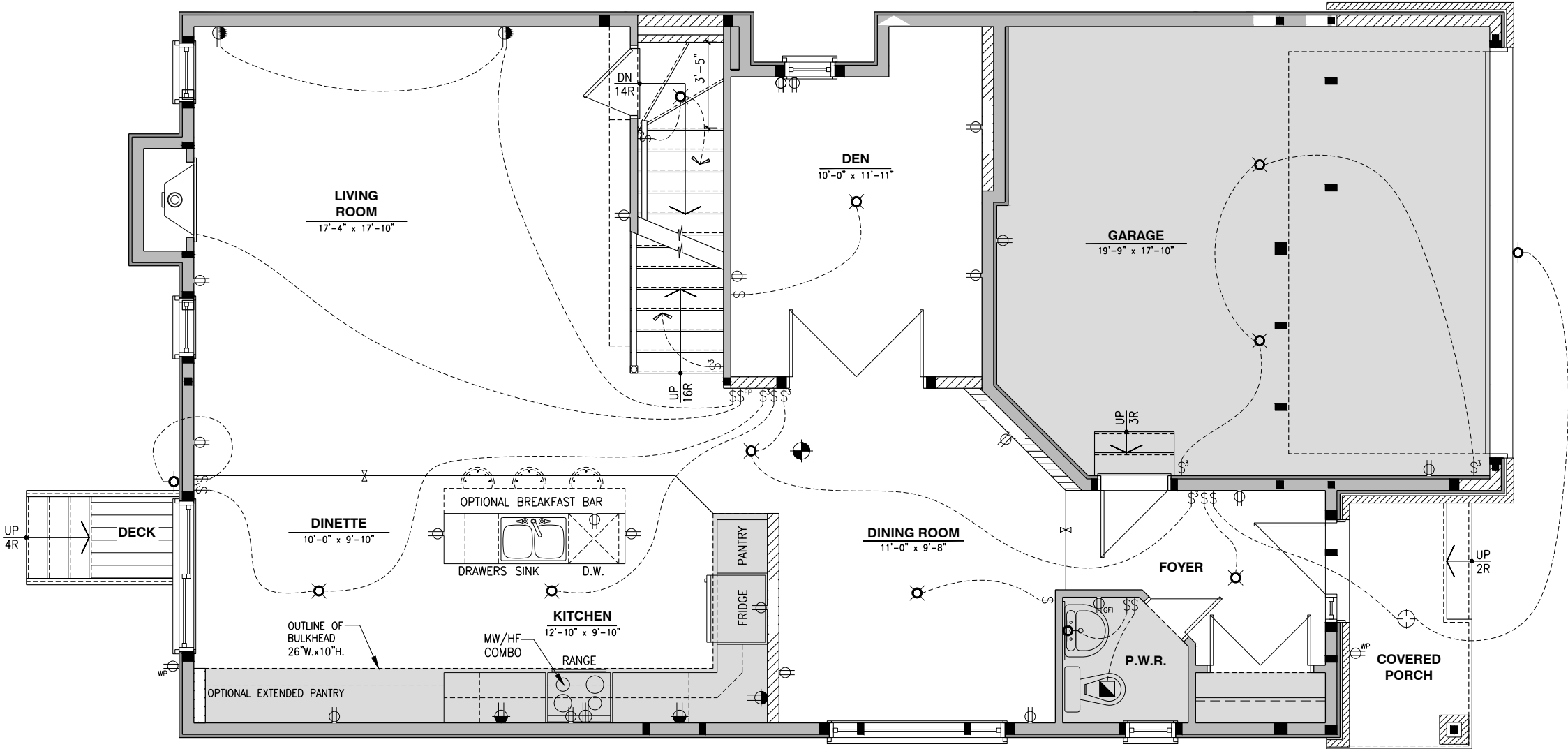
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2k



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- ⌚ SINGLE POLE SWITCH
⌚ 3 WAY SWITCH
⌚ 4 WAY SWITCH
⌚ FURNACE SWITCH
⌚FP FIREPLACE SWITCH
⌚ DUPLEX OUTLET (12" HIGH)
⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
⌚GF1 GROUND FAULT INTERVOLT
⌚WP WEATHER PROOF DUPLEX OUTLET
⌚ SPLIT OUTLET
⌚ 220 VOLT OUTLET
⌚ WALL MOUNTED LIGHT FIXTURE
⌚ CEILING MOUNTED LIGHT FIXTURE
⌚ POT LIGHT
⌚ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.21

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

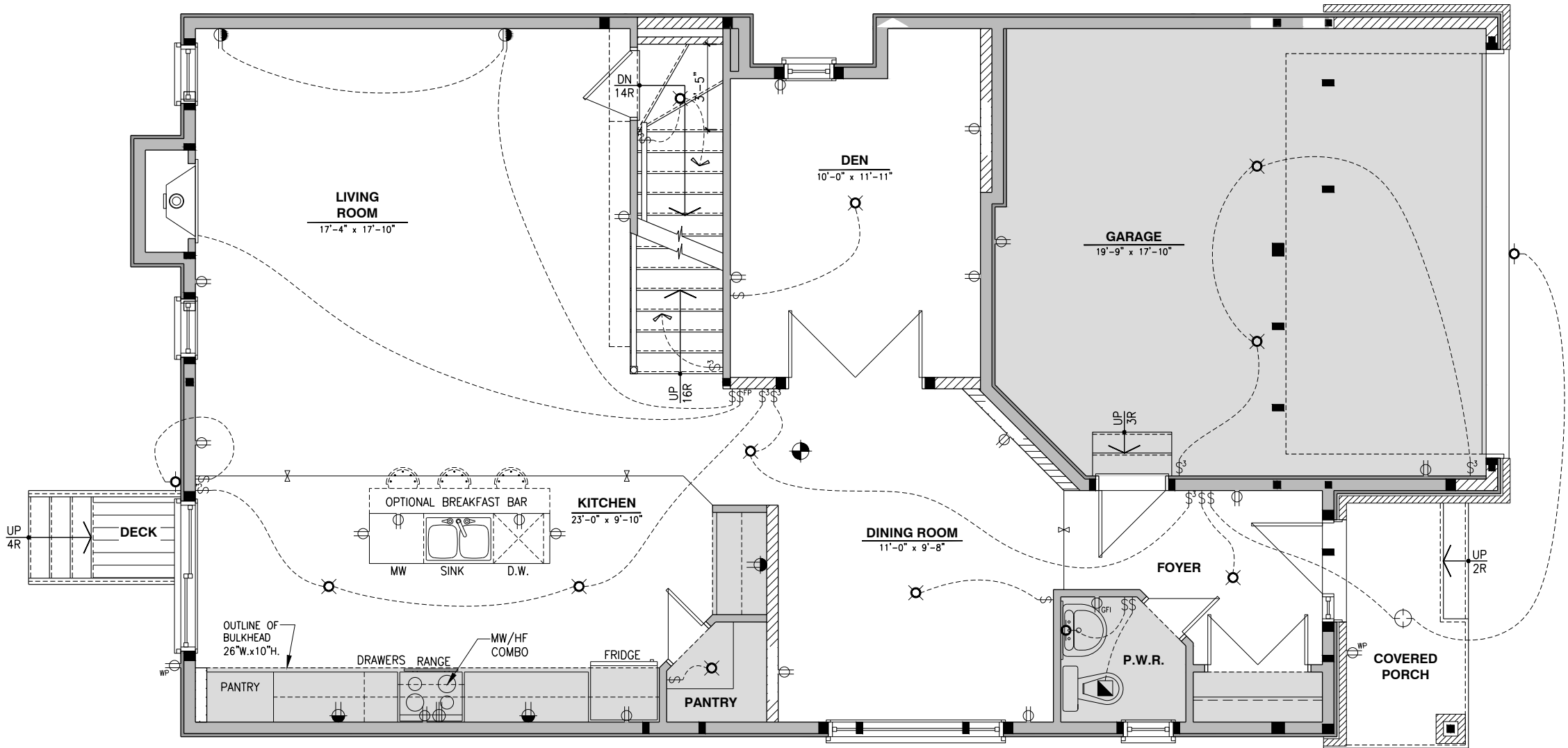
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2m



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- Ø

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2o

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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$

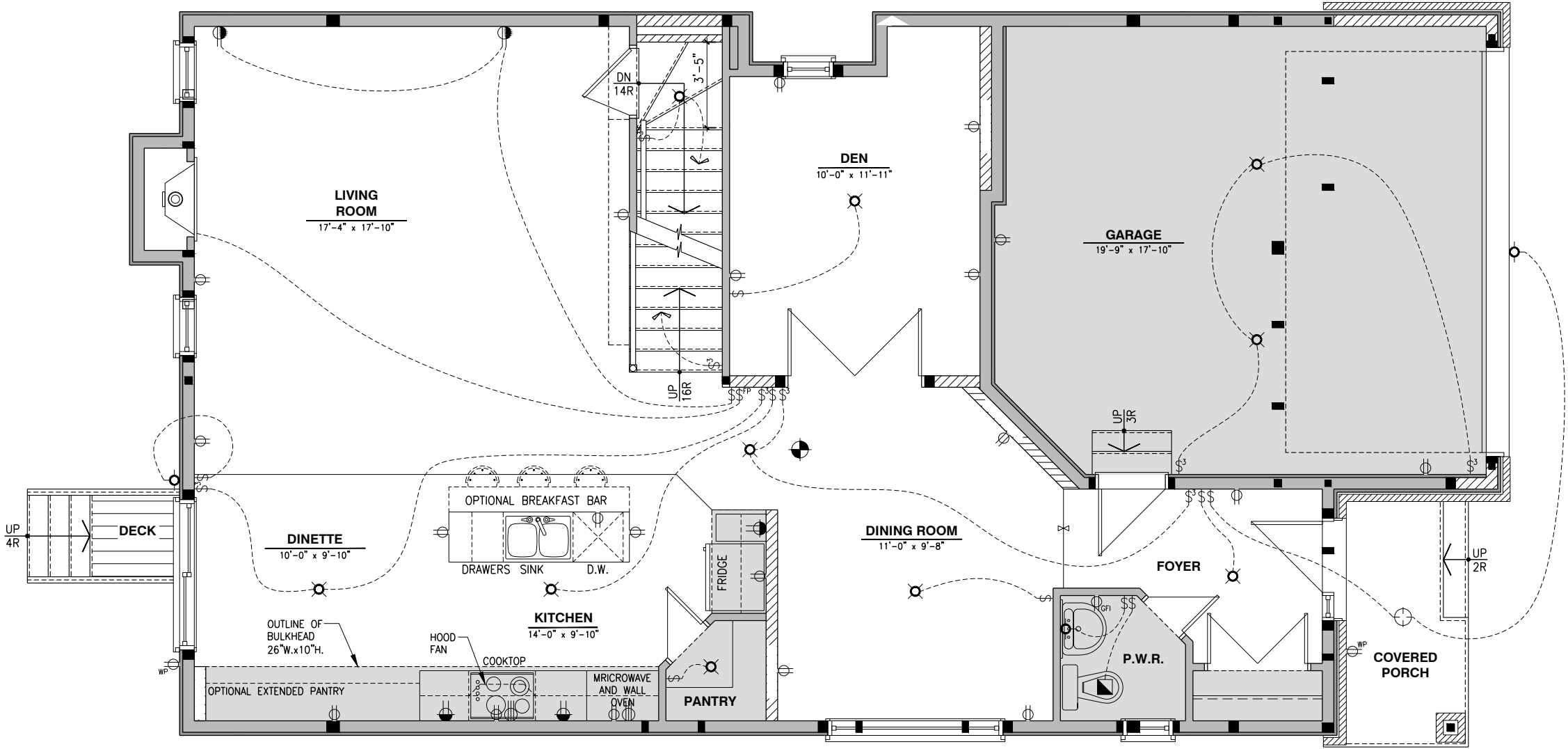
= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

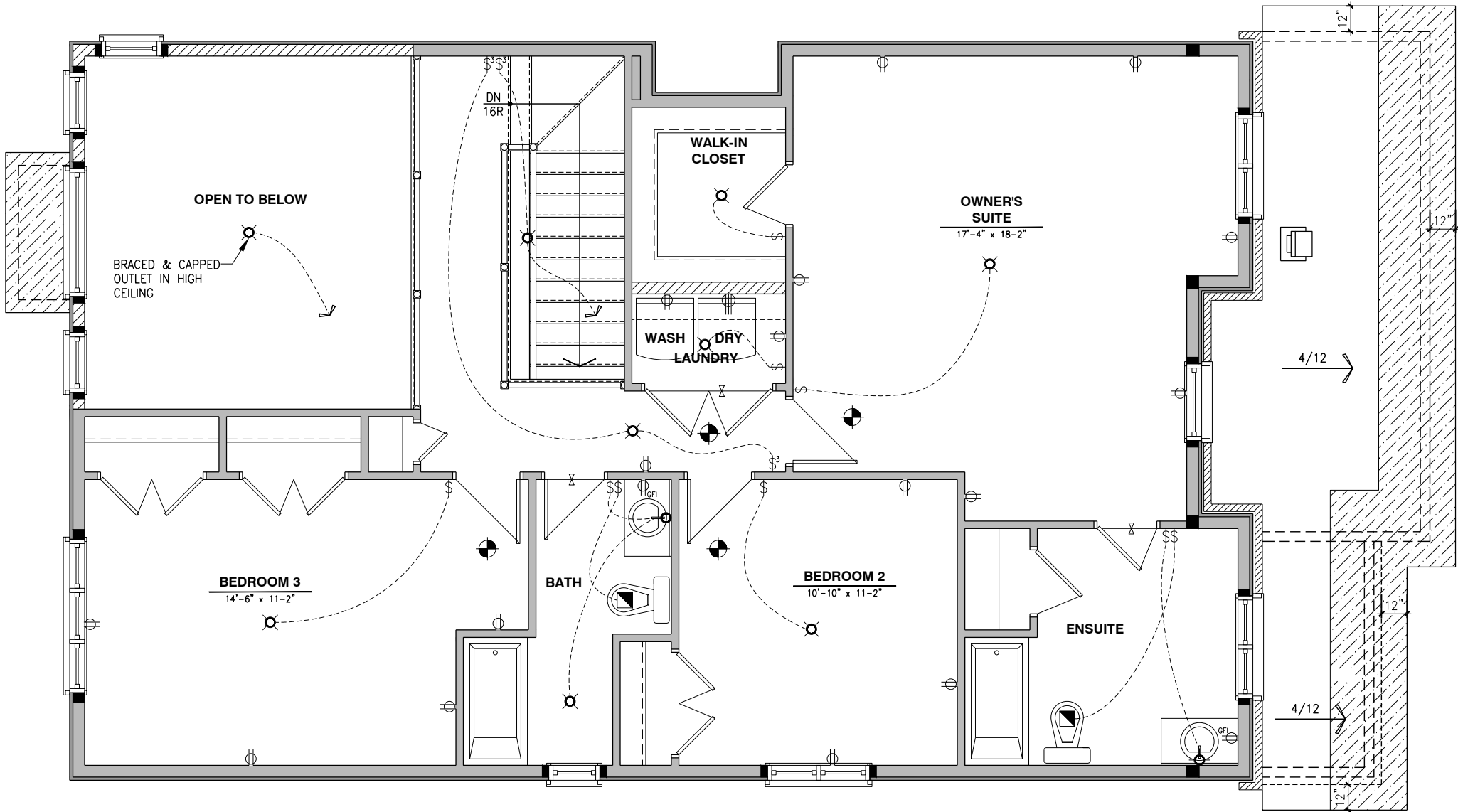
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX





LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

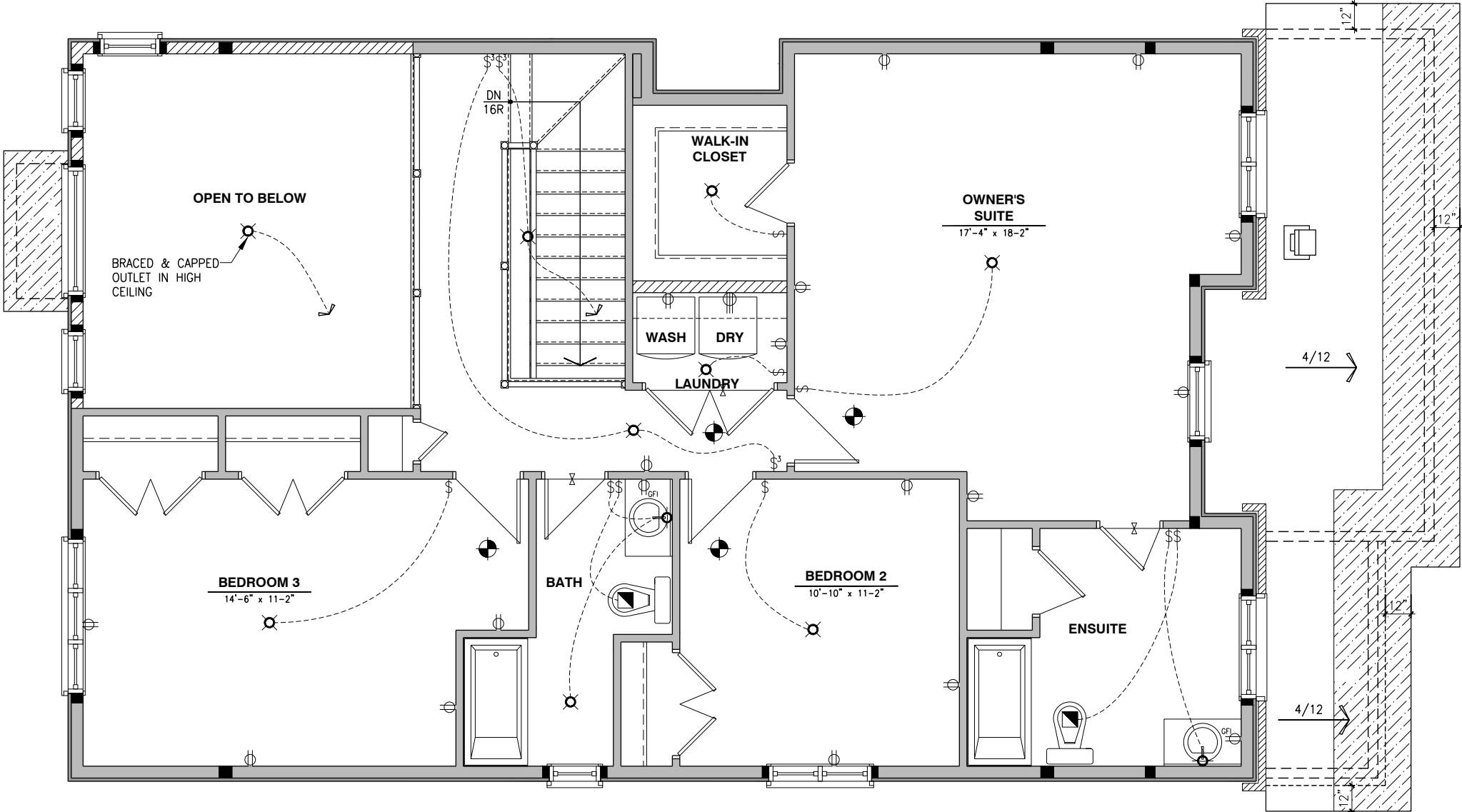
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

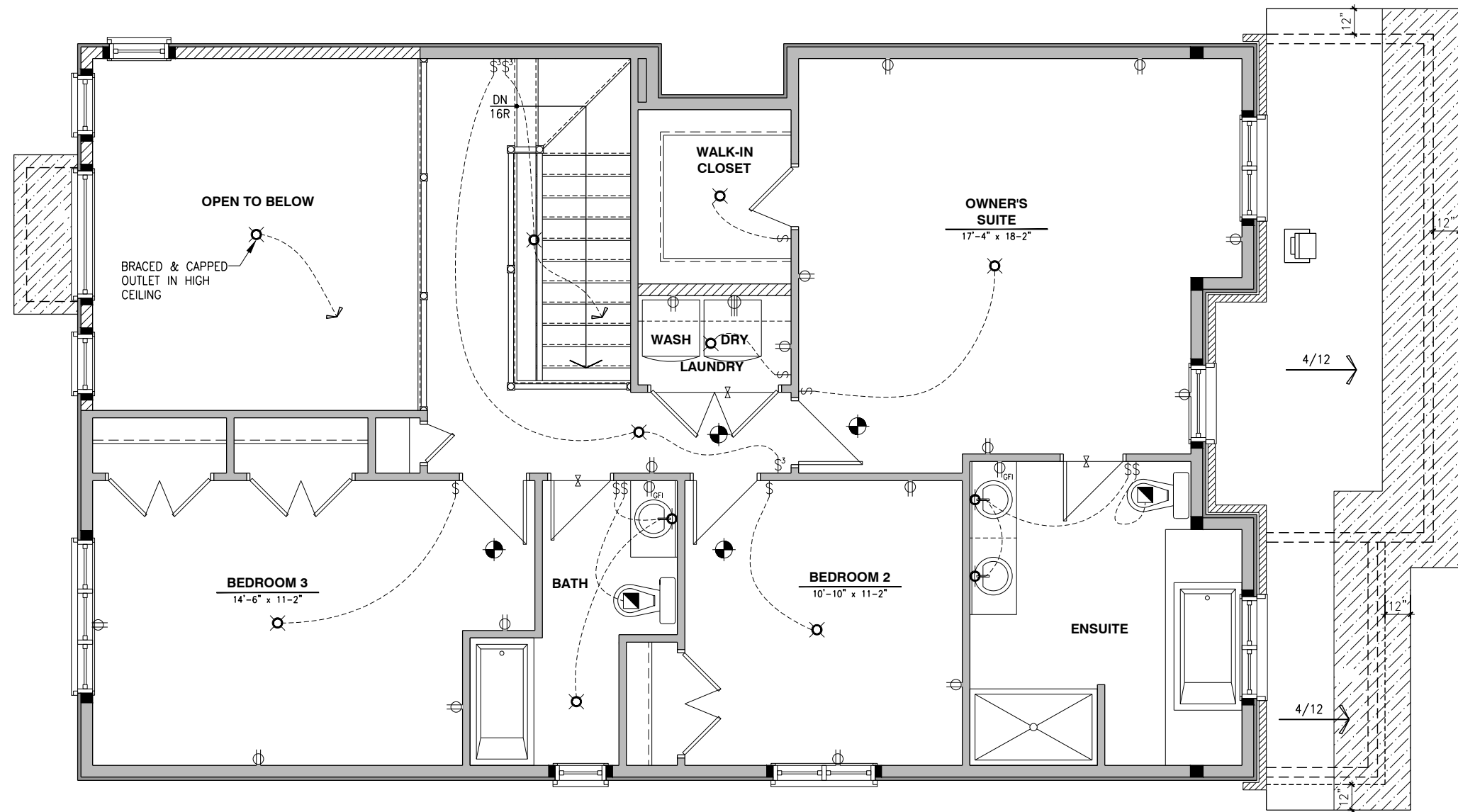
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3b

CONSTRUCTION SITES:
SHEA VILLAGE



ELECTRICAL PLAN - SECOND FLOOR - 3 BEDROOM - OPTIONAL ENSUITE - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

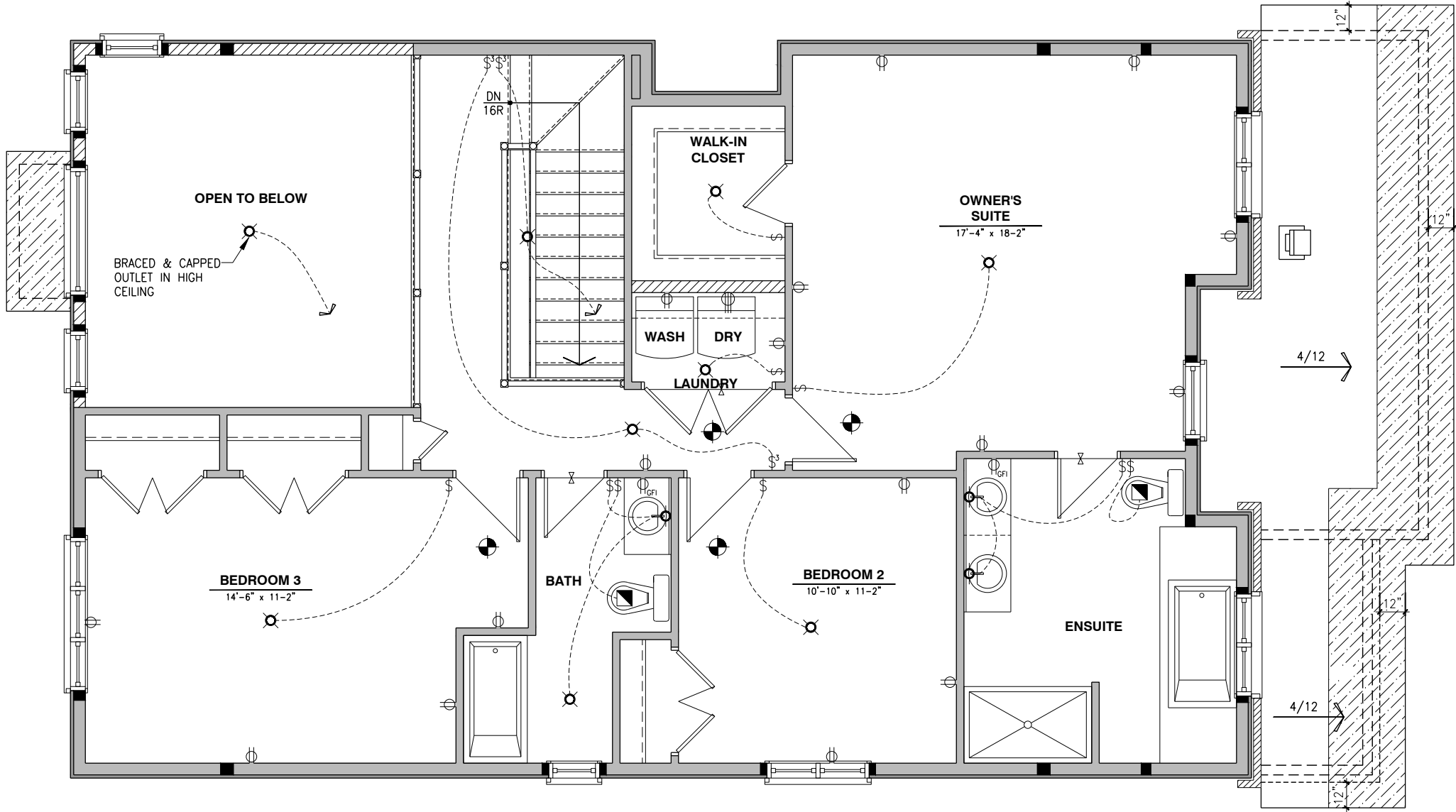
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3c



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

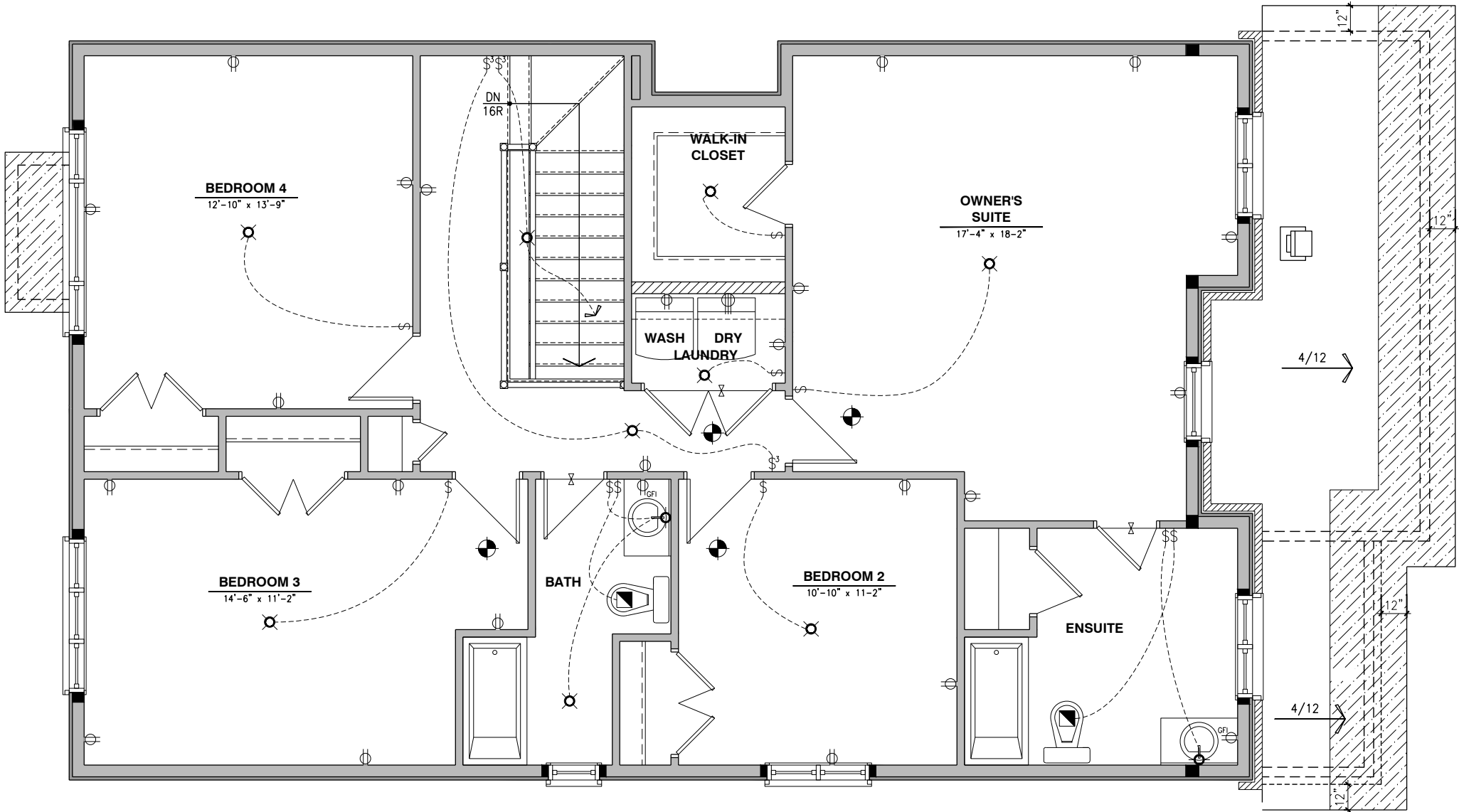
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3d

CONSTRUCTION SITES:
SHEA VILLAGE



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

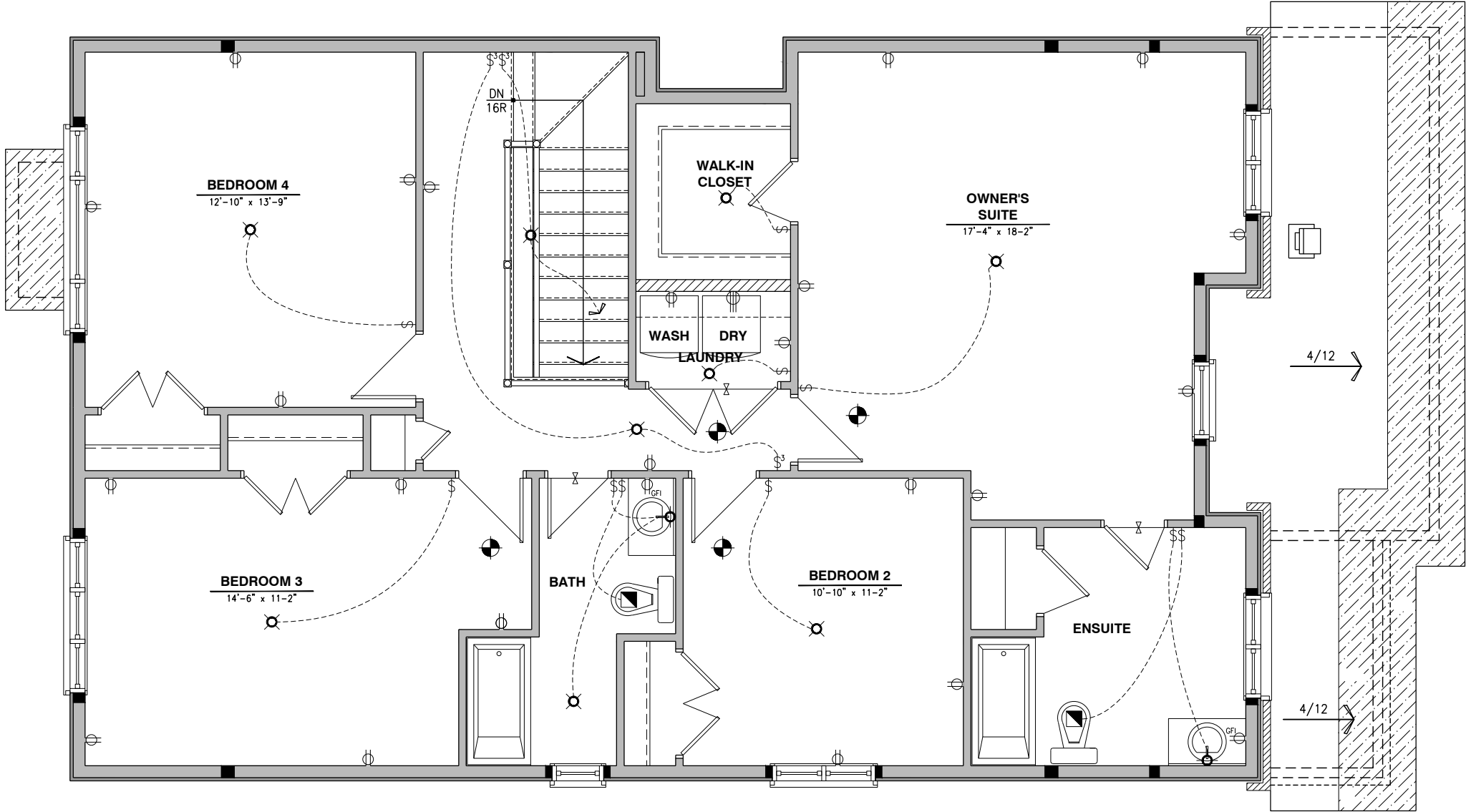
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3e



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
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LOT: XXXX
DATE: XX/XX/XXXX



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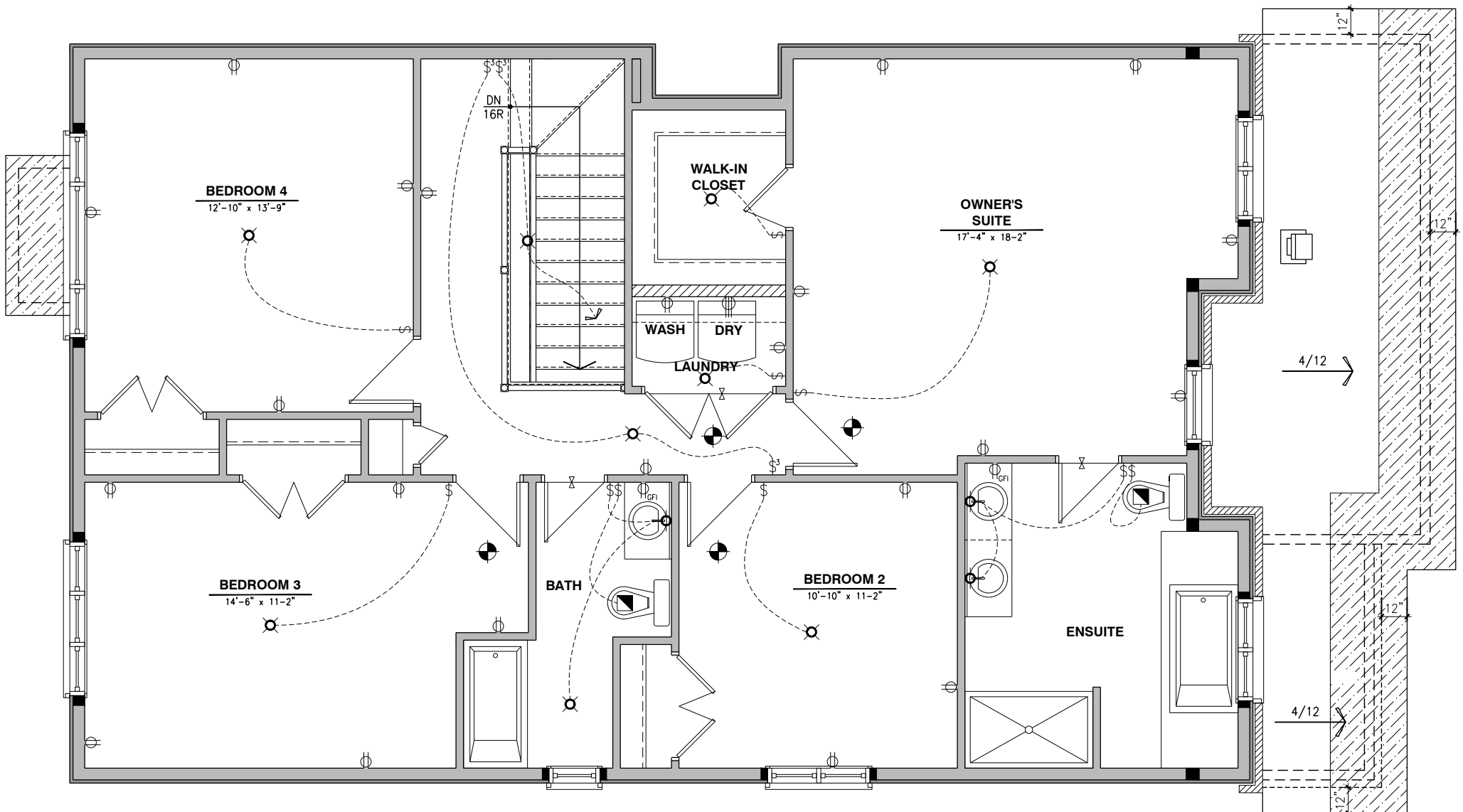
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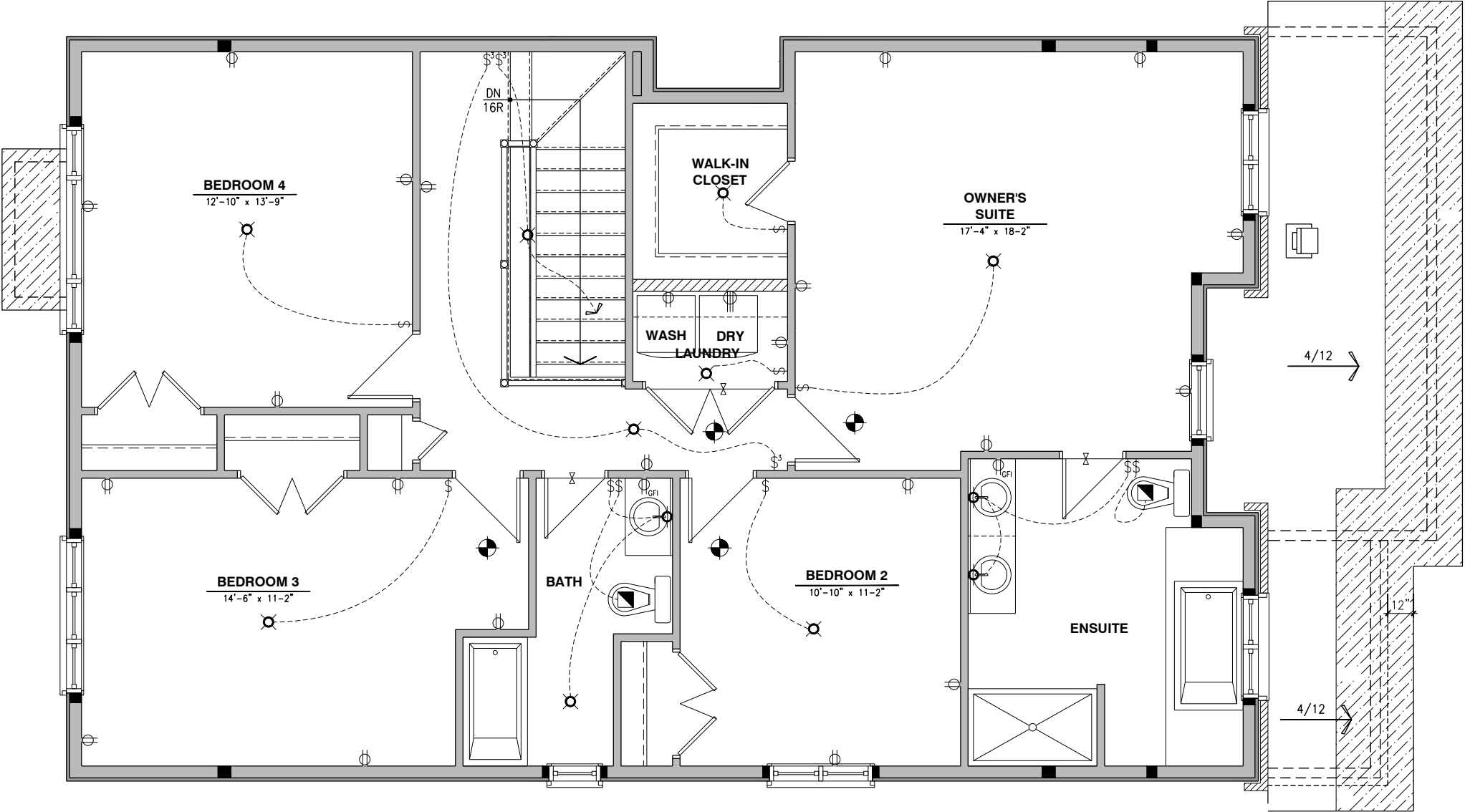
REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E.3g



LOT: XXXX
DATE: XX/XX/XXXX



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826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3h

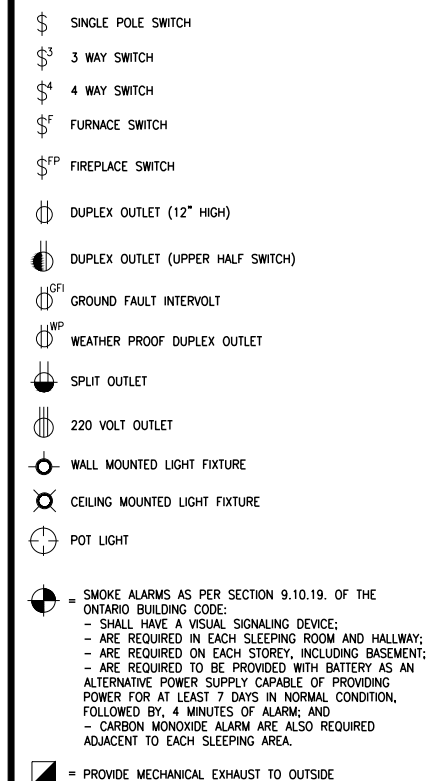
CONSTRUCTION SITES:
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Valecraft
Homes (2019) Limited

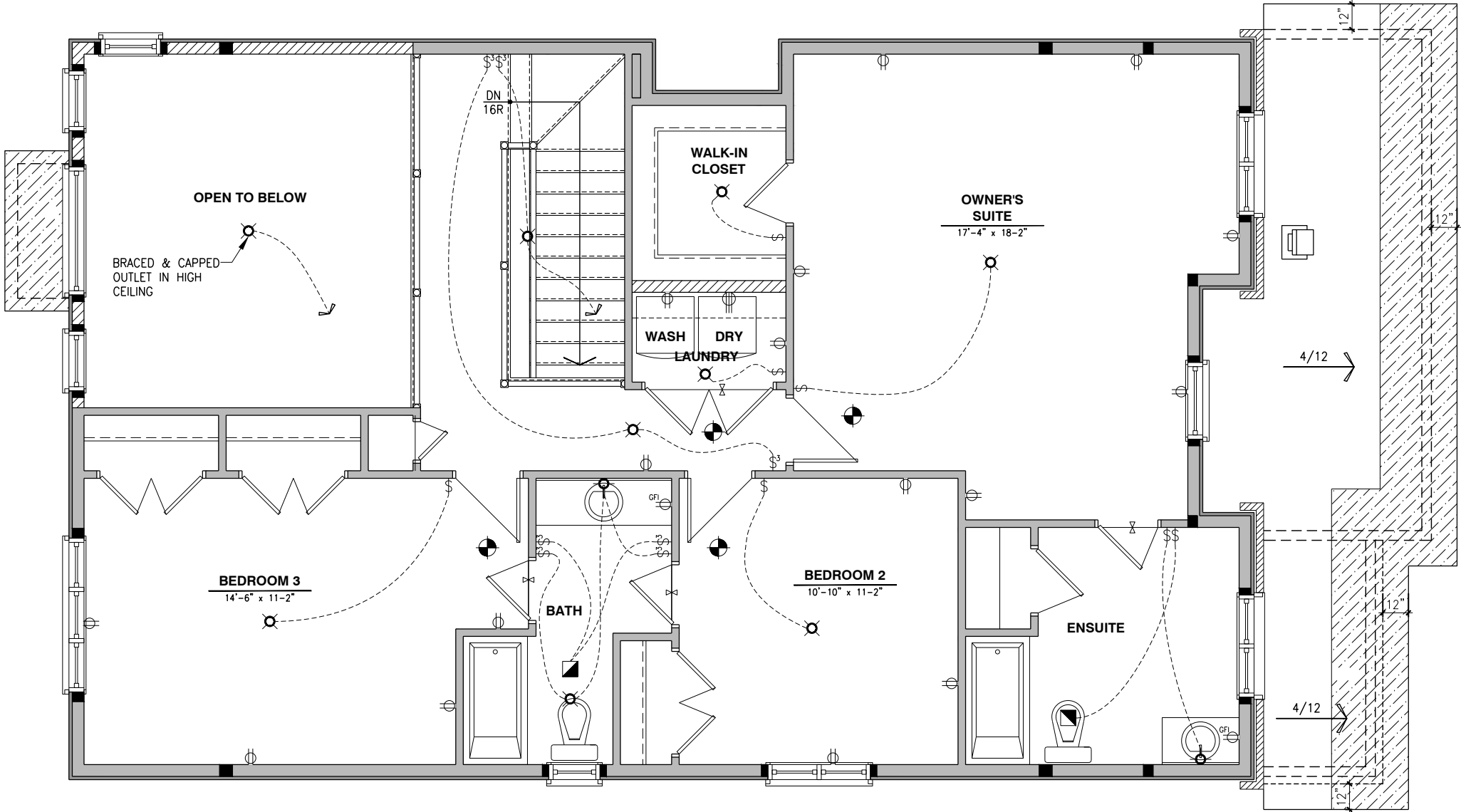
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SHEET:
F 3i

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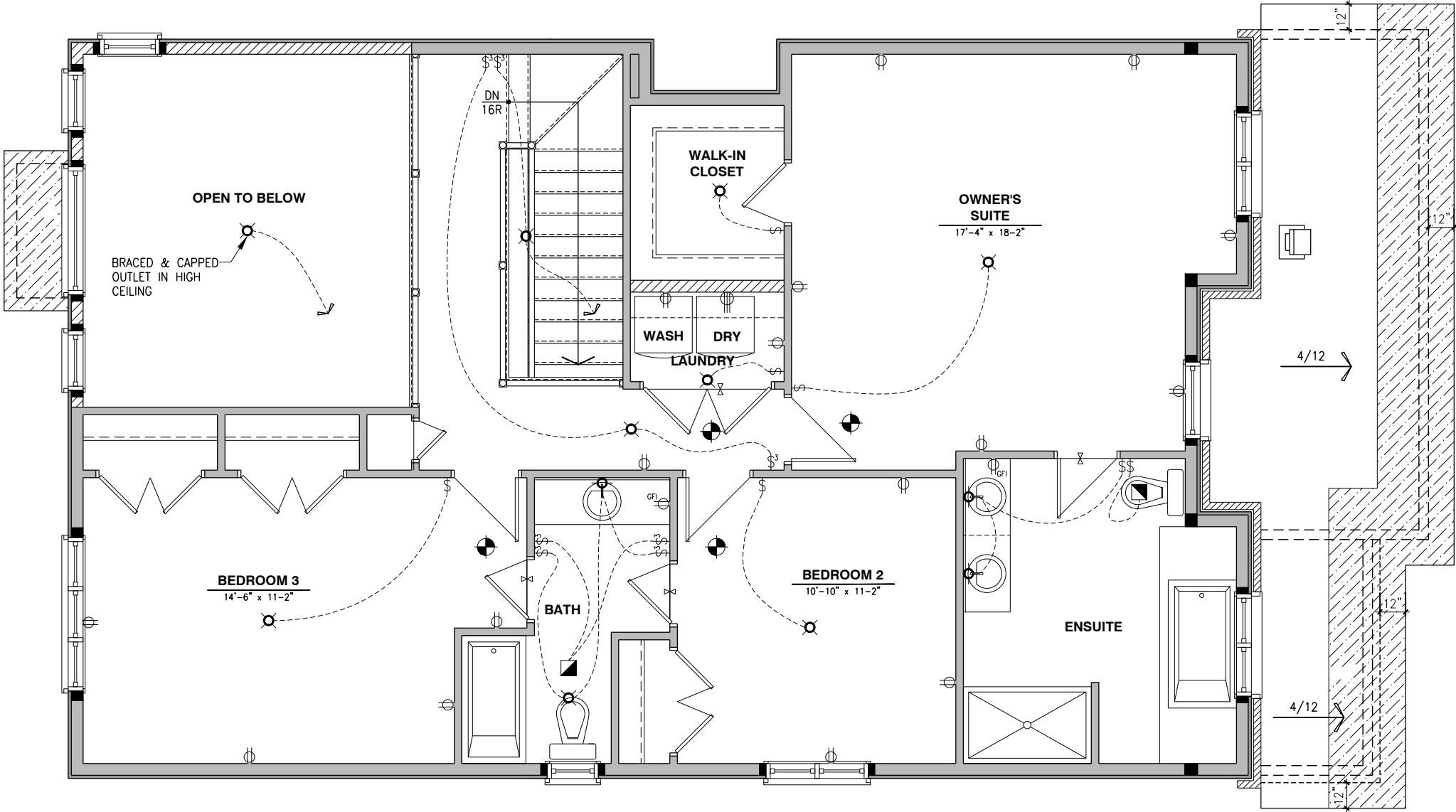
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LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	12/20/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3k

LOT: XXXX
DATE: XX/XX/XXXX



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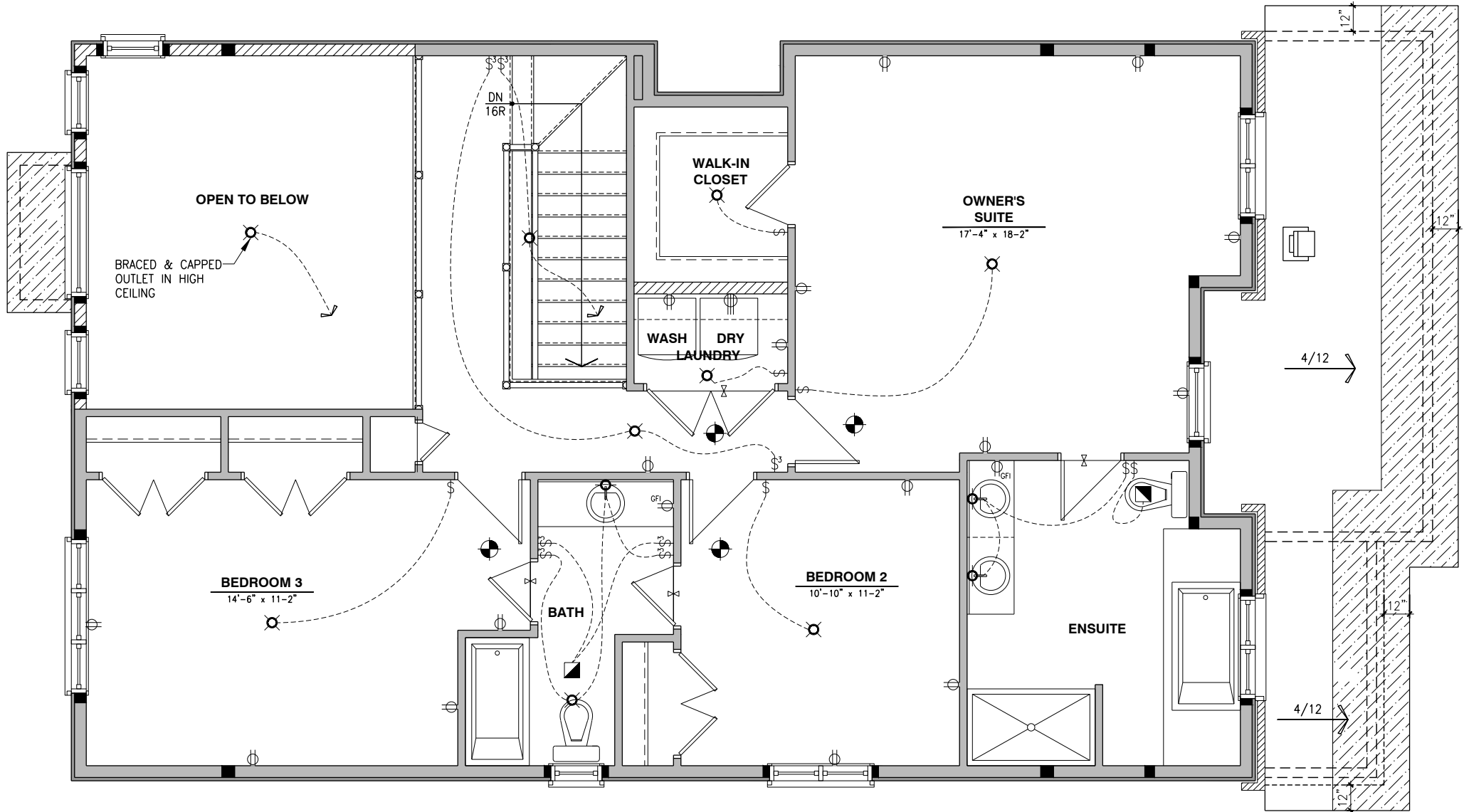
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GF1 GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E.31



Valecraft
Homes (2019) Limited

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

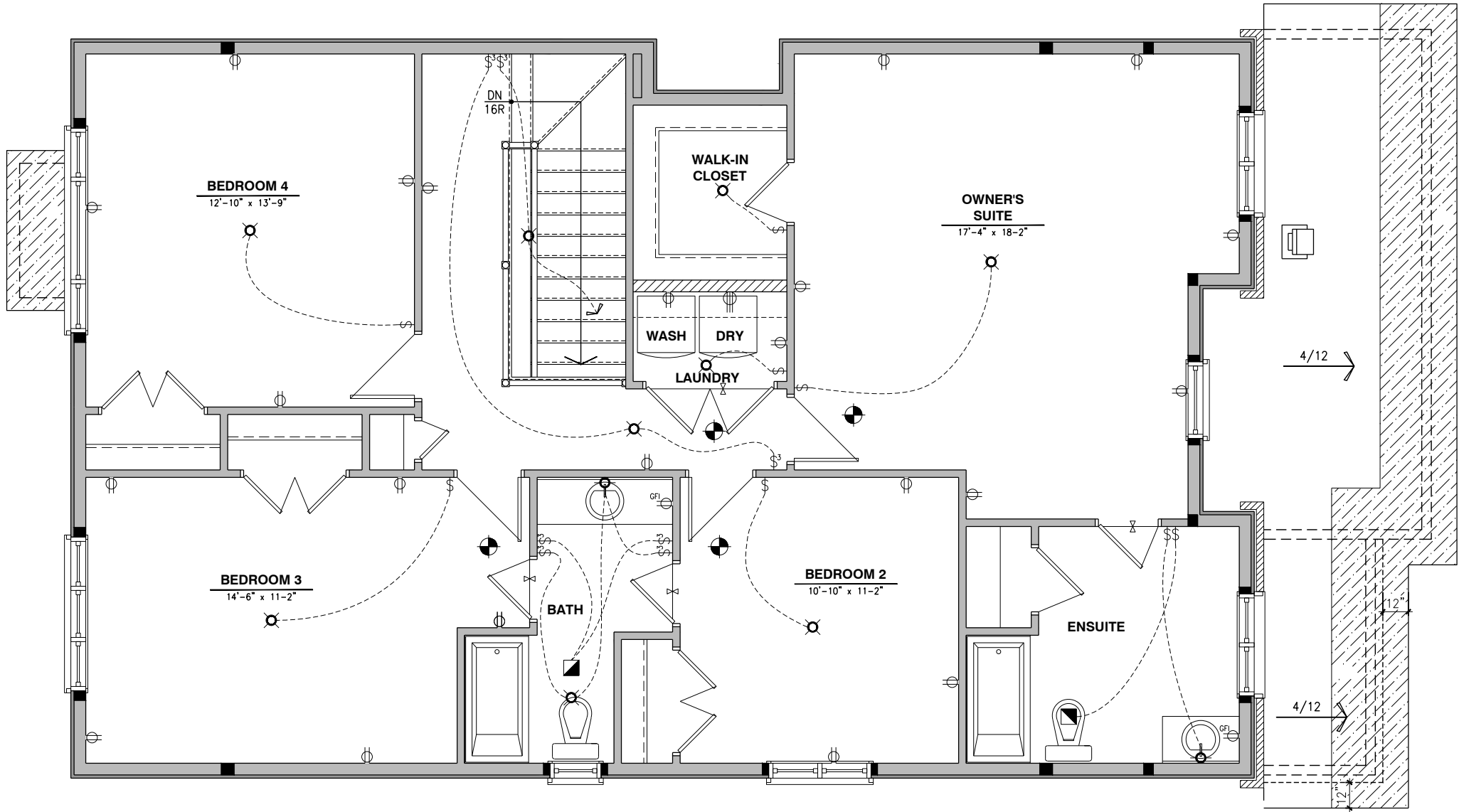
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- 2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN**
SECOND FLOOR - ELEV. A

SHEET:
E.3m

SCALE: 3/16" = 1'-0"



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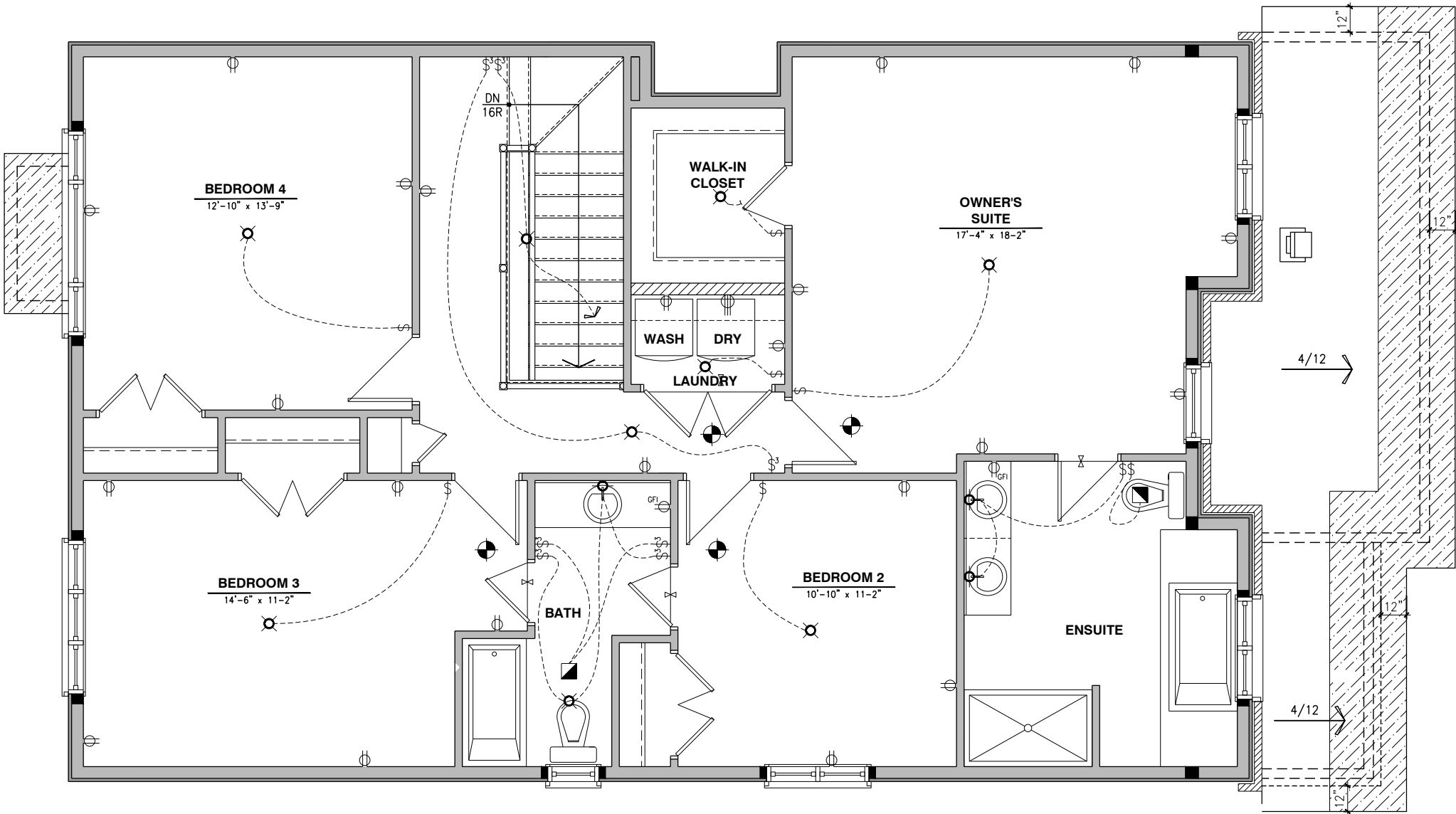
REV-1	NO.	DESCRIPTION	DATE	BY
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DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3n



ELECTRICAL PLAN - SECOND FLOOR - 4 BEDROOM - OPTIONAL ENSUITE - JACK AND JILL - ELEVATION A

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX



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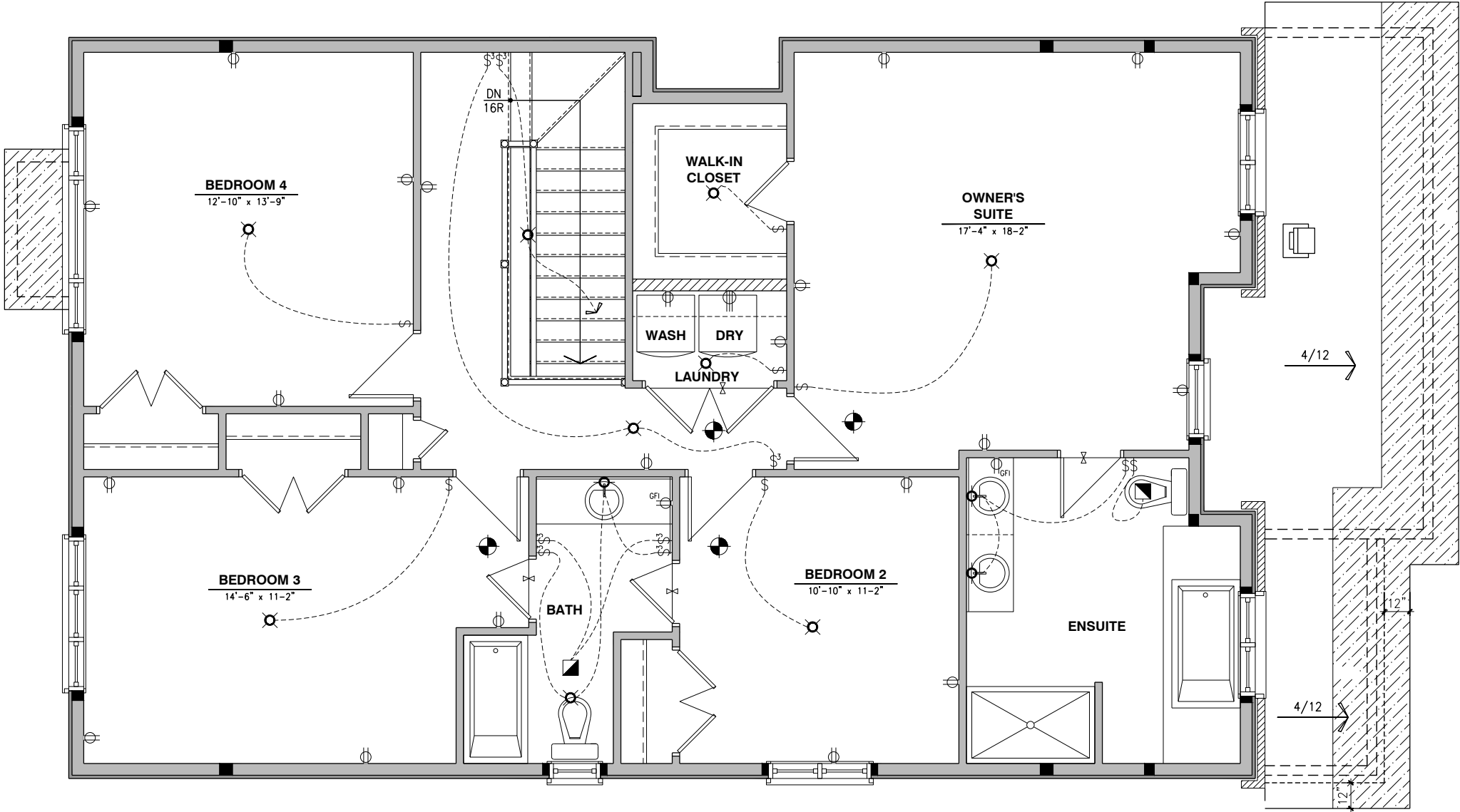
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826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3o



LOT: XXXX

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REV-1

NEW STANDARD DRWG MODIFICATION

12/20/2022

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