



PROVIDE MAXIMUM VENT AND \_\_\_\_\_  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA—  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES  
T/O WINDOWS  
VINYL HORIZONTAL SIDING (TYP.)  
VINYL CORNER TRIM (TYP.)  
T/O SUBFLOOR  
U/S OF JOISTS  
T/O WINDOWS

1'-2"  
6'-11"  
1'-2"

# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

T/O FOOTING \_\_\_\_\_  
U/S OF FOOTING \_\_\_\_\_  
00.00

-PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)

REINFORCED WALL FOR Laterally  
UNSUPPORTED CONCRETE FOUNDATION:  
-15M VERTICAL BARS @ 12" o/c  
-15M L-DOWEL 10" HORIZONTAL x  
24" VERTICAL @ 12" o/c IN FOOTING  
-VERTICAL BARS SHALL BE TIED TO  
THE L-DOWELS

INSTALL 2" (SRP 400) HD RIGID  
INSULATION FROST PROTECTION  
IF UNDERSIDE OF FOOTINGS ARE  
LESS THEN 5'-0" BELOW FINISH  
GRADE

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE – 128 m. sq.  
AREA OF UNPROTECTED OPENINGS – 4.1 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS – 3.2 %

— PRE-ENGINEER 36" HIGH ALUMINUM RAILING SYSTEM. REFER TO MANUFACTURER FOR INSTALLATION

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

—NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

-ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

— BRICK VENEER (TYP.)  
— 4" PRECAST SILL

U/S OF TRUSSES  
 1'-2" T/O WINDOWS  
 STONE VENEER (TYP.)  
 VINYL HORIZONTAL SIDING (TYP.)  
 -11"

FLASHING @ ROOF  
AND WALL JUNCTURE  
(TYR)

T/O SUBFLOOR . . . . .  
U/S OF JOISTS . . . . .

3'-9" CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)

T/O WINDOWS  
SQUARE PVC COLUMN  
WRAP (TYP.)

4" PRECAST SILL

7'-1  
— OUTLINE OF STEEL  
POST SEE PLAN  
(TYP.)

T/O SUNKEN SUBFLO

T/O FOUNDATION



00.00

2 1/8"

CONCRETE STAIR

ONE INVERTED

T/O FOOTING \_\_\_\_\_  
U/S OF FOOTING \_\_\_\_\_

00.00

**RIGHT ELEVATION - ELEVATION A**

SCALE:  $3/16" = 1'-0"$

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE, REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECFART'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

DRAWING: **RIGHT ELEVATION**  
**ELEVATION A**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| xx       | 3/16" = 1'-0" | xx/xx/xxxx |

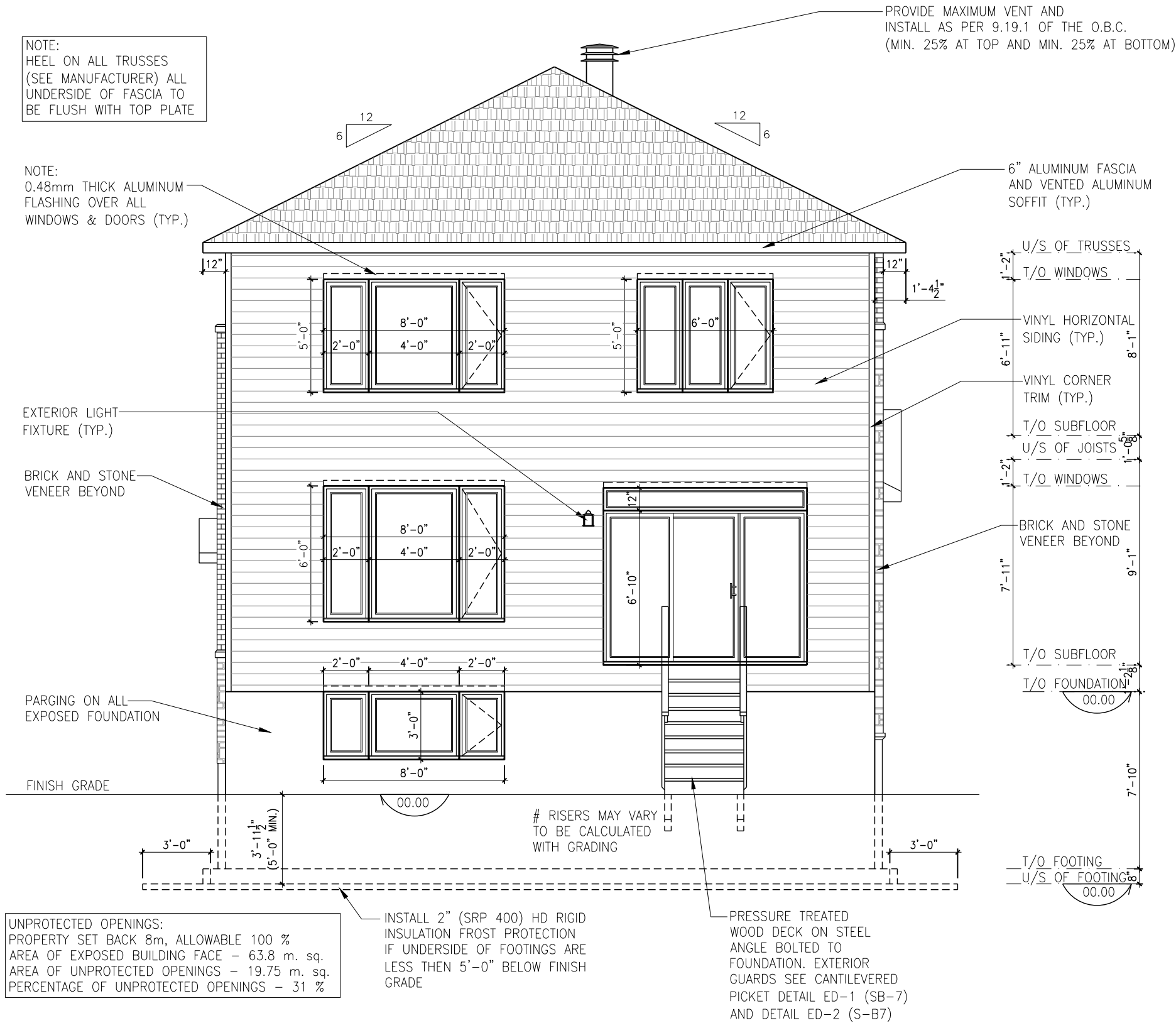
## 870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

**SHEET:**

## A2a

**A3a**



REAR ELEVATION - ELEVATION A

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DATE: XX/XX/XXXX



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

DRAWING: REAR ELEVATION  
ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4a



[illegible]

SCALE: 3/16" = 1'-0"

**DATE:** XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

DRAWING: **RIGHT ELEVATION**  
**ELEVATION B**

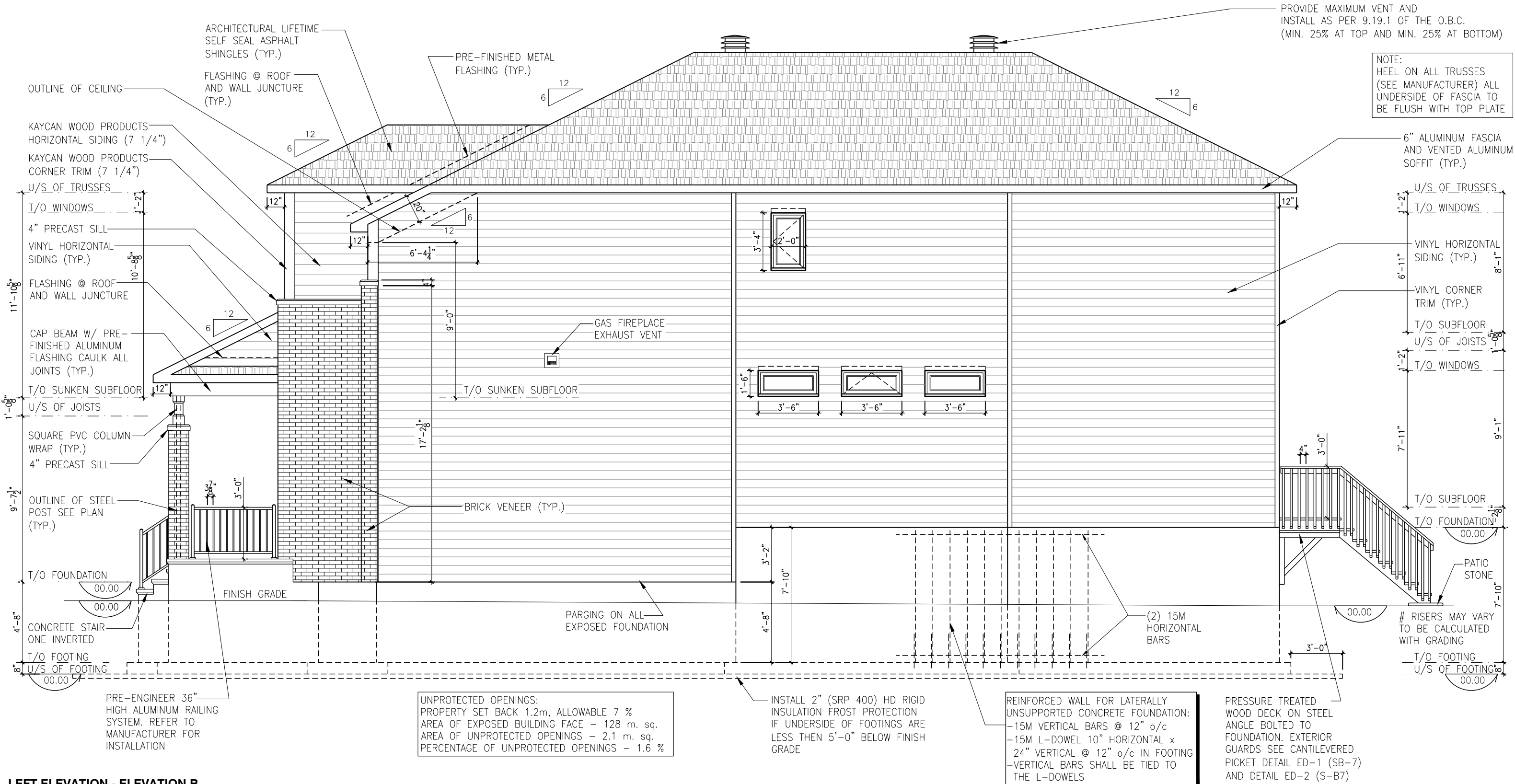
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## 870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

**A2b**



LEFT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| - TARION REGISTRATION NUMBER #611                                                                                                                                  |                                |            |       |
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| REV-1                                                                                                                                                              | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
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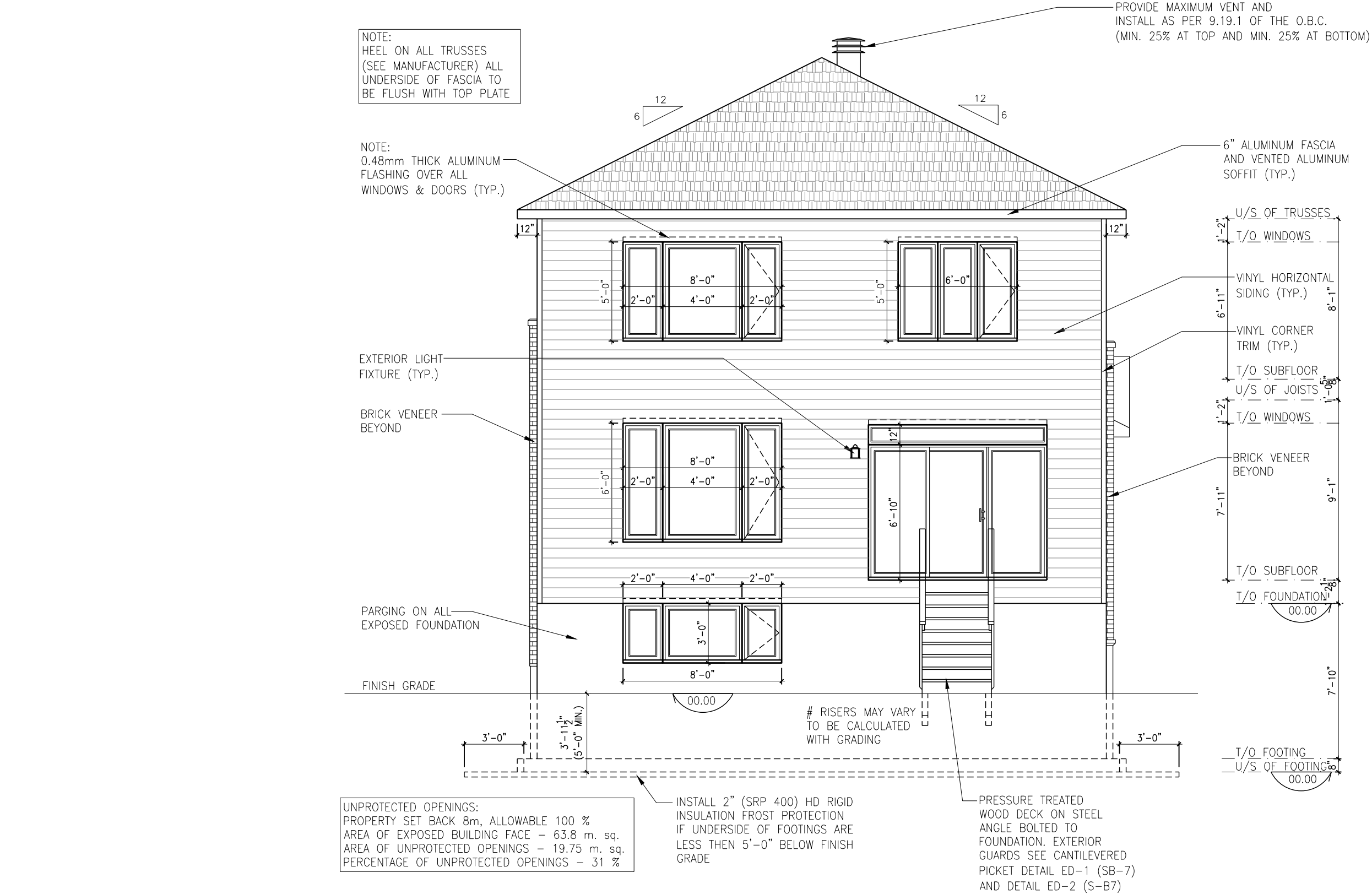
**2012 O.B.C. DRAWINGS**

DRAWING: **LEFT ELEVATION ELEVATION B**

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

**870 - THE DENNISON 2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET: **A3b**



REAR ELEVATION - ELEVATION B

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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: REAR ELEVATION  
ELEVATION B

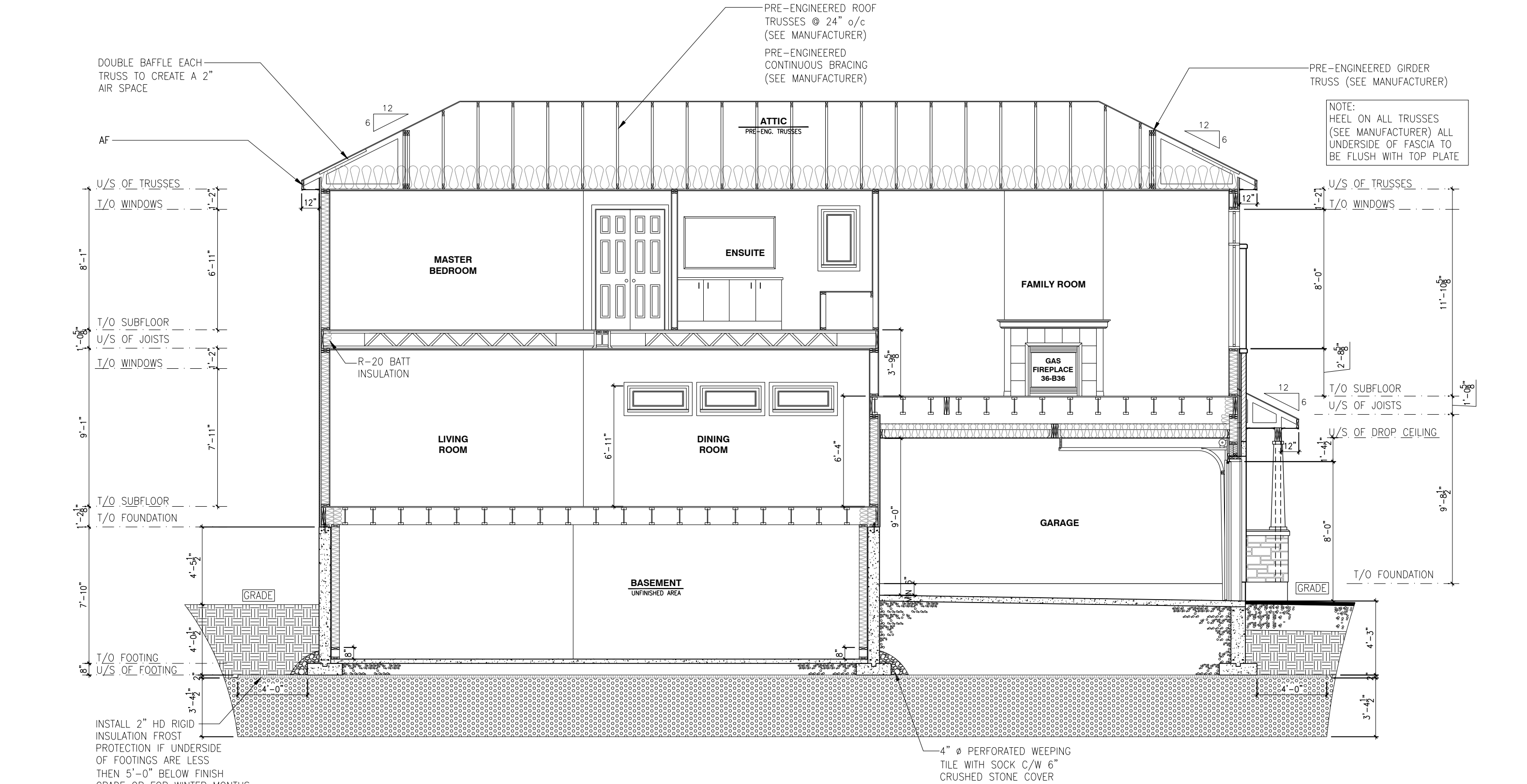
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870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4b



**BUILDING SECTION - ELEVATION A**

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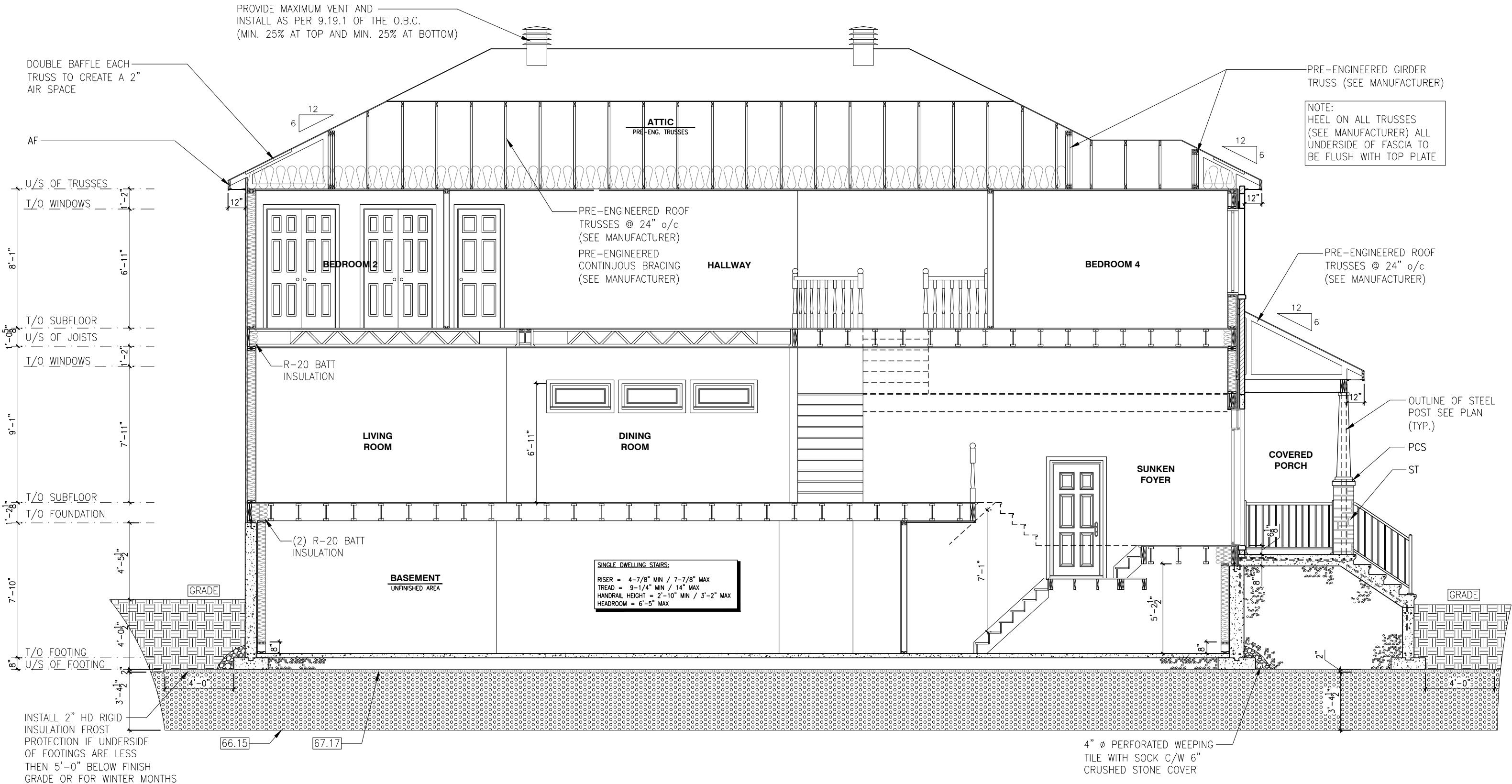
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**870 - THE DENNISON  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A5a**



**BUILDING SECTION - ELEVATION A**

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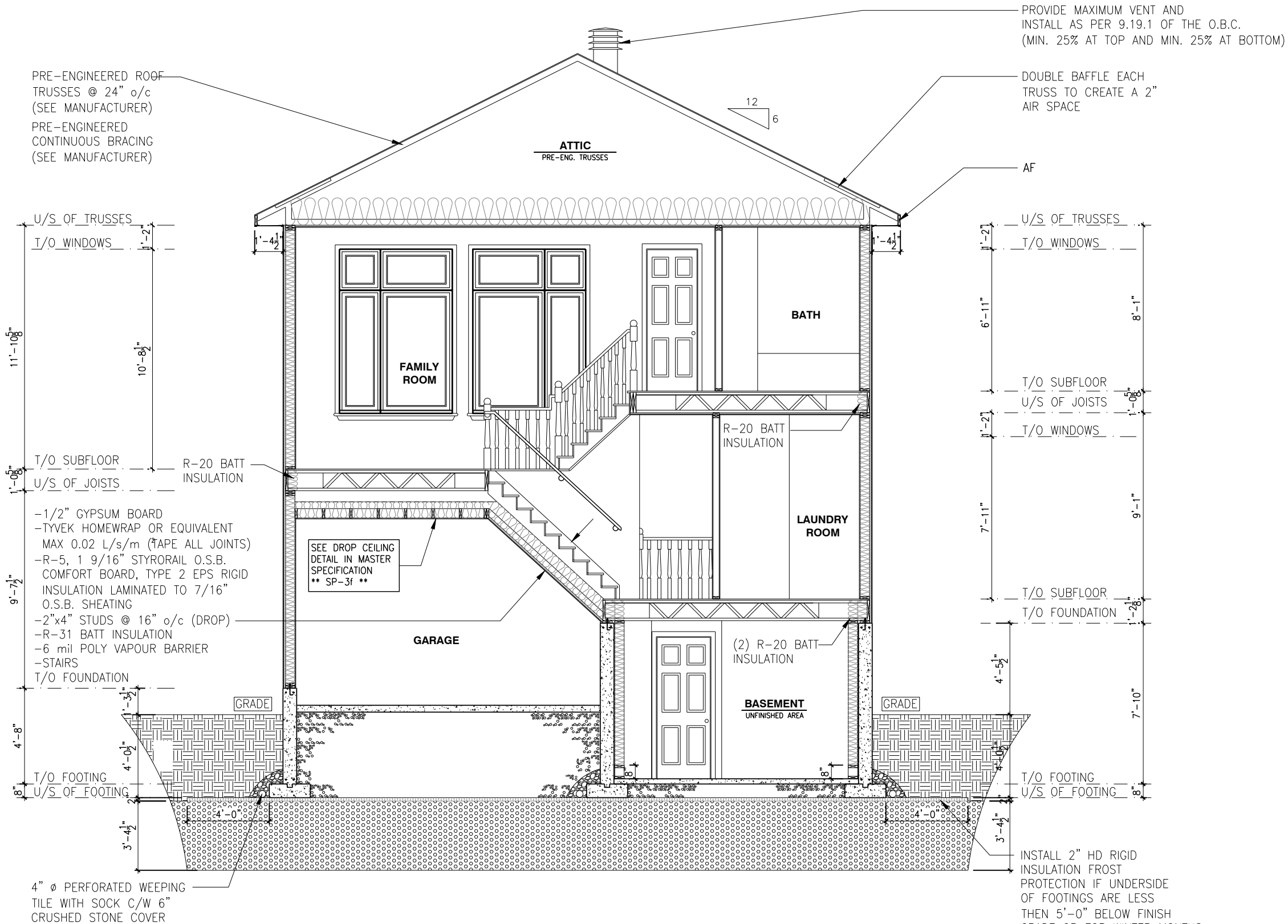
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**870 - THE DENNISON  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

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**A5b**



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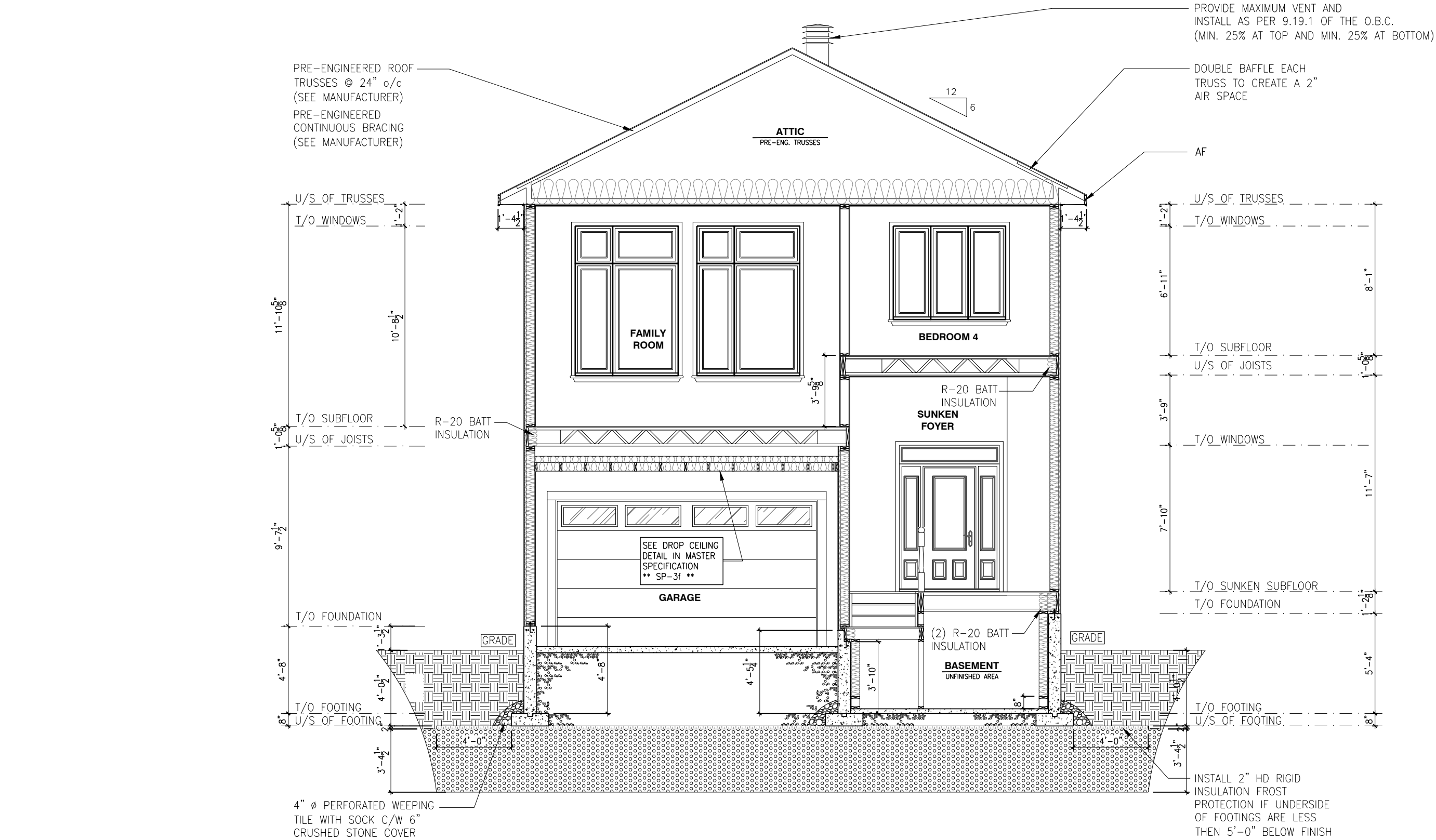
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870 - THE DENNISON 2023 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A5c**



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|                                                                                                                                                                    |                                |            |       |
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|                                                                                                                                                                    |                                |            |       |
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**2012 O.B.C. DRAWINGS**

DRAWING: **BUILDING SECTION ELEVATION A**

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

**870 - THE DENNISON 2023 FOOTPRINT**  
(STANDARD DRAWINGS)

**A5d**

| FOOTING SCHEDULE                                                               |                                  |                                                        |                                                        |                                                        |                                                         |
|--------------------------------------------------------------------------------|----------------------------------|--------------------------------------------------------|--------------------------------------------------------|--------------------------------------------------------|---------------------------------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                  |                                                        |                                                        |                                                        |                                                         |
| WALL FOOTINGS                                                                  | 100KPa                           | 85KPa                                                  | 75KPa                                                  | 60KPa                                                  | 40KPa                                                   |
| WF1                                                                            | 30"x8" DP.<br>2-15M(B) LONG.     | 36"x8" DP.<br>15M(B)x32"Lg @ 20" o/c<br>3-15M(B) LONG. | 40"x8" DP.<br>15M(B)x36"Lg @ 20" o/c<br>3-15M(B) LONG. | 48"x8" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. | 72"x10" DP.<br>15M(B)x66"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF2                                                                            | 28"x8" DP.<br>2-15M(B) LONG.     | 34"x8" DP.<br>2-15M(B) LONG.                           | 38"x8" DP.<br>15M(B)x34"Lg @ 20" o/c<br>3-15M(B) LONG. | 46"x8" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. | 70"x10" DP.<br>15M(B)x64"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF3                                                                            | 26"x8" DP.<br>2-15M(B) LONG.     | 30"x8" DP.<br>2-15M(B) LONG.                           | 34"x8" DP.<br>2-15M(B) LONG.                           | 42"x8" DP.<br>15M(B)x38"Lg @ 20" o/c<br>3-15M(B) LONG. | 64"x10" DP.<br>15M(B)x58"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF4                                                                            | 24"x8" DP.<br>2-15M(B) LONG.     | 28"x8" DP.<br>2-15M(B) LONG.                           | 32"x8" DP.<br>2-15M(B) LONG.                           | 38"x8" DP.<br>15M(B)x34"Lg @ 20" o/c<br>3-15M(B) LONG. | 58"x10" DP.<br>15M(B)x52"Lg @ 16" o/c<br>4-15M(B) LONG. |
| WF5                                                                            | 24"x8" DP.<br>2-15M(B) LONG.     | 24"x8" DP.<br>2-15M(B) LONG.                           | 26"x8" DP.<br>2-15M(B) LONG.                           | 34"x8" DP.<br>2-15M(B) LONG.                           | 52"x10" DP.<br>15M(B)x48"Lg @ 16" o/c<br>4-15M(B) LONG. |
| WF6                                                                            | 24"x8" DP.<br>2-15M(B) LONG.     | 24"x8" DP.<br>2-15M(B) LONG.                           | 24"x8" DP.<br>2-15M(B) LONG.                           | 30"x8" DP.<br>2-15M(B) LONG.                           | 46"x10" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. |
| WF7                                                                            | 20"x8" DP.<br>2-15M(B) LONG.     | 20"x8" DP.<br>2-15M(B) LONG.                           | 20"x8" DP.<br>2-15M(B) LONG.                           | 24"x8" DP.<br>2-15M(B) LONG.                           | 36"x10" DP.<br>15M(B)x32"Lg @ 16" o/c<br>3-15M(B) LONG. |
| PAD FOOTING SCHEDULE                                                           |                                  |                                                        |                                                        |                                                        |                                                         |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                                  |                                                        |                                                        |                                                        |                                                         |
| WALL FOOTINGS                                                                  | 100KPa                           | 85KPa                                                  | 75KPa                                                  | 60KPa                                                  | 40KPa                                                   |
| F1                                                                             | 52"x52"x10" w/ 4-15M 46" LG. e/w | 56"x56"x12" w/ 5-15M 50" LG. e/w                       | 60"x60"x12" w/ 5-15M 54" LG. e/w                       | 68"x68"x12" w/ 6-15M 62" LG. e/w                       | 78"x78"x12" w/ 7-15M 72" LG. e/w                        |
| F2                                                                             | 24"x24"x10" DP.                  | 24"x24"x10" DP.                                        | 24"x24"x10" DP.                                        | 28"x28"x12" DP.                                        | 34"x34"x12" w/ 2-15M 28" LG. e/w                        |

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

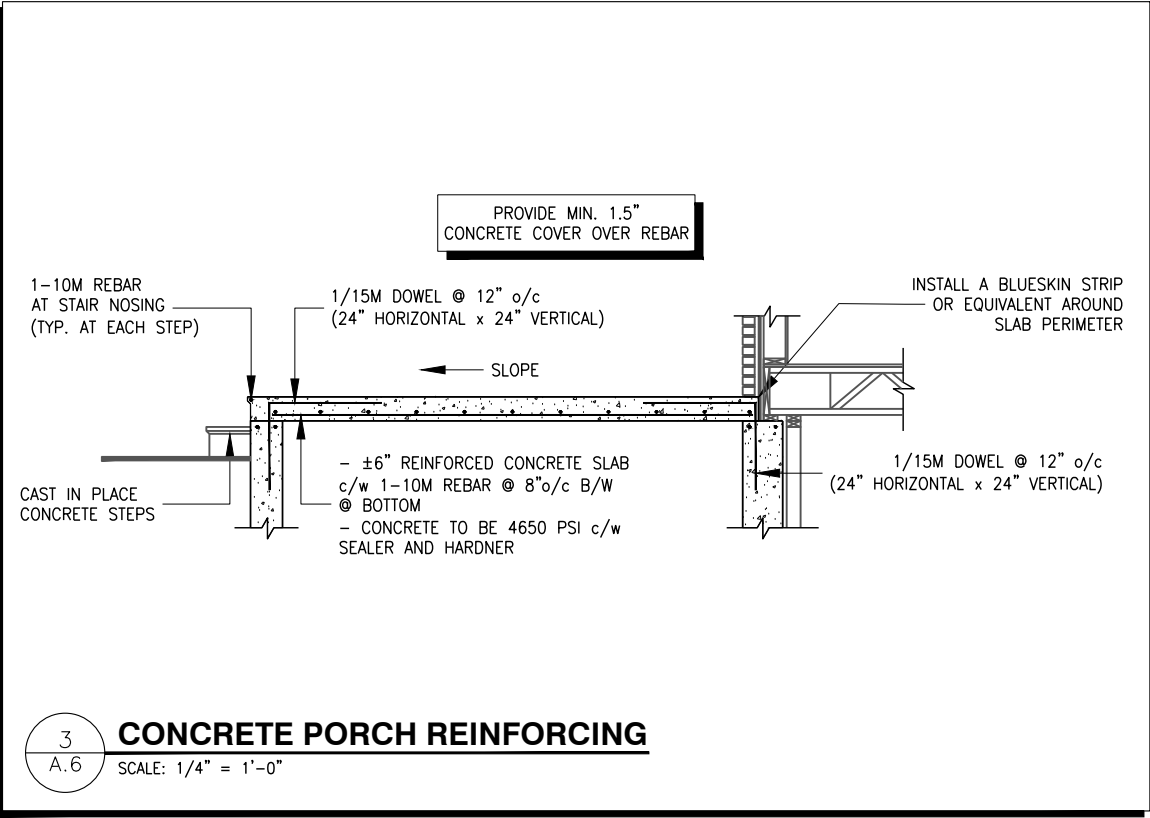
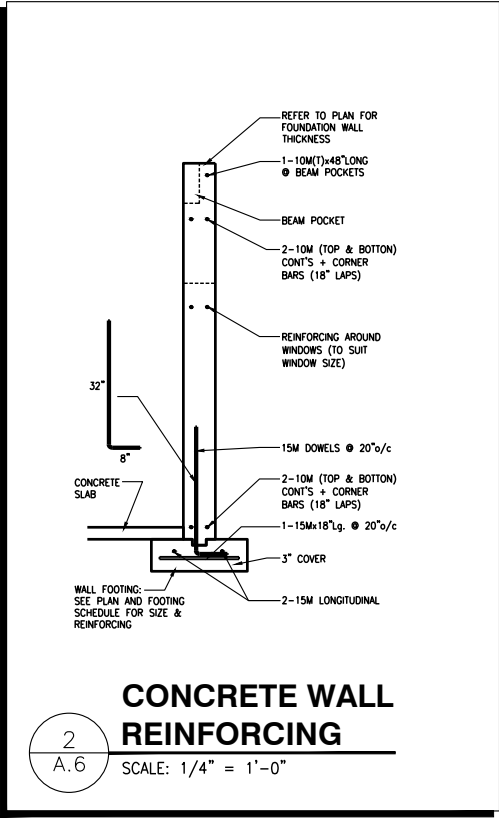
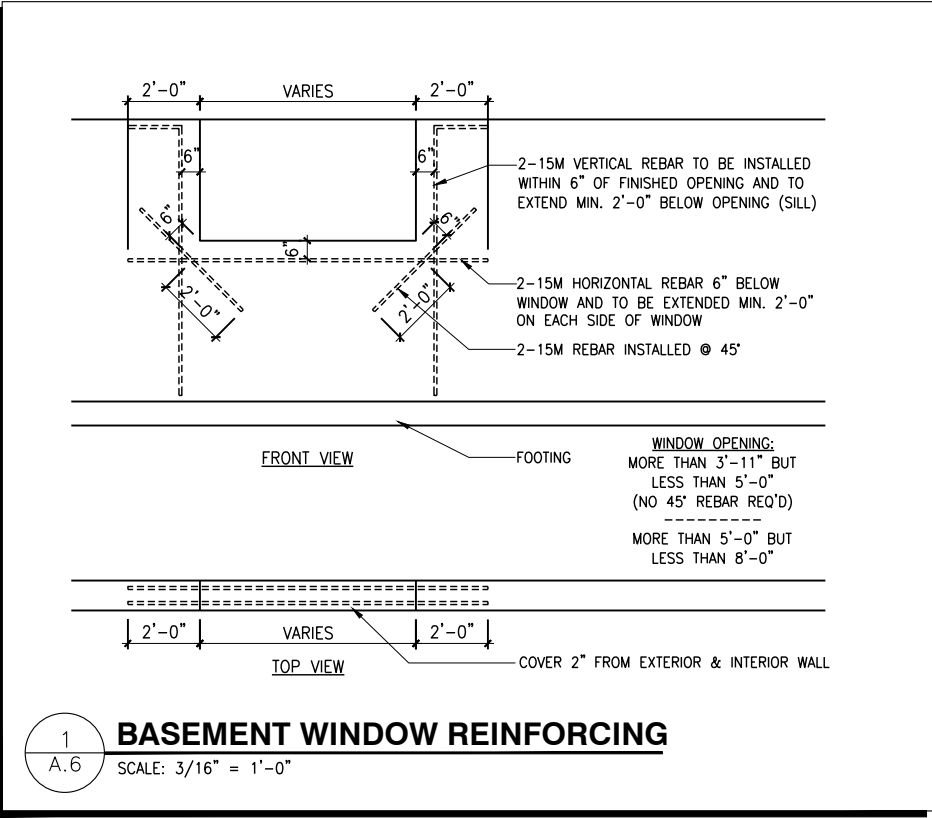
BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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2012 O.B.C. DRAWINGS

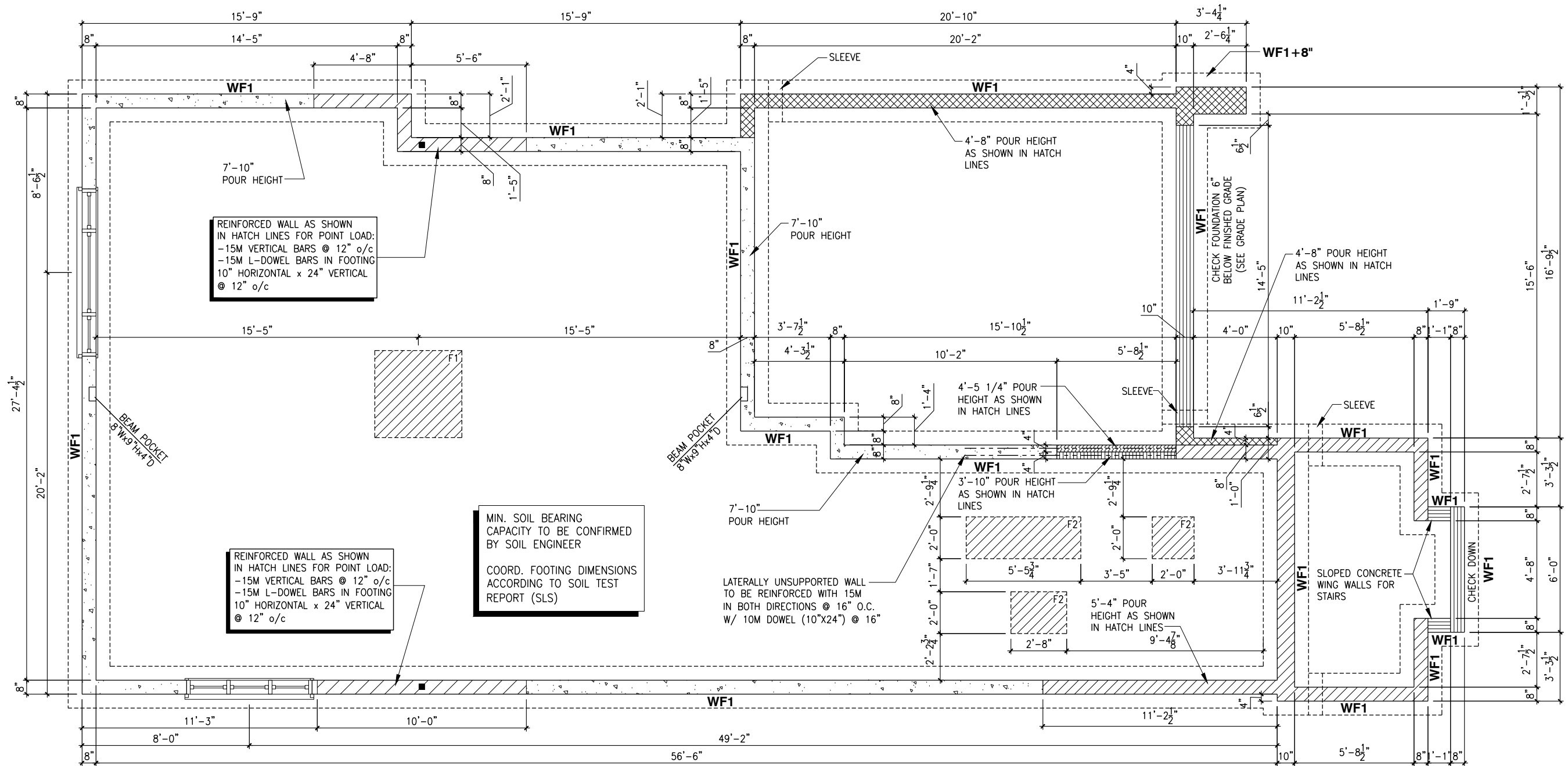
DRAWING: FOOTING TABLE & DETAILS

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A6

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS



**FOOTING PLAN - ELEVATION A**

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



# Valecraft

Homes (2019) Limited

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- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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|-------|--------------------------------|------------|-------|
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| NO.   | DESCRIPTION                    | DATE       | BY    |

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LINTEL TABLE:

|    |   |            |     |        |    |      |               |
|----|---|------------|-----|--------|----|------|---------------|
| L1 | = | 2-2x10     | +   | P2     | ON | BOTH | SIDES         |
| L2 | = | 3-2x10     | +   | P3     | ON | BOTH | SIDES         |
| L3 | = | 2-1.75x9.5 | LVL | (1.8E) | +  | P3   | ON BOTH SIDES |
| L4 | = | 3-1.75x9.5 | LVL | (1.8E) | +  | P3   | ON BOTH SIDES |

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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL.  
P14 = HSS 89.6x94.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL.  
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

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\* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON  
PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

DRAWING: **FOOTING PLAN**

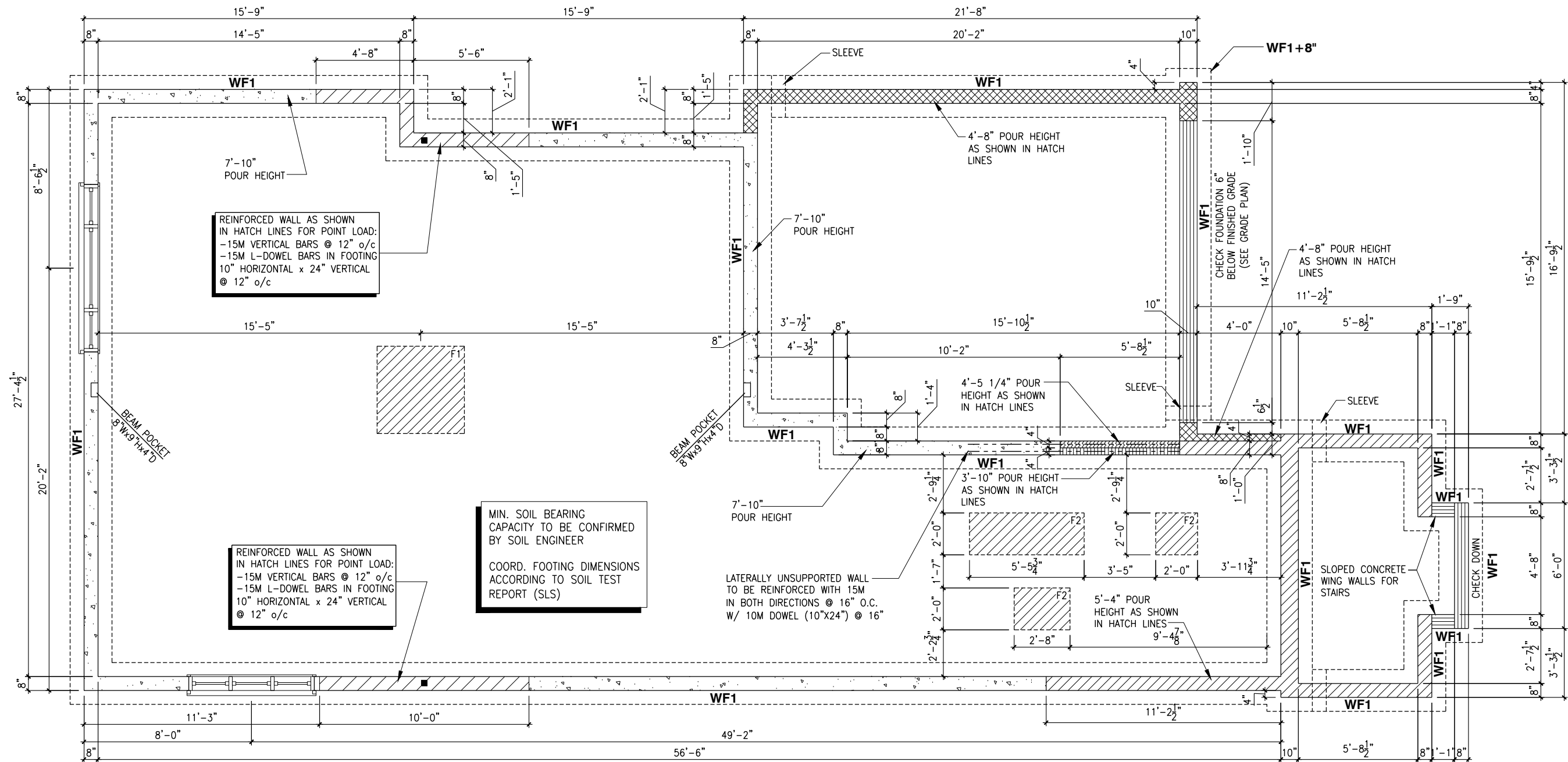
|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

## 870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

## A6a



**FOOTING PLAN - ELEVATION B**

SCALE:  $3/16" = 1'-0"$

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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| NO.   | DESCRIPTION                    | DATE       | BY    |

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:

|    |   |                           |
|----|---|---------------------------|
| S1 | = | L 90x90x6                 |
| S2 | = | L 90x90x8                 |
| S3 | = | L 100x90x8                |
| S4 | = | L 125x90x8                |
| S5 | = | L 125x90x10               |
| S6 | = | L 200x100x12              |
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LINTEL TABLE:  
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2012 O.B.C. DRAWINGS

DRAWING: **FOOTING PLAN**

|          |               |            |
|----------|---------------|------------|
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## 870 - THE DENNISON 2023 FOOTPRINT

(STANDARD DRAWINGS)

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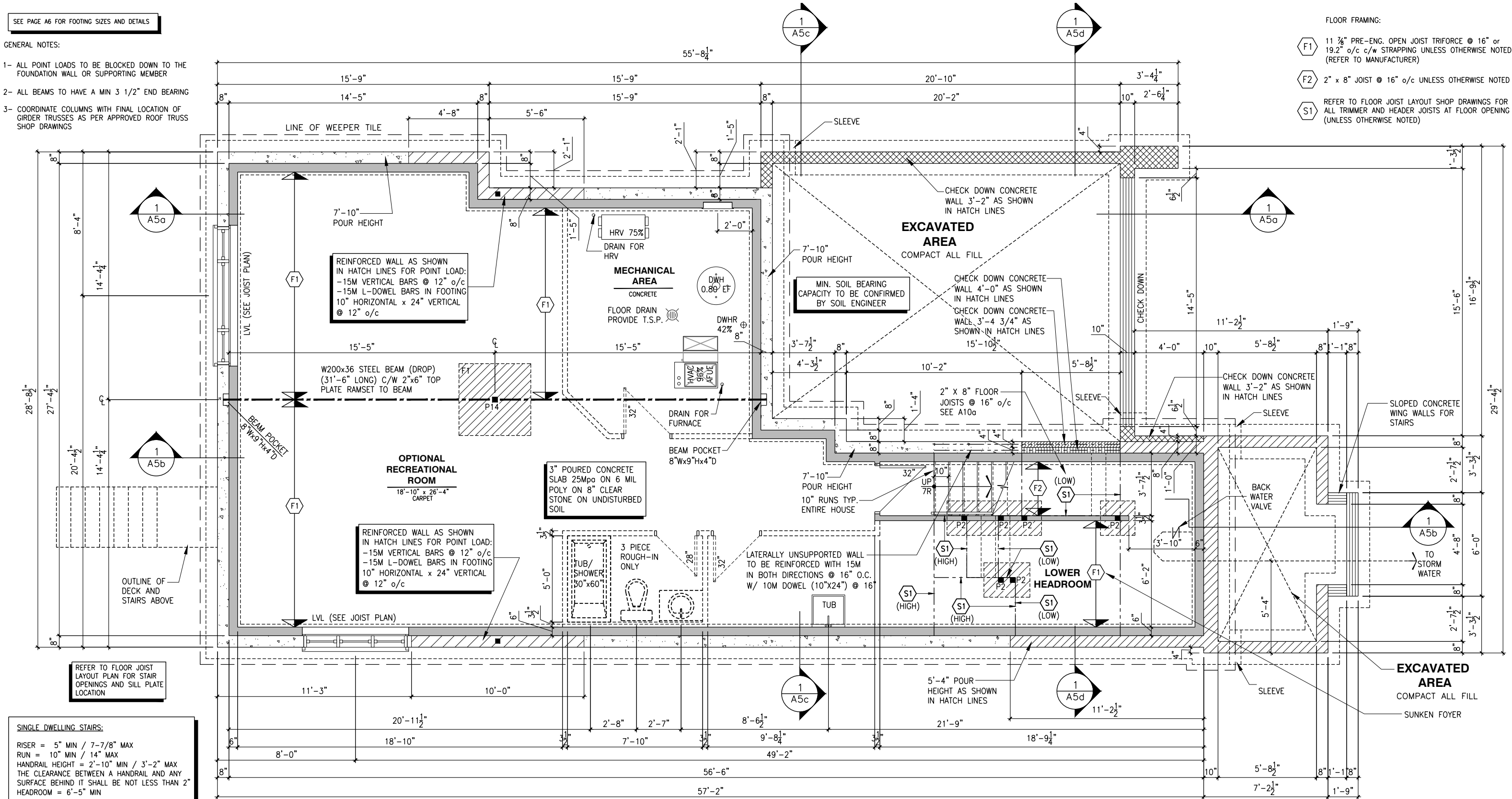
## A6b

## GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

## FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)



## BASEMENT FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
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| REV-1 | NO. | DESCRIPTION | DATE | BY |
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|       |     |             |      |    |
|       |     |             |      |    |
|       |     |             |      |    |
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|       |     |             |      |    |
|       |     |             |      |    |

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## 2012 O.B.C. DRAWINGS

DRAWING:

## BASEMENT PLAN

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6c

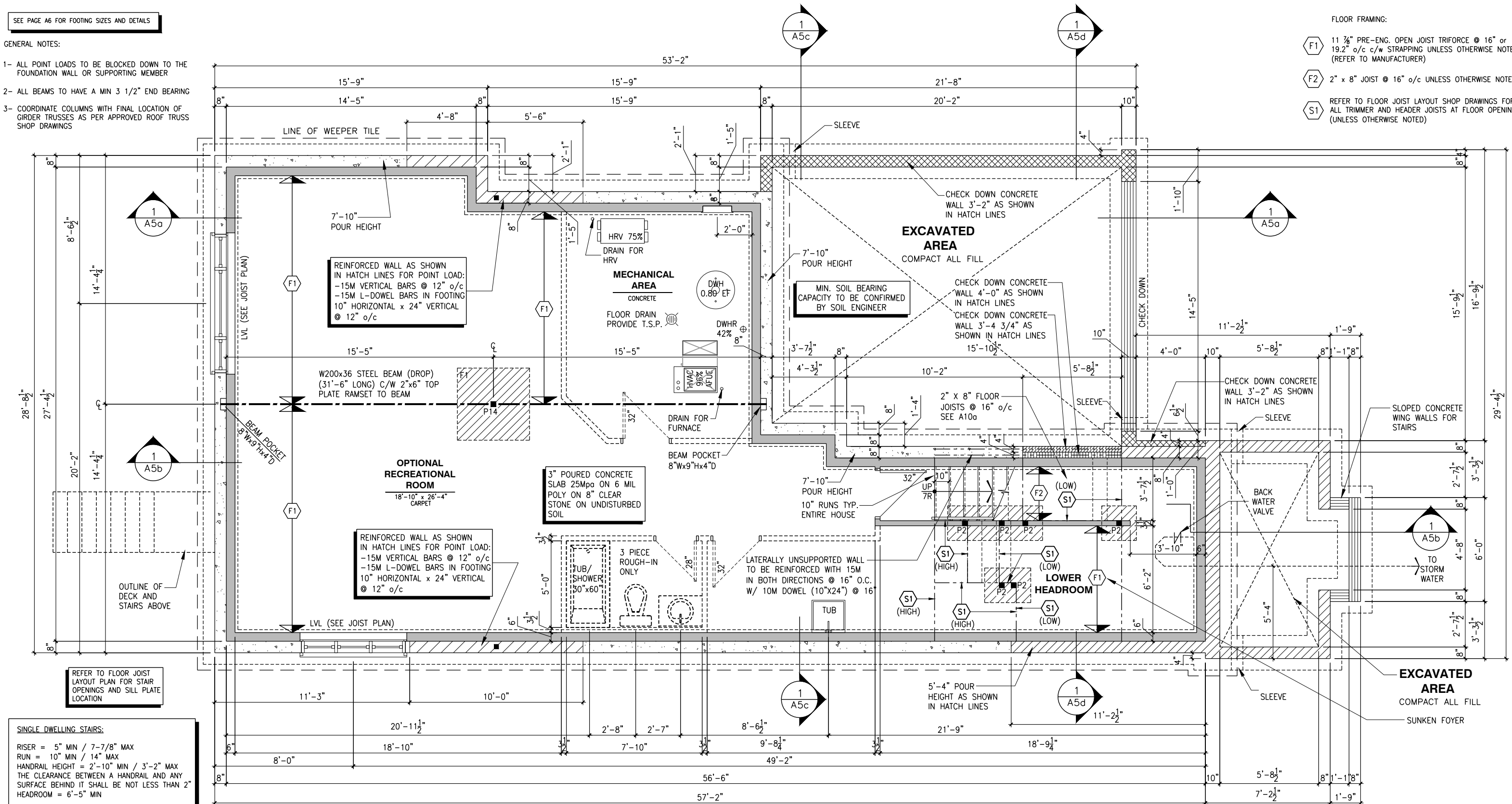
SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)



BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION | DATE | BY |
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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P3 = 2-2x4 OR 2-2x6  
P4 = 3-2x4 OR 3-2x6  
P5 = 4-2x4 OR 4-2x6  
P6 = 5-2x4 OR 5-2x6  
P7 = 6-2x4 OR 6-2x6  
P8 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P9 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P10 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P11 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P12 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
P13 = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

DRAWING: BASEMENT PLAN

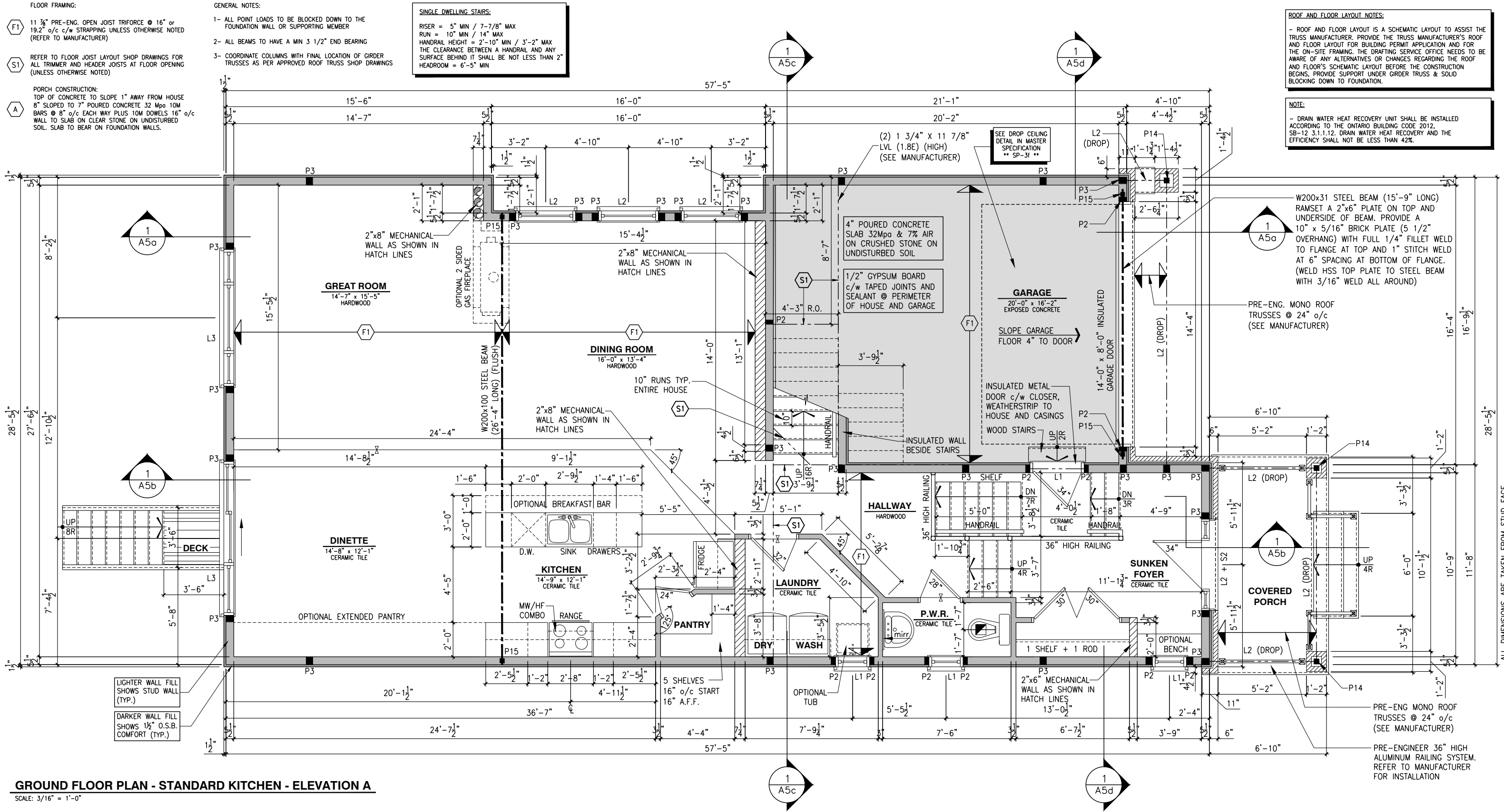
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6d



LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

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|-------|-----|-------------|------|----|
|       |     |             |      |    |
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(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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2012 O.B.C. DRAWINGS

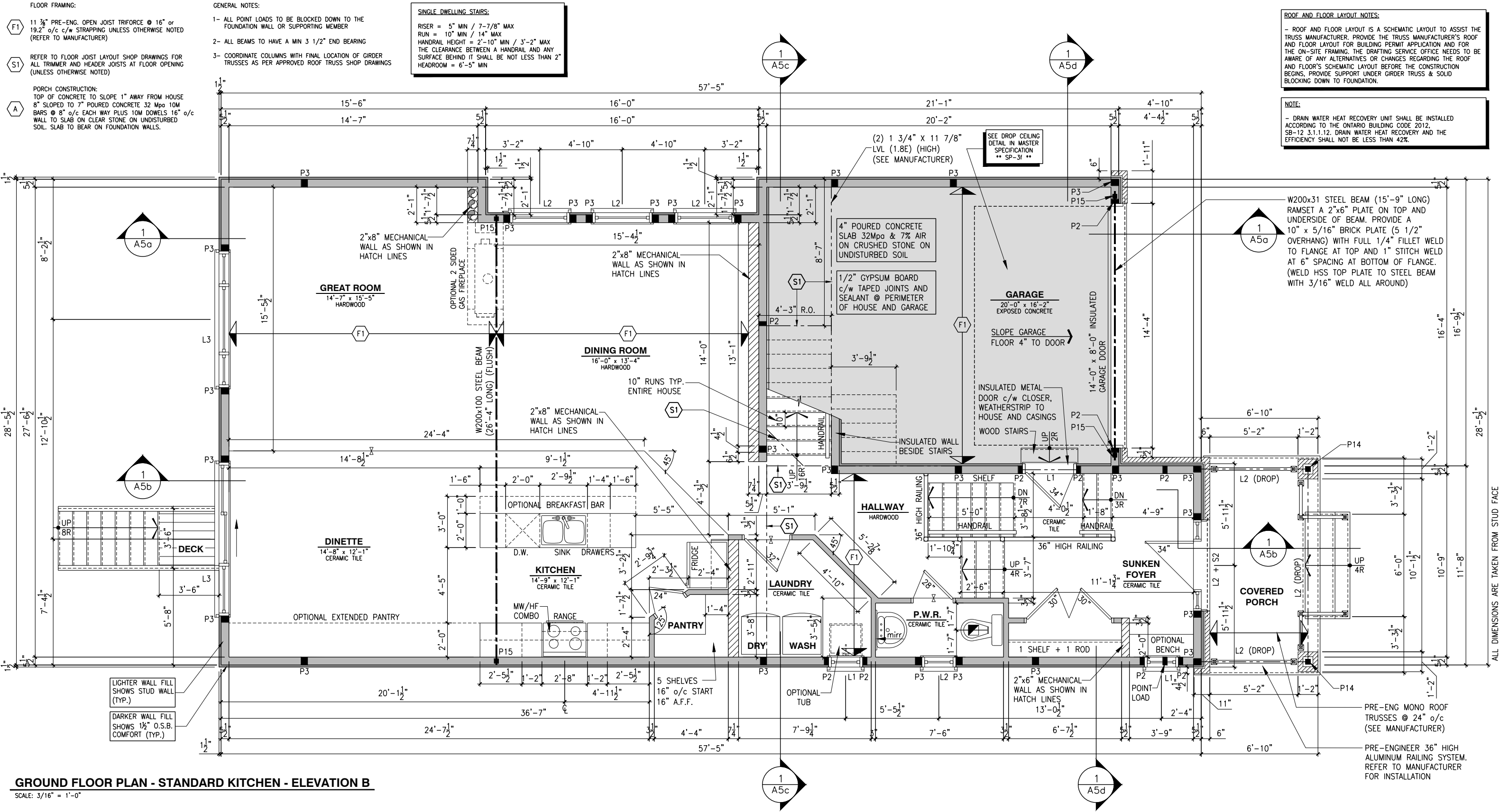
DRAWING: GROUND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7a



LOT: XXXX  
DATE: XX/XX/XXXX



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|                                                                                                                                                            |                                |            |       |
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| - PERSONAL BCIN #19896                                                                                                                                     |                                |            |       |
| - TARION REGISTRATION NUMBER #611                                                                                                                          |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                     |                                |            |       |
| REV-1                                                                                                                                                      | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                        | DESCRIPTION                    | DATE       | BY    |

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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

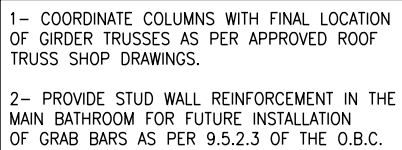
870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7b

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.E.N.G. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECAFT HOMES LTD AND MANUFACTURERS.

SCALE:  $3/16" = 1'-0"$



**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

DRAWING: **SECOND FLOOR PLAN**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

## 870 - THE DENNISON 2023 FOOTPRINT

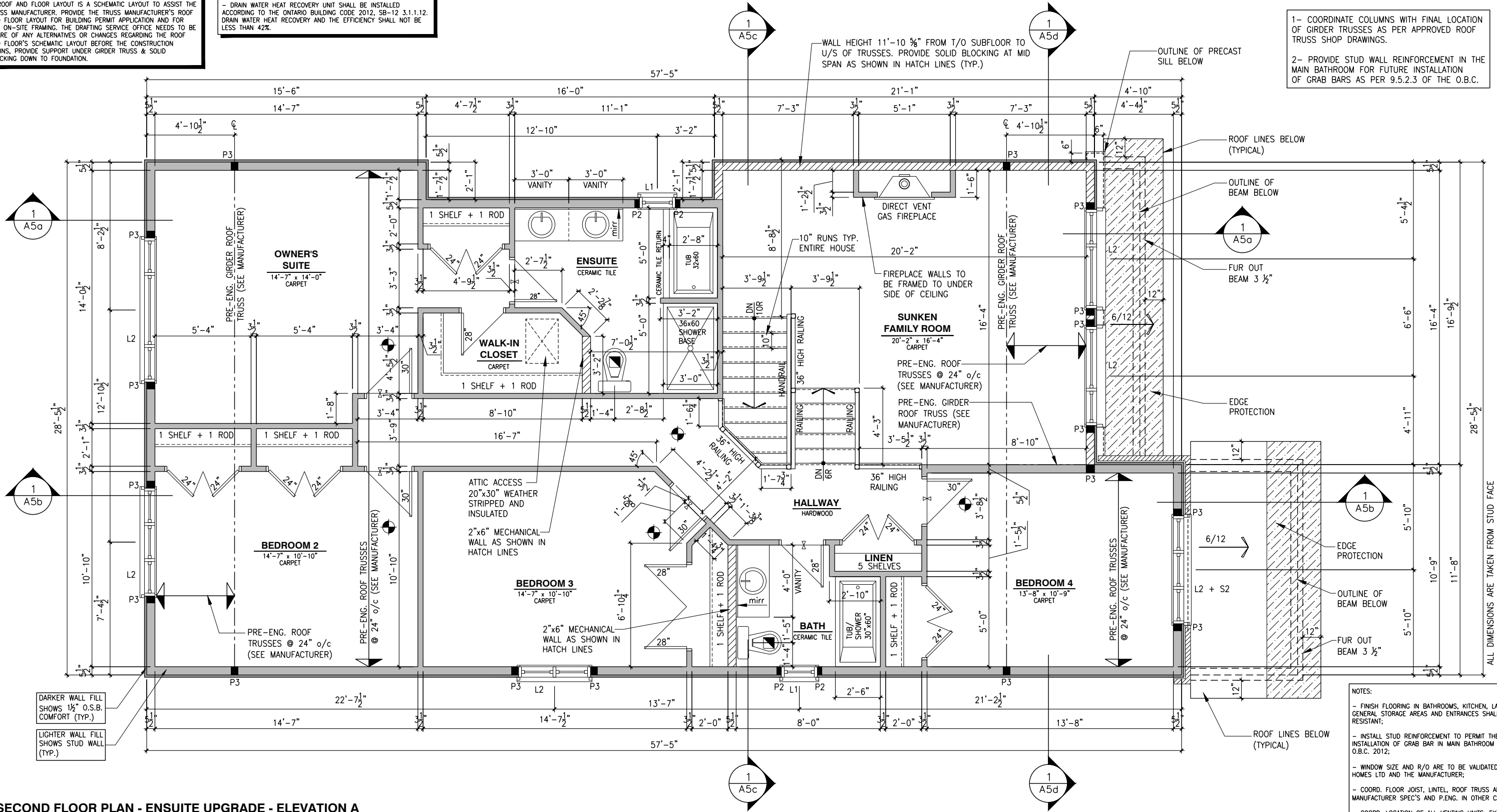
(STANDARD DRAWINGS)

**A8a**

ROOF AND FLOOR LAYOUT NOTES:  
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:  
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

1- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS.  
2- PROVIDE STUD WALL REINFORCEMENT IN THE MAIN BATHROOM FOR FUTURE INSTALLATION OF GRAB BARS AS PER 9.5.2.3 OF THE O.B.C.



SECOND FLOOR PLAN - ENSUITE UPGRADE - ELEVATION A  
SCALE: 3/16" = 1'-0"

NOTES:  
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;  
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- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;  
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;  
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LOT: XXXX  
DATE: XX/XX/XXXX



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| - TARIION REGISTRATION NUMBER #611                                                                                                                         |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                     |                                |            |       |
| REV-1                                                                                                                                                      | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                        | DESCRIPTION                    | DATE       | BY    |
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|                                                                                                                                                            |                                |            |       |
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2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

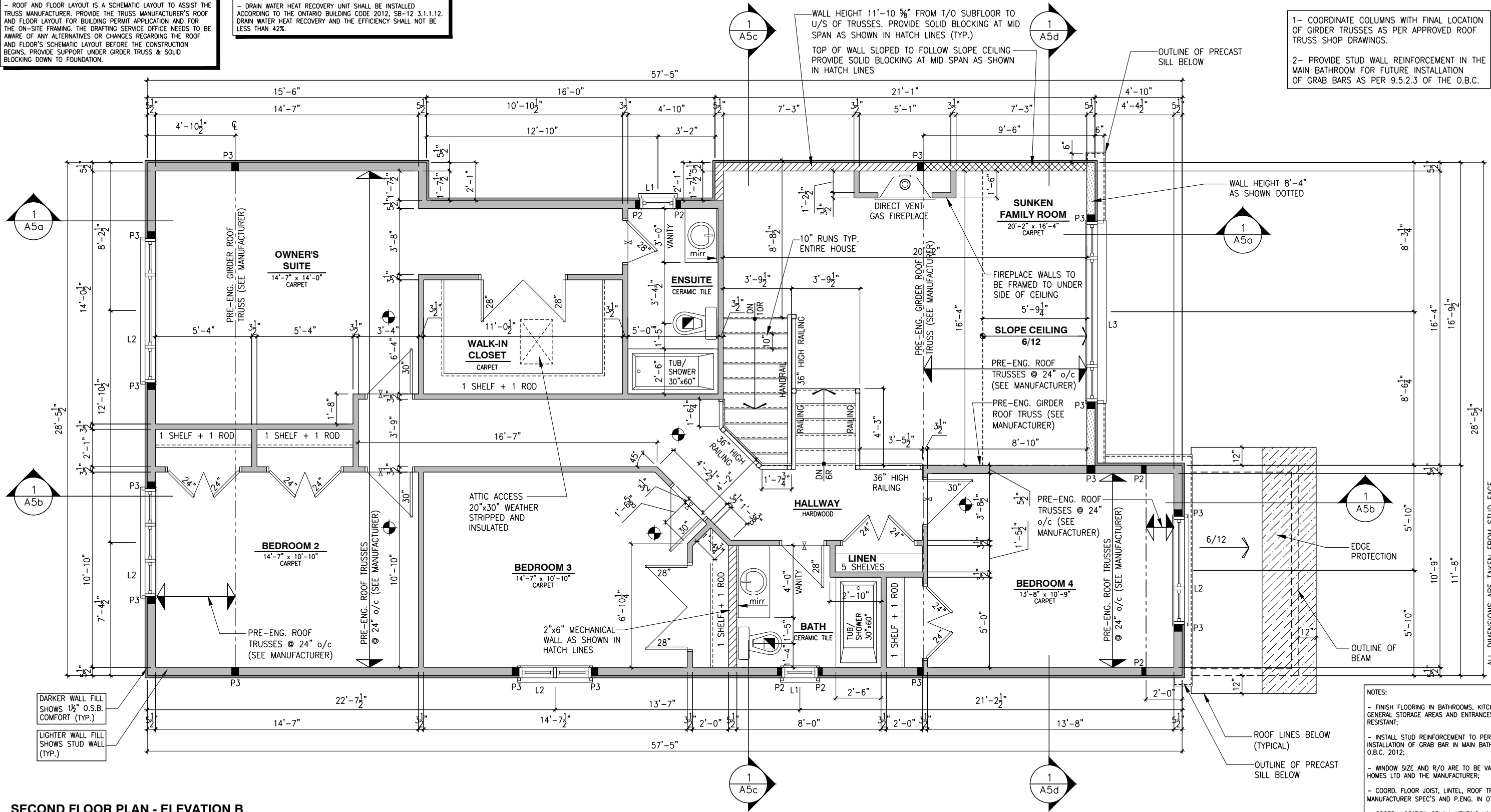
870 - THE DENNISON  
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SHEET: A8b

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SECOND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

NOTES:  
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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION | DATE | BY |
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2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

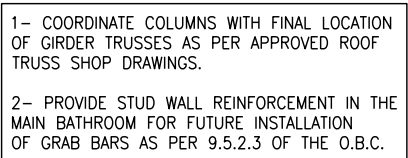
870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A8c

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECFRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECFRAFT HOMES LTD AND MANUFACTURERS.

SCALE:  $3/16" = 1'-0"$



**Valecraft**  
Homes (2019) Limited

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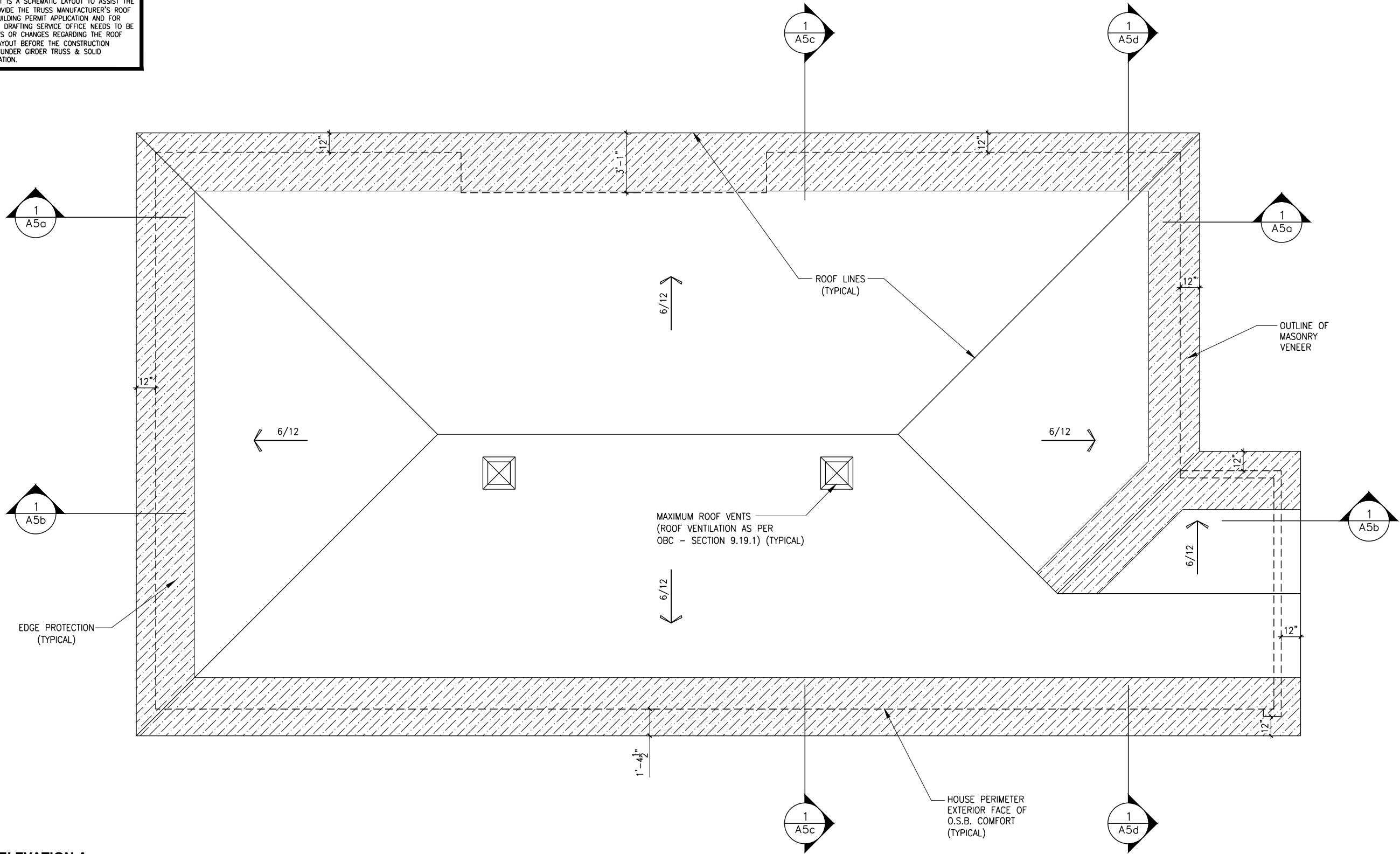
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
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SHEET:

**A8d**

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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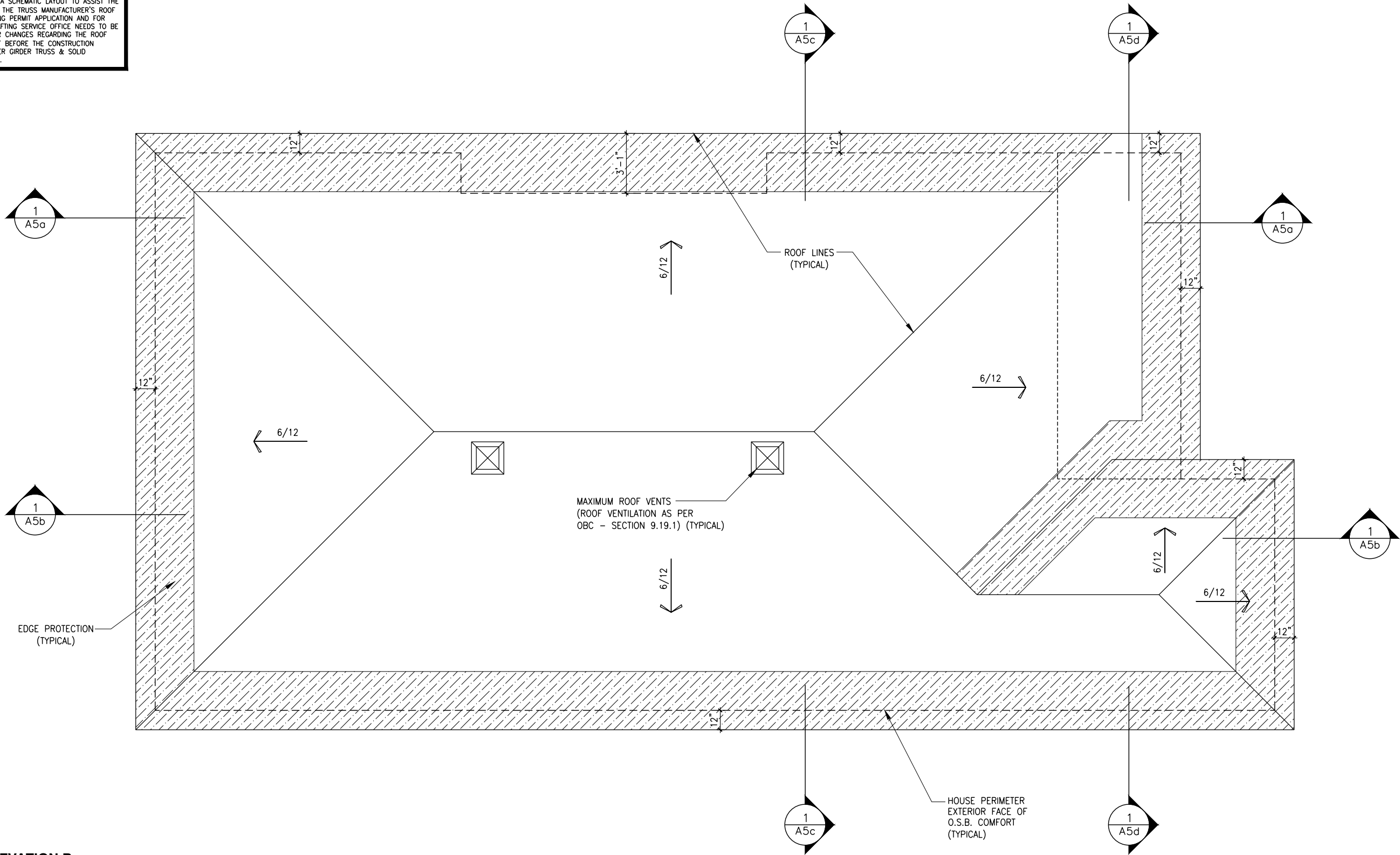
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|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|------------|-------|
| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896                                                                                                                                             |                                |            |       |
| - TARIION REGISTRATION NUMBER #611                                                                                                                                 |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                             |                                |            |       |
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| REV-1                                                                                                                                                              | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                                | DESCRIPTION                    | DATE       | BY    |

| 2012 O.B.C. DRAWINGS              |                      |                  |
|-----------------------------------|----------------------|------------------|
| DRAWING: ROOF PLAN ELEVATION A    |                      |                  |
| ADDRESS: XX                       | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX |
| 870 - THE DENNISON 2023 FOOTPRINT |                      | SHEET: A9a       |
| (STANDARD DRAWINGS)               |                      |                  |

ROOF AND FLOOR LAYOUT NOTES:  
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ROOF PLAN - ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

2012 O.B.C. DRAWINGS

DRAWING: ROOF PLAN  
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

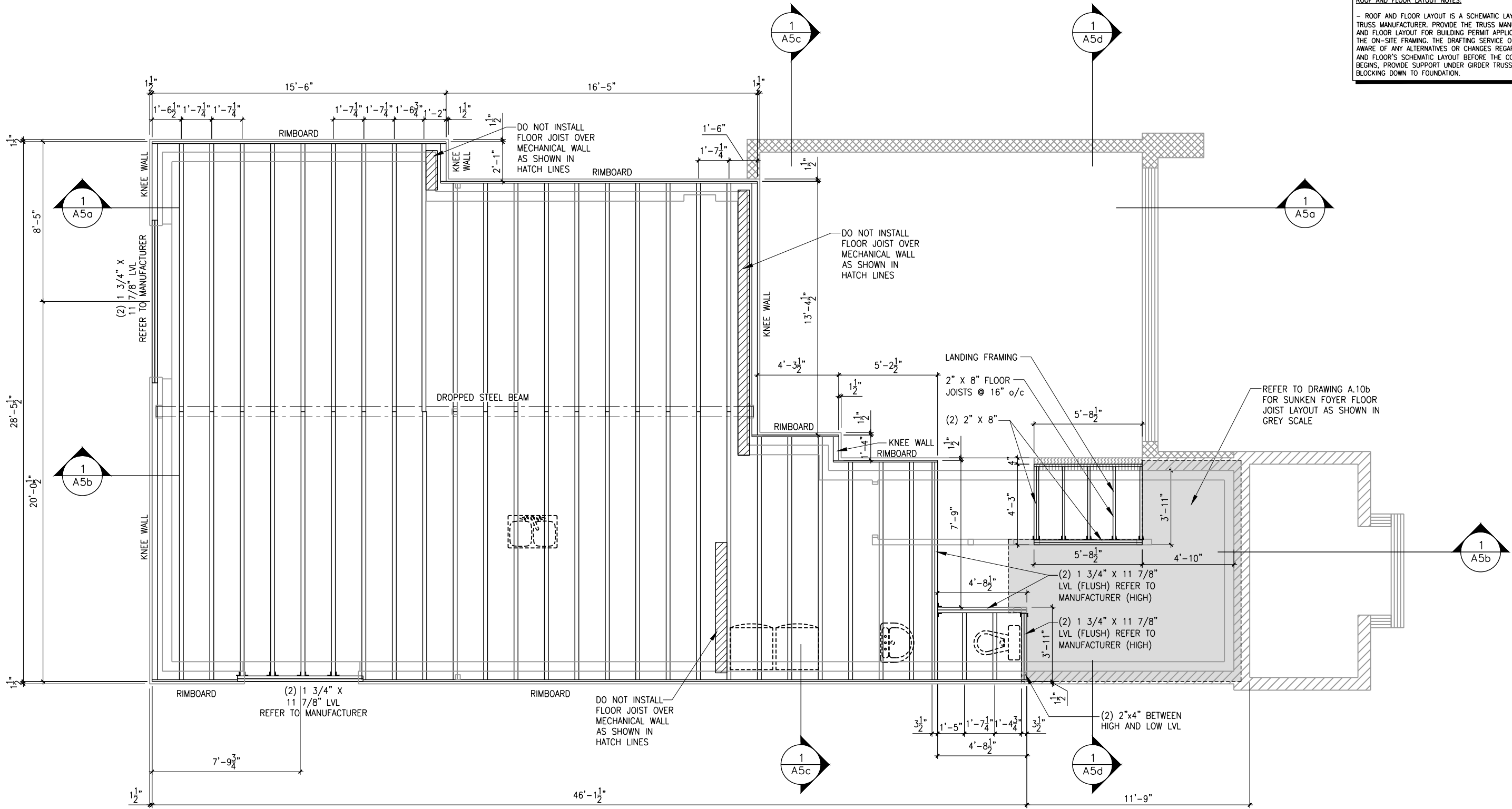
870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A9b

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
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2012 O.B.C. DRAWINGS

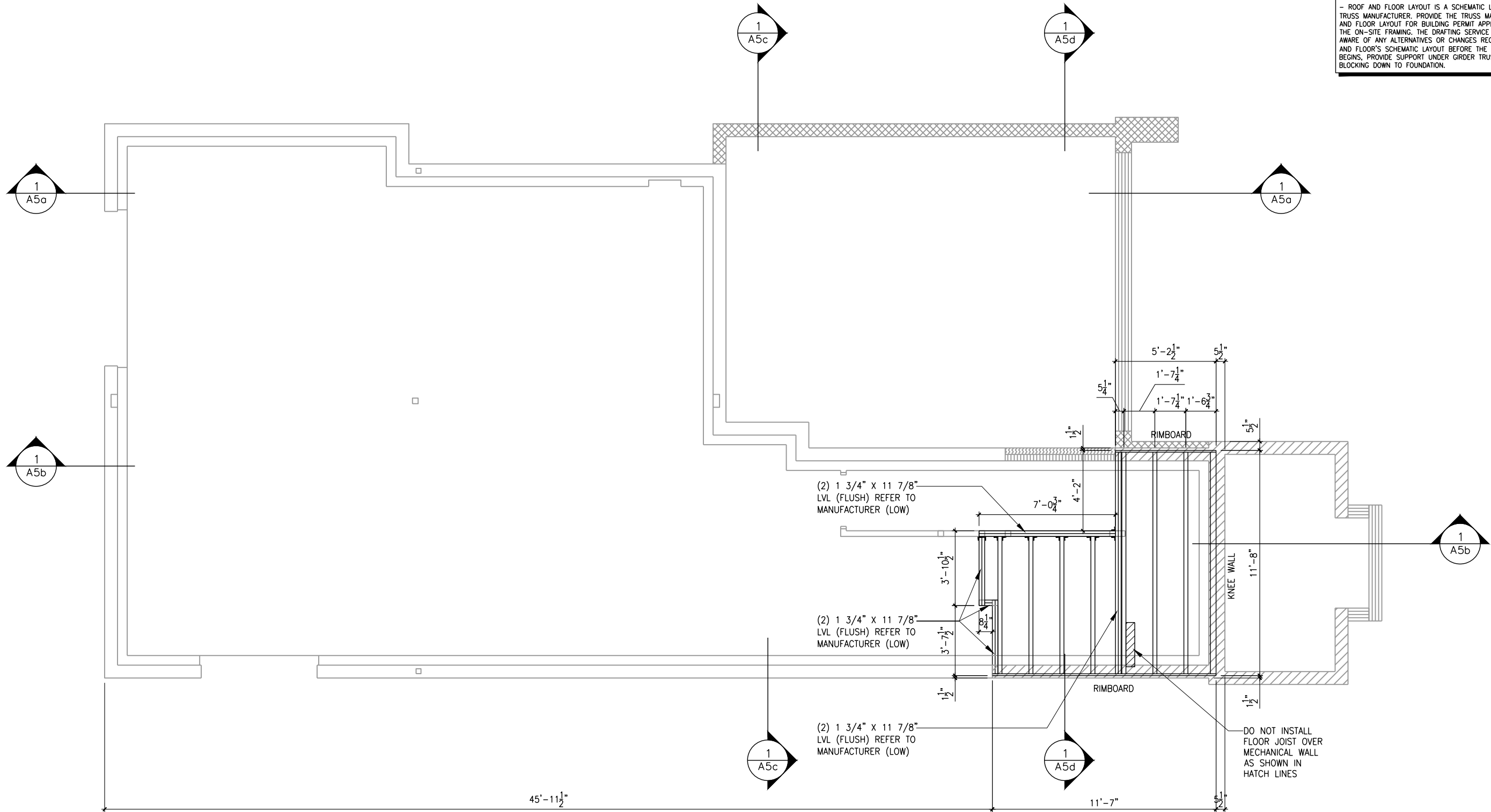
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A10a

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - SUNKEN FOYER - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

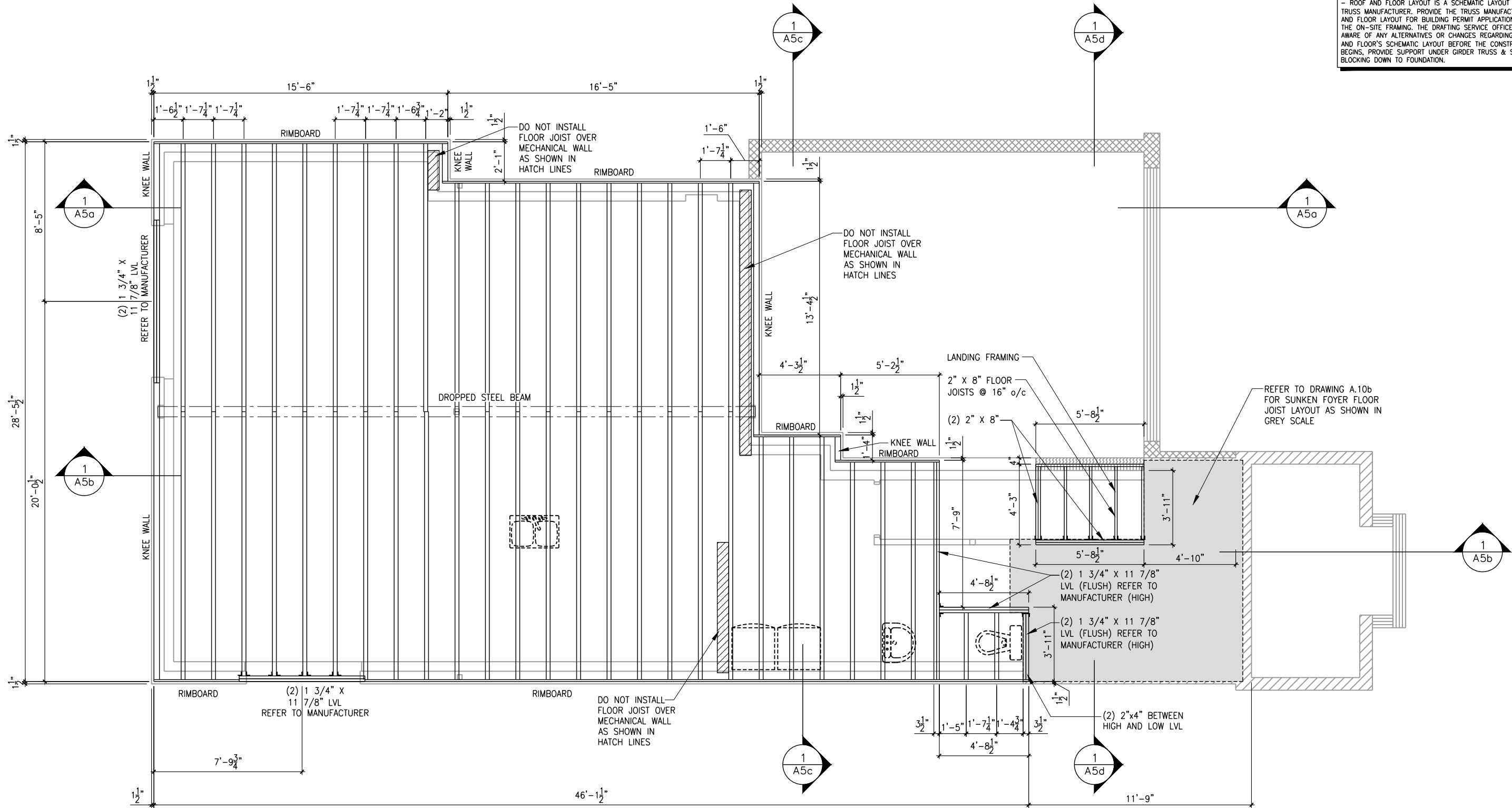
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A10b

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

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DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION B

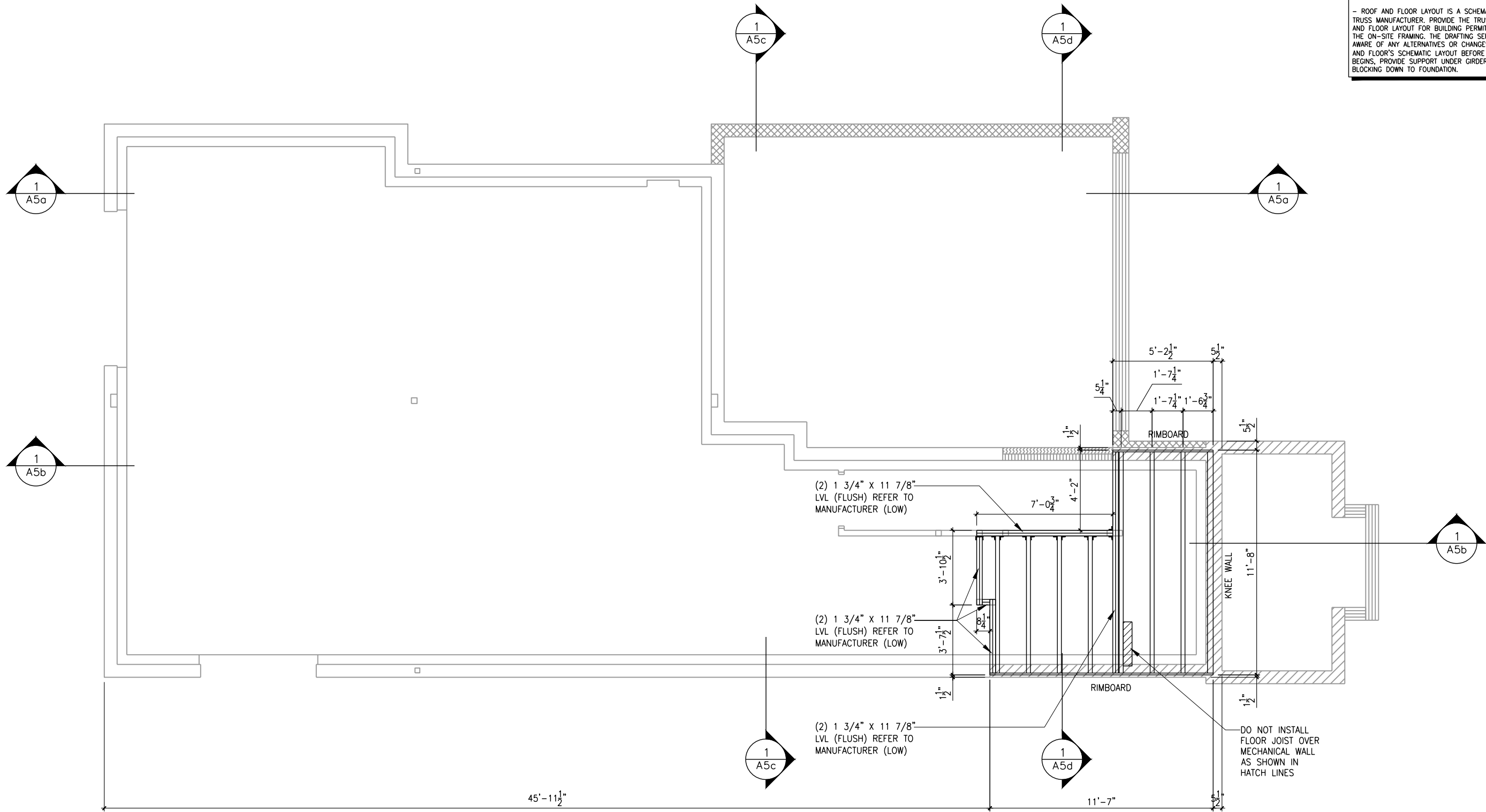
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870 - THE DENNISON  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A10c

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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - SUNKEN FOYER - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

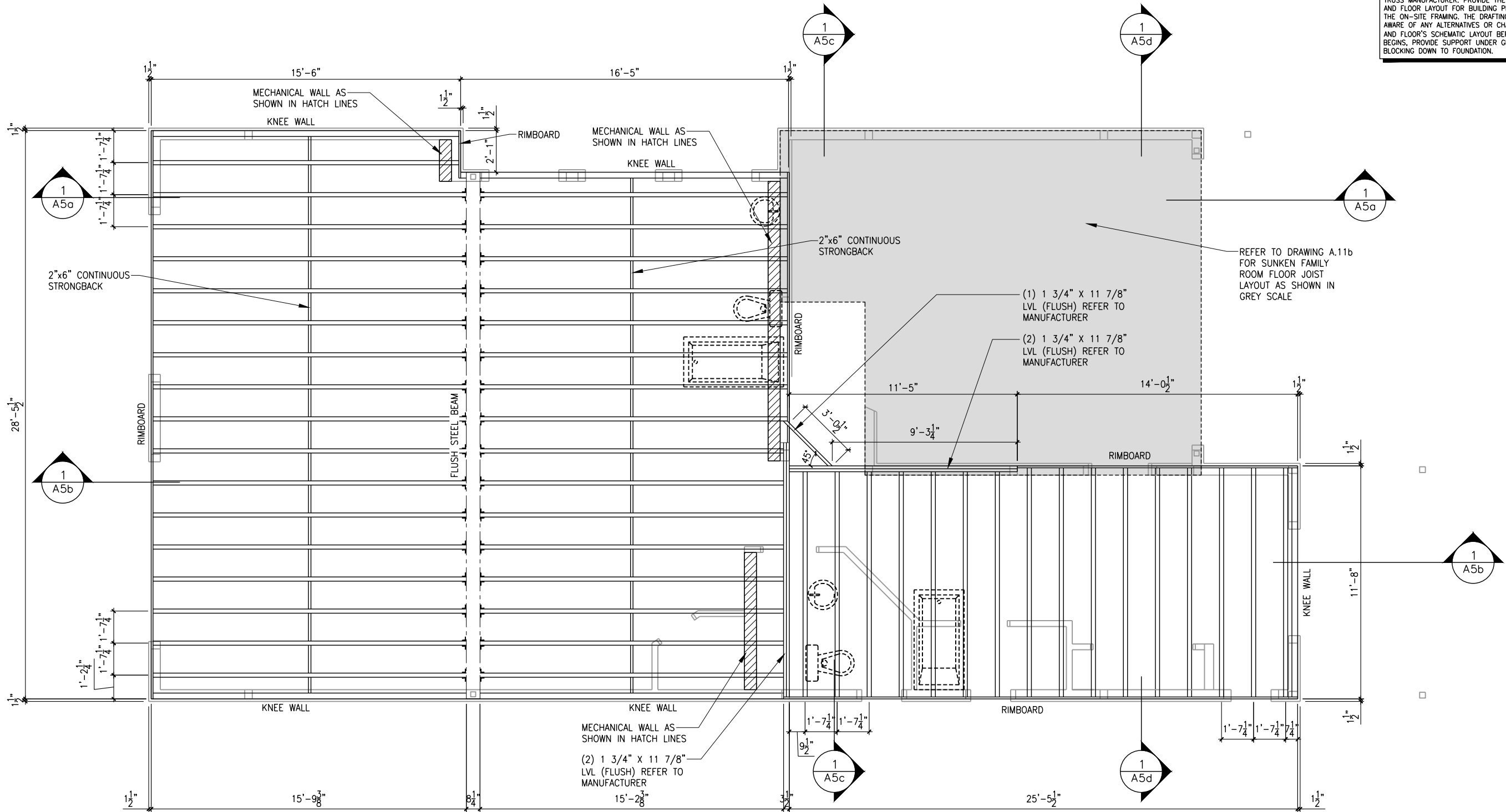
DRAWING: GROUND FLOOR - JOIST LAYOUT - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT  
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SHEET: A10d

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SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B

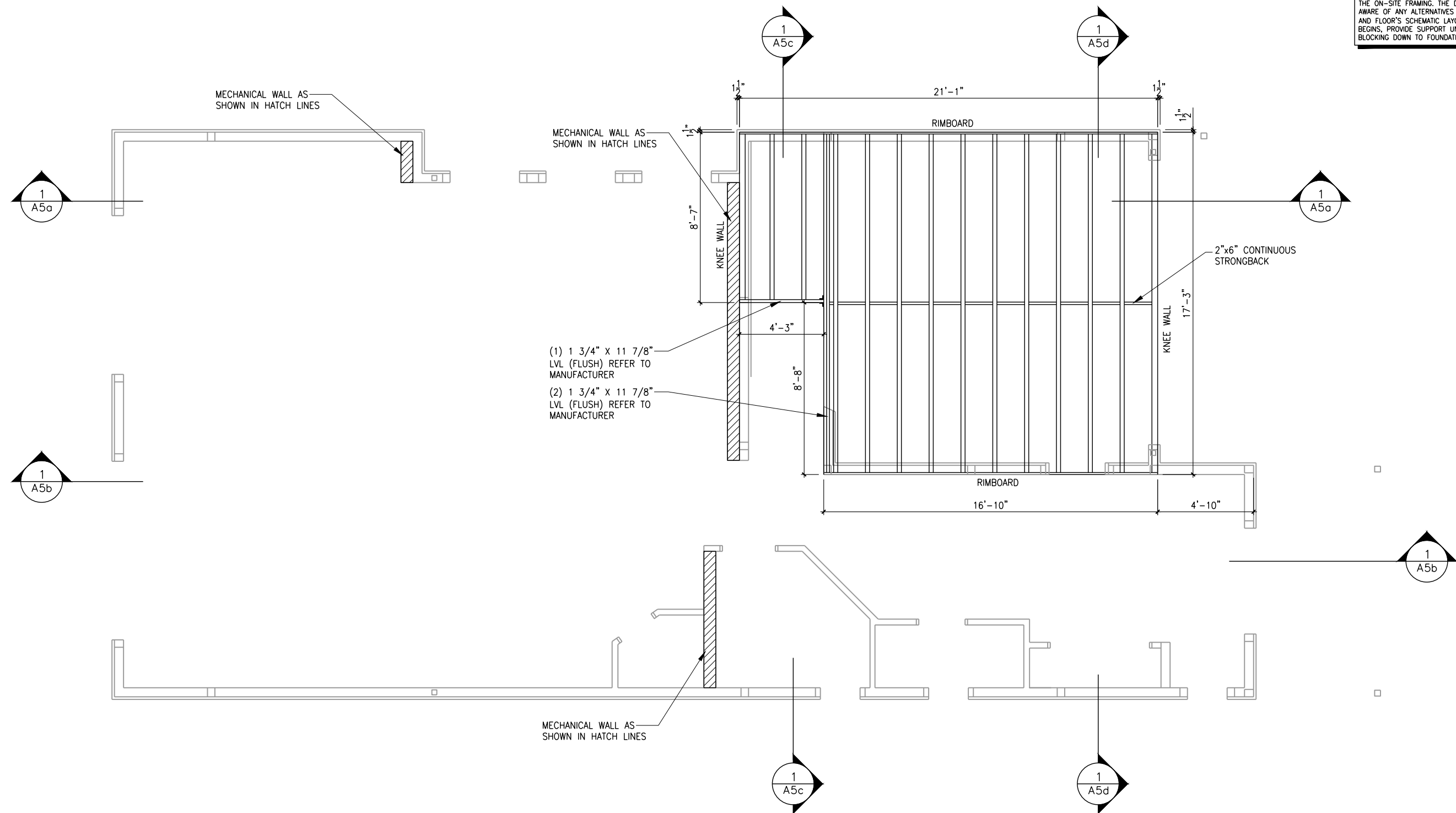
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT

SHEET: A11a

(STANDARD DRAWINGS)

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SCALE: 3/16" = 1'-0"



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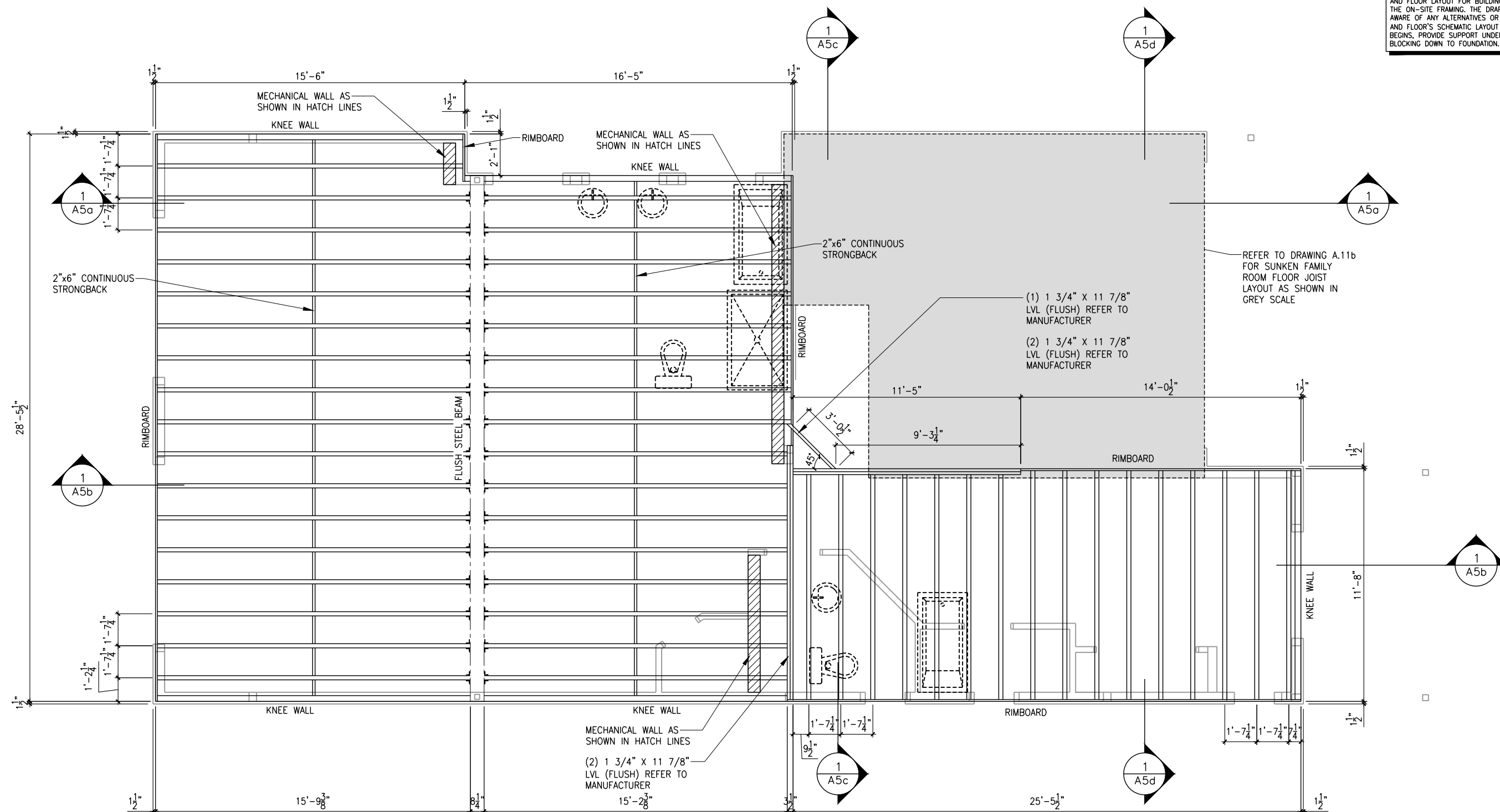
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

## A11b

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SCALE: 3/16" = 1'-0"



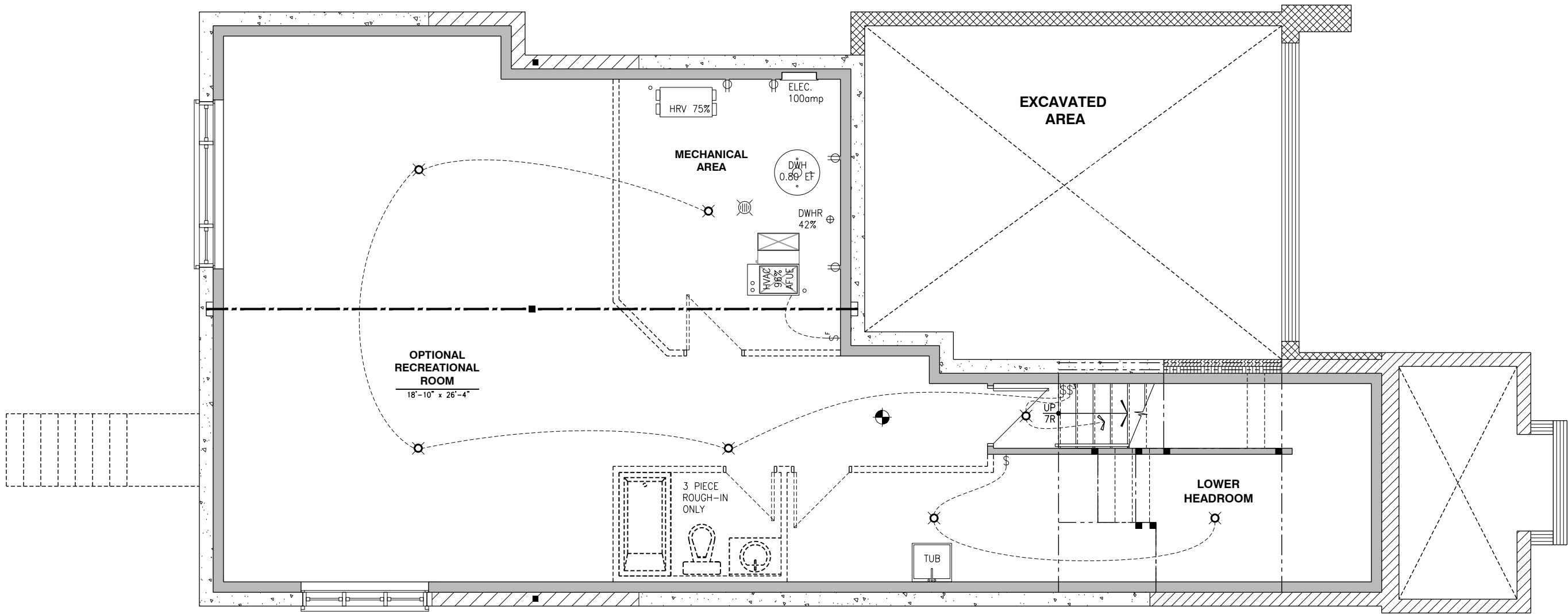
**Valecraft**  
Homes (2019) Limited

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B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALCRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

SHEET:  
**A11c**



**ELECTRICAL PLAN BASEMENT - ELEVATION A**  
SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|------------|-------|
| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896                                                                                                                                             |                                |            |       |
| - TARIION REGISTRATION NUMBER #611                                                                                                                                 |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                             |                                |            |       |
| REV-1                                                                                                                                                              | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                                | DESCRIPTION                    | DATE       | BY    |

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH  
\$<sup>3</sup> 3 WAY SWITCH  
\$<sup>4</sup> 4 WAY SWITCH  
\$<sup>F</sup> FURNACE SWITCH  
\$<sup>FP</sup> FIREPLACE SWITCH  
 DUPLEX OUTLET (12" HIGH)

-  DUPLEX OUTLET (UPPER HALF SWITCH)  
 GFI GROUND FAULT INTERVOLT  
 W/P WEATHER PROOF DUPLEX OUTLET  
 SPLIT OUTLET  
 220 VOLT OUTLET  
 WALL MOUNTED LIGHT FIXTURE

-  CEILING MOUNTED LIGHT FIXTURE  
 POT LIGHT

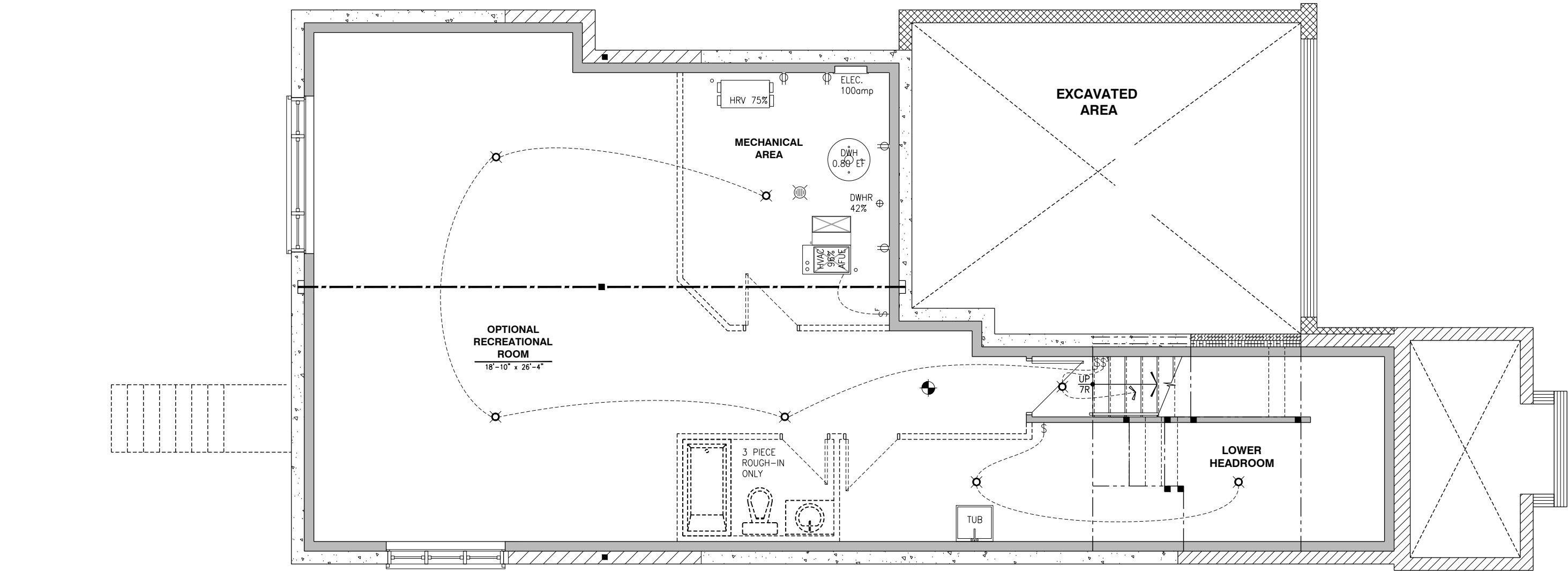
2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN BASEMENT - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

870 - THE DENNISON 2023 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **E1a**



**ELECTRICAL PLAN BASEMENT - ELEVATION B**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION | DATE | BY |
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH
- \$<sup>3</sup> 3 WAY SWITCH
- \$<sup>4</sup> 4 WAY SWITCH
- \$<sup>F</sup> FURNACE SWITCH
- \$<sup>FP</sup> FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)

- DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WFP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE

- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

2012 O.B.C. DRAWINGS

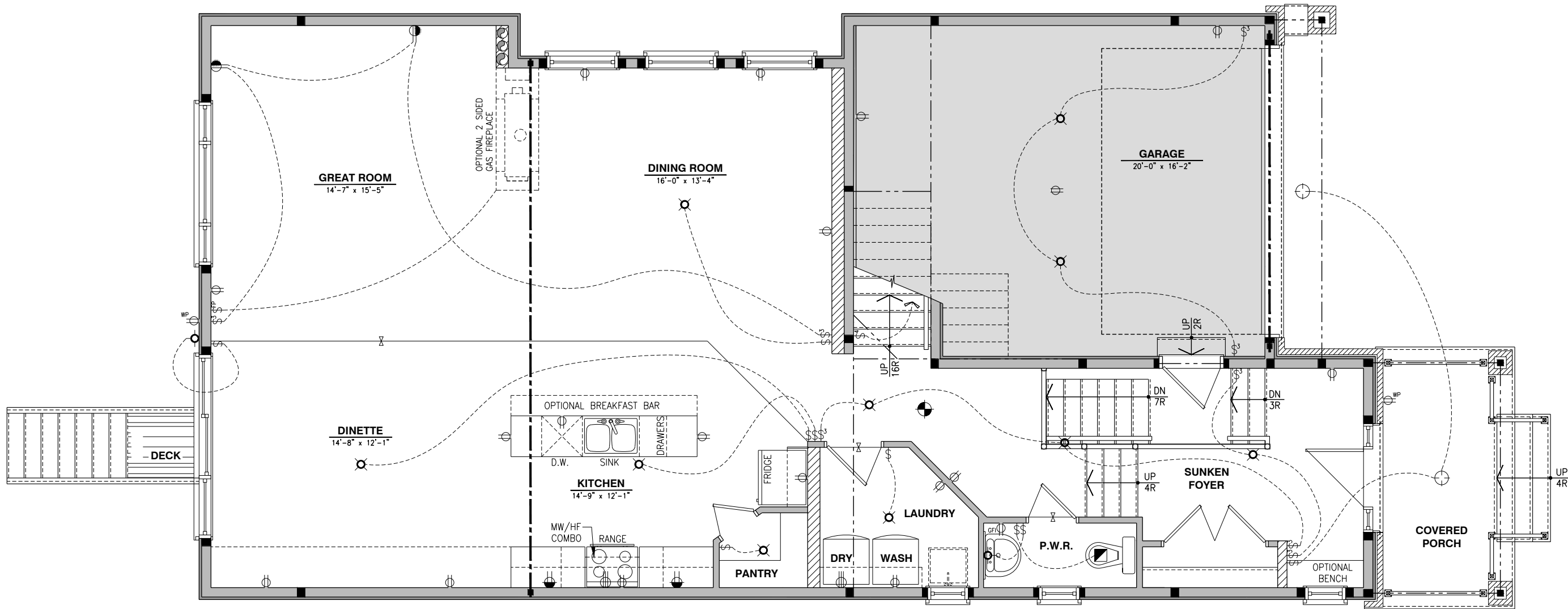
DRAWING: **ELECTRICAL PLAN  
BASEMENT - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**870 - THE DENNISON  
2023 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**E1b**



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| - PERSONAL BCIN #19896                                                                                                                                     |                                |            |       |
| - TARIION REGISTRATION NUMBER #611                                                                                                                         |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                     |                                |            |       |
| REV-1                                                                                                                                                      | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                        | DESCRIPTION                    | DATE       | BY    |

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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- ⚡ SINGLE POLE SWITCH  
⚡ 3 WAY SWITCH  
⚡ 4 WAY SWITCH  
⚡ FURNACE SWITCH  
⚡ FIREPLACE SWITCH  
⚡ DUPLEX OUTLET (12" HIGH)

- ⚡ DUPLEX OUTLET (UPPER HALF SWITCH)  
⚡ GFI GROUND FAULT INTERVOLT  
⚡ WP WEATHER PROOF DUPLEX OUTLET  
⚡ SPLIT OUTLET  
⚡ 220 VOLT OUTLET  
⚡ WALL MOUNTED LIGHT FIXTURE

- ☼ CEILING MOUNTED LIGHT FIXTURE  
☼ POT LIGHT

2012 O.B.C. DRAWINGS

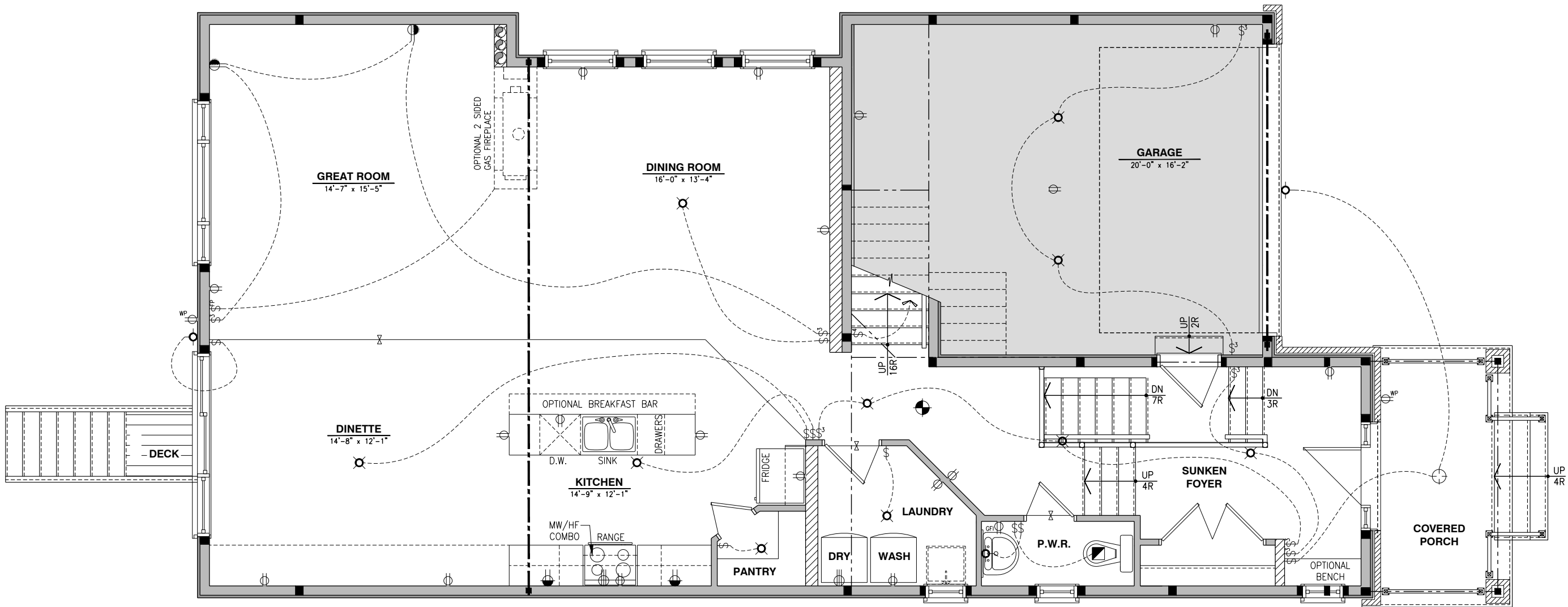
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
E2a



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

Valecraft  
Homes (2019) Limited

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| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                             |                                |            |       |
| REV-1                                                                                                                                                              | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                                | DESCRIPTION                    | DATE       | BY    |

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☼ POT LIGHT

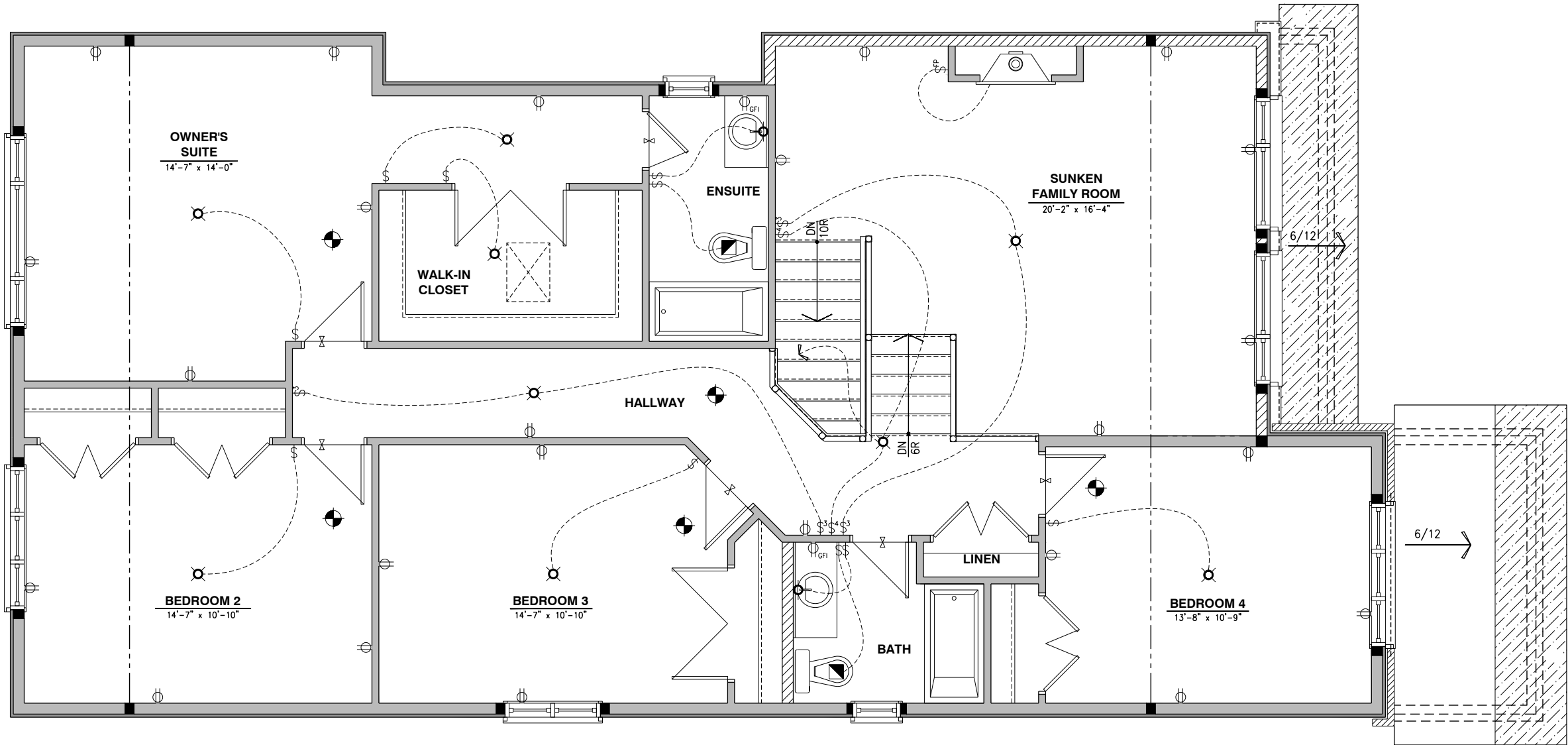
2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

870 - THE DENNISON  
2023 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E2b



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- ⊕ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN  
SECOND FLOOR - ELEVATION A**

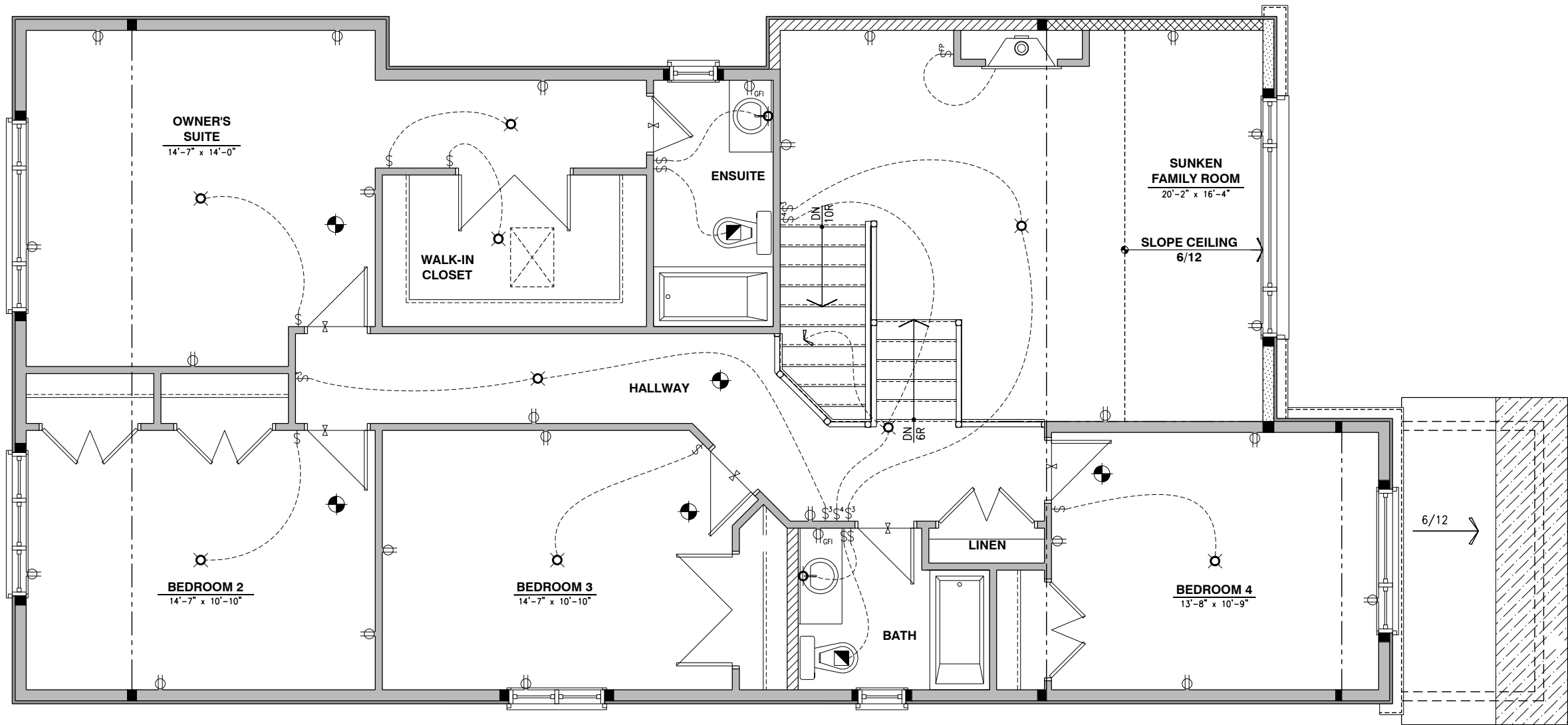
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**870 - THE DENNISON  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**E3a**



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| - TARIION REGISTRATION NUMBER #611                                                                                                                                 |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **                                                                                                             |                                |            |       |
| REV-1                                                                                                                                                              | NEW STANDARD DRWG MODIFICATION | 11/20/2023 | DOYON |
| NO.                                                                                                                                                                | DESCRIPTION                    | DATE       | BY    |

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- ☼ CEILING MOUNTED LIGHT FIXTURE  
⊕ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN  
SECOND FLOOR - ELEVATION B**

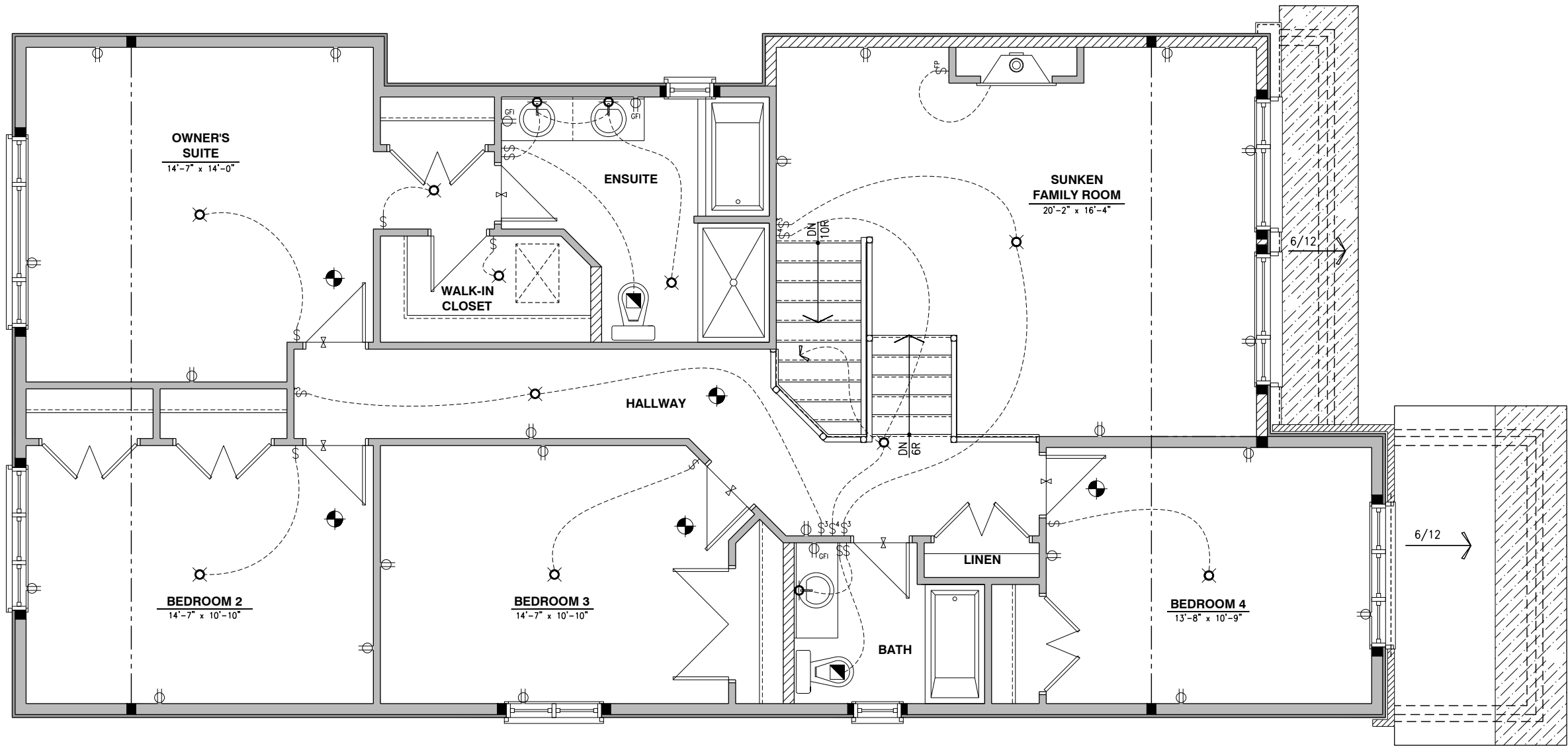
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**E3b**



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- \$ SINGLE POLE SWITCH
- \$<sup>3</sup> 3 WAY SWITCH
- \$<sup>4</sup> 4 WAY SWITCH
- \$<sup>F</sup> FURNACE SWITCH
- \$<sup>FP</sup> FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)

- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚<sup>GFI</sup> GROUND FAULT INTERVOLT
- ⌚<sup>WP</sup> WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE

- ☼ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN**  
**SECOND FLOOR - ELEVATION A**

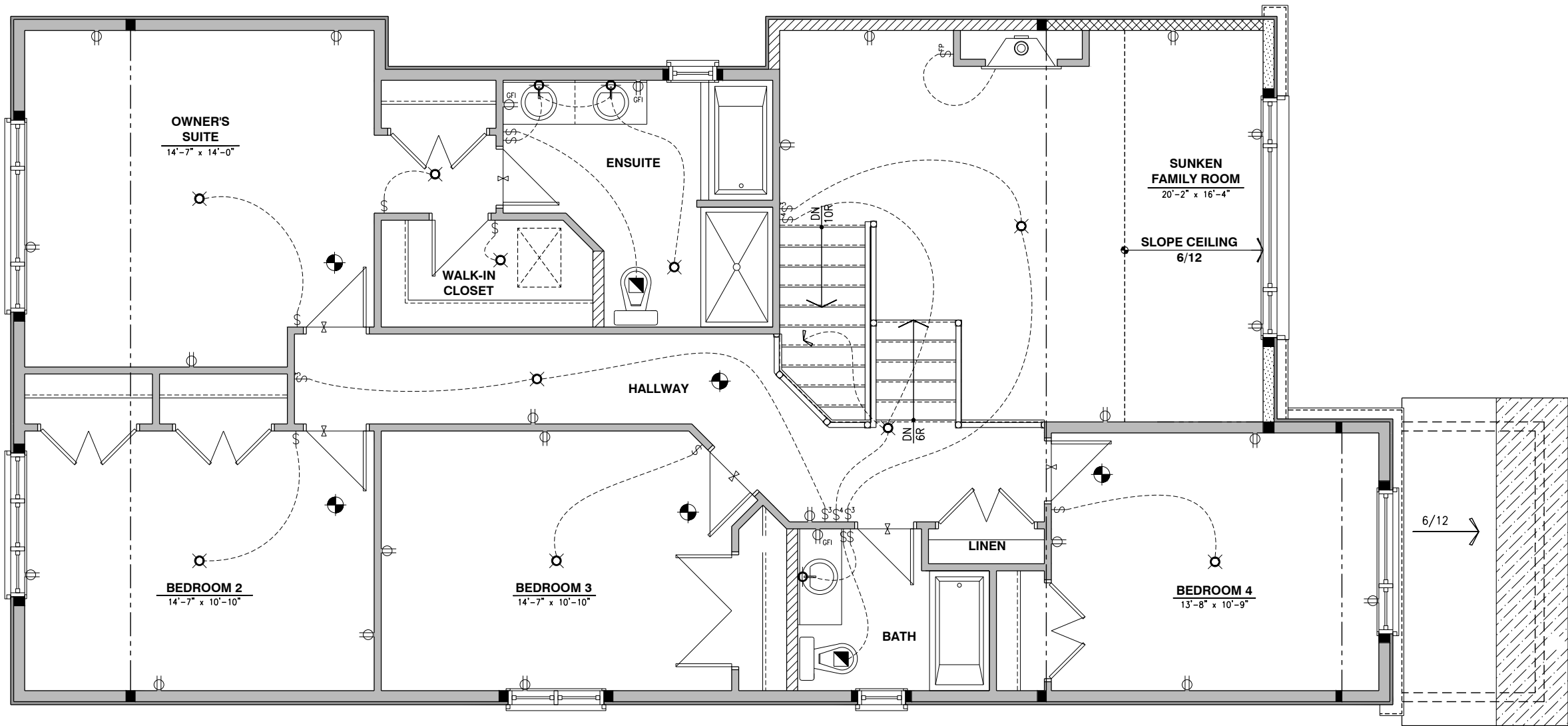
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON**  
**2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**E3c**



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION | DATE | BY |
|-------|-----|-------------|------|----|
|       |     |             |      |    |
|       |     |             |      |    |
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- ☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
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- ☐ SPLIT OUTLET
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- ☐ WALL MOUNTED LIGHT FIXTURE

- ☼ CEILING MOUNTED LIGHT FIXTURE
- ☐ POT LIGHT

2012 O.B.C. DRAWINGS

DRAWING: **ELECTRICAL PLAN  
SECOND FLOOR - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**870 - THE DENNISON  
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**E3d**