

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

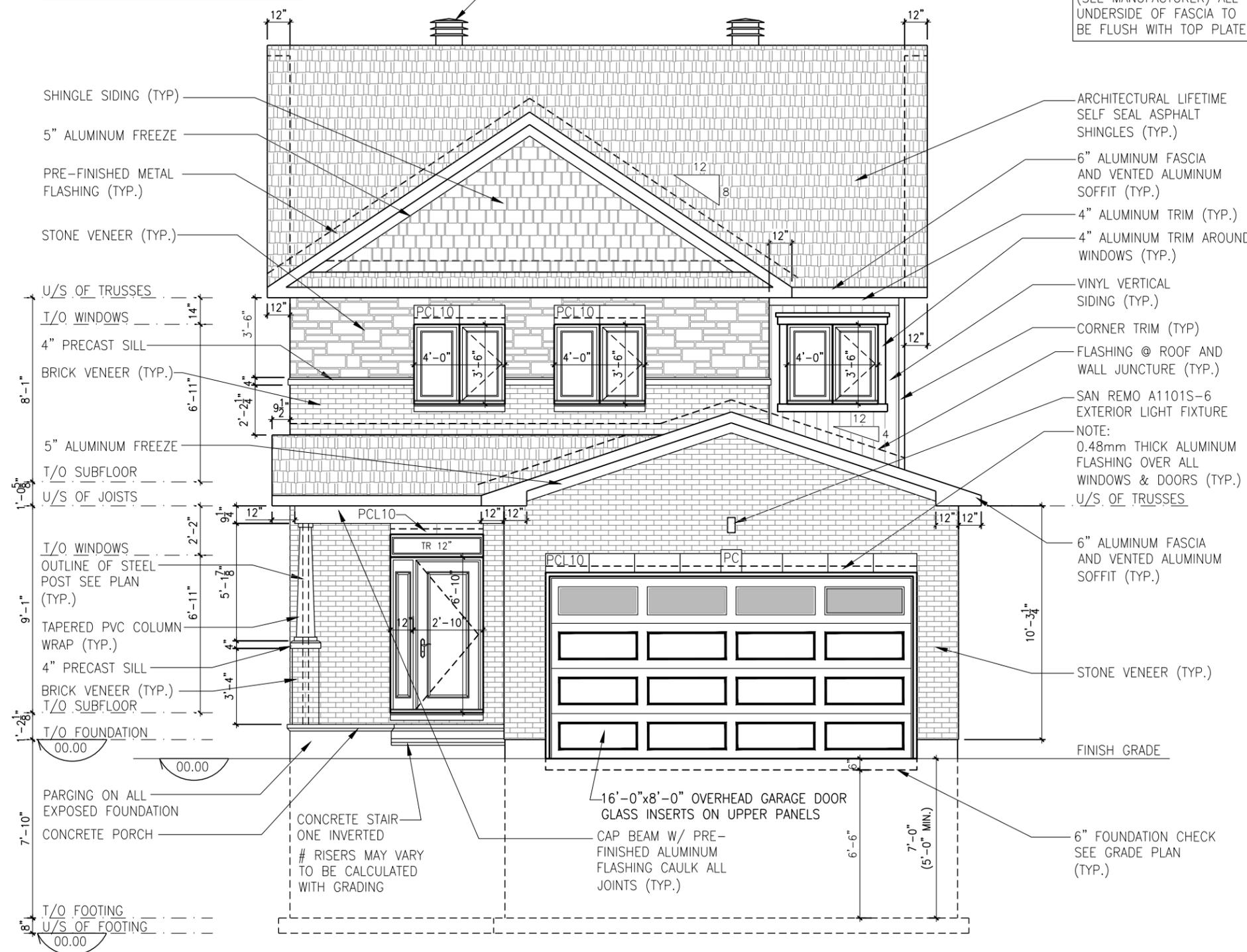
THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
 PCL10 - 10" PRECAST LINTEL

GROSS INSULATED = 290 M. SQ. WALL AREA
 GROSS WINDOW = 21.63 M. SQ. AREA
 PERCENT GLASS TO WALL AREA = 7.4%

PROVIDE MAXIMUM VENT AND INSTALL AS PER 9.19.1 OF THE O.B.C. (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
 HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE



FRONT ELEVATION - ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **FRONT ELEVATION ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT SHEET: **A1a**
 (STANDARD DRAWINGS)

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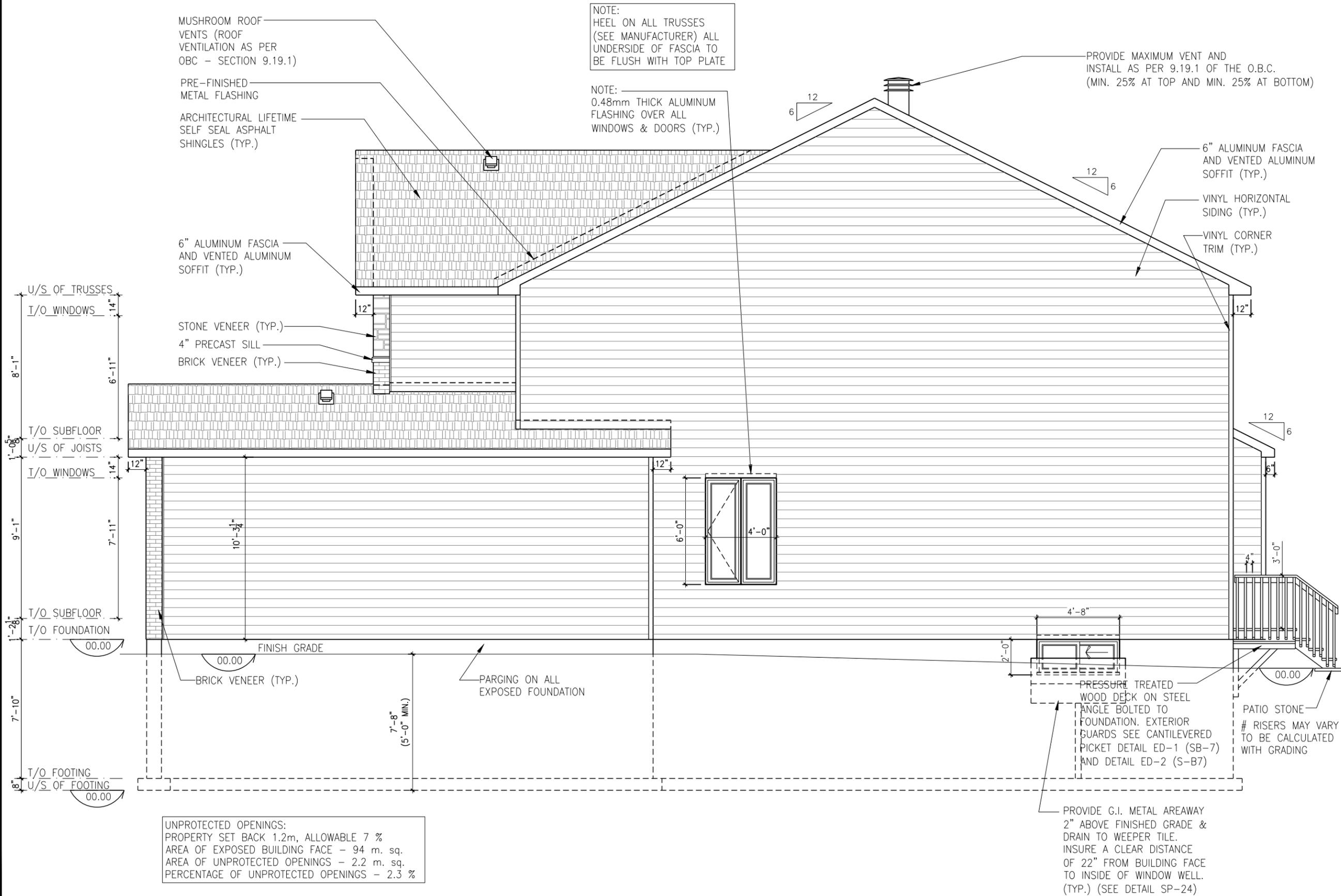
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NOTE:
 HEEL ON ALL TRUSSES
 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE

NOTE:
 0.48mm THICK ALUMINUM
 FLASHING OVER ALL
 WINDOWS & DOORS (TYP.)

PROVIDE MAXIMUM VENT AND
 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

U/S OF TRUSSES
 T/O WINDOWS 14"
 8'-1"
 6'-11"
 T/O SUBFLOOR
 U/S OF JOISTS 1'-0 1/2"
 T/O WINDOWS 14"
 9'-1"
 7'-11"
 T/O SUBFLOOR
 T/O FOUNDATION 1'-2 1/2"
 00.00
 7'-10"
 T/O FOOTING
 U/S OF FOOTING 00.00

UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 94 m. sq.
 AREA OF UNPROTECTED OPENINGS - 2.2 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 2.3 %

PROVIDE G.I. METAL AREAWAY
 2" ABOVE FINISHED GRADE &
 DRAIN TO WEEPER TILE.
 INSURE A CLEAR DISTANCE
 OF 22" FROM BUILDING FACE
 TO INSIDE OF WINDOW WELL.
 (TYP.) (SEE DETAIL SP-24)

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A2a**

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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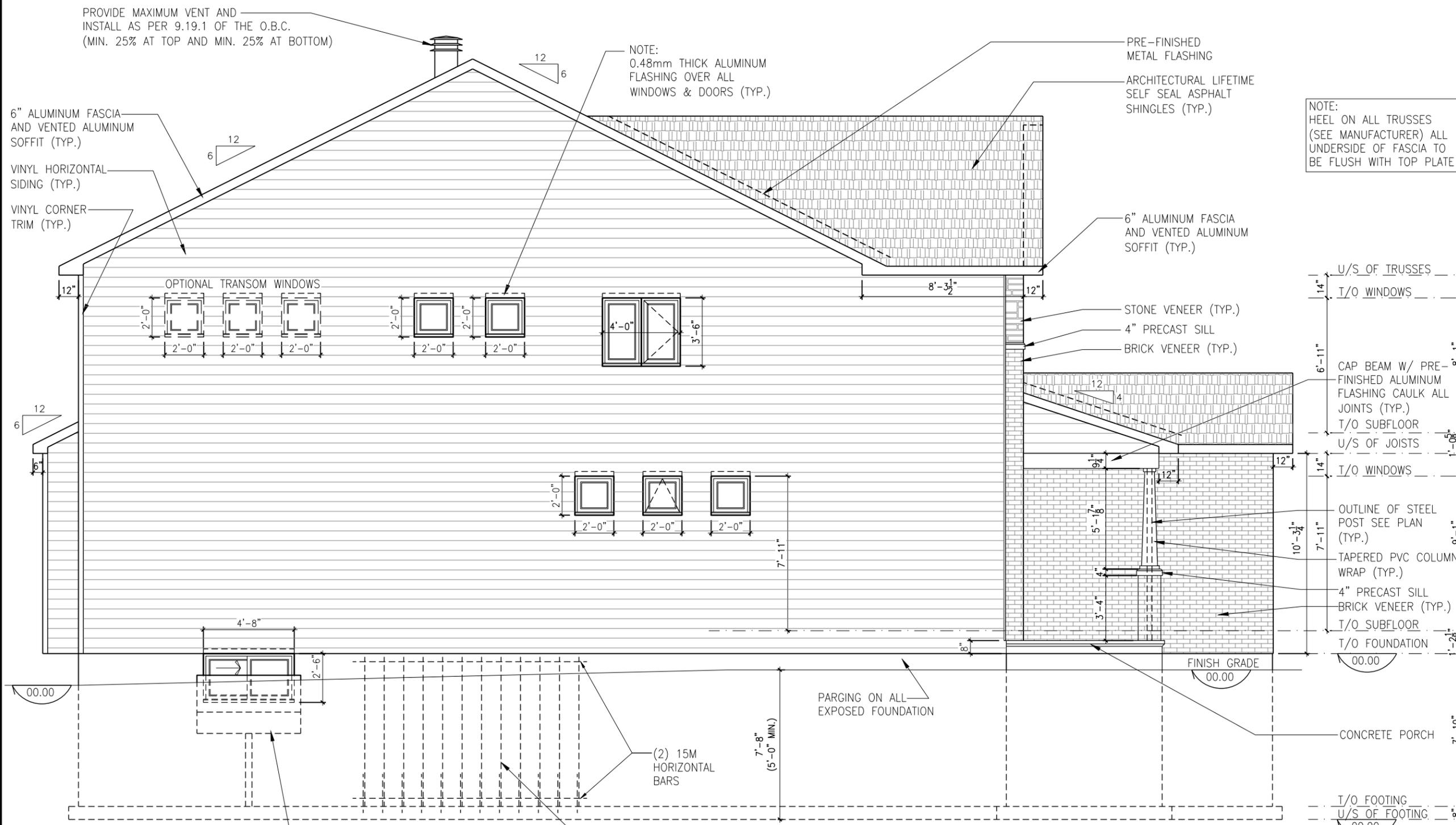
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 PCL10 - 10" PRECAST LINTEL



PROVIDE MAXIMUM VENT AND INSTALL AS PER 9.19.1 OF THE O.B.C. (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE: 0.48mm THICK ALUMINUM FLASHING OVER ALL WINDOWS & DOORS (TYP.)

PRE-FINISHED METAL FLASHING

ARCHITECTURAL LIFETIME SELF SEAL ASPHALT SHINGLES (TYP.)

NOTE: HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

VINYL HORIZONTAL SIDING (TYP.)

VINYL CORNER TRIM (TYP.)

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

OPTIONAL TRANSOM WINDOWS

STONE VENEER (TYP.)

4" PRECAST SILL

BRICK VENEER (TYP.)

U/S OF TRUSSES
 14"

T/O WINDOWS
 14"

6'-11"

CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

14"

T/O WINDOWS

14"

9'-11"

OUTLINE OF STEEL POST SEE PLAN (TYP.)

TAPERED PVC COLUMN WRAP (TYP.)

4" PRECAST SILL

BRICK VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

00.00

FINISH GRADE 00.00

CONCRETE PORCH 7'-10"

8"

T/O FOOTING

U/S OF FOOTING

00.00

PARGING ON ALL EXPOSED FOUNDATION

(2) 15M HORIZONTAL BARS

7'-8" (5'-0" MIN.)

PROVIDE G.I. METAL AREAWAY 2" ABOVE FINISHED GRADE & DRAIN TO WEEPER TILE. INSURE A CLEAR DISTANCE OF 22" FROM BUILDING FACE TO INSIDE OF WINDOW WELL. (TYP.) (SEE DETAIL SP-24)

REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION:
 -15M VERTICAL BARS @ 12" o/c
 -15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING
 -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS

UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 94 m. sq.
 AREA OF UNPROTECTED OPENINGS - 4.2 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 4.4 %

UNPROTECTED OPENINGS: WITH OPTIONAL TRANSOM
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 94 m. sq.
 AREA OF UNPROTECTED OPENINGS - 5.3 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 5.6 %

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **LEFT ELEVATION ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

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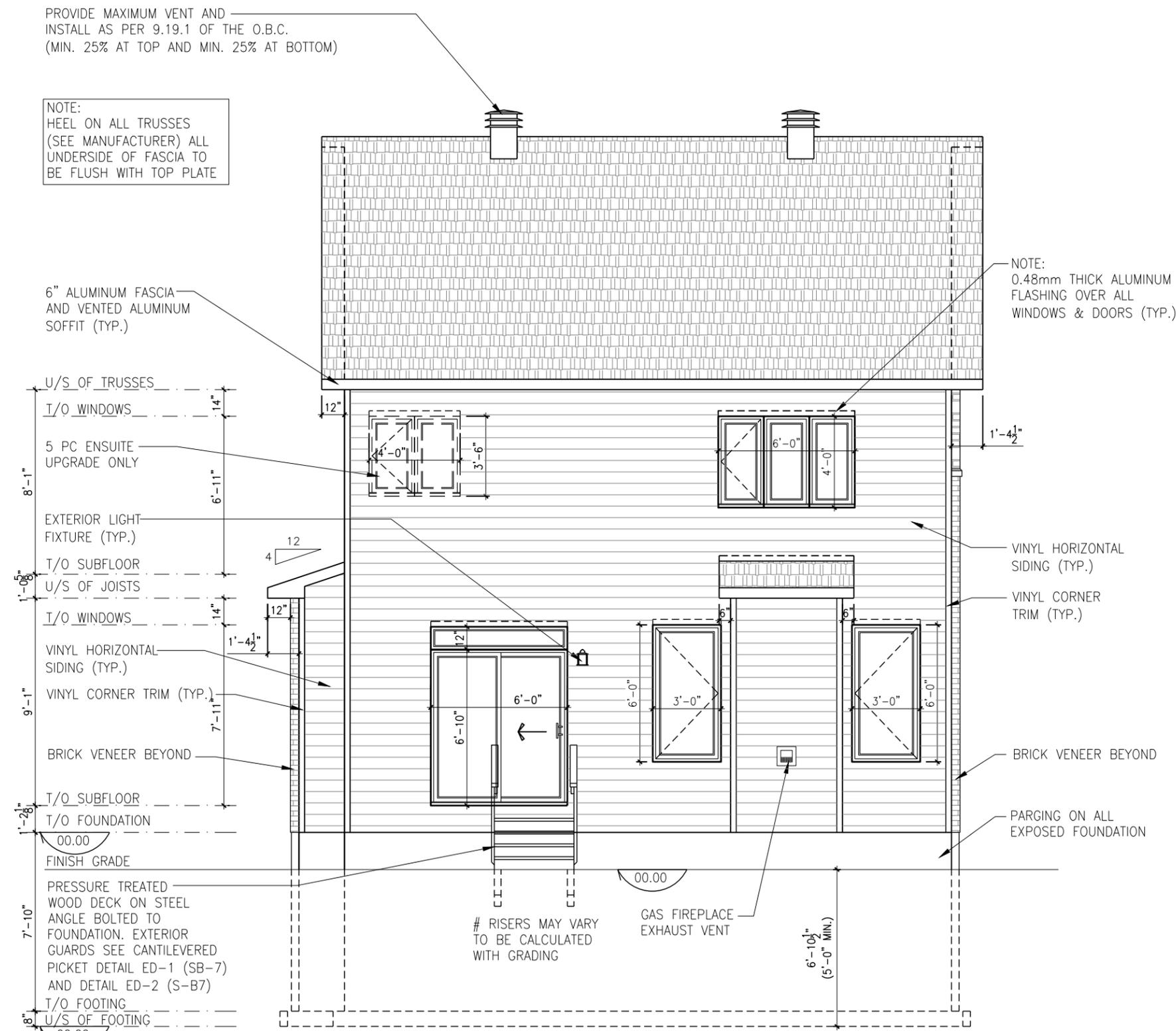
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PC - PRECAST KEYSTONE
 PCL10 - 10" PRECAST LINTEL



UNPROTECTED OPENINGS:
 PROPERTY SET BACK 8m, ALLOWABLE 56 %
 AREA OF EXPOSED BUILDING FACE - 52.1 m. sq.
 AREA OF UNPROTECTED OPENINGS - 11.2 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 21.5 %

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION ELEVATION A**

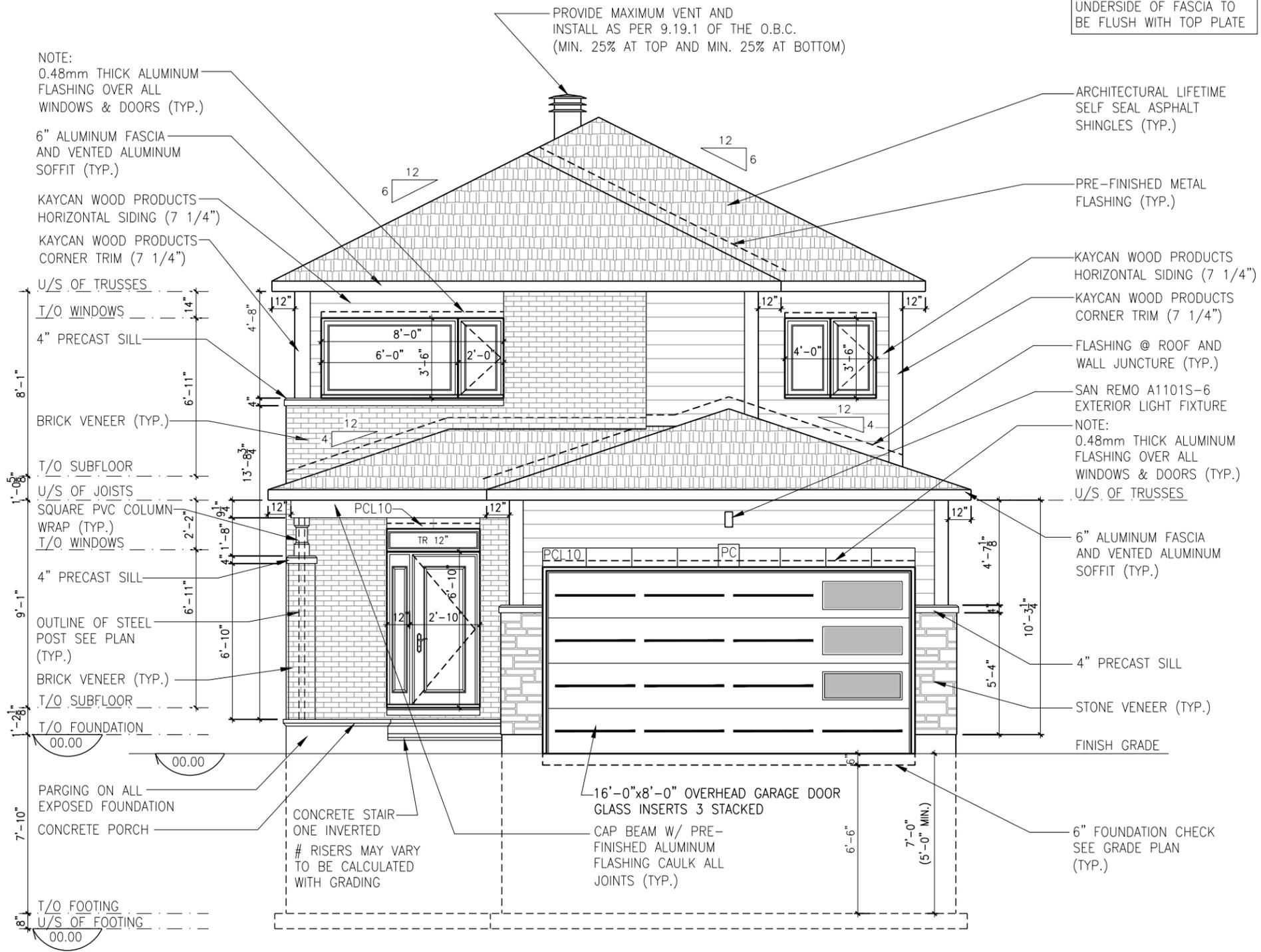
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830 - THE BUTLER
2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **A4a**

GROSS INSULATED = 290 M. SQ. WALL AREA
 GROSS WINDOW = 21.63 M. SQ. AREA
 PERCENT GLASS TO WALL AREA = 7.4%

NOTE:
 HEEL ON ALL TRUSSES
 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE



LOT: XXXX
 DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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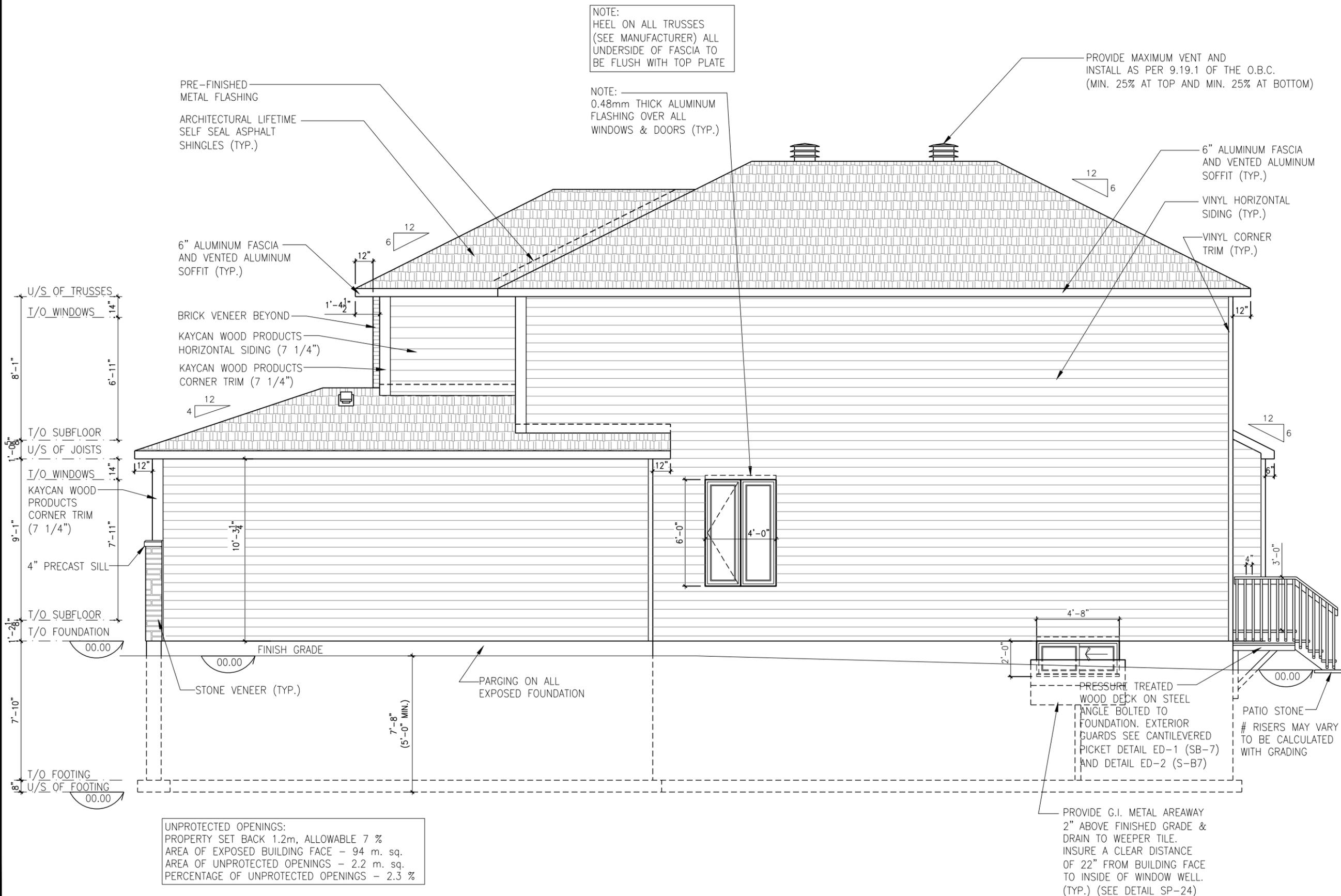
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NO.	DESCRIPTION	DATE	BY

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 ELEVATION B**

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830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

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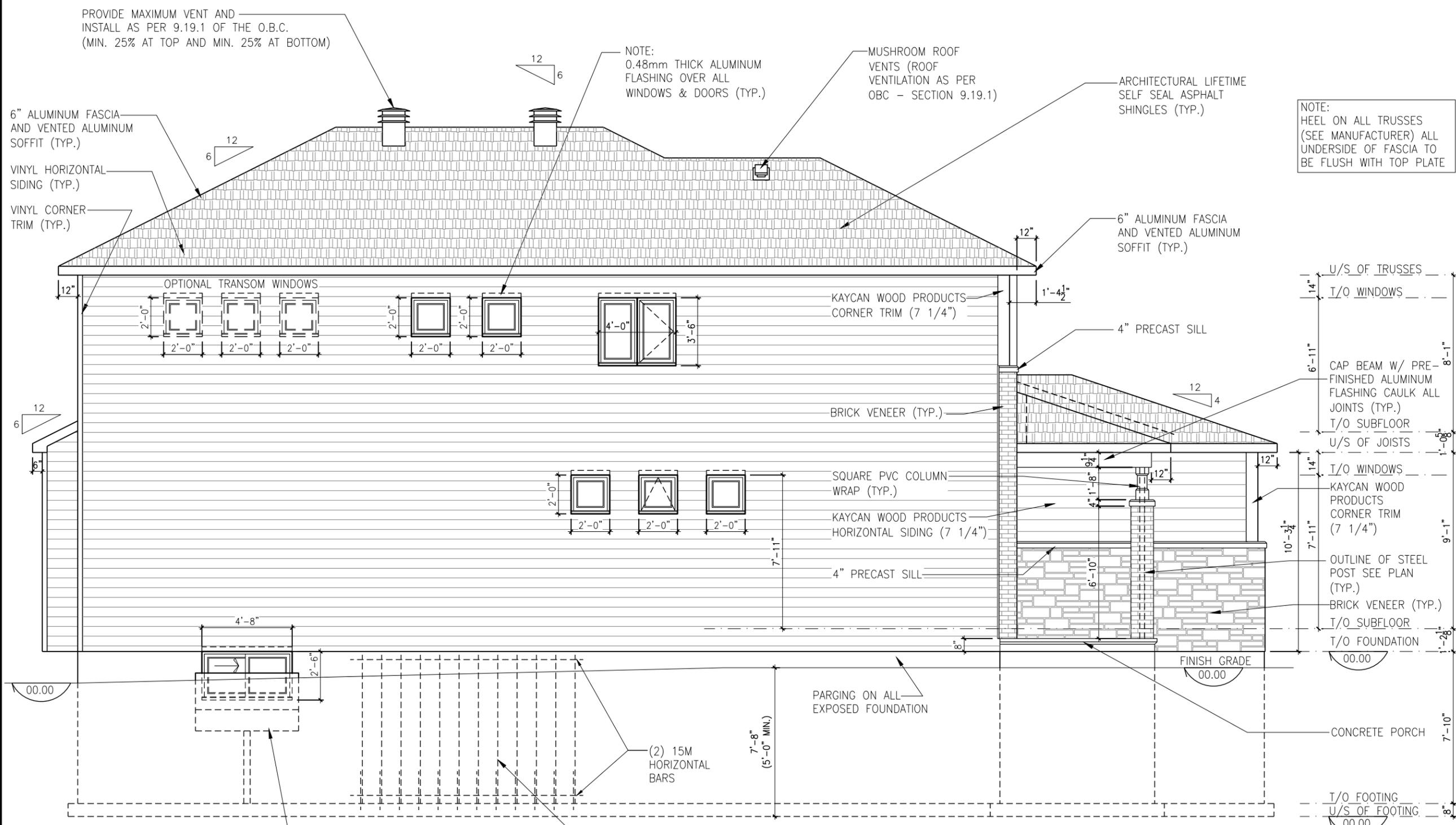
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NOTE: 0.48mm THICK ALUMINUM FLASHING OVER ALL WINDOWS & DOORS (TYP.)

MUSHROOM ROOF VENTS (ROOF VENTILATION AS PER OBC - SECTION 9.19.1)

ARCHITECTURAL LIFETIME SELF SEAL ASPHALT SHINGLES (TYP.)

NOTE: HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)
 VINYL HORIZONTAL SIDING (TYP.)
 VINYL CORNER TRIM (TYP.)

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

KAYCAN WOOD PRODUCTS CORNER TRIM (7 1/4")

4" PRECAST SILL

BRICK VENEER (TYP.)

SQUARE PVC COLUMN WRAP (TYP.)

KAYCAN WOOD PRODUCTS HORIZONTAL SIDING (7 1/4")

4" PRECAST SILL

FINISH GRADE 00.00

PAVING ON ALL EXPOSED FOUNDATION

(2) 15M HORIZONTAL BARS

PROVIDE G.I. METAL AREAWAY 2" ABOVE FINISHED GRADE & DRAIN TO WEEPER TILE. INSURE A CLEAR DISTANCE OF 22" FROM BUILDING FACE TO INSIDE OF WINDOW WELL. (TYP.) (SEE DETAIL SP-24)

REINFORCED WALL FOR Laterally UNSUPPORTED CONCRETE FOUNDATION:
 -15M VERTICAL BARS @ 12" o/c
 -15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING
 -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS

UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 94 m. sq.
 AREA OF UNPROTECTED OPENINGS - 4.2 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 4.4 %

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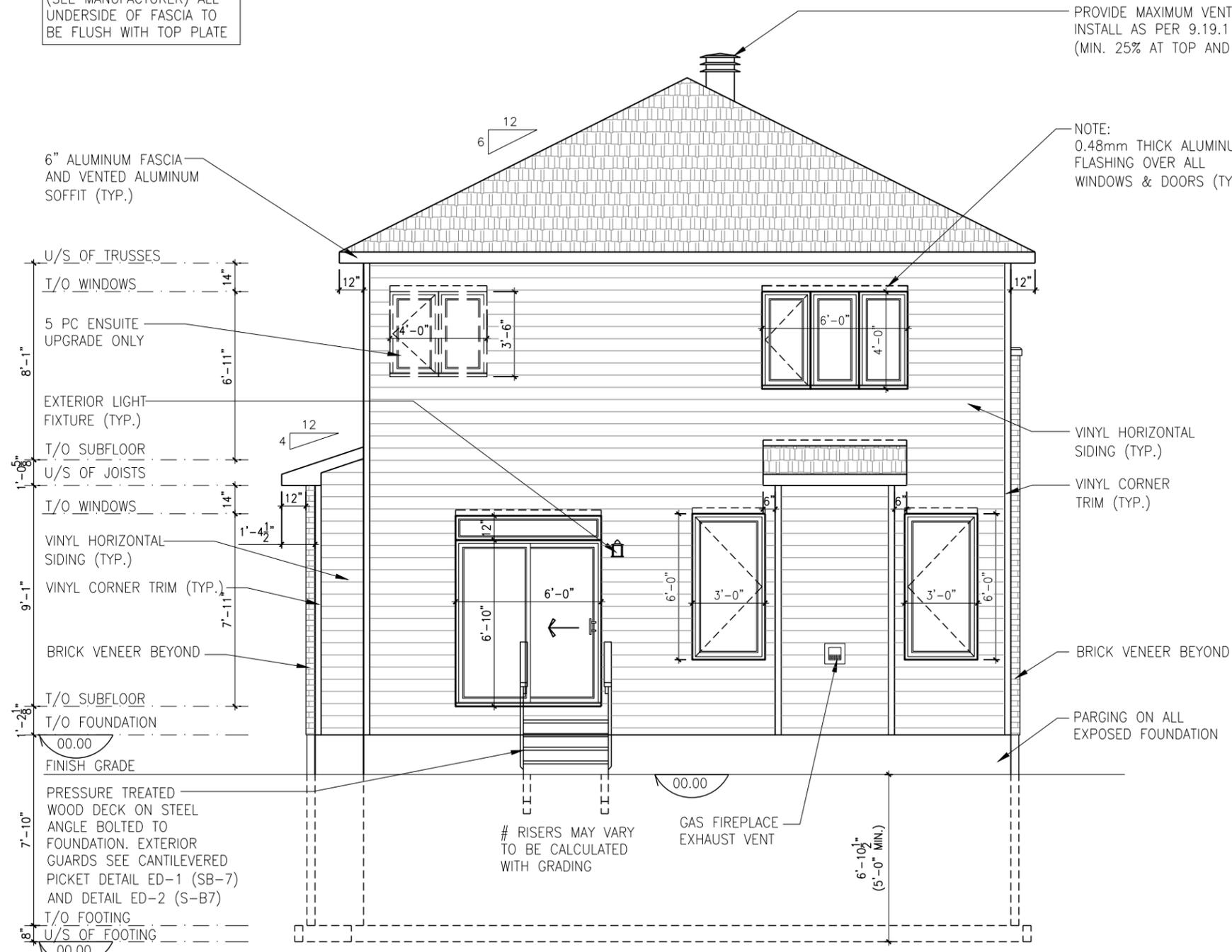
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NOTE:
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UNPROTECTED OPENINGS:			
PROPERTY SET BACK	8m	ALLOWABLE	56 %
AREA OF EXPOSED BUILDING FACE	-	52.1 m. sq.	
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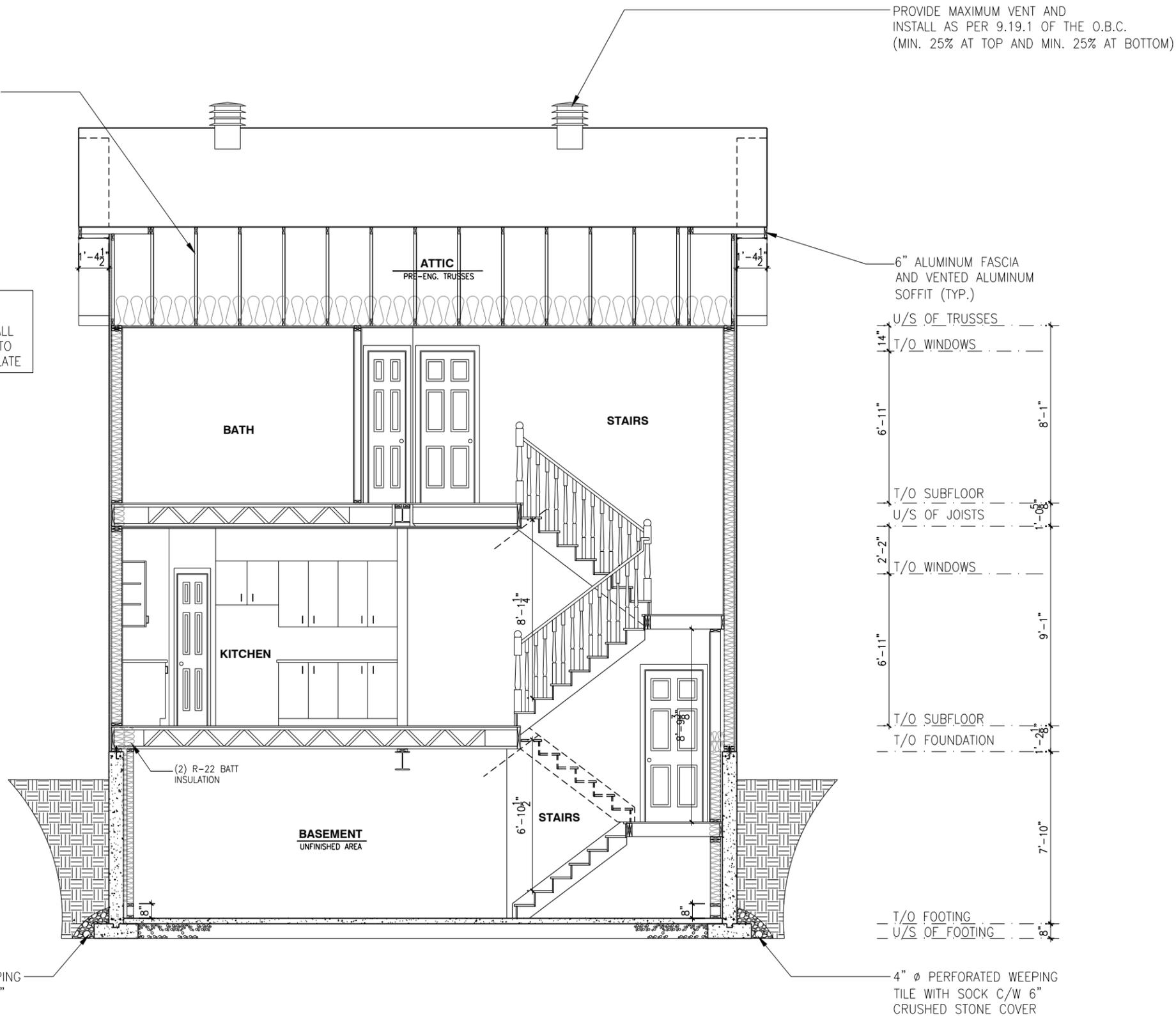
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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CONING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

PRE-ENGINEERED ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)
 PRE-ENGINEERED CONTINUOUS BRACING (SEE MANUFACTURER)

NOTE:
 HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE



PROVIDE MAXIMUM VENT AND INSTALL AS PER 9.19.1 OF THE O.B.C. (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

U/S OF TRUSSES
 T/O WINDOWS

T/O SUBFLOOR
 U/S OF JOISTS

T/O WINDOWS

T/O SUBFLOOR
 T/O FOUNDATION

T/O FOOTING
 U/S OF FOOTING

4" Ø PERFORATED WEEPING TILE WITH SOCK C/W 6" CRUSHED STONE COVER

4" Ø PERFORATED WEEPING TILE WITH SOCK C/W 6" CRUSHED STONE COVER

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

LOT: XXXX
 DATE: XX/XX/XXXX



D. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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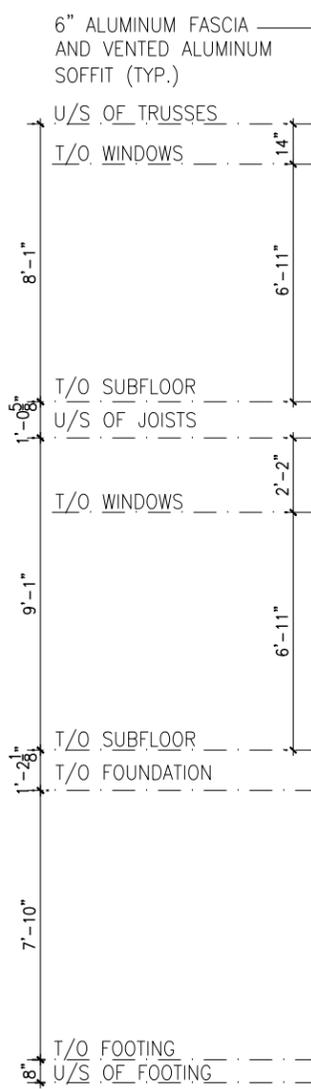
EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

MAXIMUM ROOF VENT
 (ROOF VENTILATION AS PER
 OBC - SECTION 9.19.1) (TYP.)

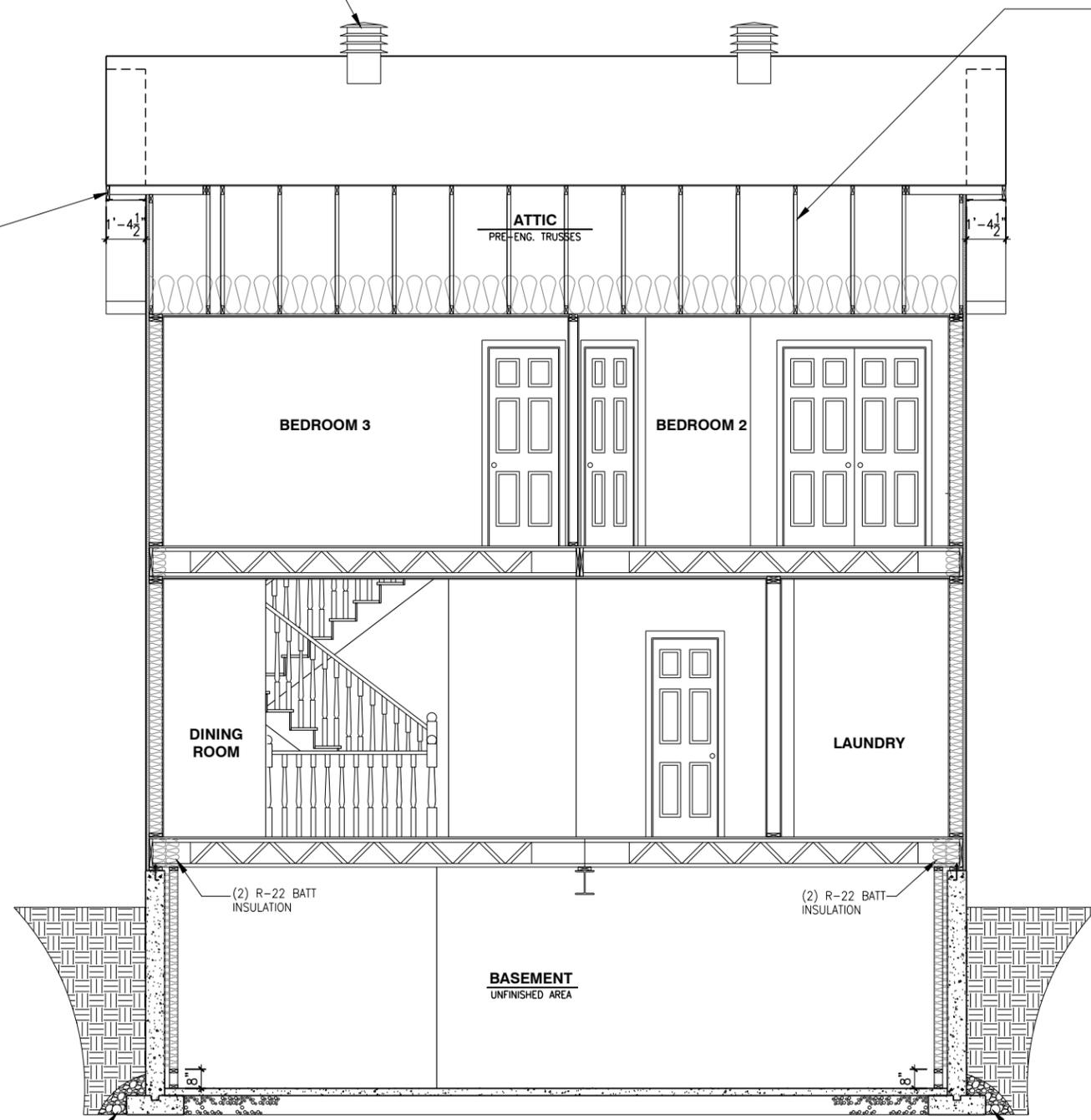
PRE-ENGINEERED ROOF
 TRUSSES @ 24" o/c
 (SEE MANUFACTURER)
 PRE-ENGINEERED
 CONTINUOUS BRACING
 (SEE MANUFACTURER)

NOTE:
 HEEL ON ALL TRUSSES
 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE



4" Ø PERFORATED WEeping
 TILE WITH SOCK C/W 6"
 CRUSHED STONE COVER

4" Ø PERFORATED WEeping
 TILE WITH SOCK C/W 6"
 CRUSHED STONE COVER



2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: **BUILDING SECTION ELEVATION A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **A5b**

FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.

PAD FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: XXXX

DATE: XX/XX/XXXX



L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

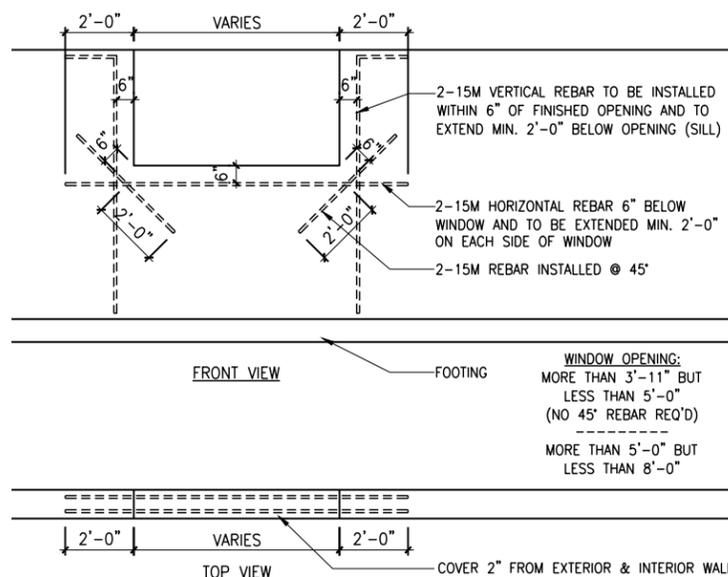
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

FOOTING TABLE & DETAILS

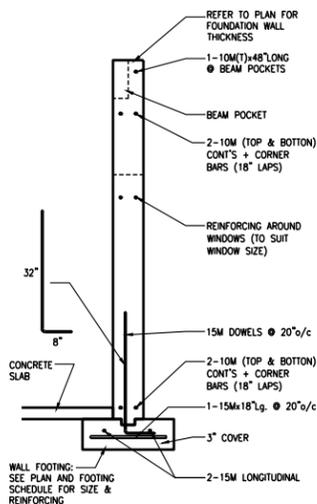
ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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830 - THE BUTLER
2023 FOOTPRINT
(STANDARD DRAWINGS)

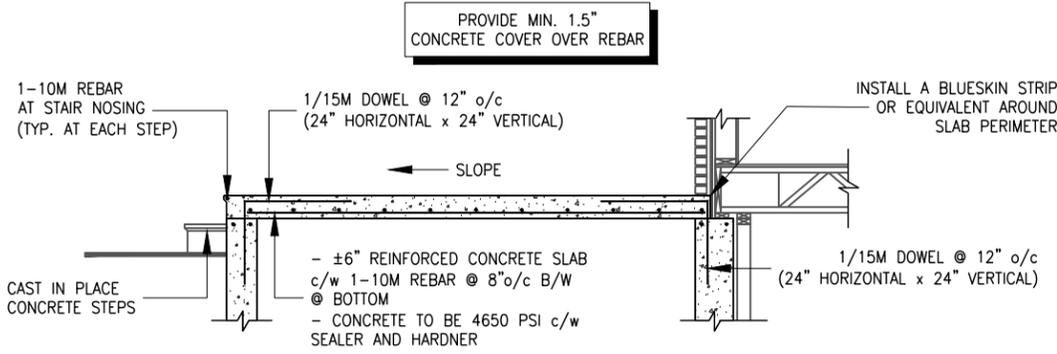
A6



1 BASEMENT WINDOW REINFORCING
SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING
SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING
SCALE: 1/4" = 1'-0"

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15")

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

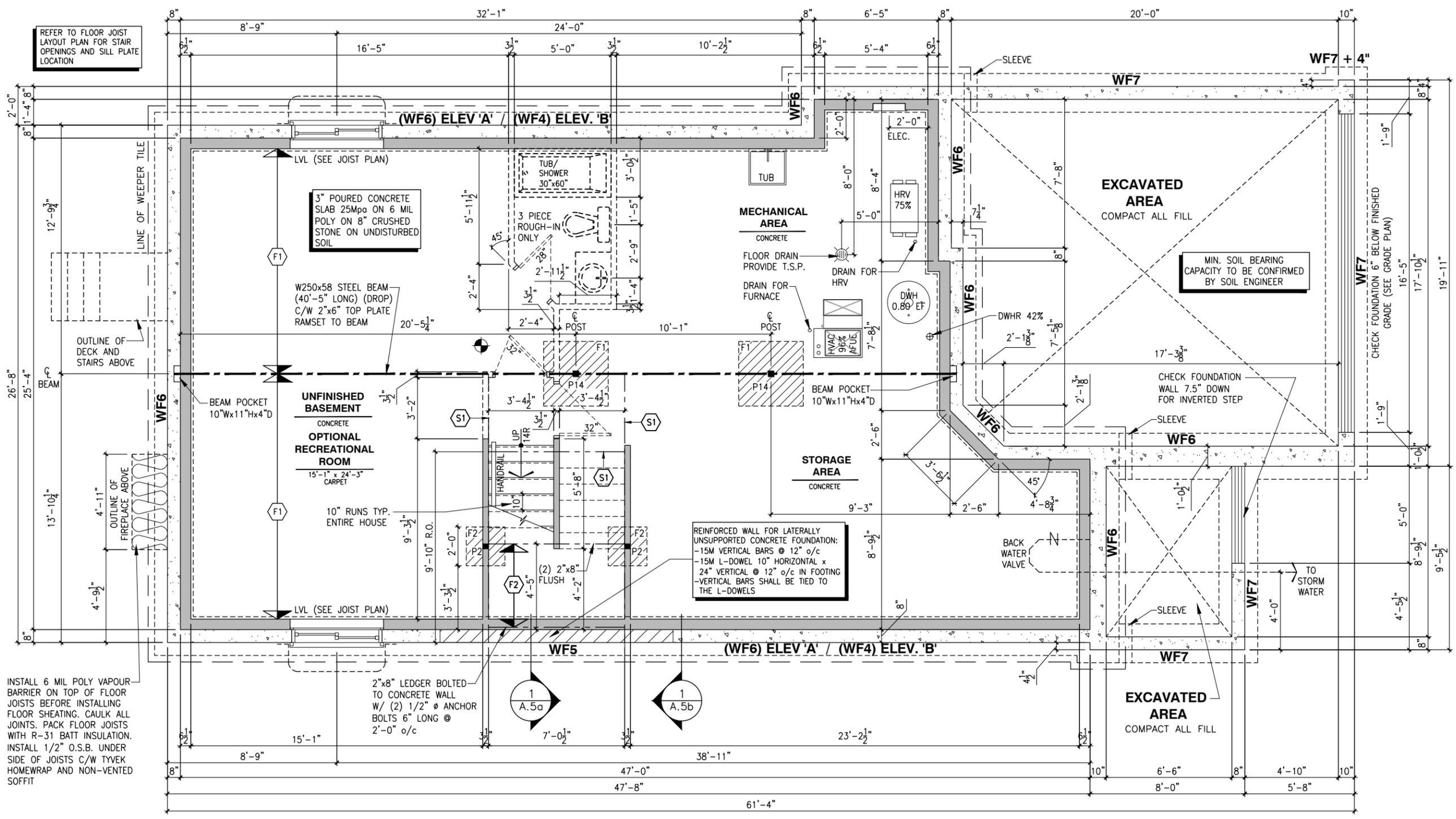
- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
 HEADROOM = 6'-5" MIN



INSTALL 6 MIL POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS BEFORE INSTALLING FLOOR SHEATING. CAULK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" O.S.B. UNDER SIDE OF JOISTS C/W TYVEK HOMEWRAP AND NON-VENTED SOFFIT

BASEMENT FLOOR PLAN - ELEVATION A AND B
 SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- S7 = L 150x100x10 (8" BEARING)

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- ARE REQUIRED ON EACH SLEEPING, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT SHEET: **A6a**
 (STANDARD DRAWINGS)

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- * POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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- ALL DIMENSIONS ARE TAKEN FROM STUD FACE
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
 - PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

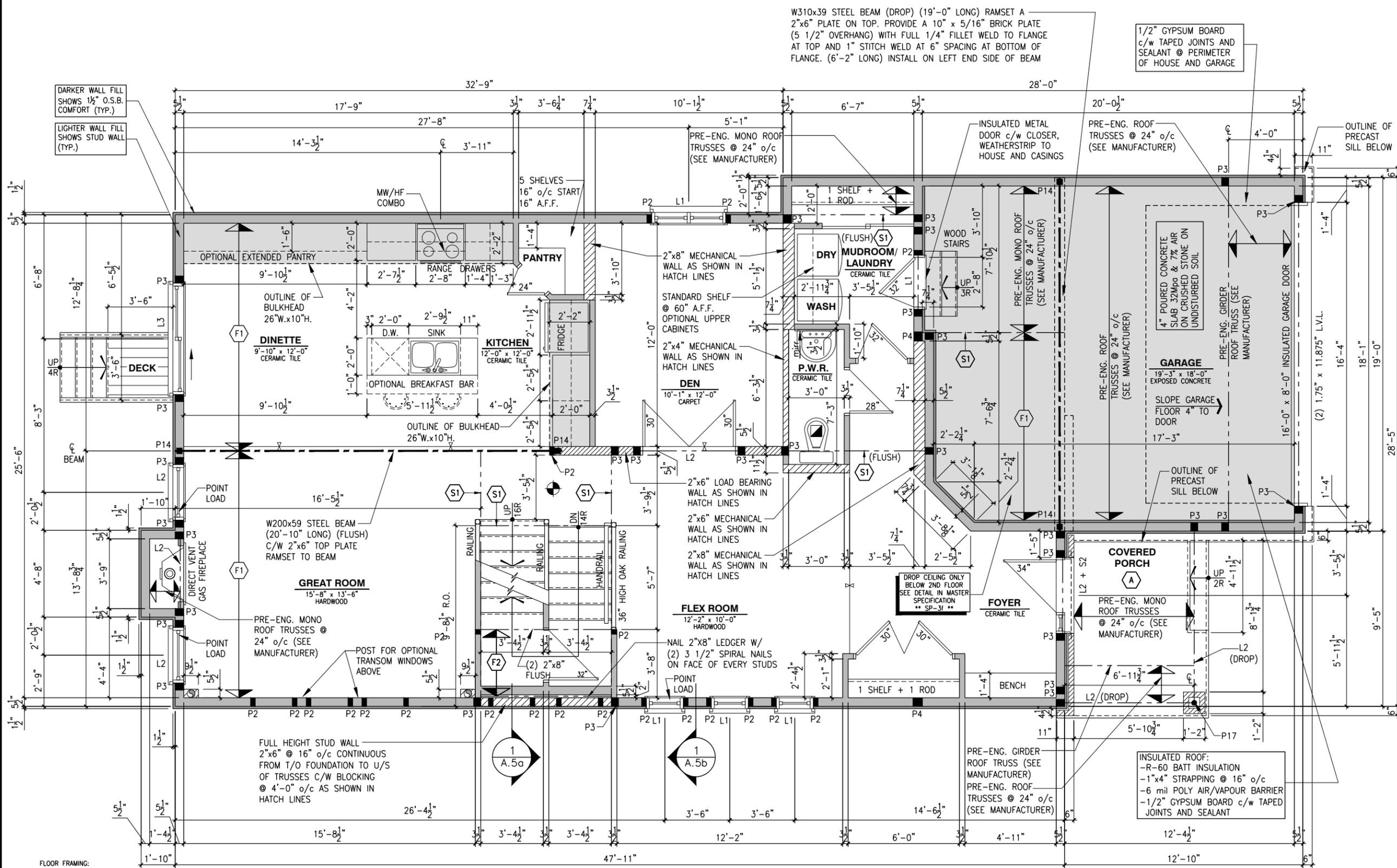
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A7b**



W310x39 STEEL BEAM (DROP) (19'-0" LONG) RAMSET A 2"x6" PLATE ON TOP. PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (6'-2" LONG) INSTALL ON LEFT END SIDE OF BEAM

1/2" GYPSUM BOARD c/w TAPED JOINTS AND SEALANT @ PERIMETER OF HOUSE AND GARAGE

DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
LIGHTER WALL FILL SHOWS STUD WALL (TYP.)

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
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LOT: XXXX
 DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
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 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
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- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

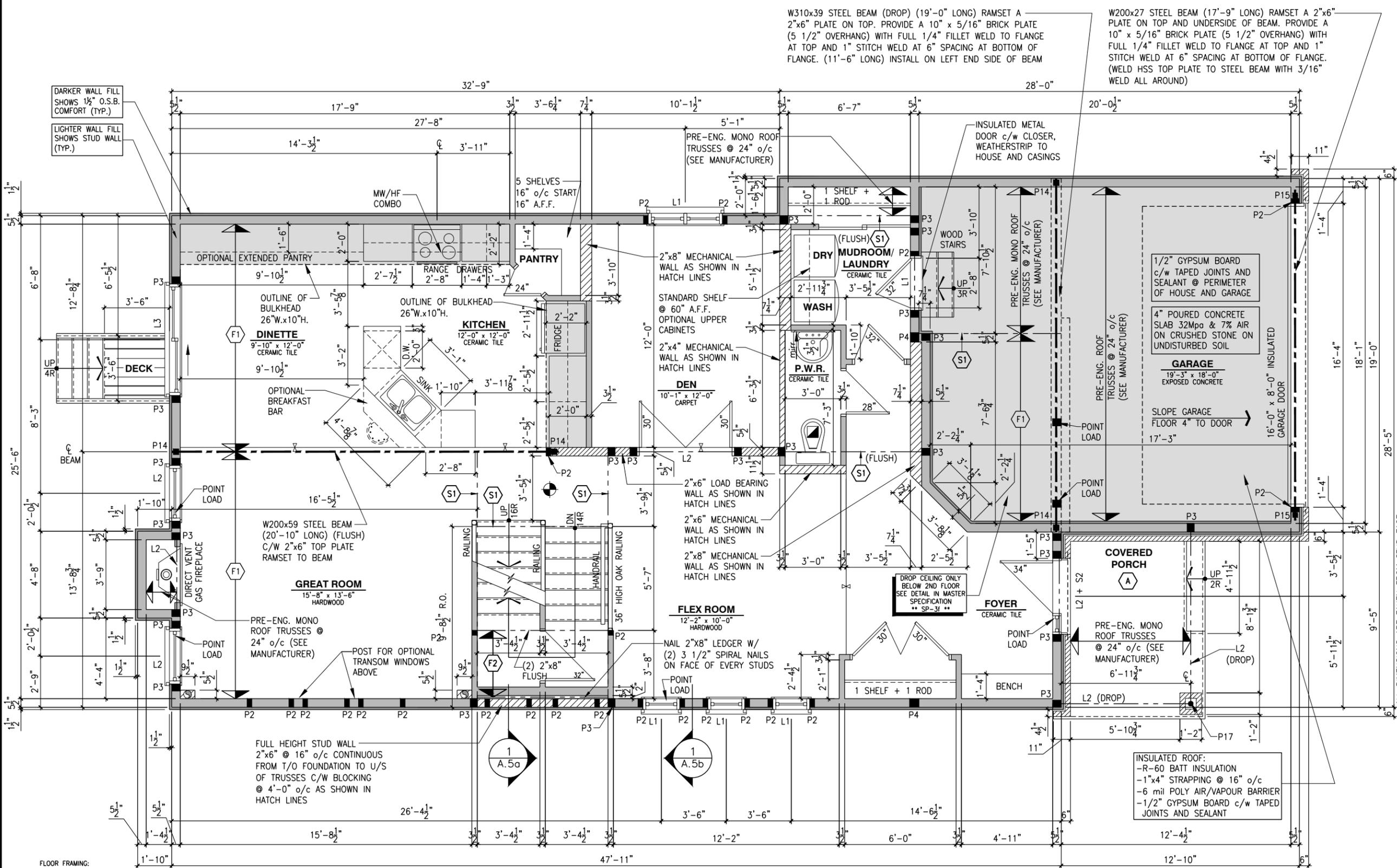
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN
 OPT. KITCHEN #1 - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

A7c



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A
 SCALE: 3/16" = 1'-0"



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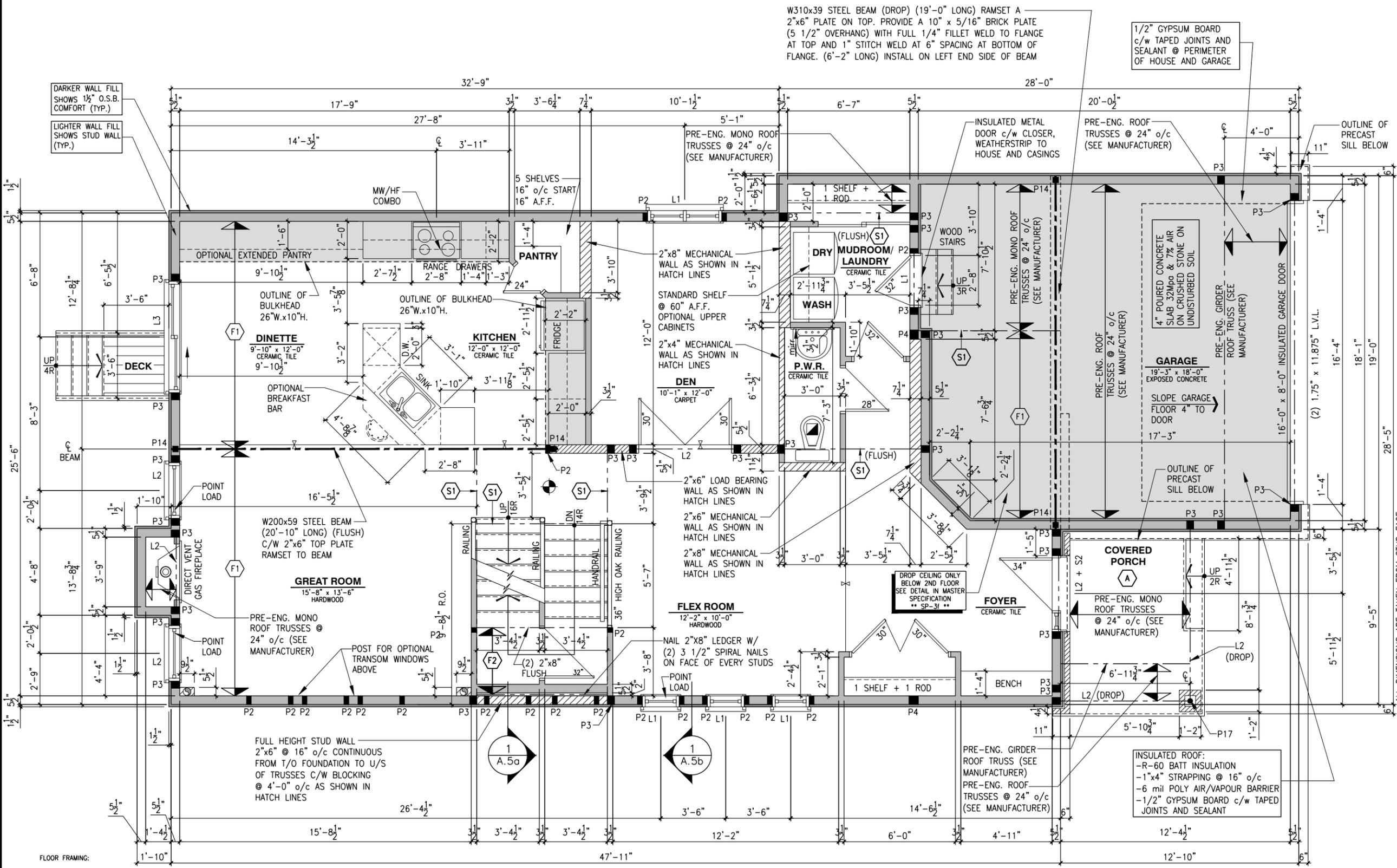
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #1 - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A7d**



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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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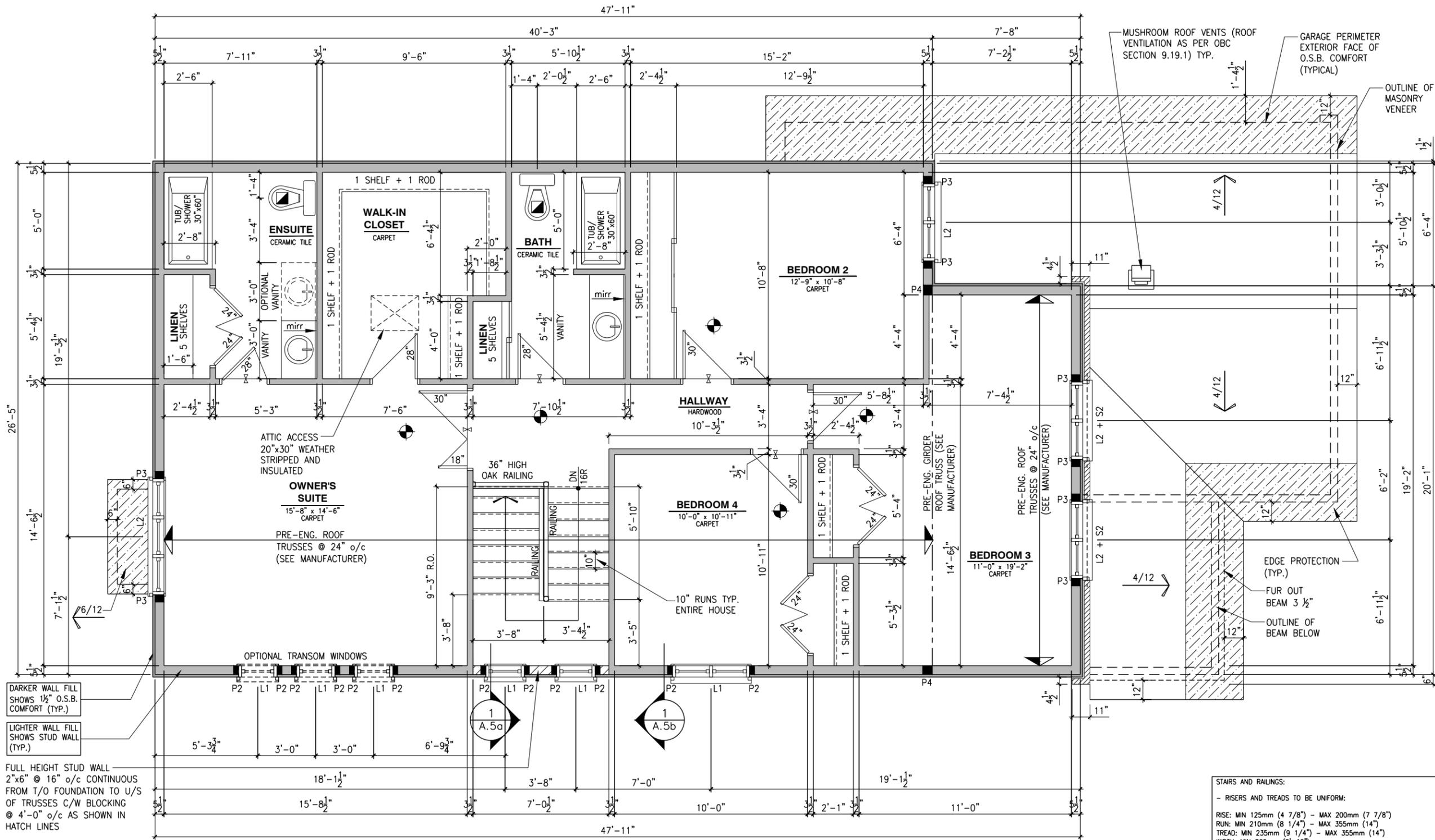
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT (STANDARD DRAWINGS) **A8a**



DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
 LIGHTER WALL FILL SHOWS STUD WALL (TYP.)
 FULL HEIGHT STUD WALL 2"x6" @ 16" o/c CONTINUOUS FROM T/O FOUNDATION TO U/S OF TRUSSES C/W BLOCKING @ 4'-0" o/c AS SHOWN IN HATCH LINES

SECOND FLOOR PLAN - ELEVATION A

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STAIRS AND RAILINGS:
 - RISERS AND TREADS TO BE UNIFORM:
 RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
 RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
 TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
 WIDTH: MIN 860mm (2'-10")
 HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
 LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
 - HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
 - GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
 - EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
 - EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
 - INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
 - MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
 DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

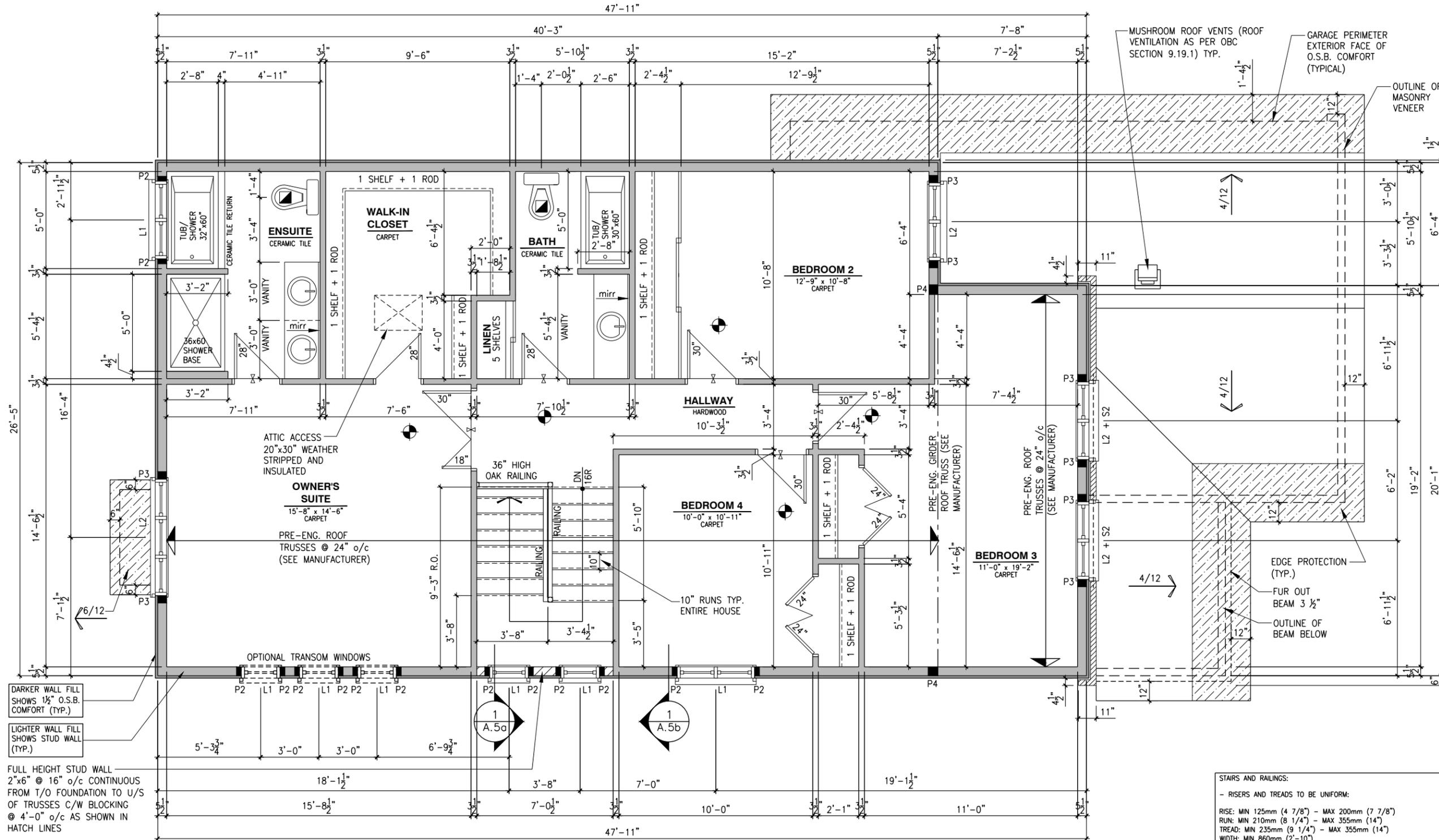
2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: SECOND FLOOR PLAN
 ELEV. A (5 PC ENSUITE UPGRADE)

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS) SHEET: A8b



DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
 LIGHTER WALL FILL SHOWS STUD WALL (TYP.)
 FULL HEIGHT STUD WALL 2"x6" @ 16" o/c CONTINUOUS FROM T/O FOUNDATION TO U/S OF TRUSSES C/W BLOCKING @ 4'-0" o/c AS SHOWN IN HATCH LINES

SECOND FLOOR PLAN - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
 RISER = 5" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
 HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
 - ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
 - DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
 - FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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 - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
 - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
 - COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
 - RISERS AND TREADS TO BE UNIFORM:
 RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
 RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
 TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
 WIDTH: MIN 860mm (2'-10")
 HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
 LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
 - HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
 - GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
 - EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
 - EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
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 - MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ALL DIMENSIONS ARE TAKEN FROM STUD FACE

LOT: XXXX
 DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
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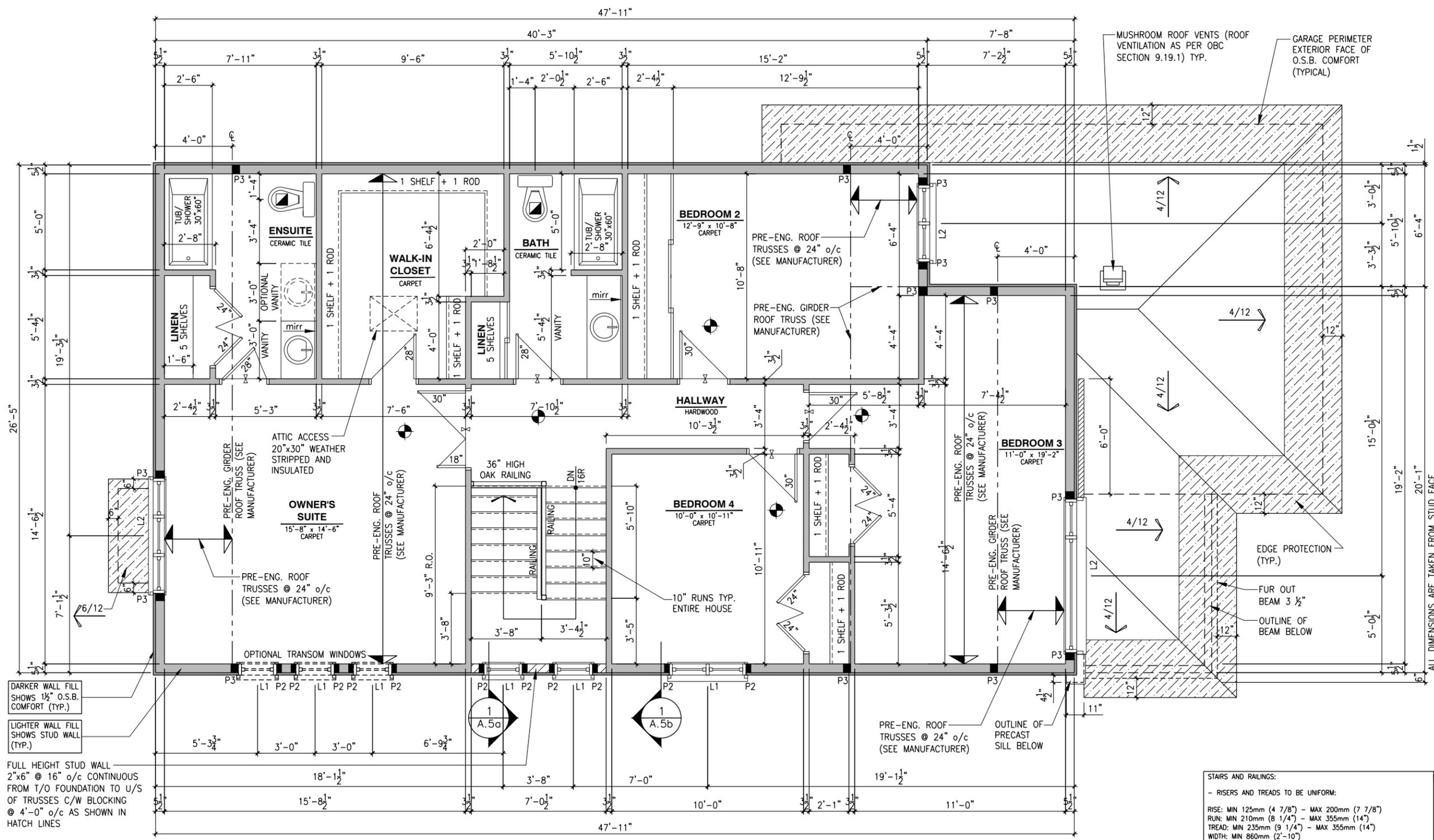
2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT SHEET: A8c (STANDARD DRAWINGS)



DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
 LIGHTER WALL FILL SHOWS STUD WALL (TYP.)
 FULL HEIGHT STUD WALL 2"x6" @ 16" o/c CONTINUOUS FROM T/O FOUNDATION TO U/S OF TRUSSES C/W BLOCKING @ 4'-0" o/c AS SHOWN IN HATCH LINES

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LOT: XXXX
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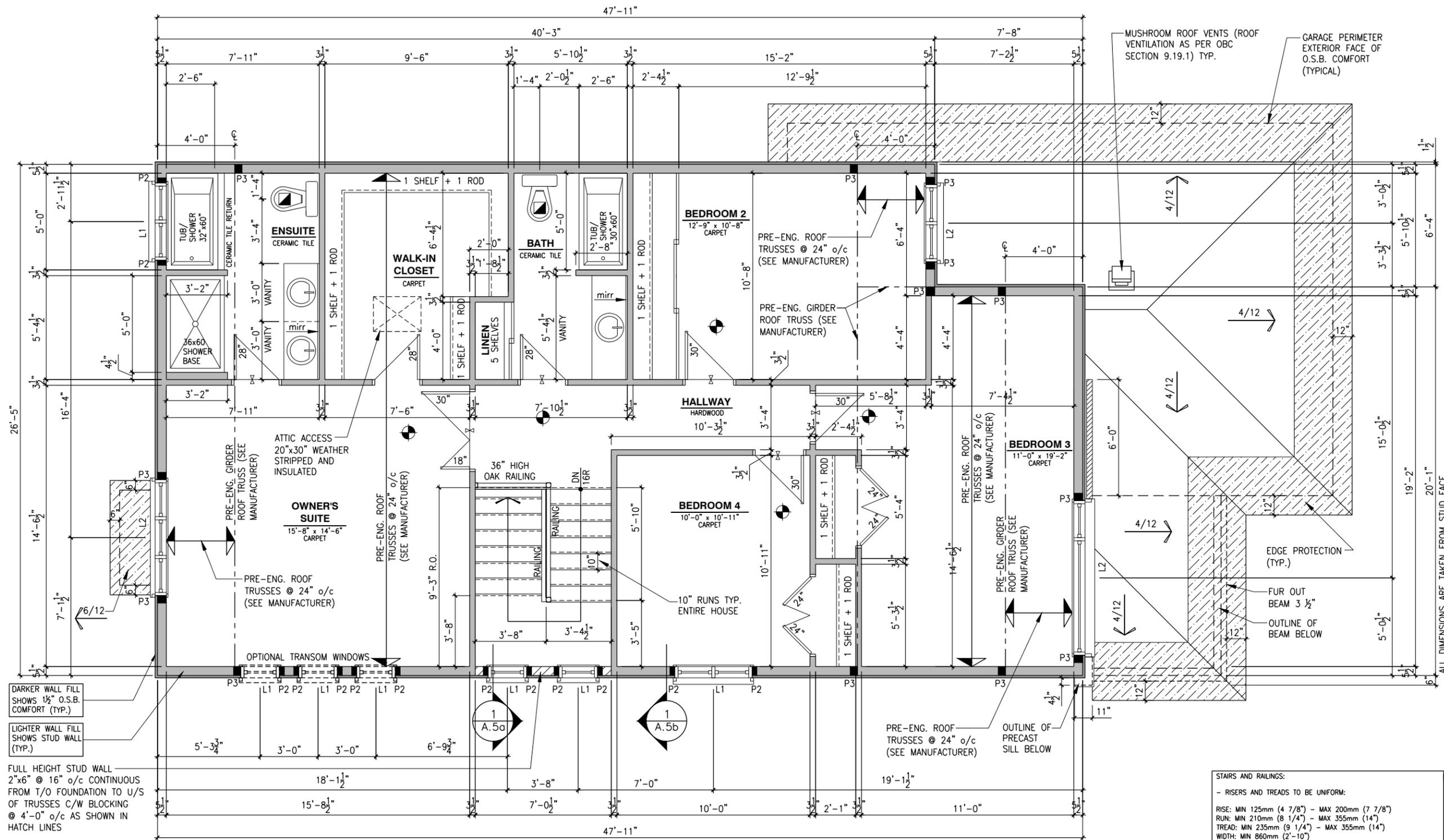
REV-1	NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN

ELEV. B (5 PC ENSUITE UPGRADE)

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT (STANDARD DRAWINGS) SHEET: A8d



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LOT: XXXX
DATE: XX/XX/XXXX
Valecraft Homes (2019) Limited
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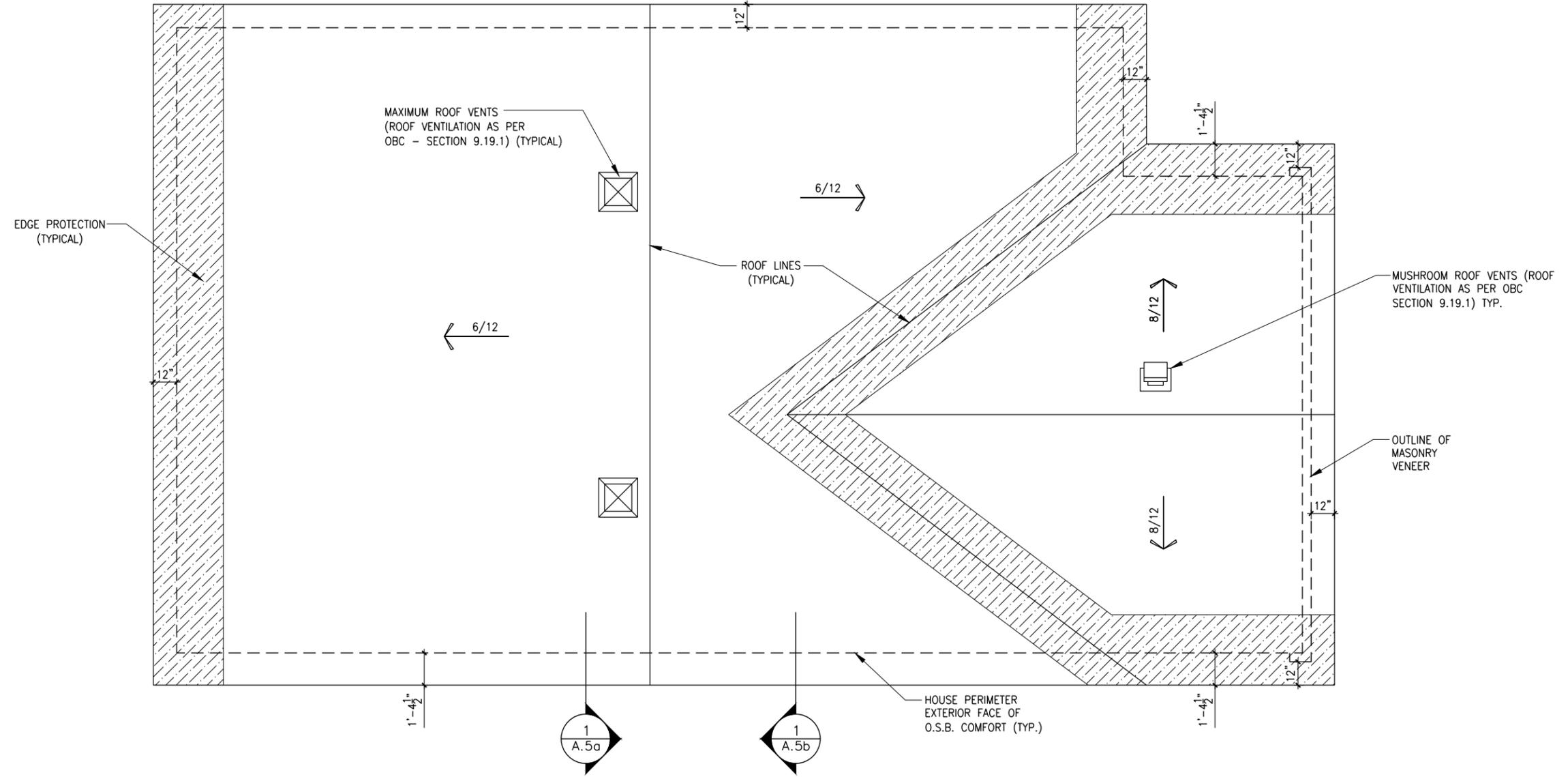
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ROOF PLAN - ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON	

DRAWING: **ROOF PLAN ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **A9a**

ROOF AND FLOOR LAYOUT NOTES:
 - ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX
 DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #19896
 - TARIION REGISTRATION NUMBER #611
 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

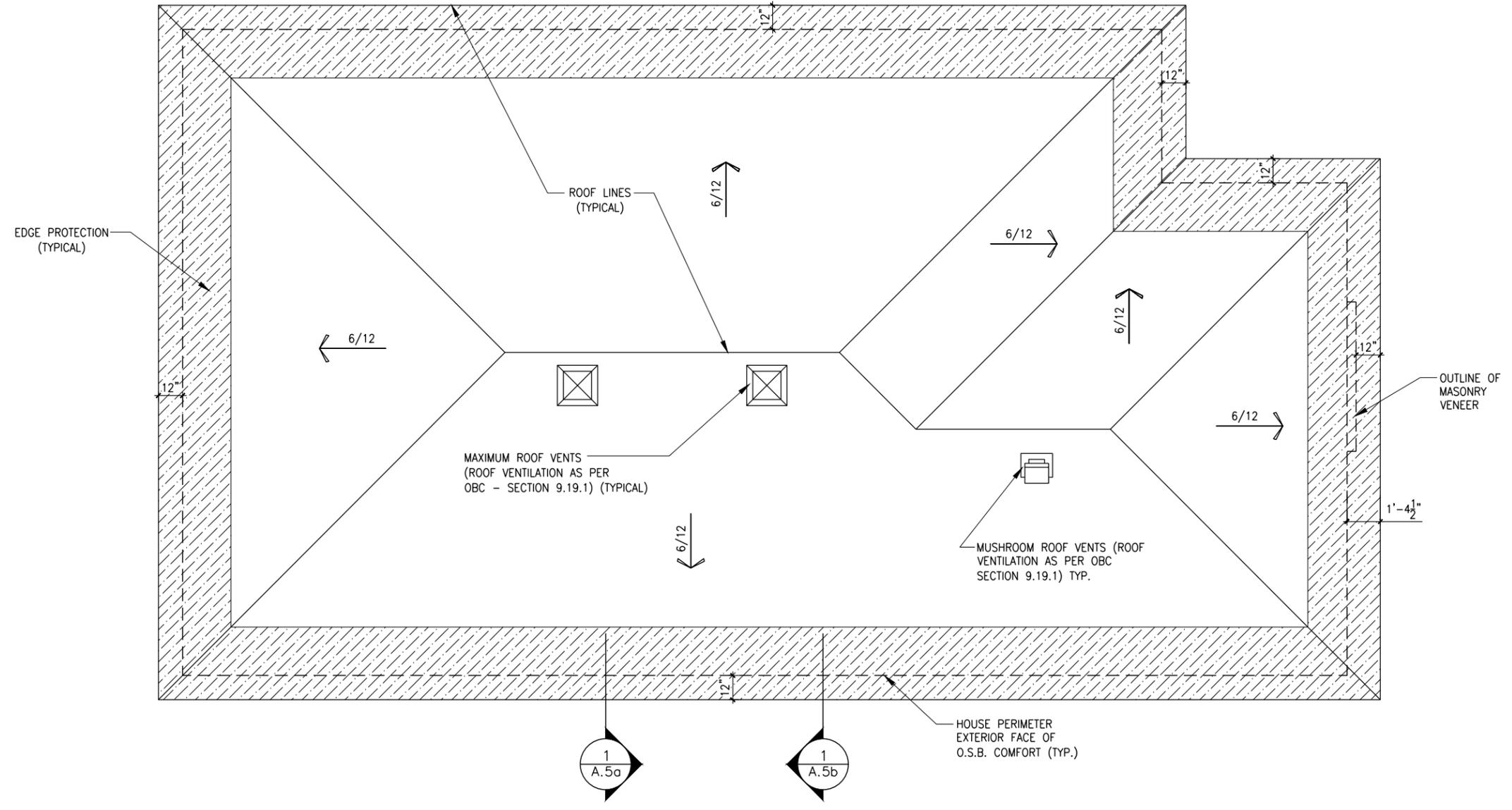
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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



ROOF PLAN - ELEVATION B
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1 NO.	DESCRIPTION	DATE	BY

REV-1 NEW STANDARD DRWG MODIFICATION 10/12/2023 DOYON

ROOF PLAN ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT SHEET: **A9b**
 (STANDARD DRAWINGS)

LOT: XXXX
 DATE: XX/XX/XXXX



D. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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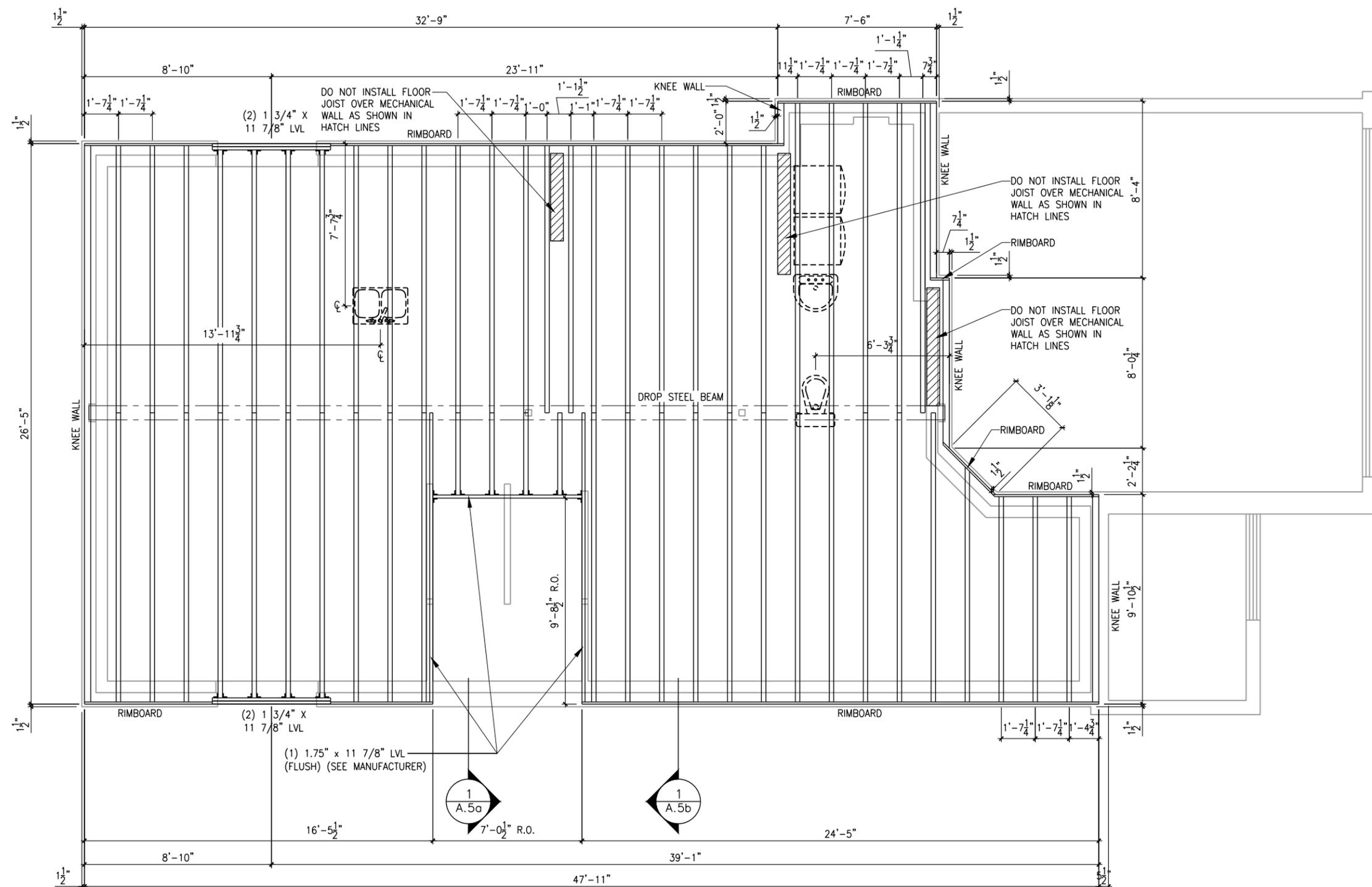
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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER 2023 FOOTPRINT SHEET: **A10a**
 (STANDARD DRAWINGS)

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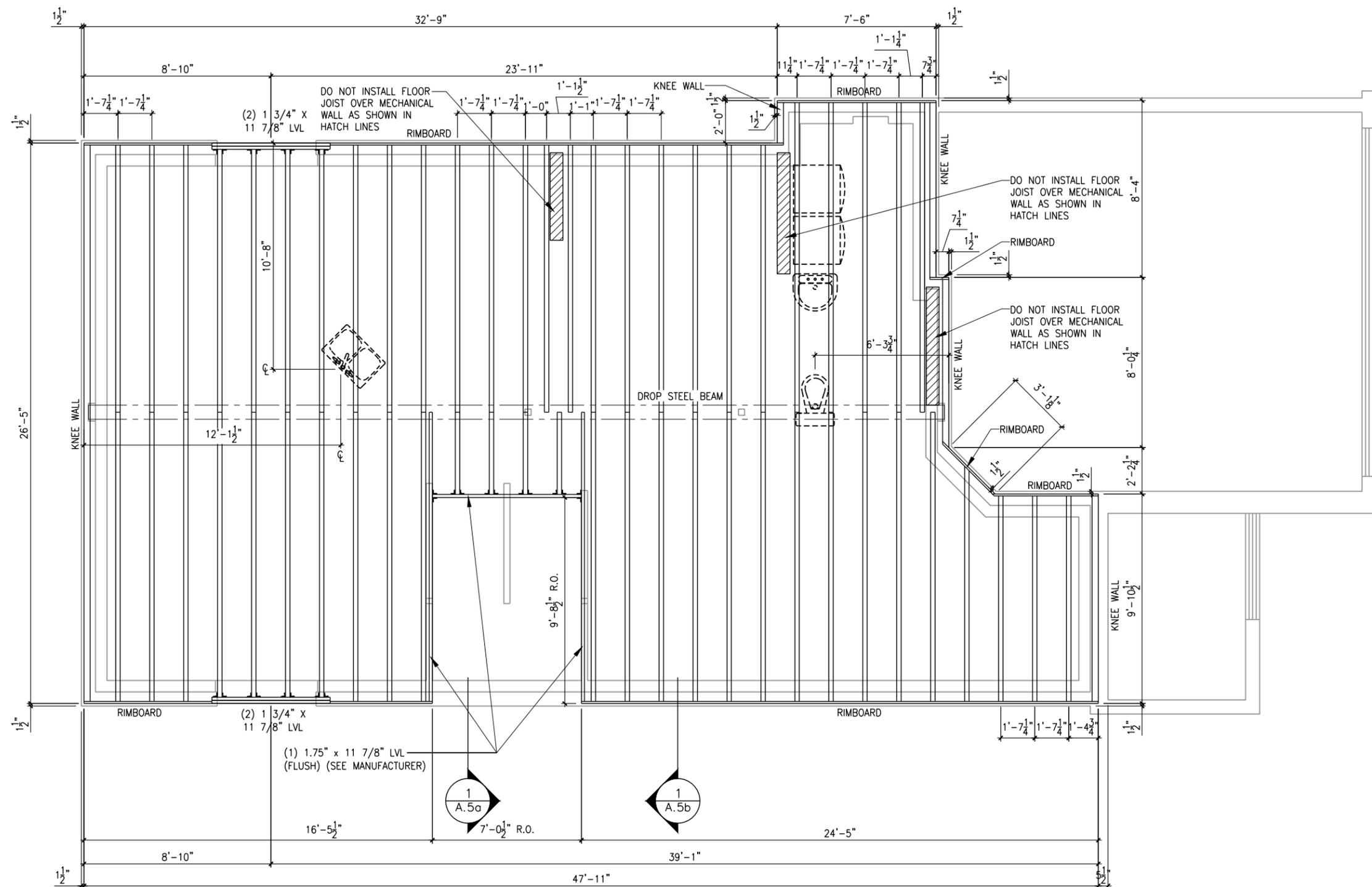
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GROUND FLOOR - JOIST LAYOUT - OPTIONAL KITCHEN #1 - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT
 ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**830 - THE BUTLER
 2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A10b

LOT: XXXX
 DATE: XX/XX/XXXX



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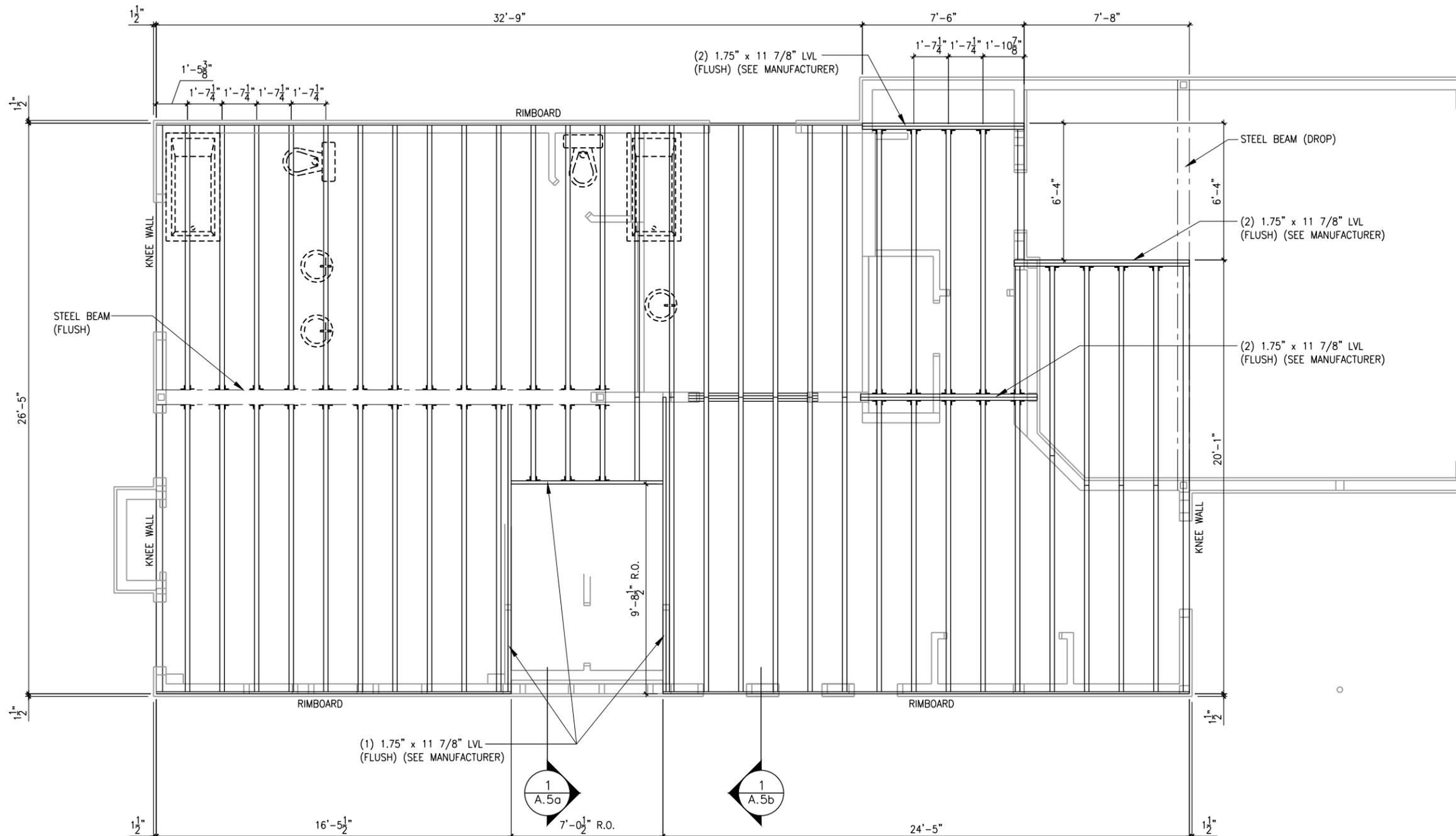
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SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**830 - THE BUTLER
 2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A11a

LOT: XXXX
 DATE: XX/XX/XXXX



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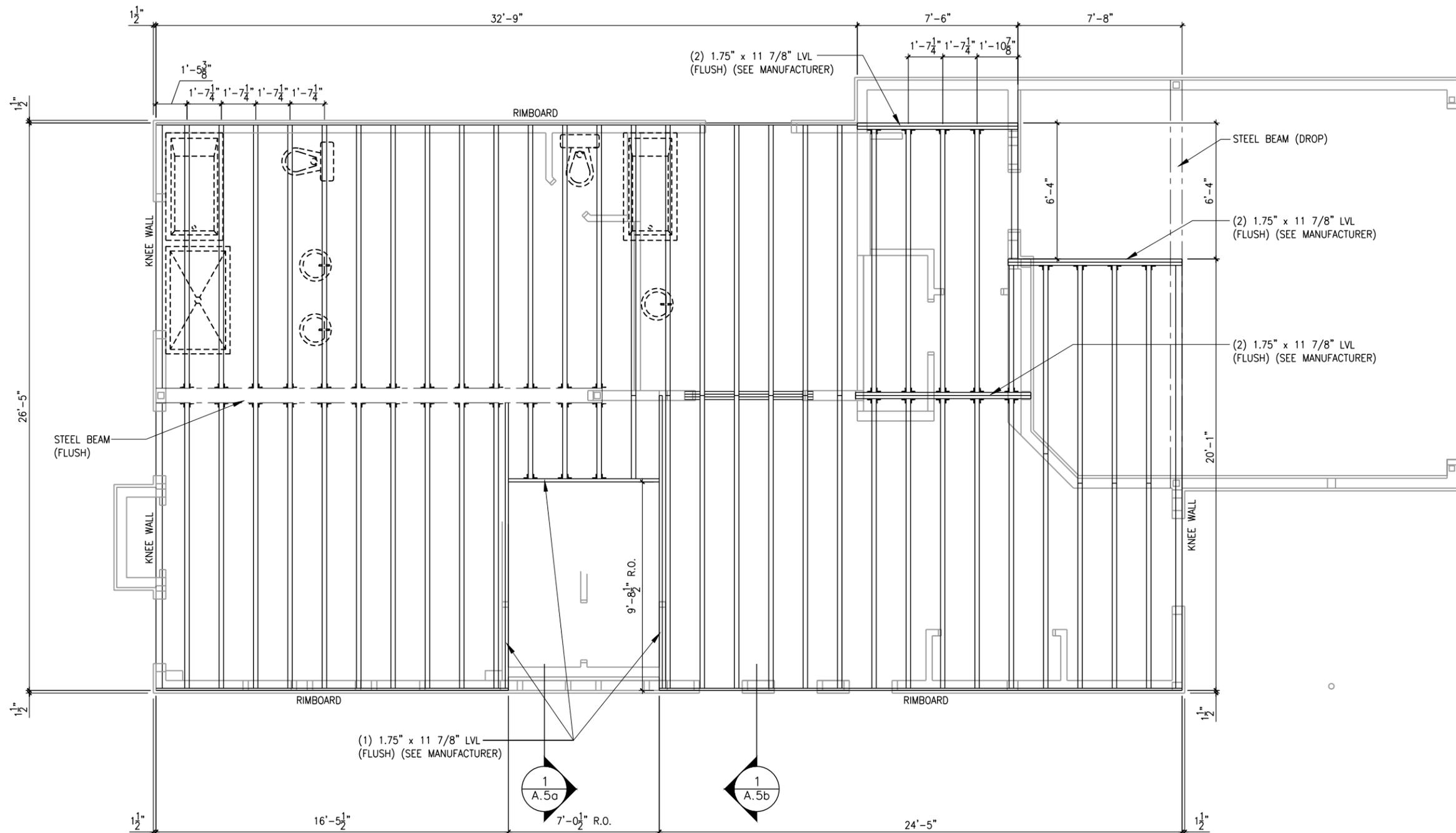
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SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

830 - THE BUTLER
 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A11b

LOT: XXXX
 DATE: XX/XX/XXXX



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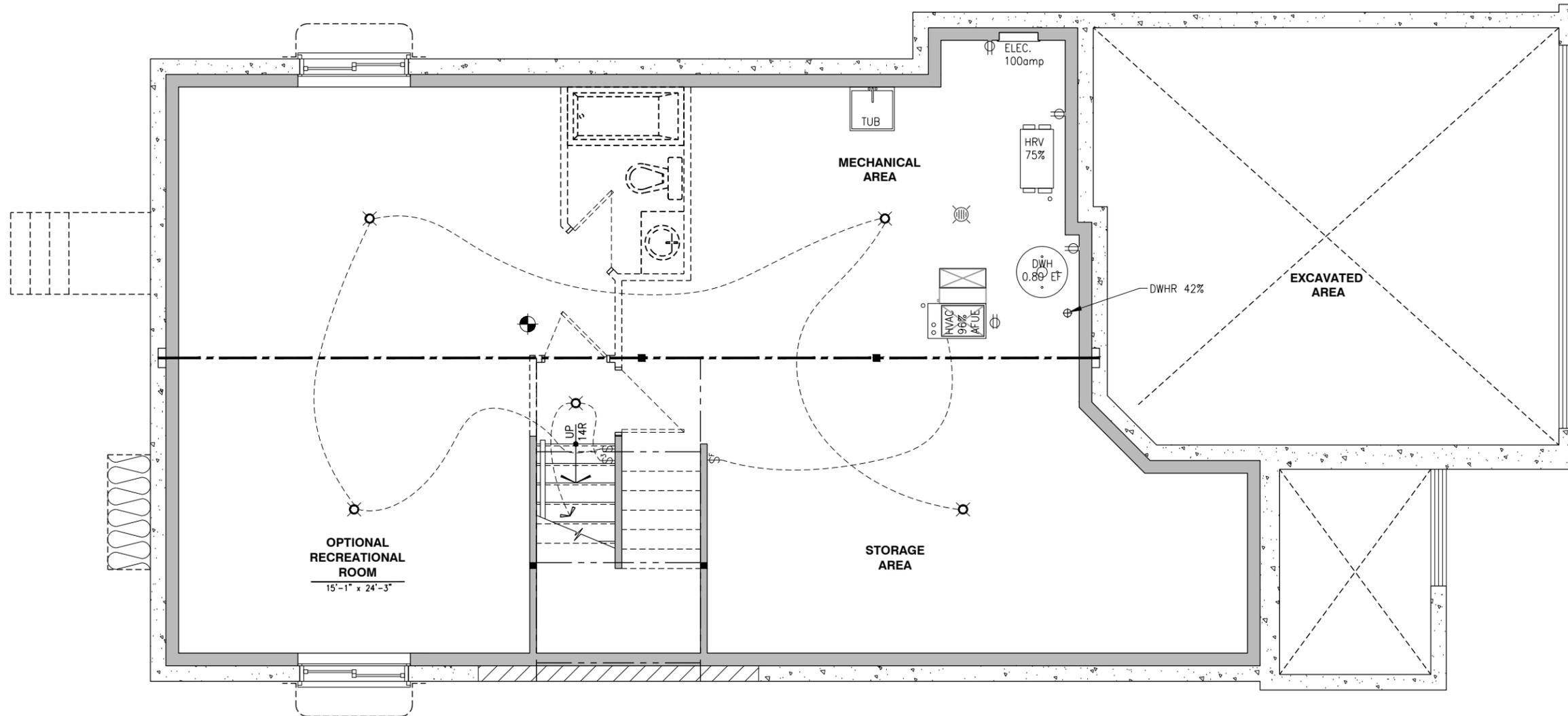
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- Ⓢ SINGLE POLE SWITCH
- Ⓢ3 3 WAY SWITCH
- Ⓢ4 4 WAY SWITCH
- ⓈF FURNACE SWITCH
- ⓈFP FIREPLACE SWITCH
- Ⓢ DO DUPLEX OUTLET (12" HIGH)
- Ⓢ DU DUPLEX OUTLET (UPPER HALF SWITCH)
- ⓈGFI GROUND FAULT INTERVOLT
- ⓈWP WEATHER PROOF DUPLEX OUTLET
- Ⓢ S SPLIT OUTLET
- Ⓢ220 220 VOLT OUTLET
- ⓈW WALL MOUNTED LIGHT FIXTURE
- ⓈC CEILING MOUNTED LIGHT FIXTURE
- ⓈP POT LIGHT

- Ⓢ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: ELECTRICAL PLAN - BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: E.1

ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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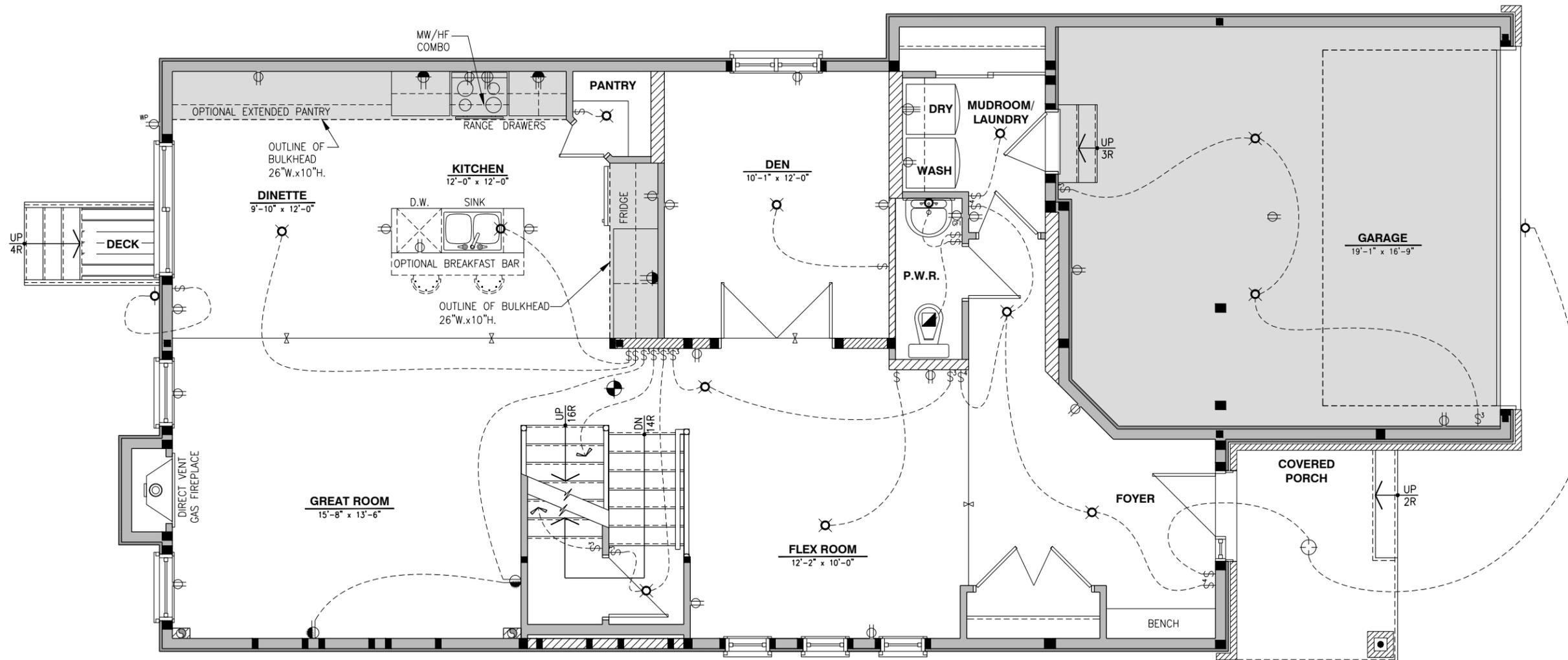
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT

- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY

REV-1 NEW STANDARD DRWG MODIFICATION 10/12/2023 DOYON

DRAWING: **ELECTRICAL PLAN
GROUND FLOOR - ELEV. A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2a

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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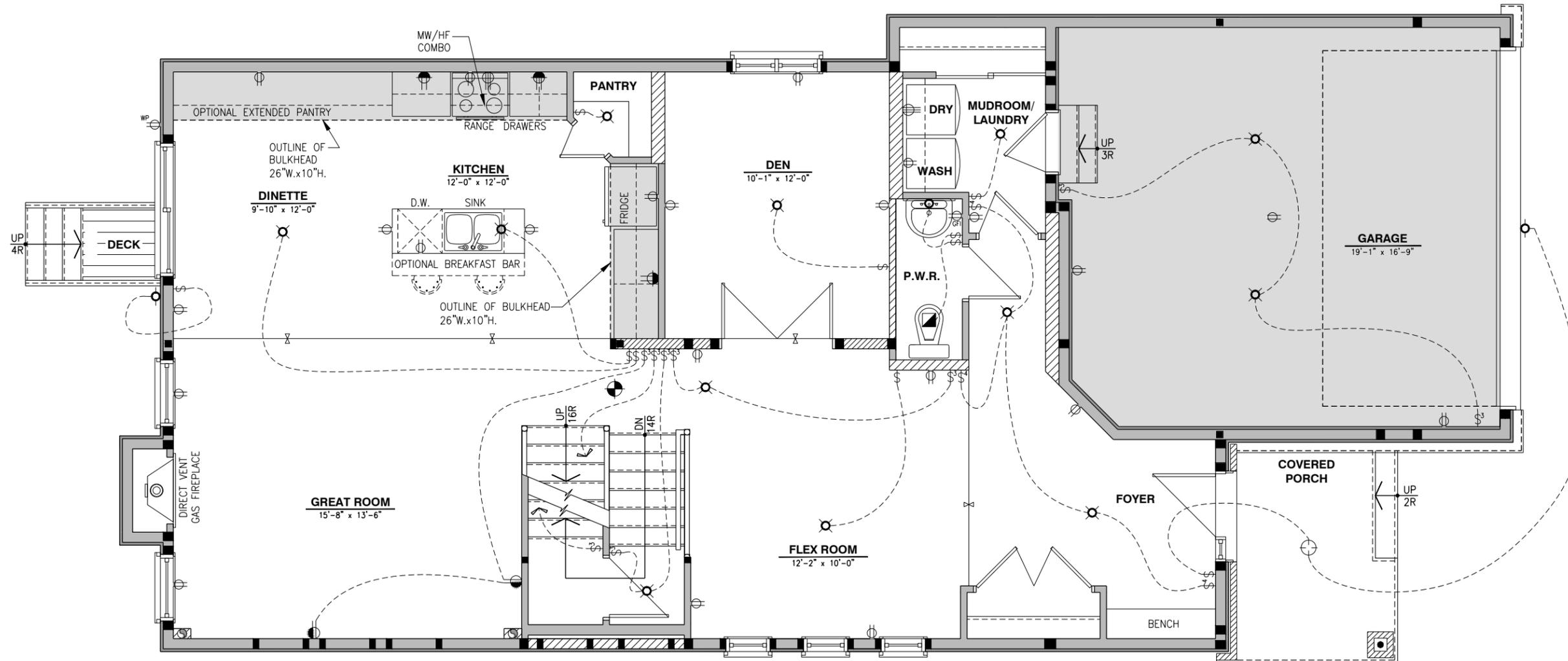
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2b

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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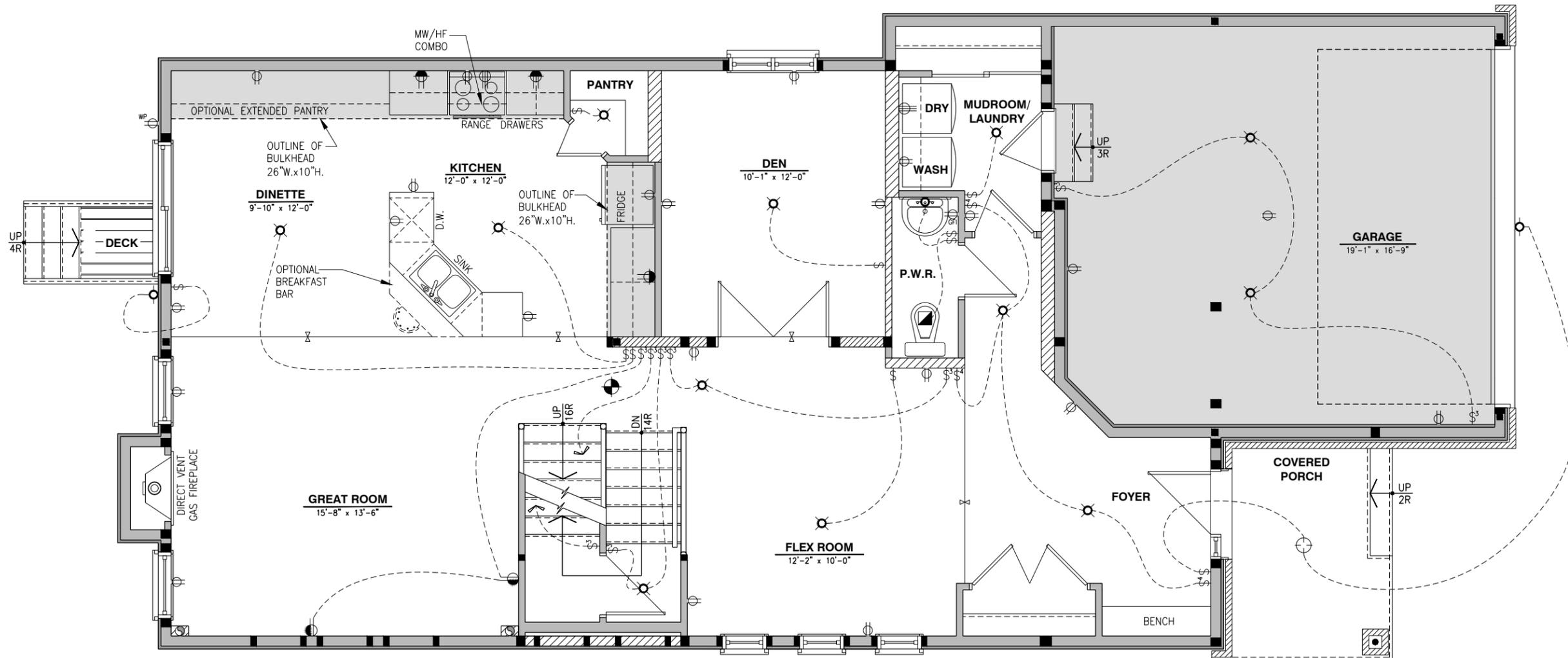
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2c

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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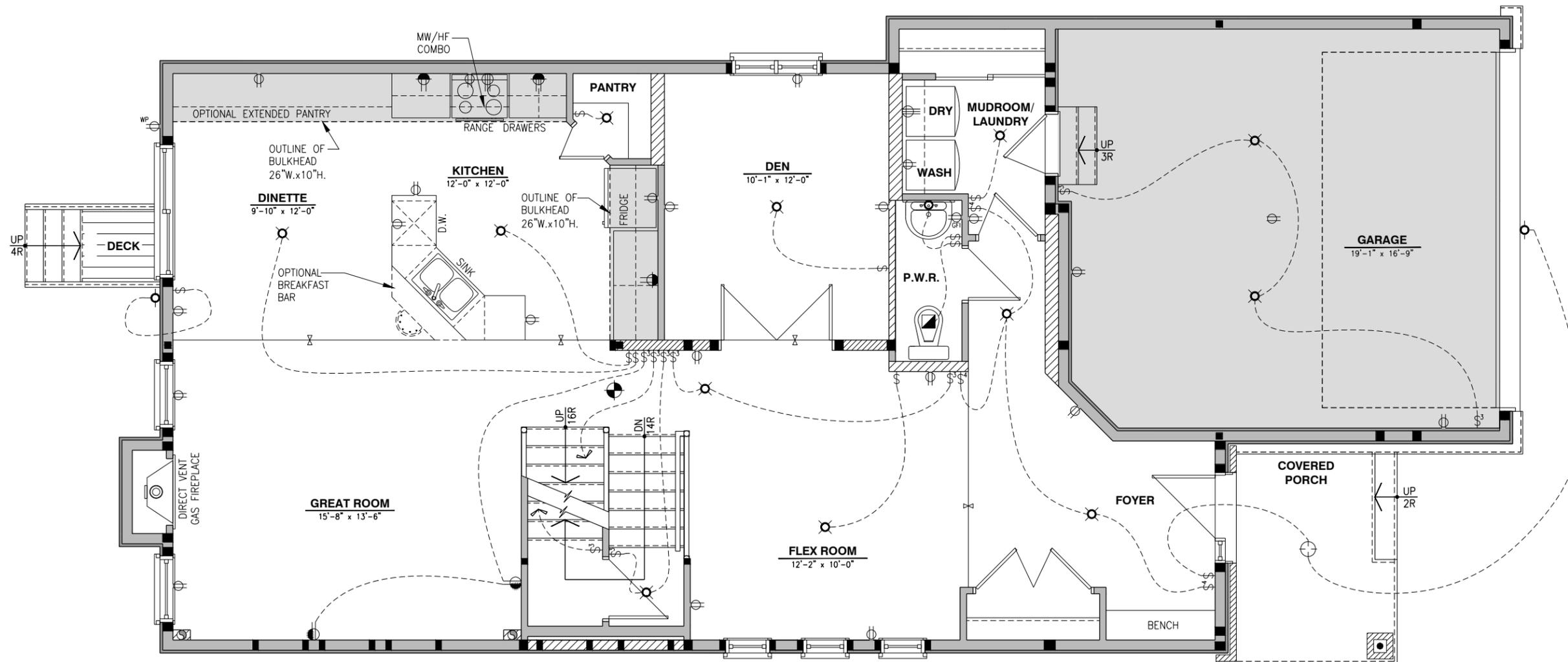
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- ⊕ SINGLE POLE SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ 4 WAY SWITCH
- ⊕ FURNACE SWITCH
- ⊕ FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕ GFI GROUND FAULT INTERVOLT
- ⊕ WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⬛ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2d

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

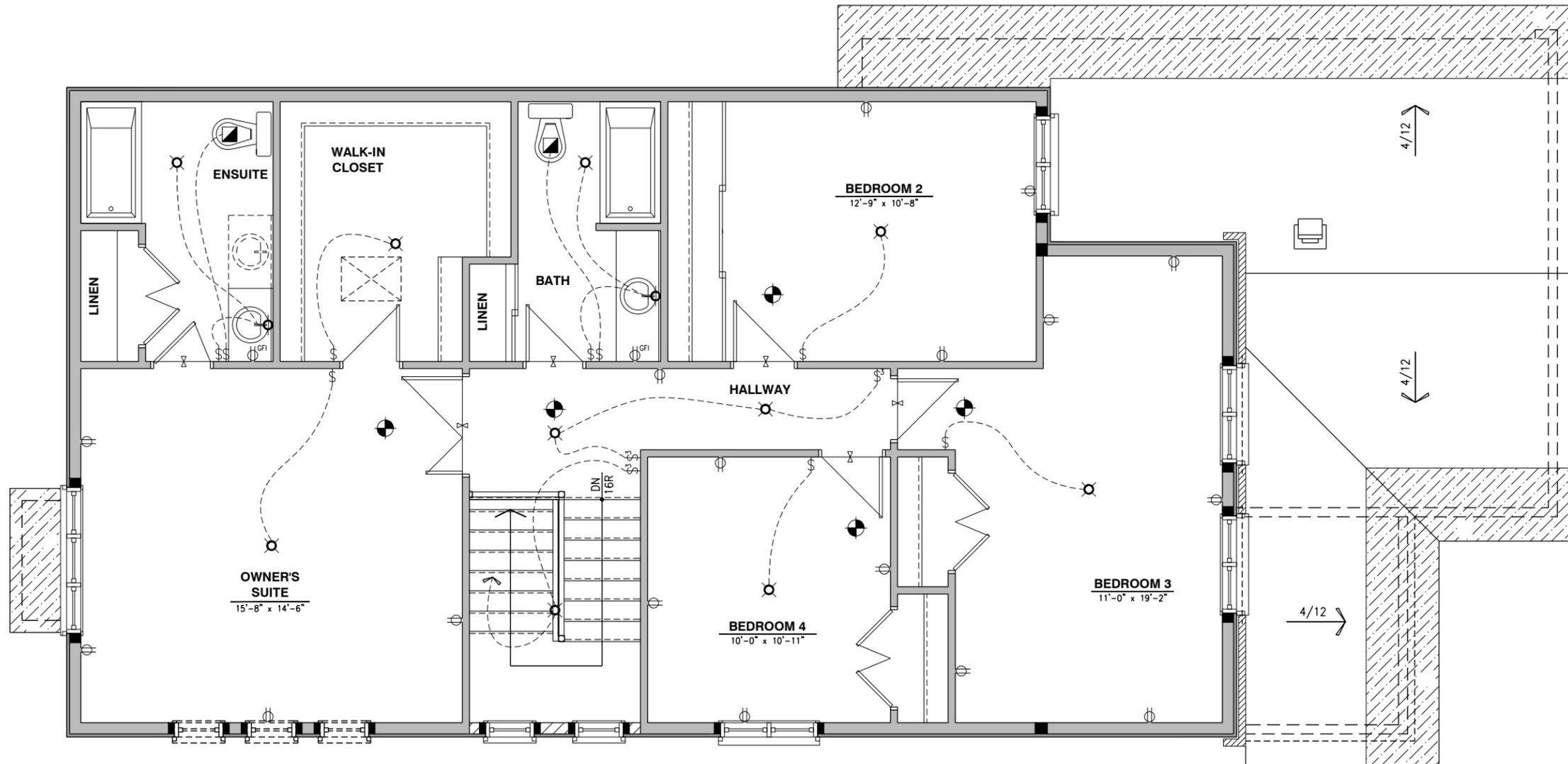
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
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- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	10/12/2023	DOYON

DRAWING: **ELECTRICAL PLAN
 SECOND FLOOR - ELEV. A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.3a

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

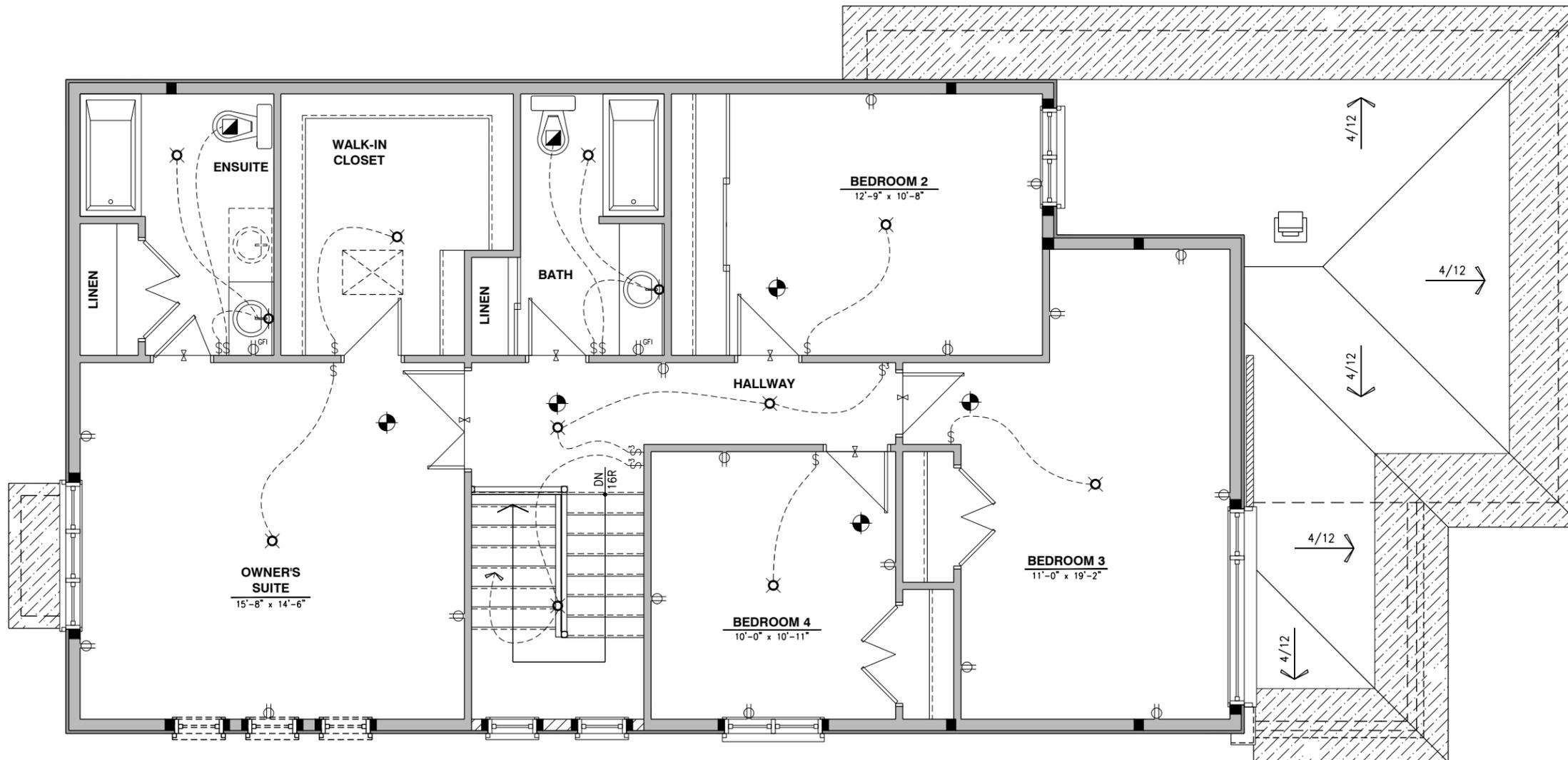
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			10/12/2023	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.3b

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



D. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- TARIION REGISTRATION NUMBER #611

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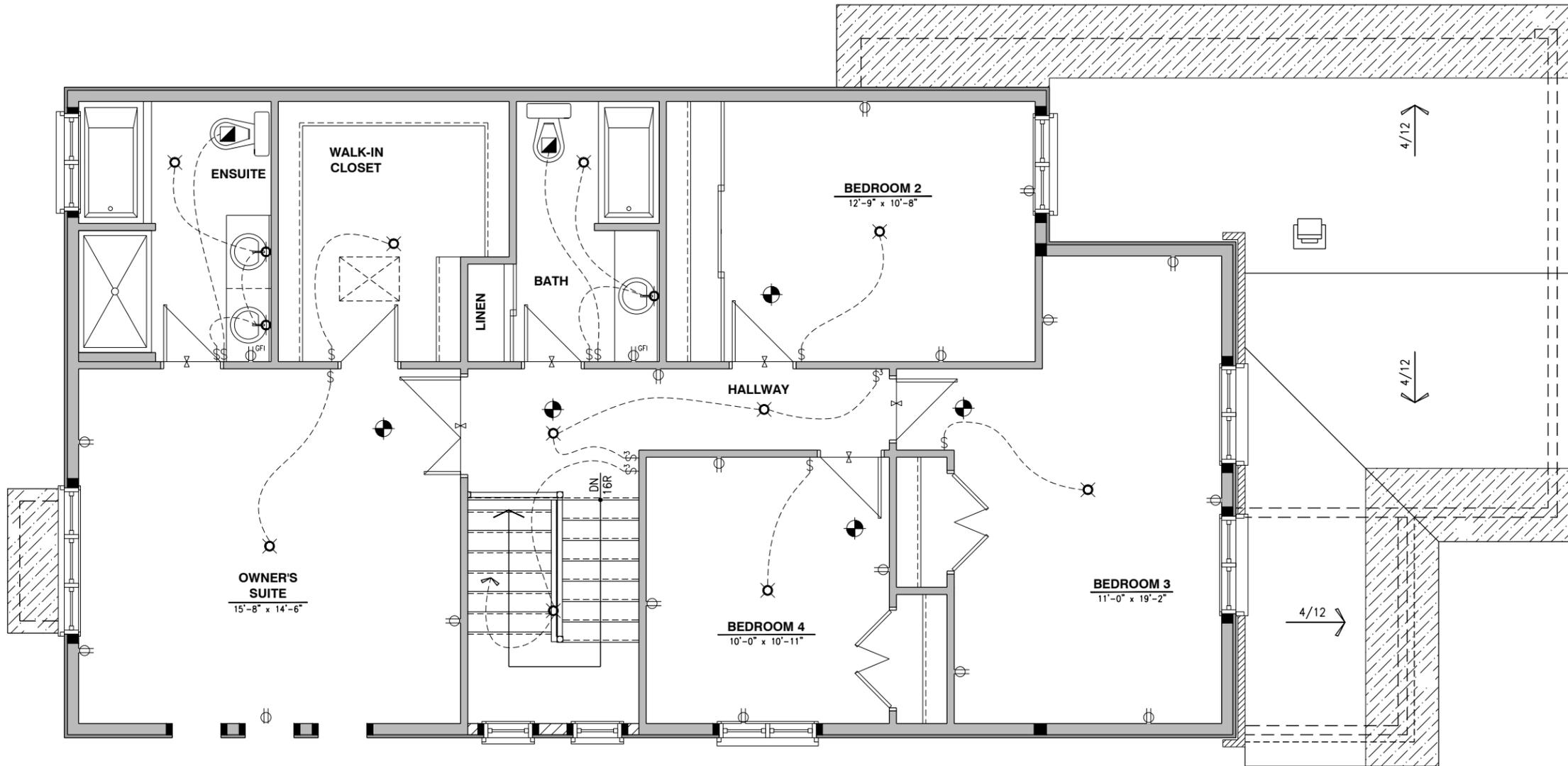
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			10/12/2023	DOYON

DRAWING: ELECTRICAL PLAN
 SECOND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.3c

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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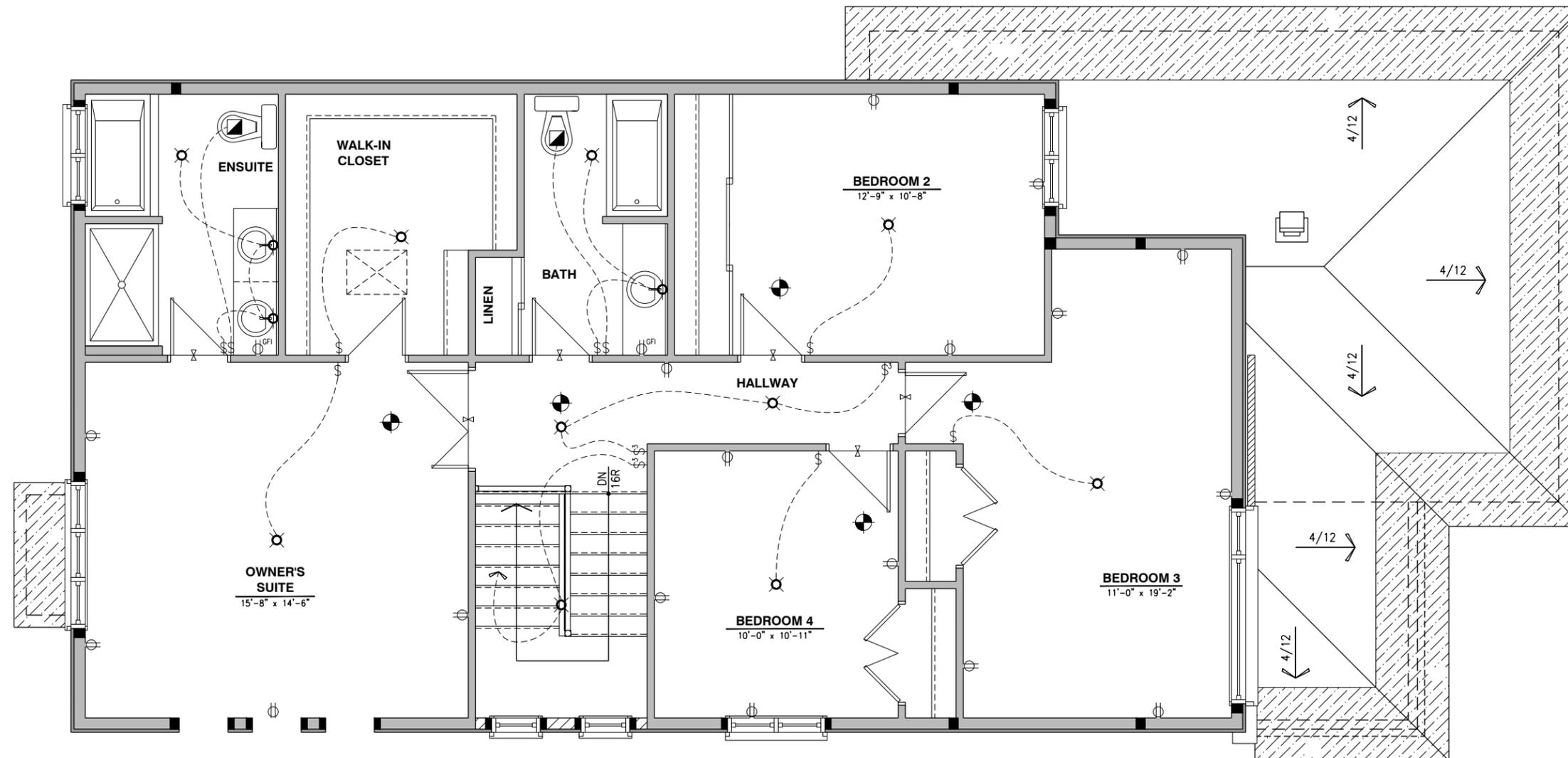
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			10/12/2023	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

830 - THE BUTLER
 2023 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.3d

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"