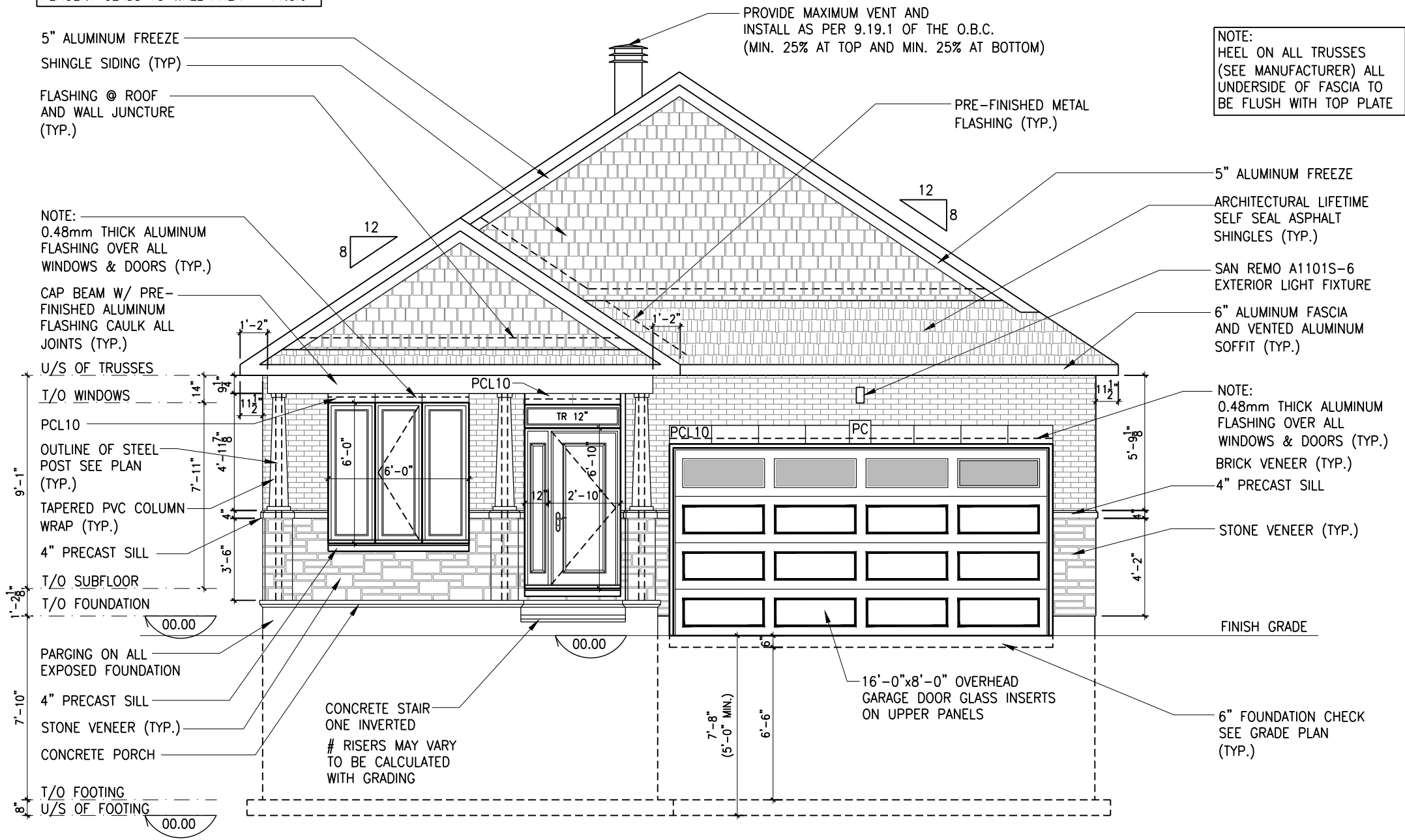


STANDARD PLAN:  
  
GROSS INSULATED = 190.7 M. SQ.  
WALL AREA  
  
GROSS WINDOW = 21.6 M. SQ.  
AREA  
  
PERCENT GLASS TO WALL AREA = 11.3%



NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.1a**

FRONT ELEVATION A  
SCALE: 3/16" = 1'-0"



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

NOTE:—  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

— PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

— ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

— 6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

6" ALUMINUM FASCIA—  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

CAP BEAM W/ PRE-  
FINISHED ALUMINUM  
FLASHING CAULK ALL  
JOINTS (TYP.)

## U/S OF TRUSSES

T/O WINDOWS \_\_\_\_\_  
BRICK VENEER (TYP.)

OUTLINE OF STEEL  
POST SEE PLAN  
(TYP.)

TAPERED PVC COLUMN  
WRAP (TYP.)

4" PRECAST SILL-

STONE VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

FINISH GRADE 00.00

CONCRETE PORCH

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE – 61.5 m. sq.  
AREA OF UNPROTECTED OPENINGS – 2.5 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS – 4 %

PARGING ON ALL —  
EXPOSED FOUNDATION

— VINYL HORIZONTAL  
SIDING (TYP.)

VINYL CORNER —  
TRIM (TYP.)

T/O FOOTING  
U/S OF FOOTING

**RIGHT ELEVATION A**

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**DRAWING:**

**RIGHT ELEVATION A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

## A.2a



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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ARCHITECTURAL DEPARTMENT

NO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCI 10 - 10" PRECAST LINTE

PROVIDE MAXIMUM VENT AND \_\_\_\_\_  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE: 0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

VINYL HORIZONTAL  
SIDING (TYP.)

6" ALUMINUM FASCIA—  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

## U/S OF TRUSSES

T/O WINDOWS

VINYL CORNER  
TRIM (TYP.)

T/O SUBFLOOR  
T/O FOUNDATION

PATIO STONE—  
# RISERS MAY VARY  
TO BE CALCULATED  
WITH GRADING

T/O FOOTING  
U/S OF FOOTING  
00.00

- PRESSURE TREATED  
WOOD DECK ON STEEL  
ANGLE BOLTED TO  
FOUNDATION. EXTERIOR  
GUARDS SEE CANTILEVERED  
PICKET DETAIL ED-1 (SB-7)  
AND DETAIL ED-2 (S-B7)

— PROVIDE G.I. METAL AREAWAY  
2" ABOVE FINISHED GRADE &  
DRAIN TO WEEPER TILE.  
INSURE A CLEAR DISTANCE  
OF 22" FROM BUILDING FACE  
TO INSIDE OF WINDOW WELL.  
(TYP.) (SEE DETAIL SP-24)

- DRAINAGE ON ALL EXPOSED FOUNDATION

<p>UNPROTECTED OPENINGS:  PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  AREA OF EXPOSED BUILDING FACE - 56.5 m. sq.  AREA OF UNPROTECTED OPENINGS - 2.57 m. sq.  PERCENTAGE OF UNPROTECTED OPENINGS - 4.5 %</p>
--

BRICK VENEER (TYPE)

TAPERED PVC COLUMN  
WRAP (TYP.)

4" PRECAST SILL

STONE VENEER (TYP.)

CONCRETE PORCH-

SCALE:  $\frac{3}{16}'' = 1'-0''$

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**DRAWING:**

**LEFT ELEVATION A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

### A.3a

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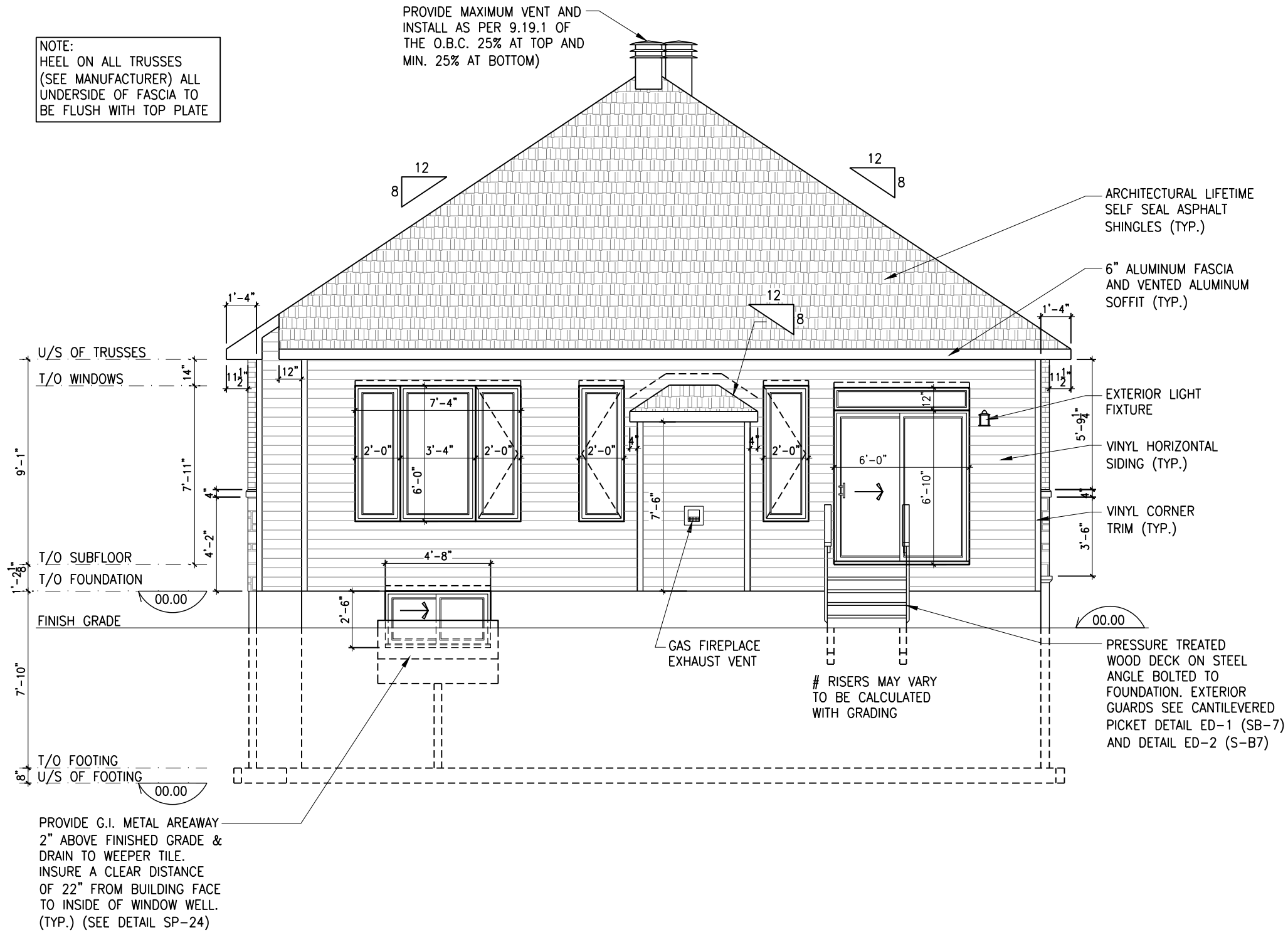
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL



REAR ELEVATION A  
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: REAR ELEVATION A			
ADDRESS:	SCALE:	DATE:	
XX	3/16" = 1'-0"	XX/XX/XXXX	
1015 - THE MURRY 2022 FOOTPRINT (STANDARD DRAWINGS)			SHEET: A.4a

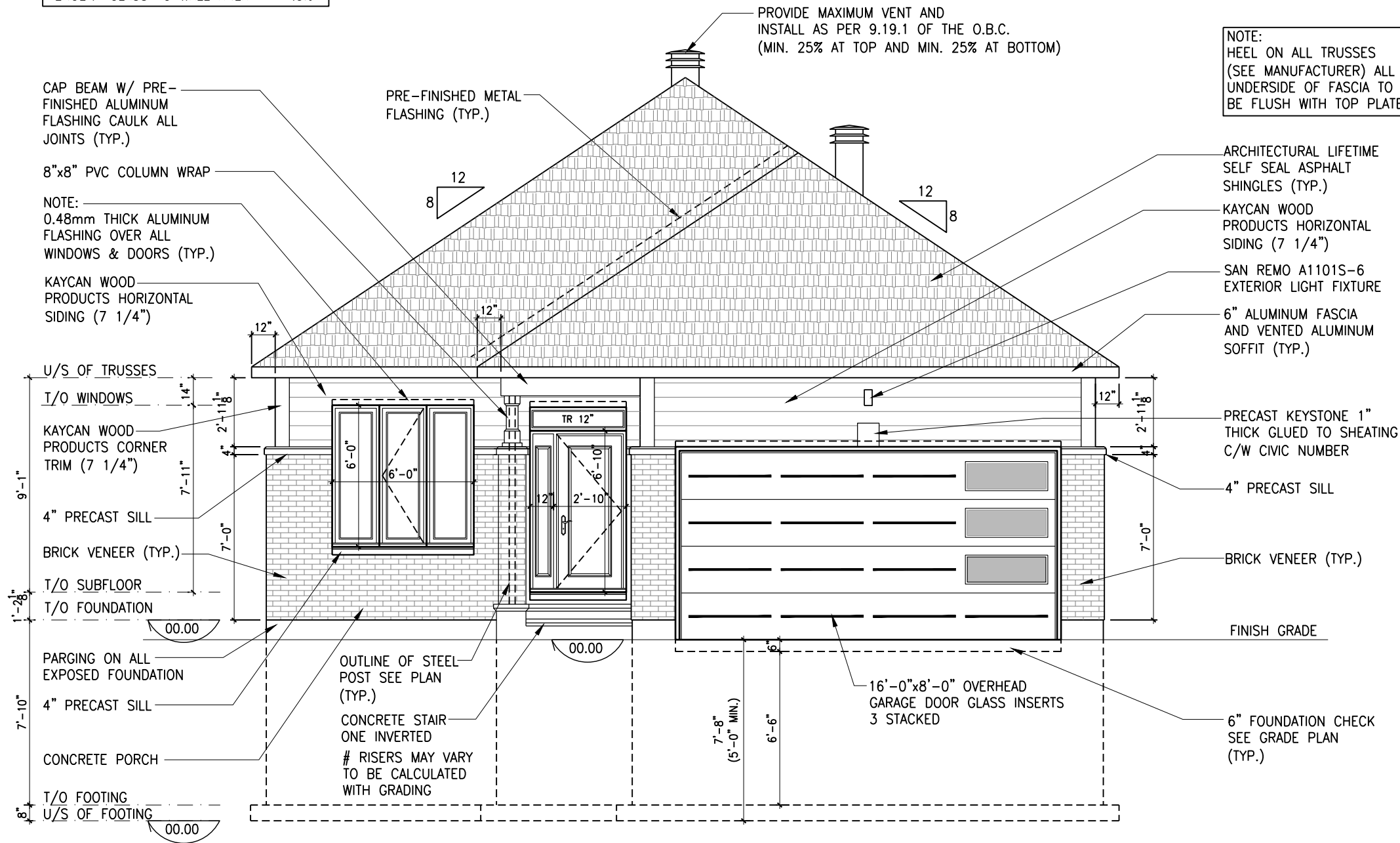


STANDARD PLAN:

GROSS INSULATED = 190.7 M. SQ.  
WALL AREA

GROSS WINDOW = 21.6 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 11.3%



FRONT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

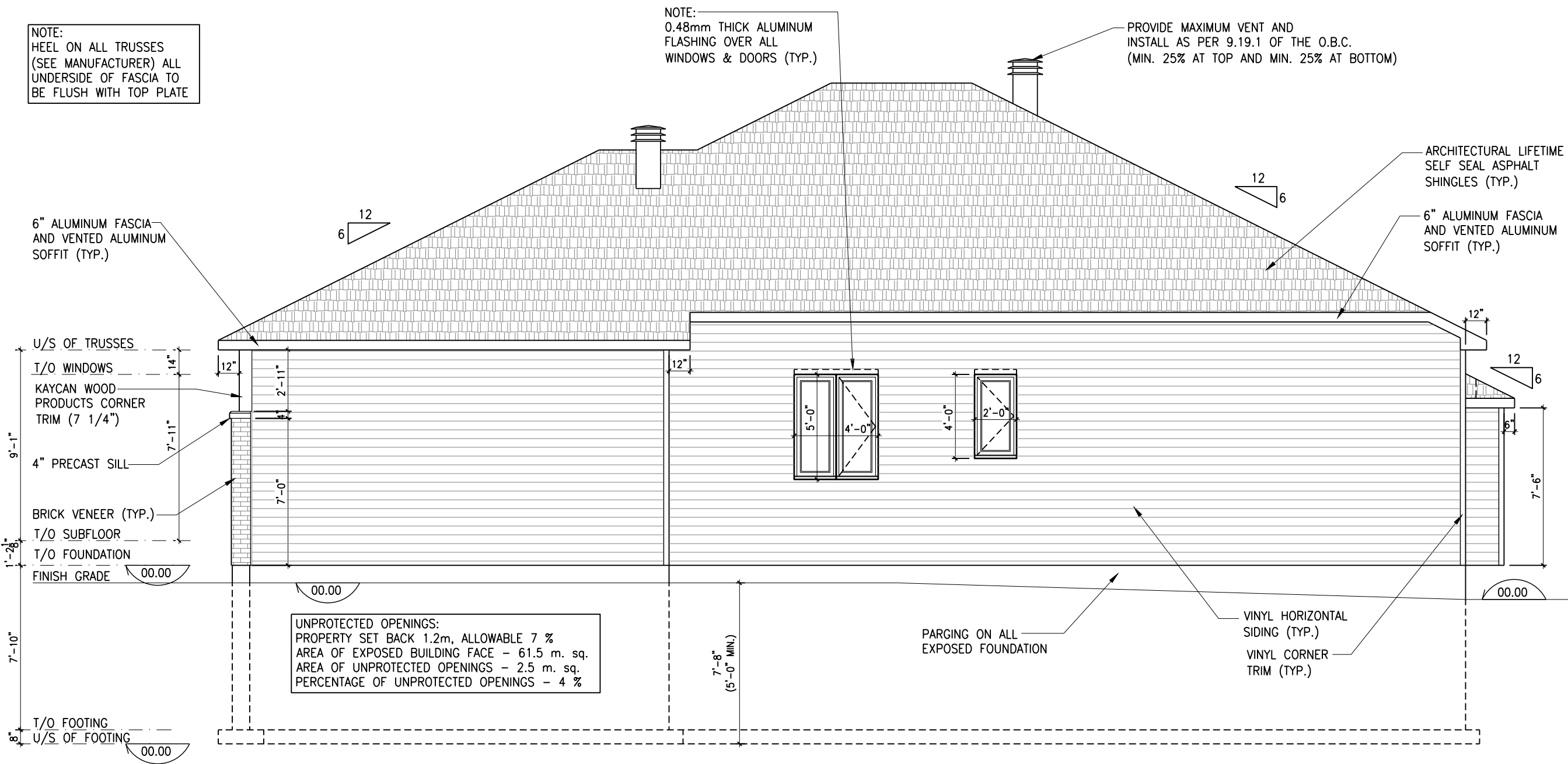

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

FRONT ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.1b**



**RIGHT ELEVATION B**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited  
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PCL10 - 10" PRECAST LINTEL

**2012 O.B.C. DRAWINGS**

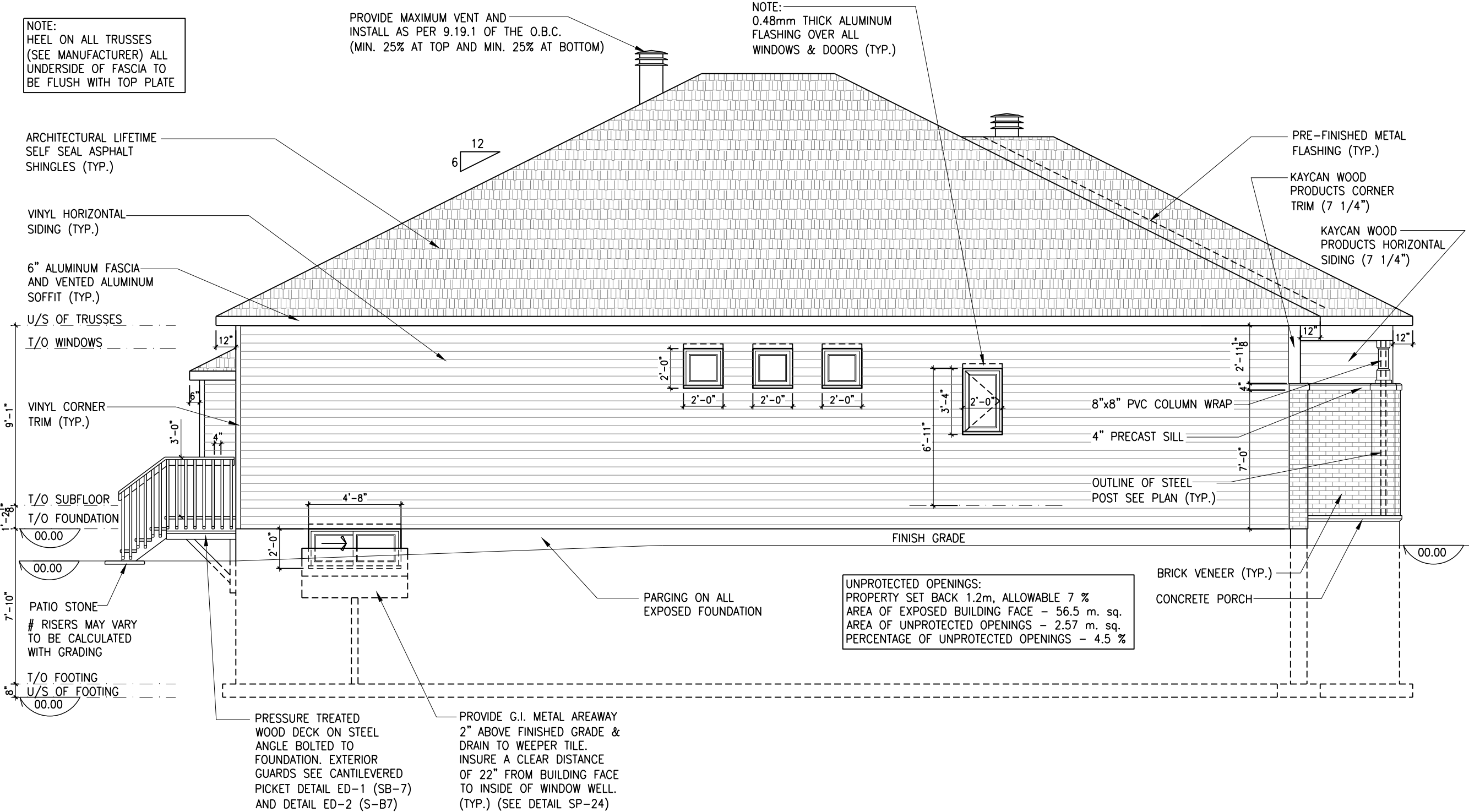

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**RIGHT ELEVATION B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.2b**



LEFT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING:

LEFT ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

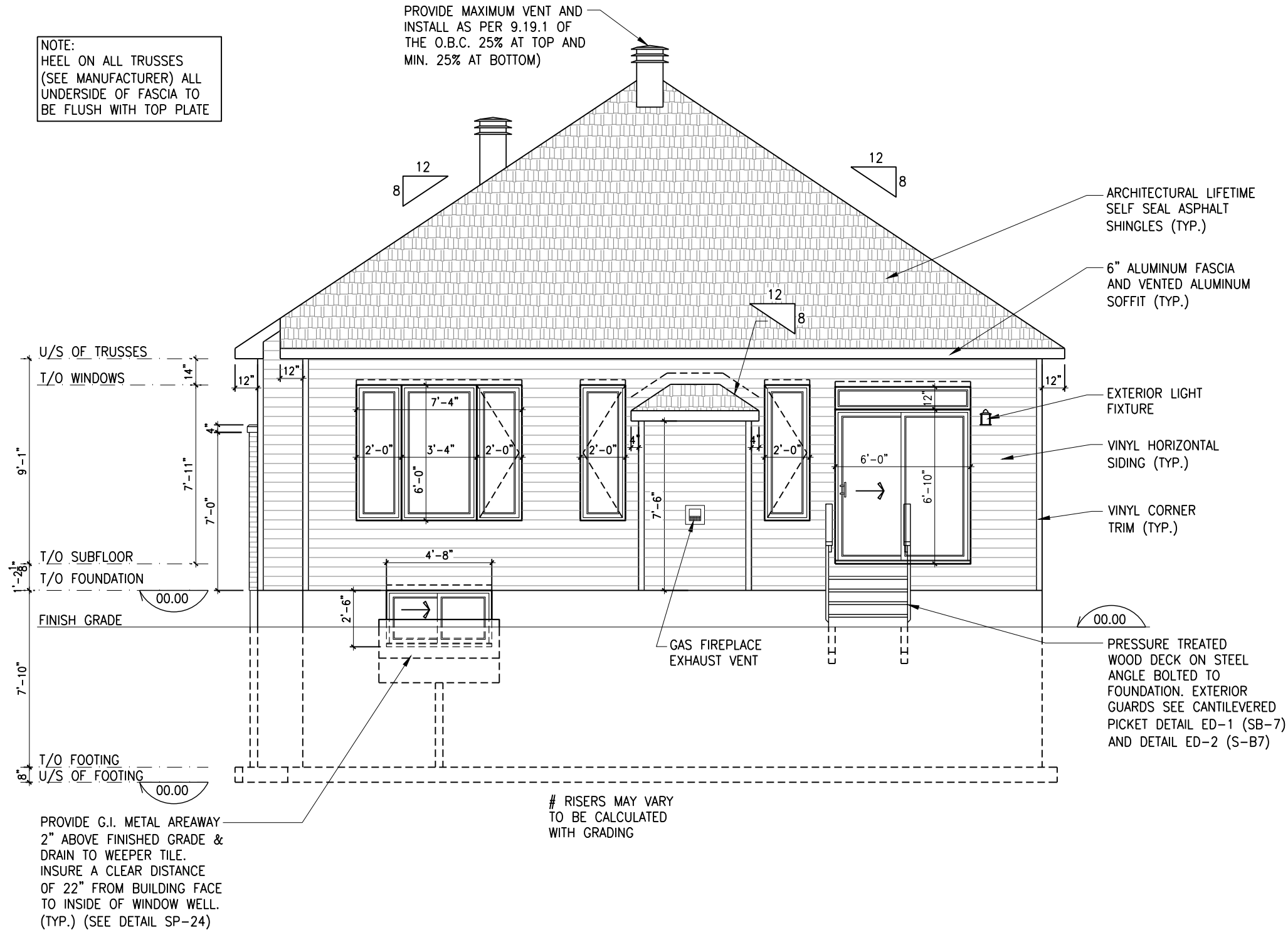
1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A.3b

REAR ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION B

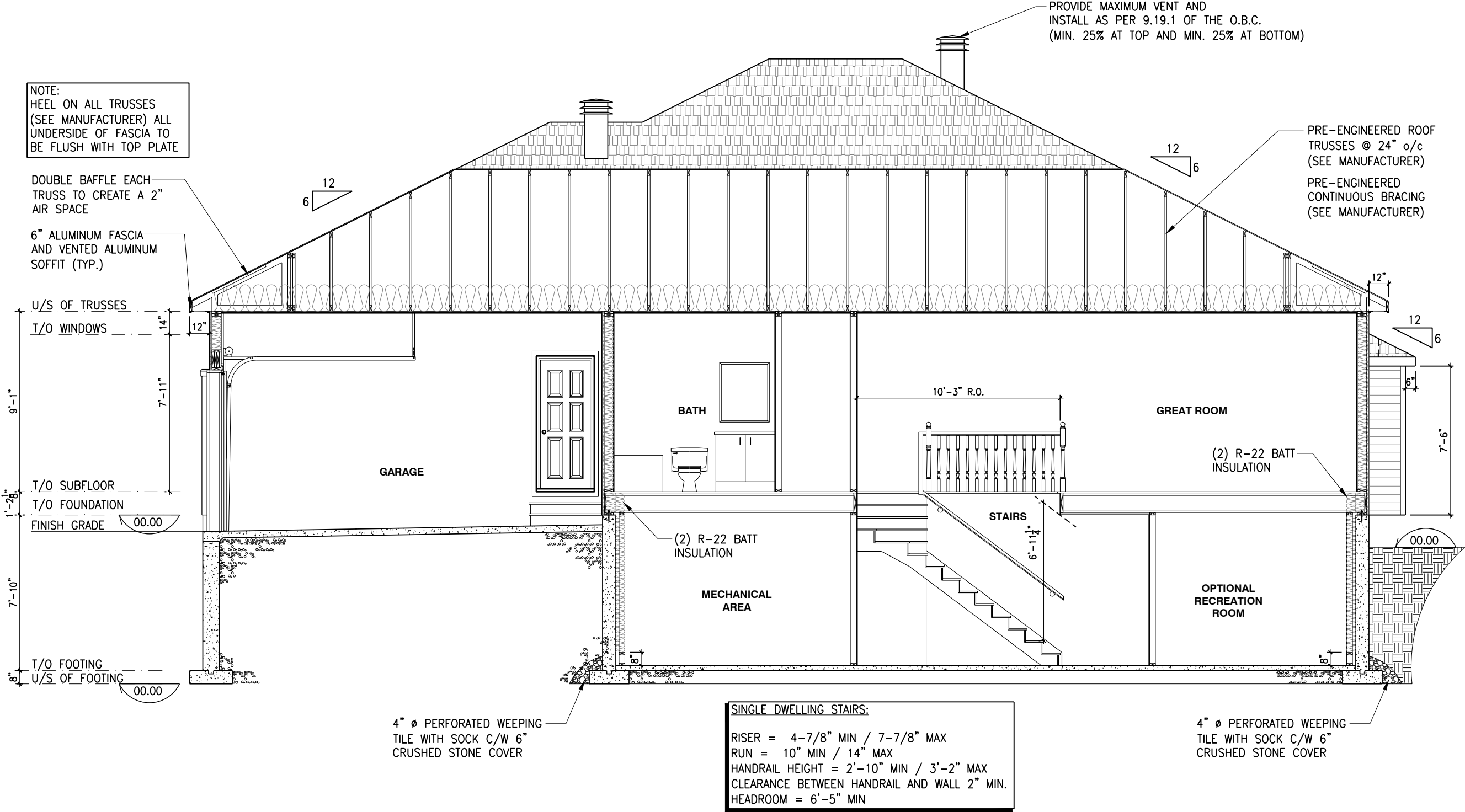
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.4b**

**BUILDING SECTION ELEVATION B**

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION  
ELEVATION B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.5**

FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.

PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	40"x40"x10" W/ 3-15M 34" LG. E/W	44"x44"x10" W/ 3-15M 38" LG E/W	48"x48"x10" W/ 4-15M 42" LG E/W	50"x50"x10" W/ 4-15M 44" LG E/W
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

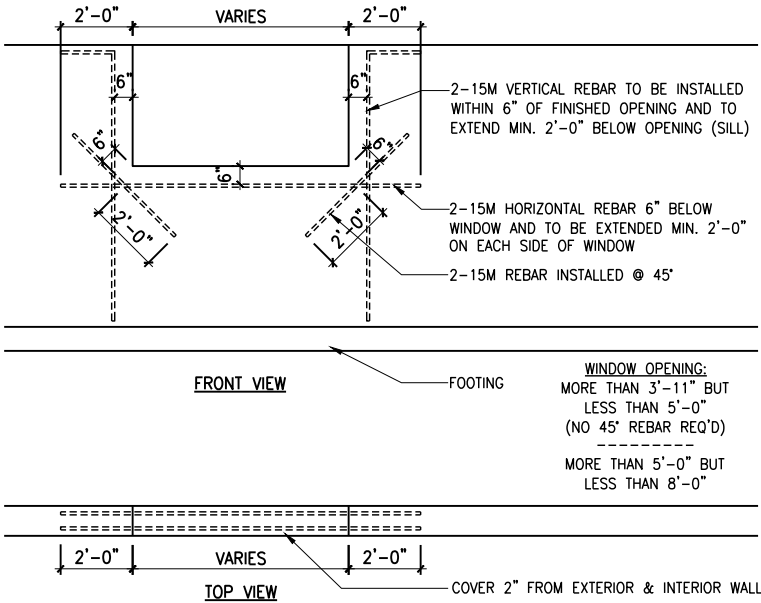
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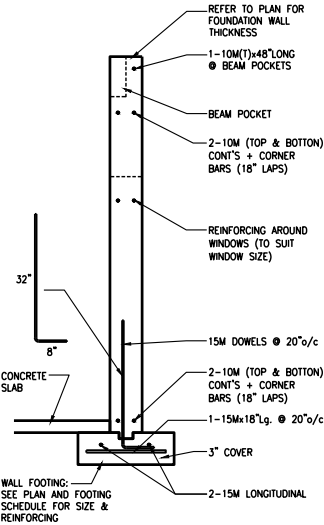
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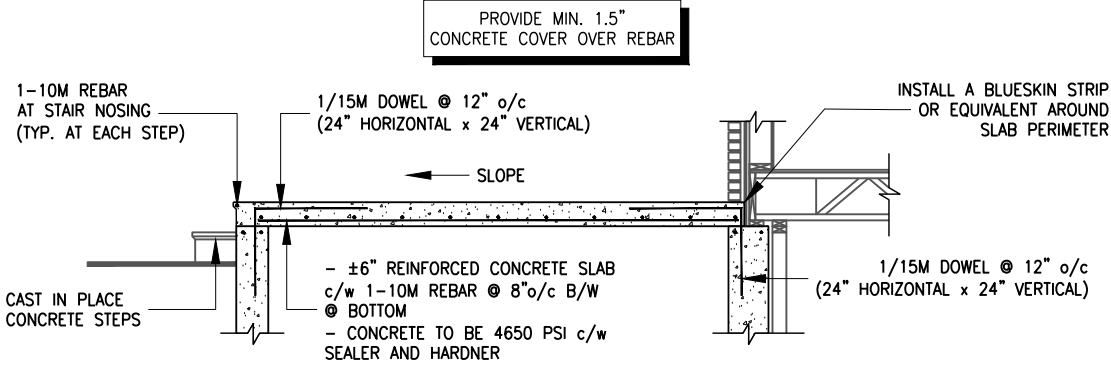
THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



1 BASEMENT WINDOW REINFORCING  
A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING  
A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING  
A.6 SCALE: 1/4" = 1'-0"

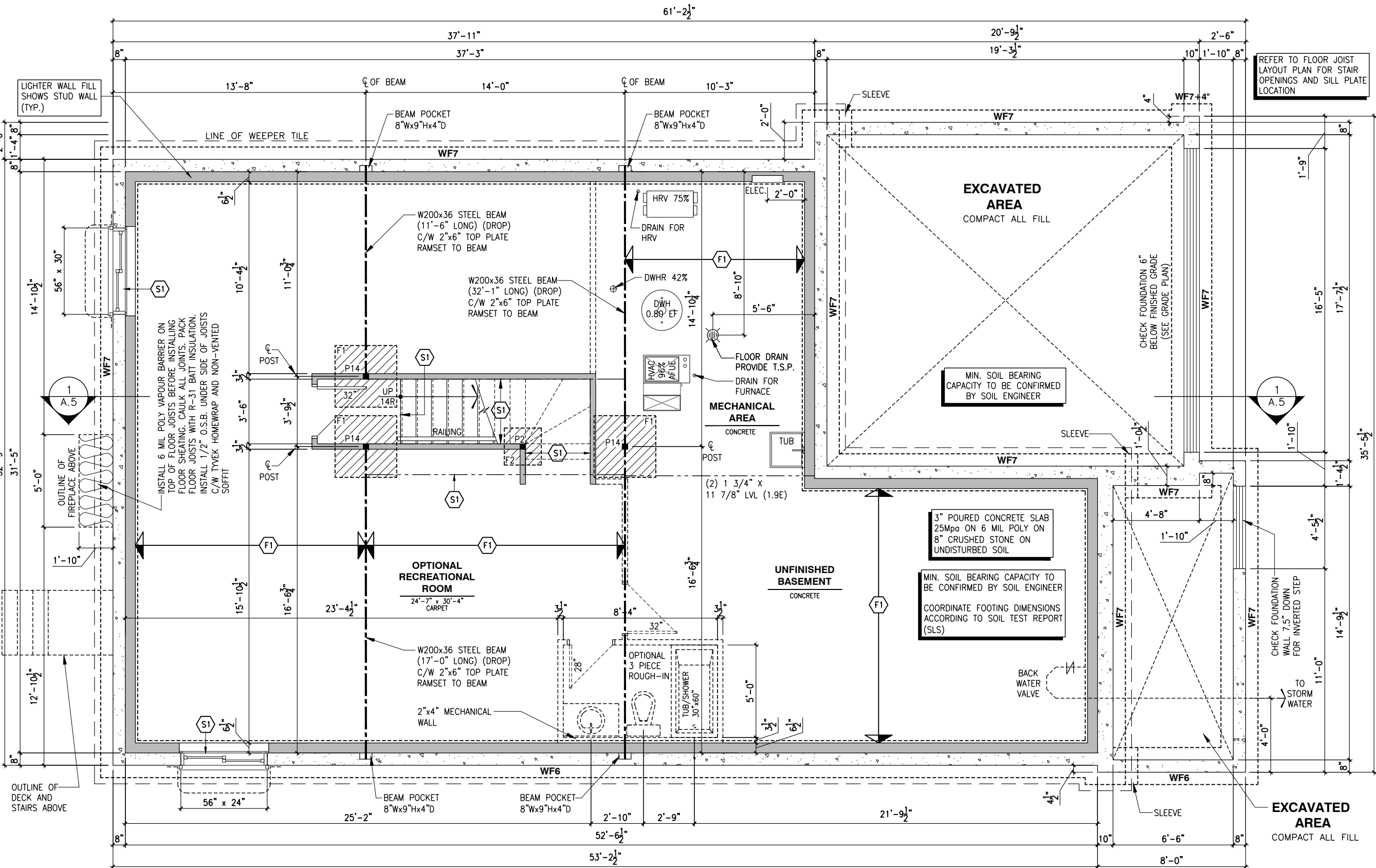
2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FOOTING SCHEDULE AND CONCRETE DETAILS

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

SEE A6F FOR FOOTING TABLE



BASEMENT FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

FLOOR FRAMING:

F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX

DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARIOR REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

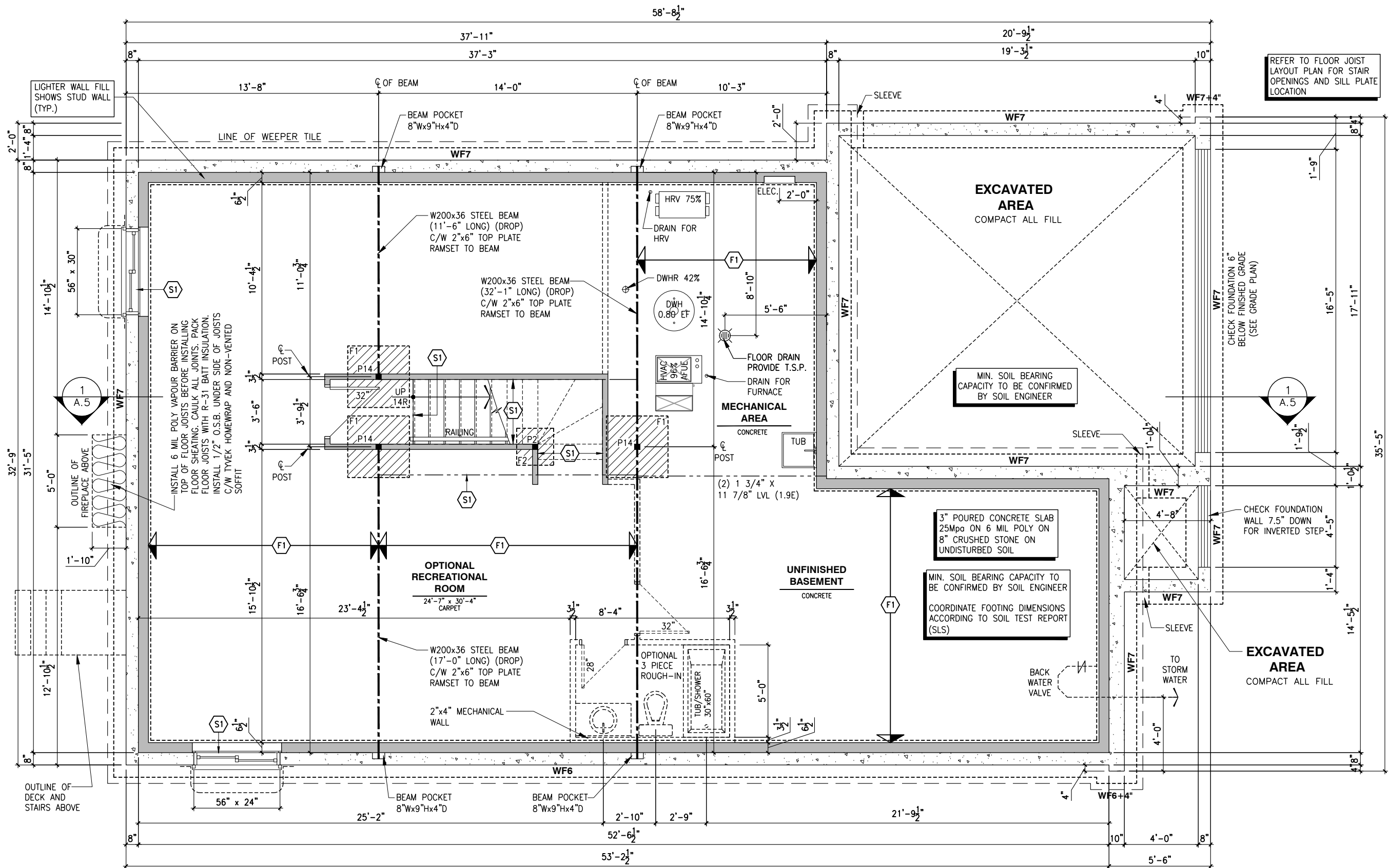
1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6a

SEE A6F FOR FOOTING TABLE



**BASEMENT FLOOR PLAN - ELEVATION B**

SCALE: 3/16" = 1'-0"

**SINGLE DWELLING STAIRS:**

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

**FLOOR FRAMING:**

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
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**GENERAL NOTES:**

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #44555  
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**NOTES:**

STEEL LINTEL:

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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

**BASEMENT FLOOR - ELEV. B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

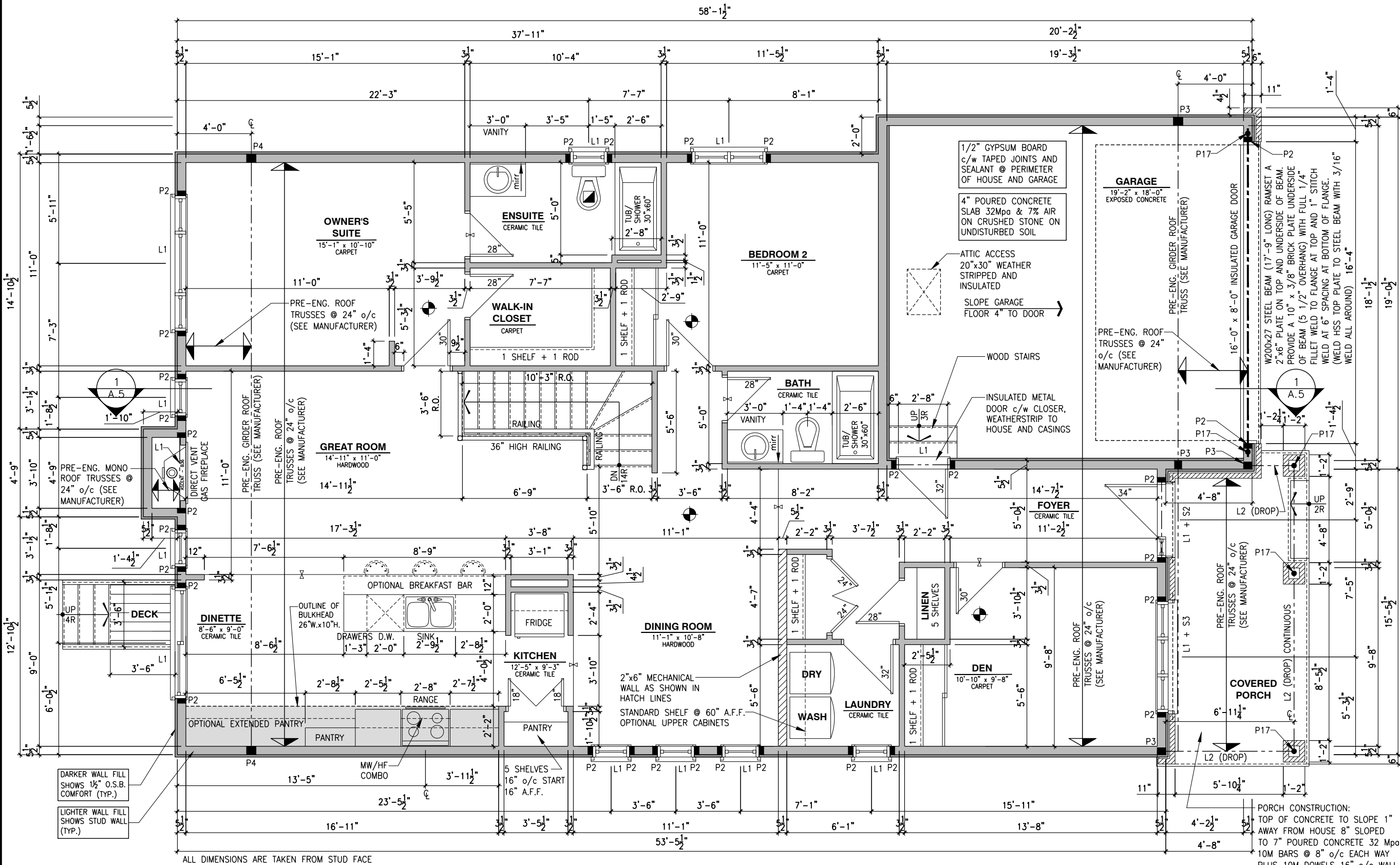
**1015 - THE MURRY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A6b**





LOT: XXXX  
DATE: XX/XX/XXXX

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NOTES:  
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S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING:  
GROUND FLOOR - ELEVATION A

ADDRESS: XX  
SCALE: 3/16" = 1'-0"  
DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7a

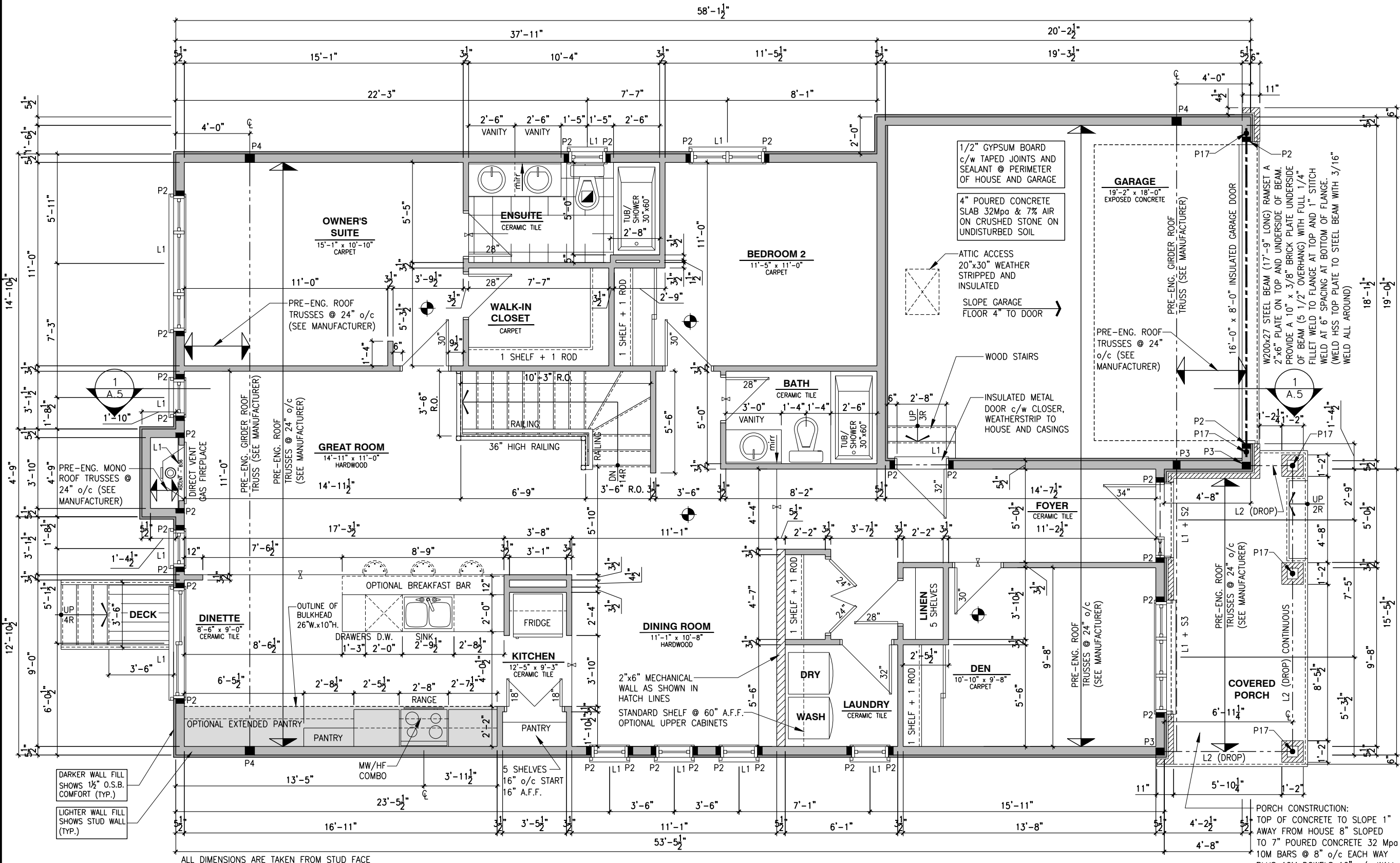
GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

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- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
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LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

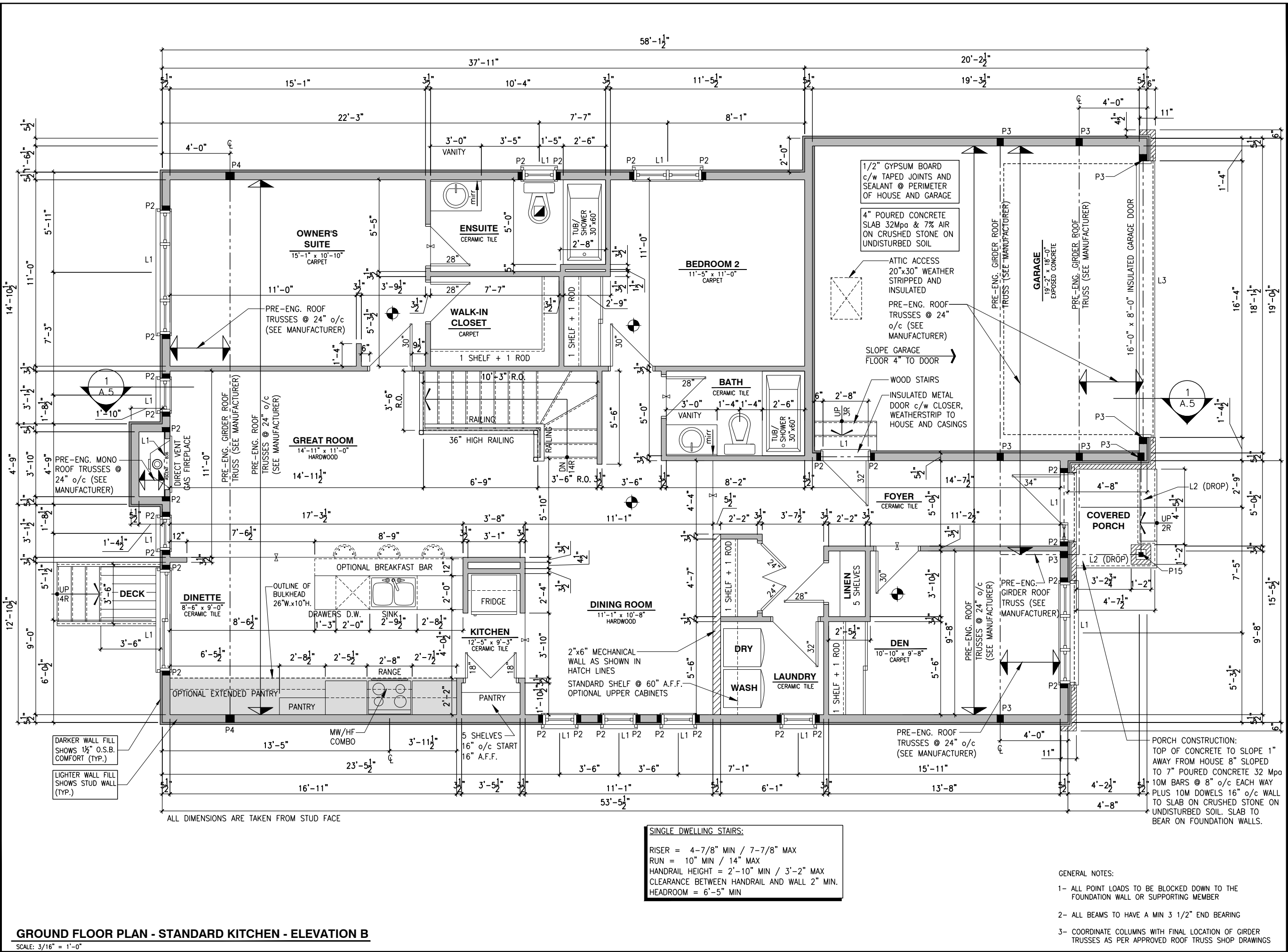

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:  
GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A7b**



LOT:XXXX

DATE:XX/XX/XXXX

Valecraft  
Homes (2019) Limited

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

1015 - THE MURRY2022 FOOTPRINT

(STANDARD DRAWINGS)

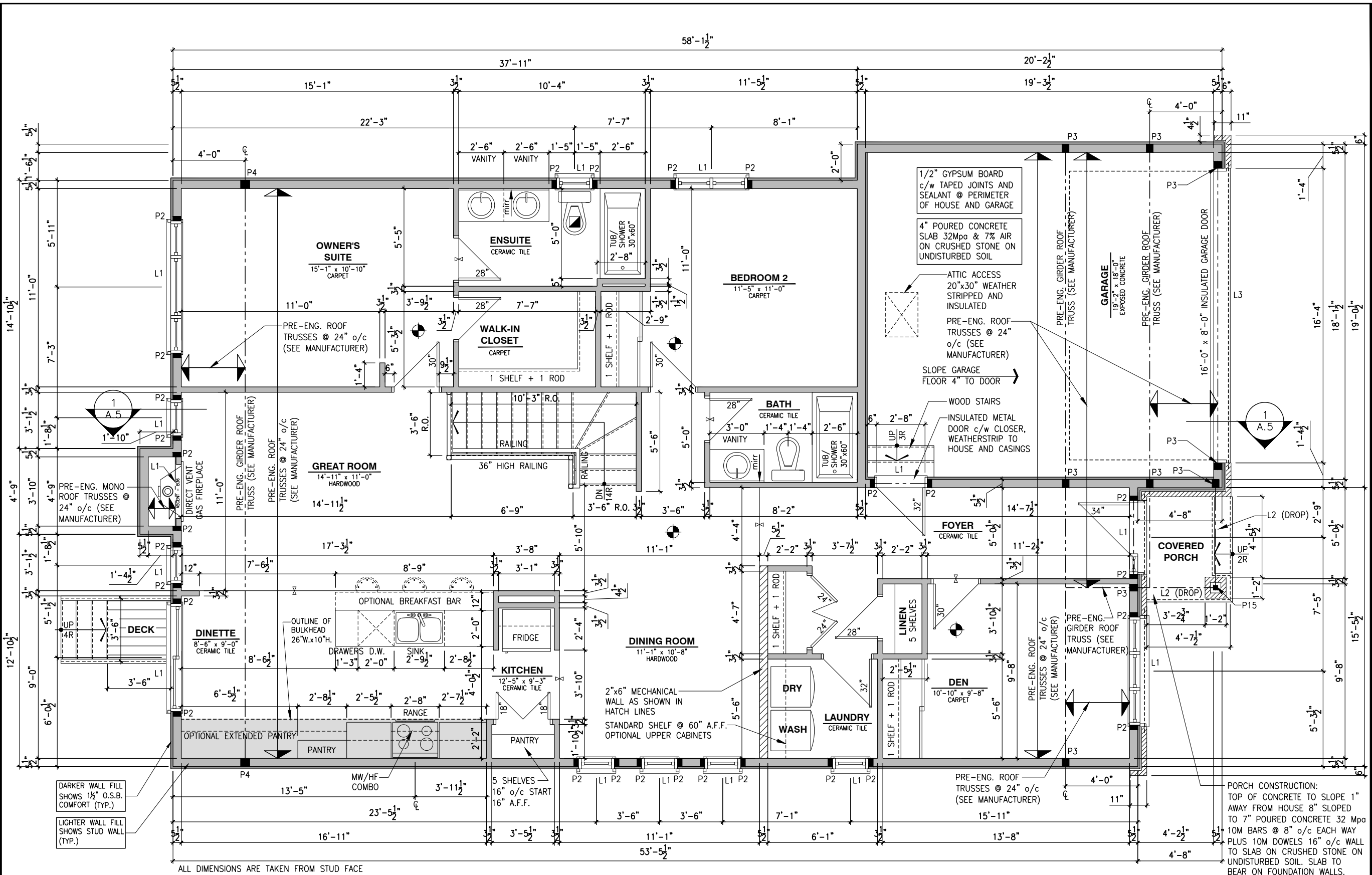
A7c

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

**SINGLE DWELLING STAIRS:**

RISER = 4-7/8" MIN / 7-7/8" MAX

RUN = 10" MIN / 14" MAX

HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX

CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.

HEADROOM = 6'-5" MIN

**GENERAL NOTES:**

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**LOT: XXXX**

**DATE: XX/XX/XXXX**

**Valecraft Homes (2019) Limited**

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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**NOTES:**

**STEEL LINTEL:**

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

**LINTEL TABLE:**

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
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L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

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P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

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**PROVIDE MECHANICAL EXHAUST TO OUTSIDE**

**2012 O.B.C. DRAWINGS**

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

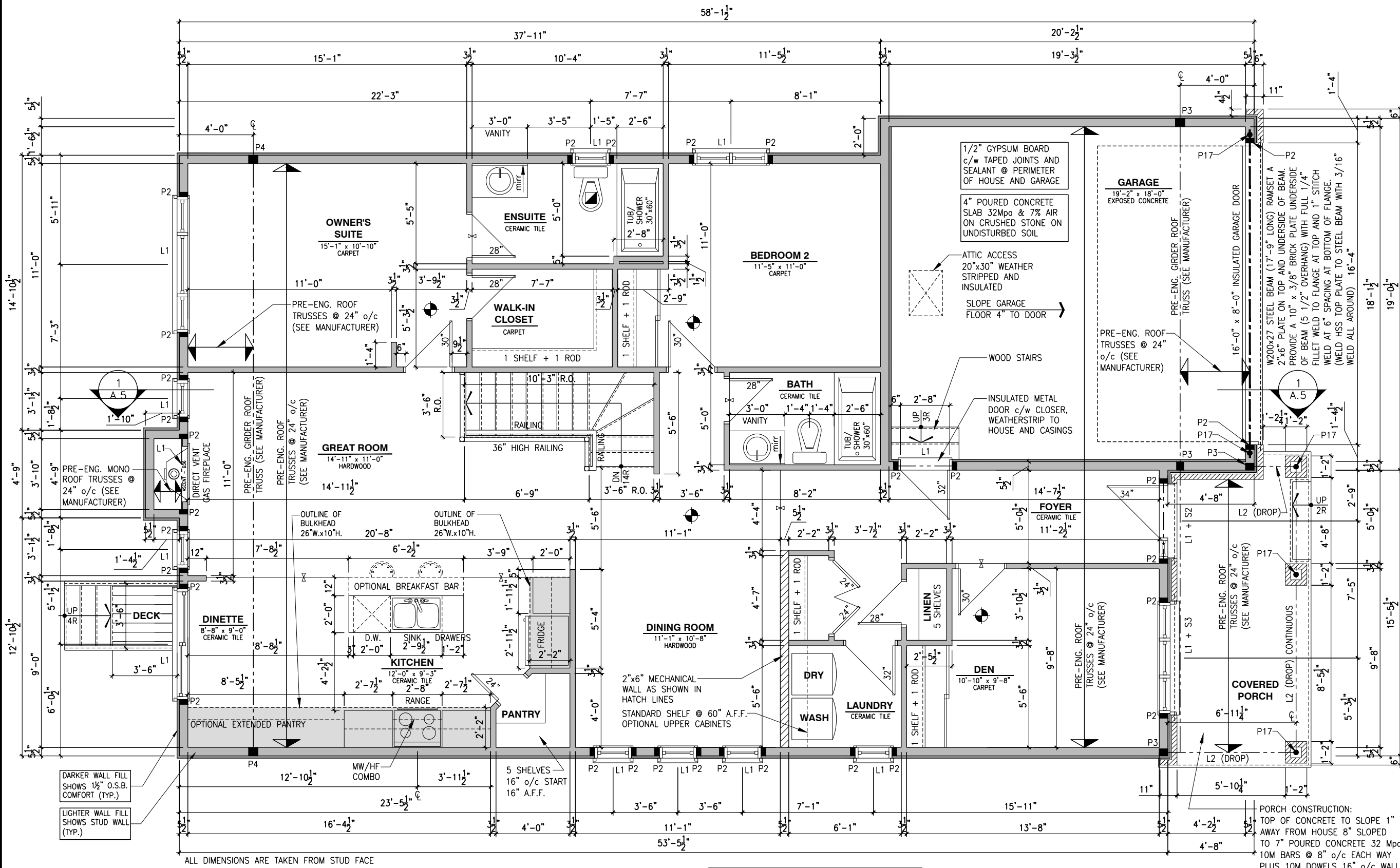
**DRAWING: GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1015 - THE MURRY 2022 FOOTPRINT**

(STANDARD DRAWINGS)

**SHEET: A7d**



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
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LOT: XXXX  
DATE: XX/XX/XXXX



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P4	= 4-2x4 OR 4-2x6
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P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON  
NO. DESCRIPTION DATE BY

GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7e

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

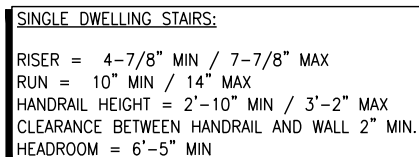
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:  
**A7f**



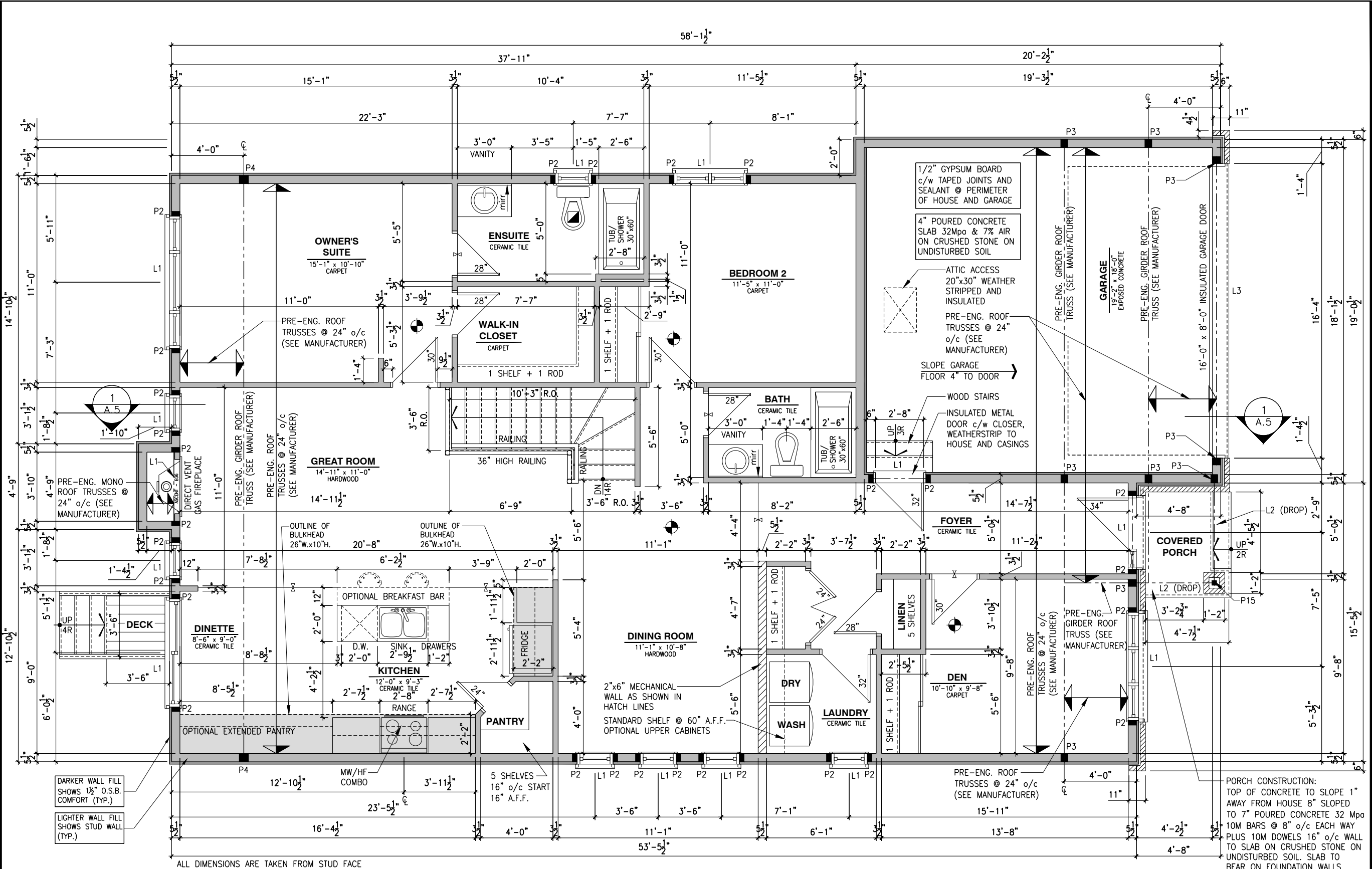
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PORCH CONSTRUCTION:  
1" TOP OF CONCRETE TO SLOPE 1"  
2" AWAY FROM HOUSE 8" SLOPED  
TO 7" POURED CONCRETE 32 Mps  
10M BARS @ 8" o/c EACH WAY  
PLUS 10M DOWELS 16" o/c WALL  
TO SLAB ON CRUSHED STONE ON  
UNDISTURBED SOIL. SLAB TO  
BEAR ON FOUNDATION WALLS.

SCALE: 3/16" = 1'-0"





**GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B**

SCALE: 3/16" = 1'-0"

**SINGLE DWELLING STAIRS:**

RISER = 4-7/8" MIN / 7-7/8" MAX

RUN = 10" MIN / 14" MAX

HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX

CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.

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**LOT: XXXX**

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**MECHANICAL EXHAUST TO OUTSIDE**

**2012 O.B.C. DRAWINGS**

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

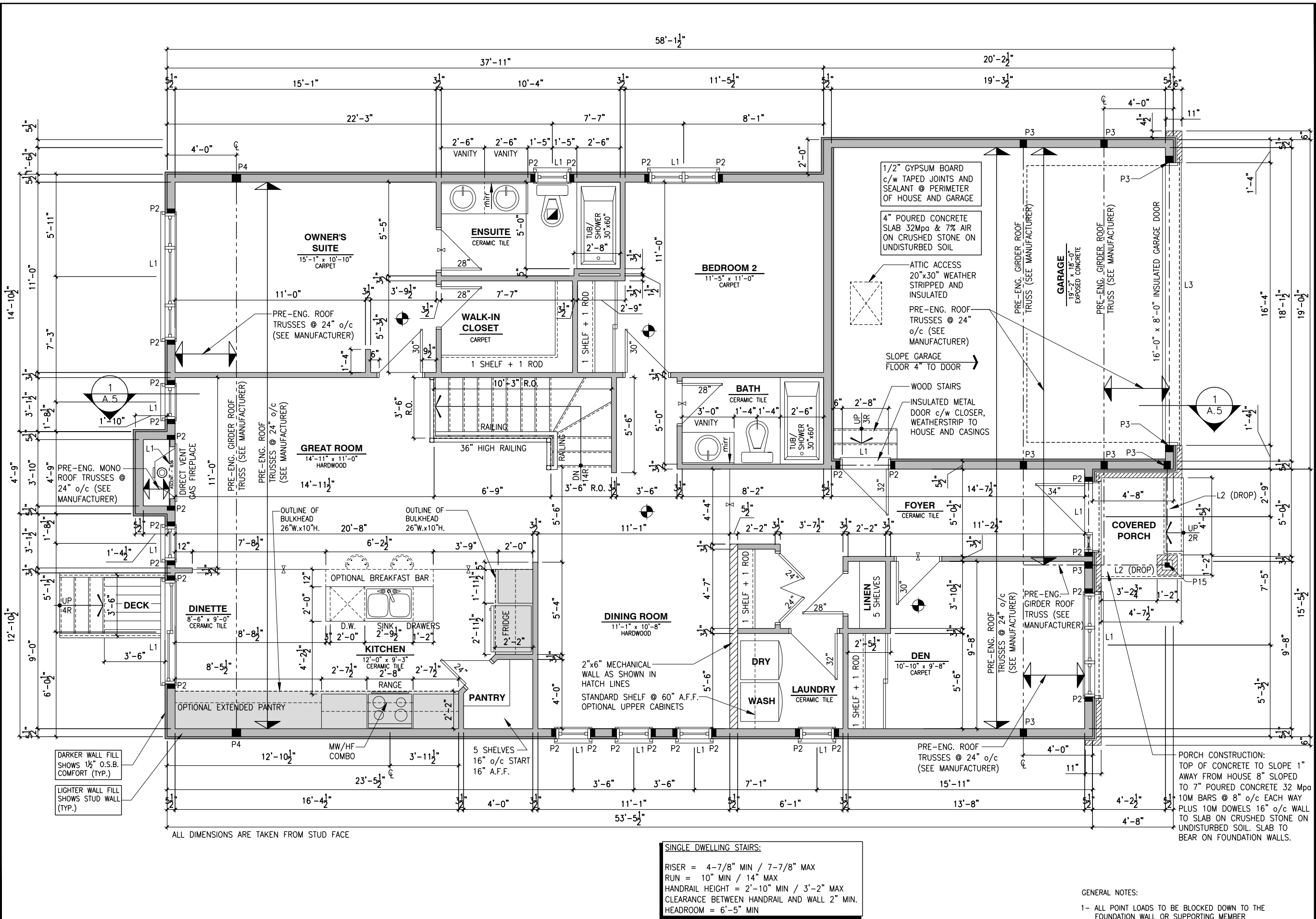
**GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1015 - THE MURRY 2022 FOOTPRINT**

(STANDARD DRAWINGS)

**A7g**



LOT:XXXX

DATE:XX/XX/XXXX

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

A7h

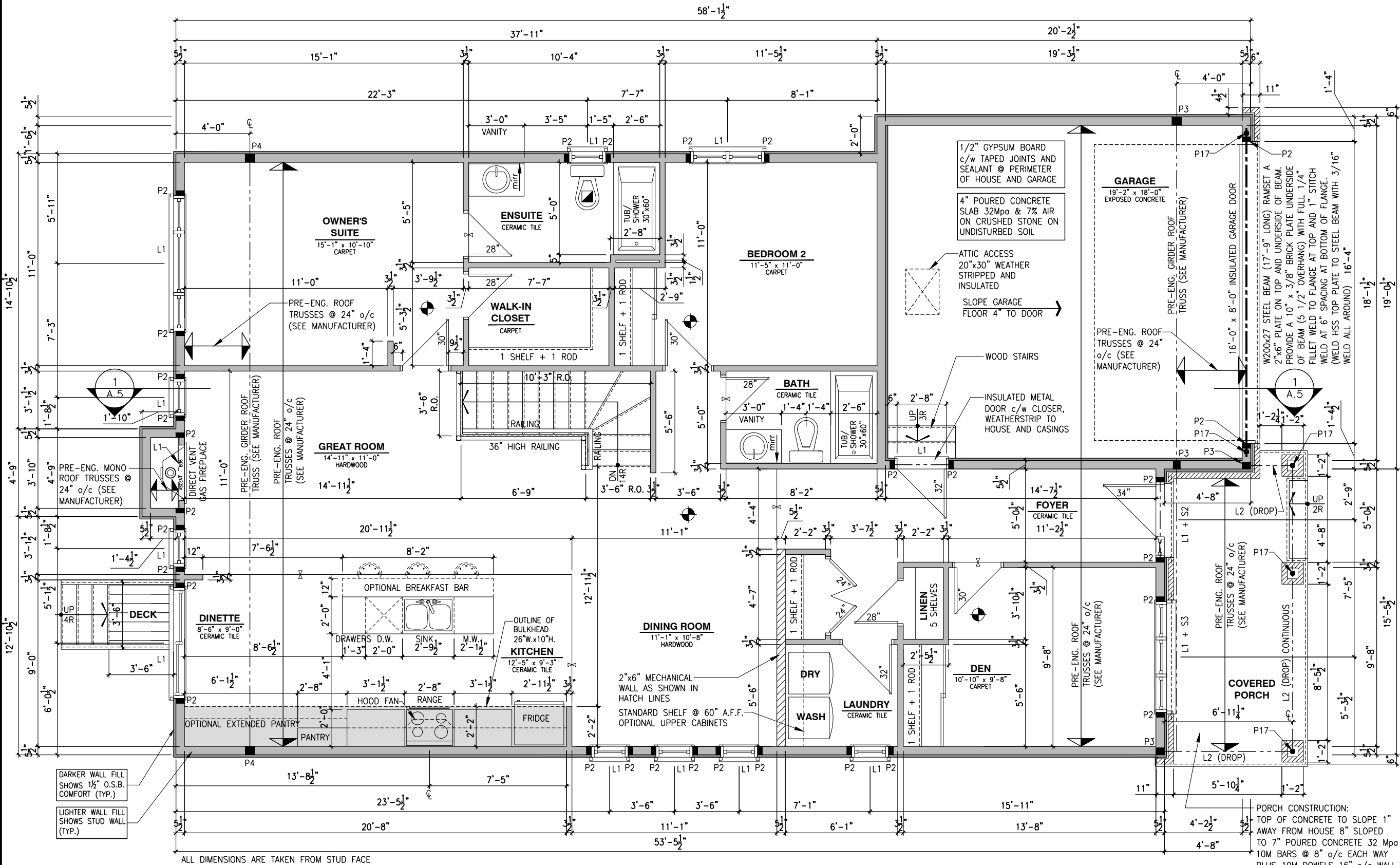
GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS





I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P10	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
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P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

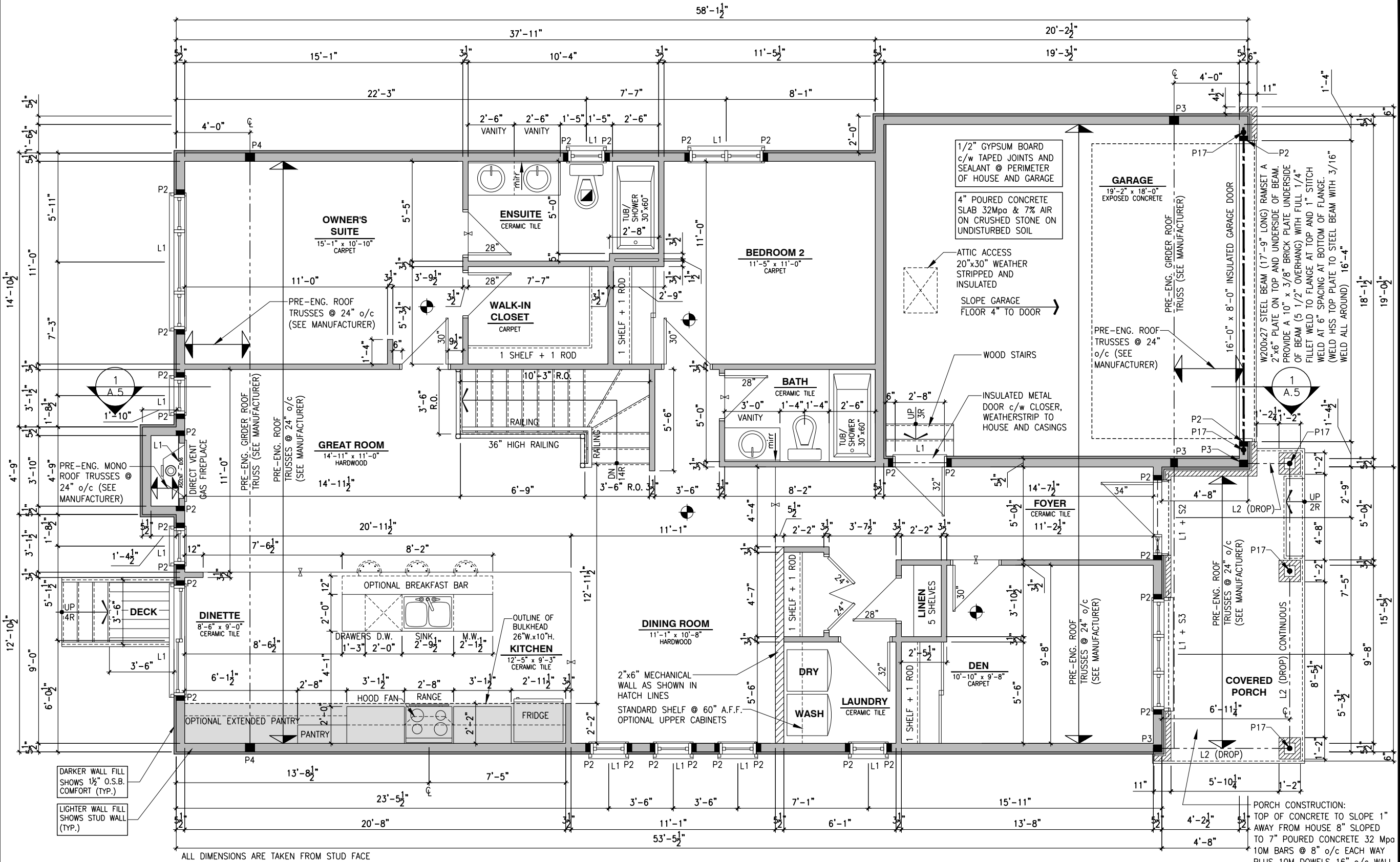
GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

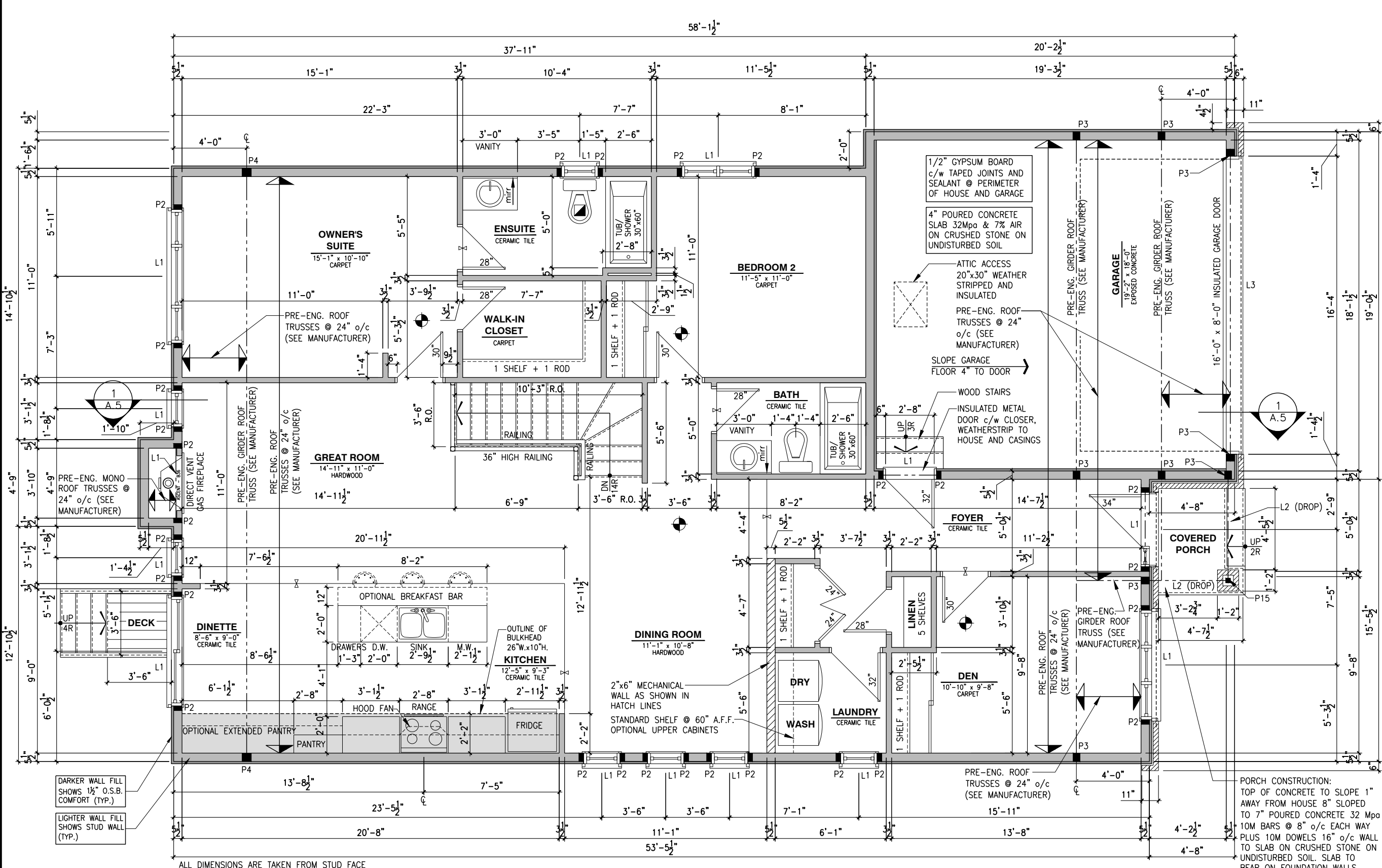
DRAWING: NO. DESCRIPTION DATE BY

GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A7j



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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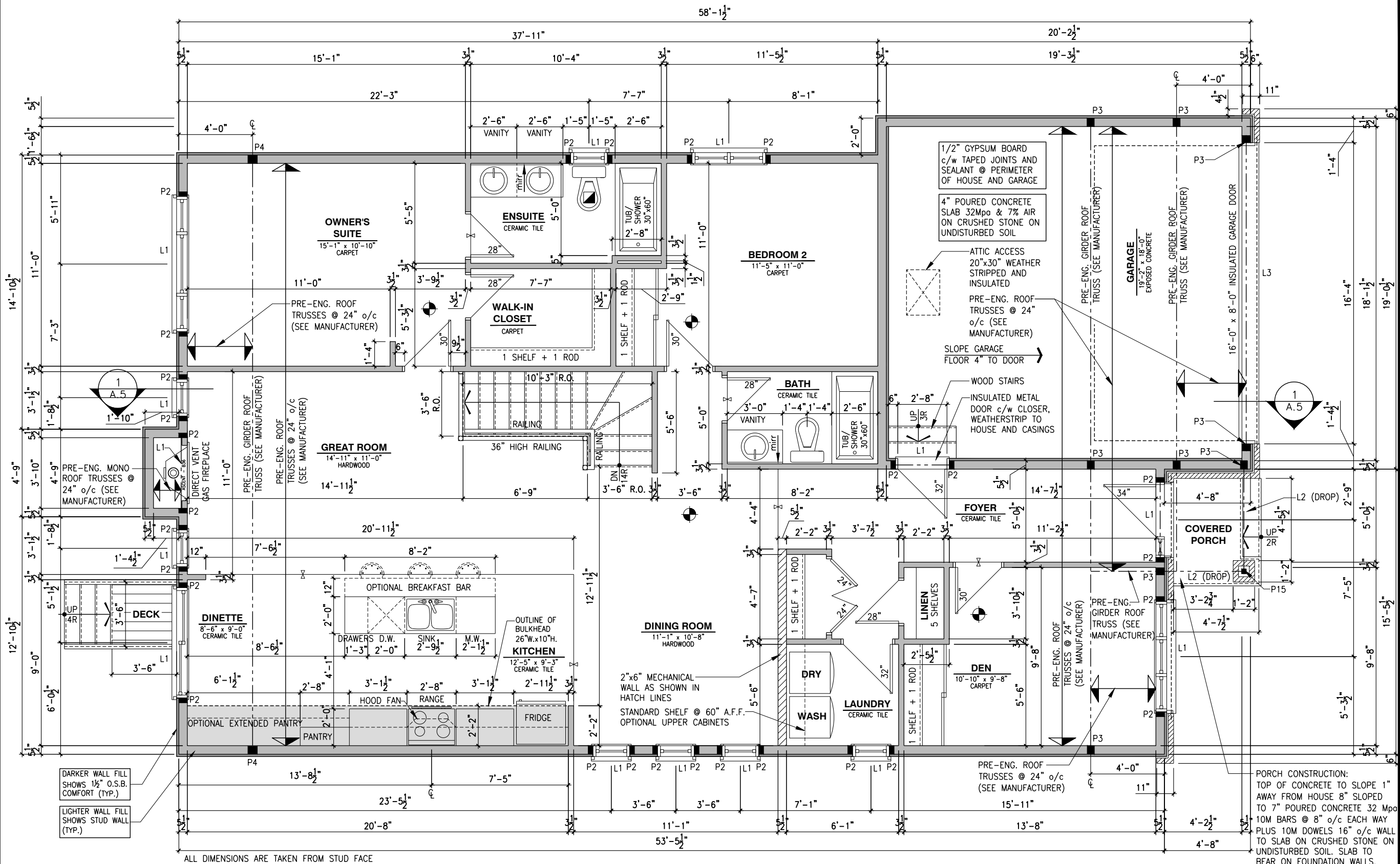
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1015 - THE MURRY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7k

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY 2022 FOOTPRINT

SHEET: A71

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

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[illegible]

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DRAWING:

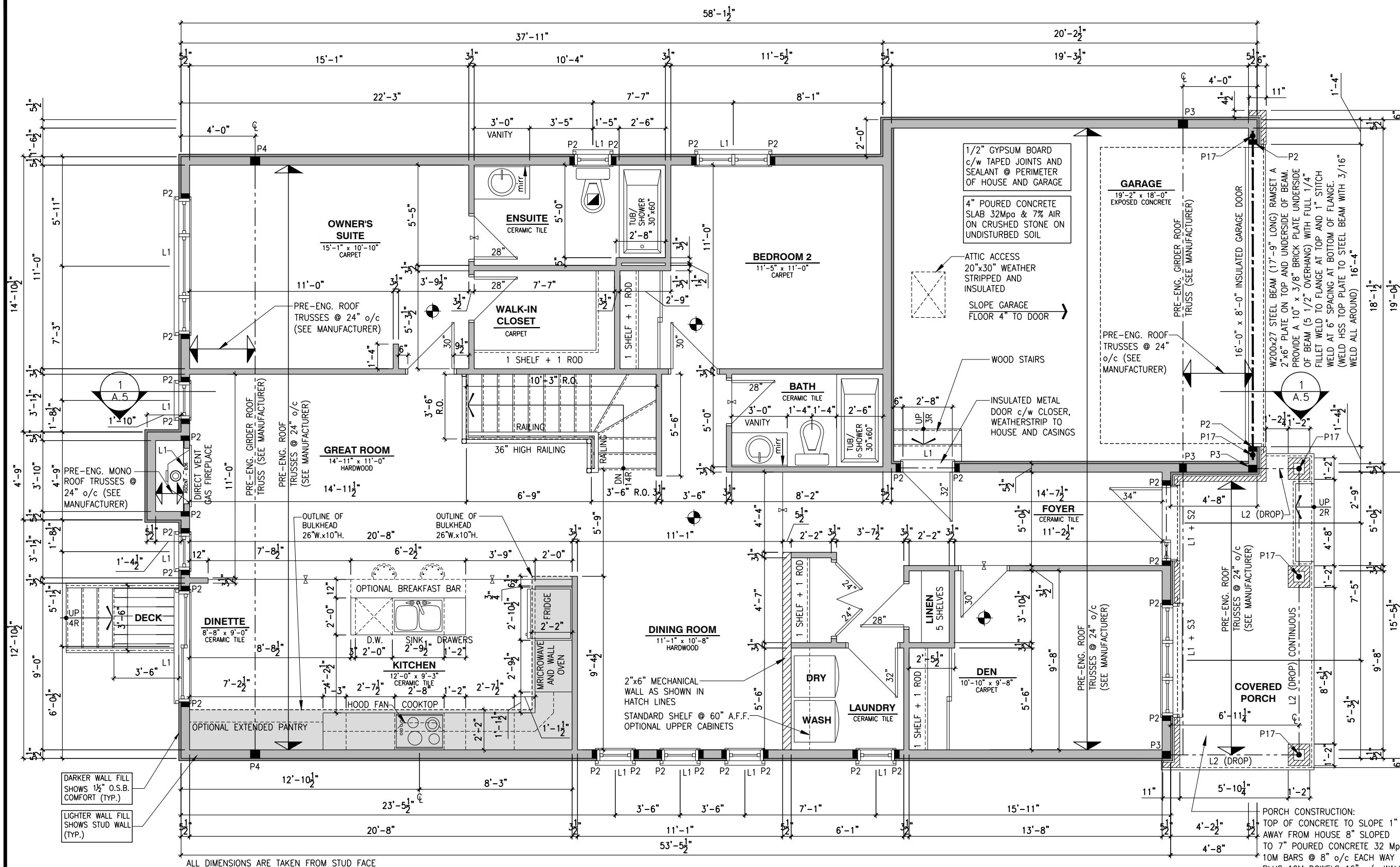
### GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1015 - THE MURRY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:  
**A7m**



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

### SINGLE DWELLING STAIRS:

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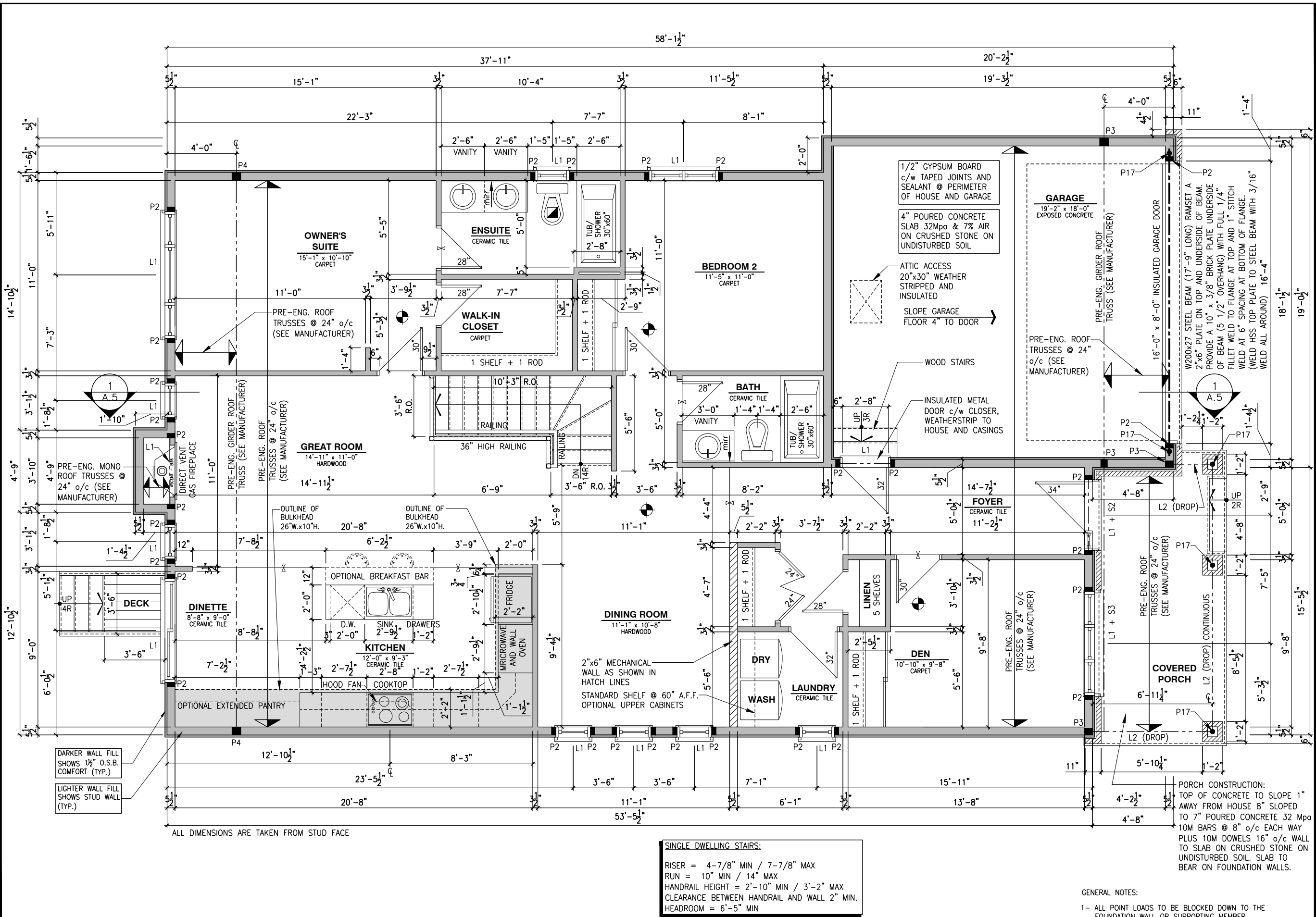
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PORCH CONSTRUCTION:  
TOP OF CONCRETE TO SLOPE 1"  
AWAY FROM HOUSE 8" SLOPED  
TO 7" POURED CONCRETE 32 Mpc  
10M BARS @ 8" o/c EACH WAY  
PLUS 10M DOWELS 16" o/c WALL  
TO SLAB ON CRUSHED STONE ON  
UNDISTURBED SOIL. SLAB TO  
BEAR ON FOUNDATION WALLS.

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A**

SCALE: 3/16" = 1'-0"



LOT:XXXX

DATE:XX/XX/XXXX

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Homes (2019) Limited

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S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO. DESCRIPTION DATE BY

DRAWING:

GROUND FLOOR - ELEVATION A

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

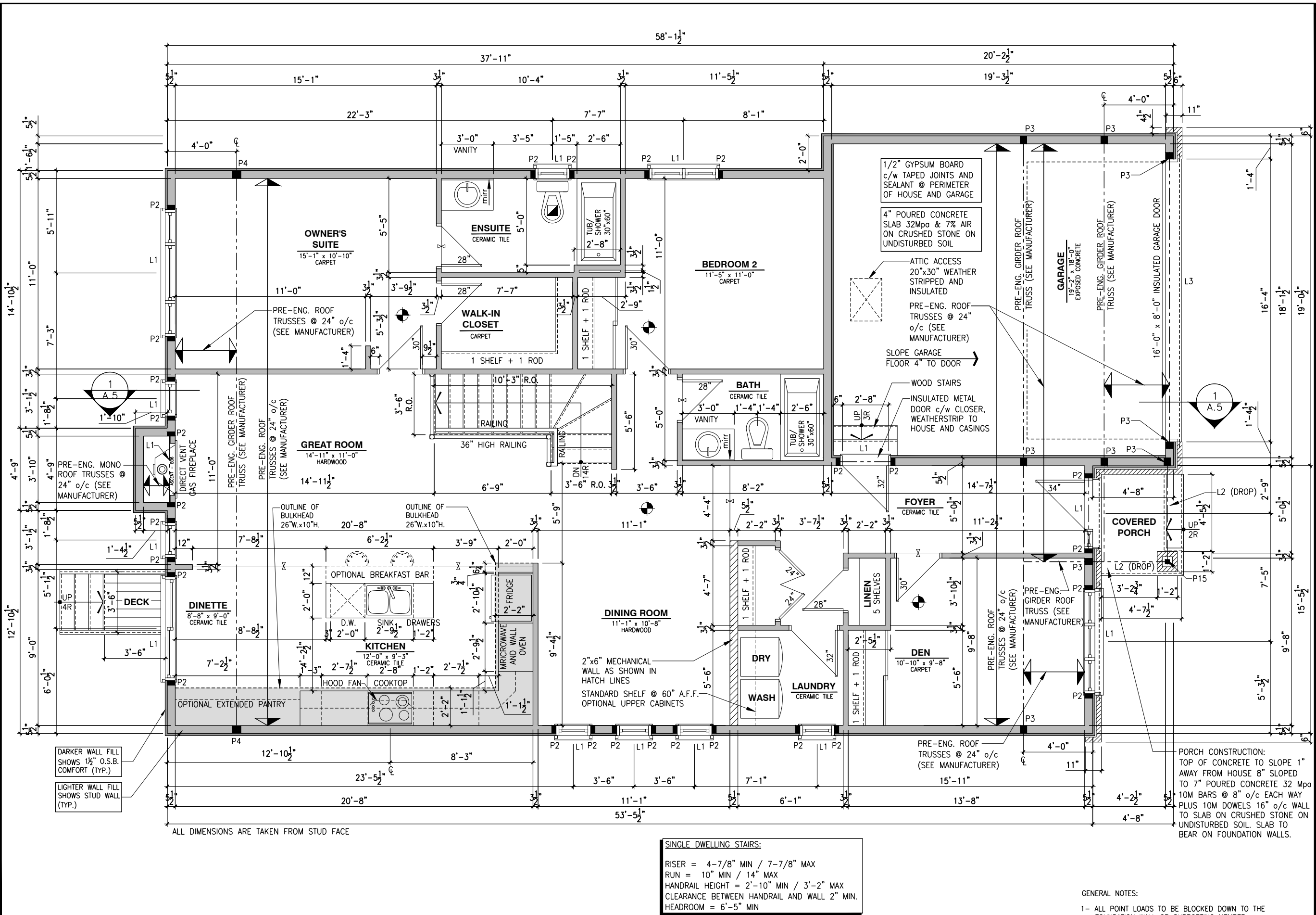
A7n

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT:XXXX

DATE:XX/XX/XXXX

Valecraft  
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

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S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

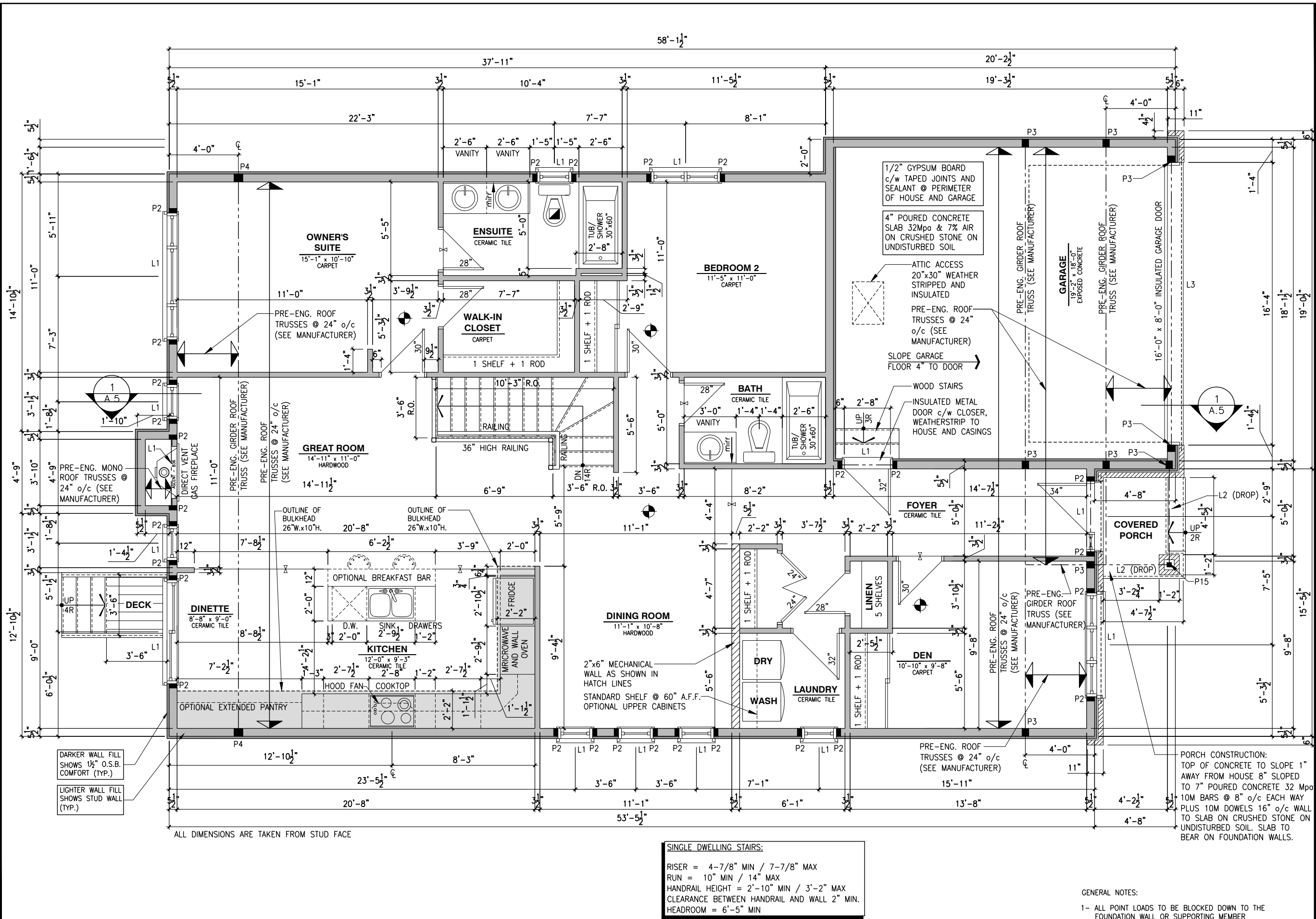
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1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A7o





LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO.

DESCRIPTION

DATE

BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7p



- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

SCALE: 3/16" = 1'-0"

**A8a**

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**Valecraft**  
Homes (2019) Limited

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\_\_\_\_\_



SCALE: 3/16" = 1'-0"

DRAWING:

**ROOF PLAN - ELEVATION B**

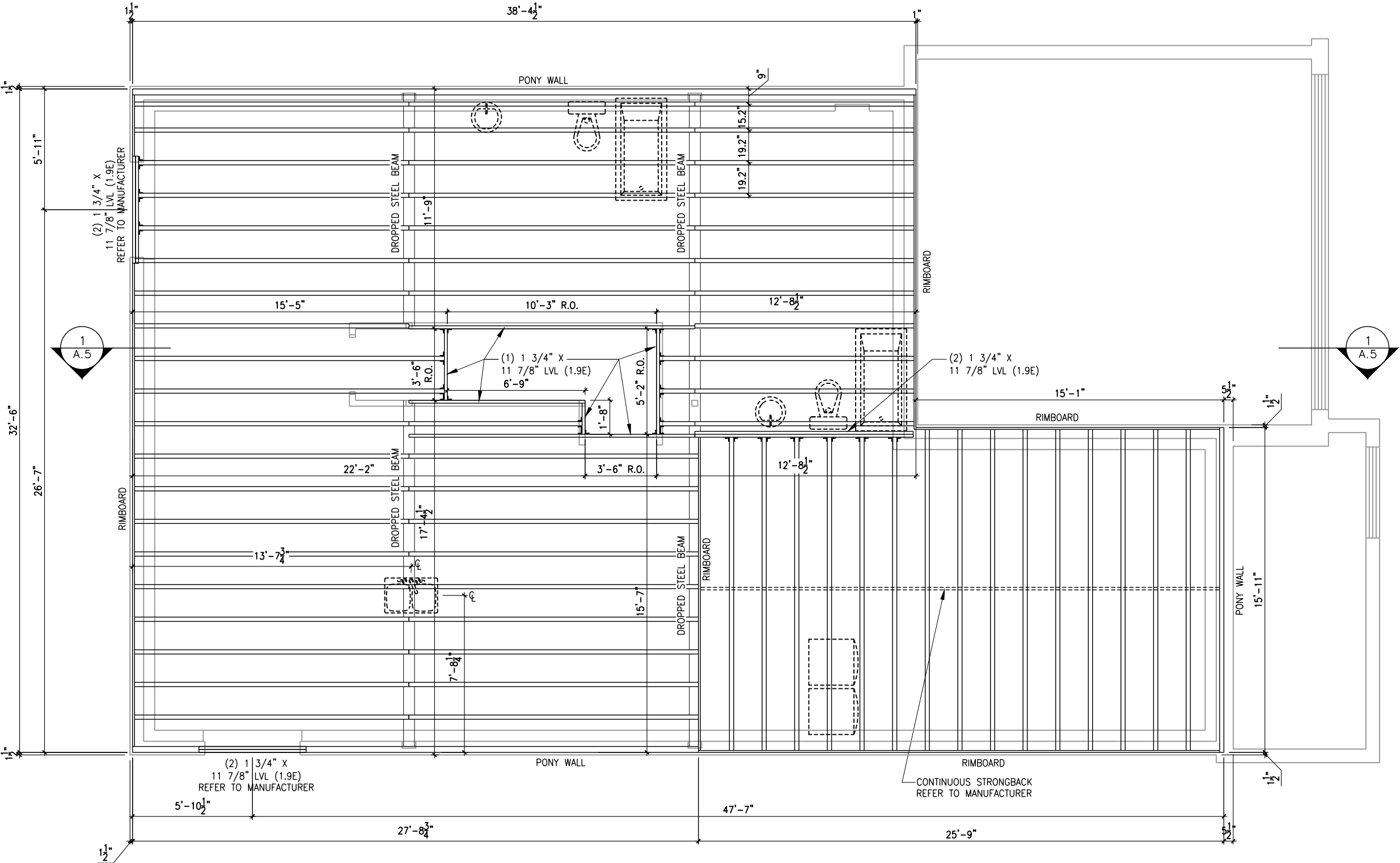
1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A8b**

SHEET:

**A8b**

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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION A

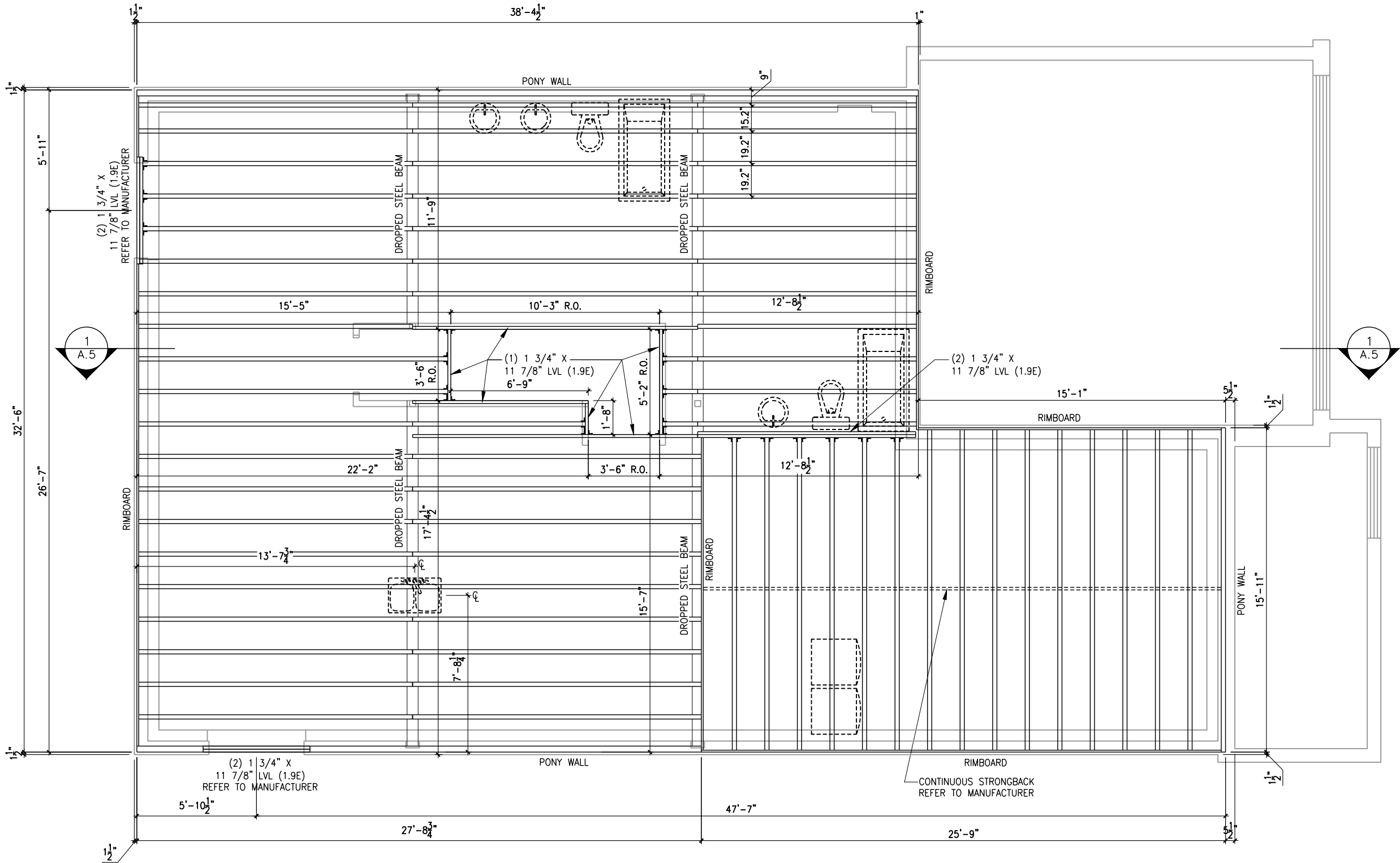
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9a

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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9b

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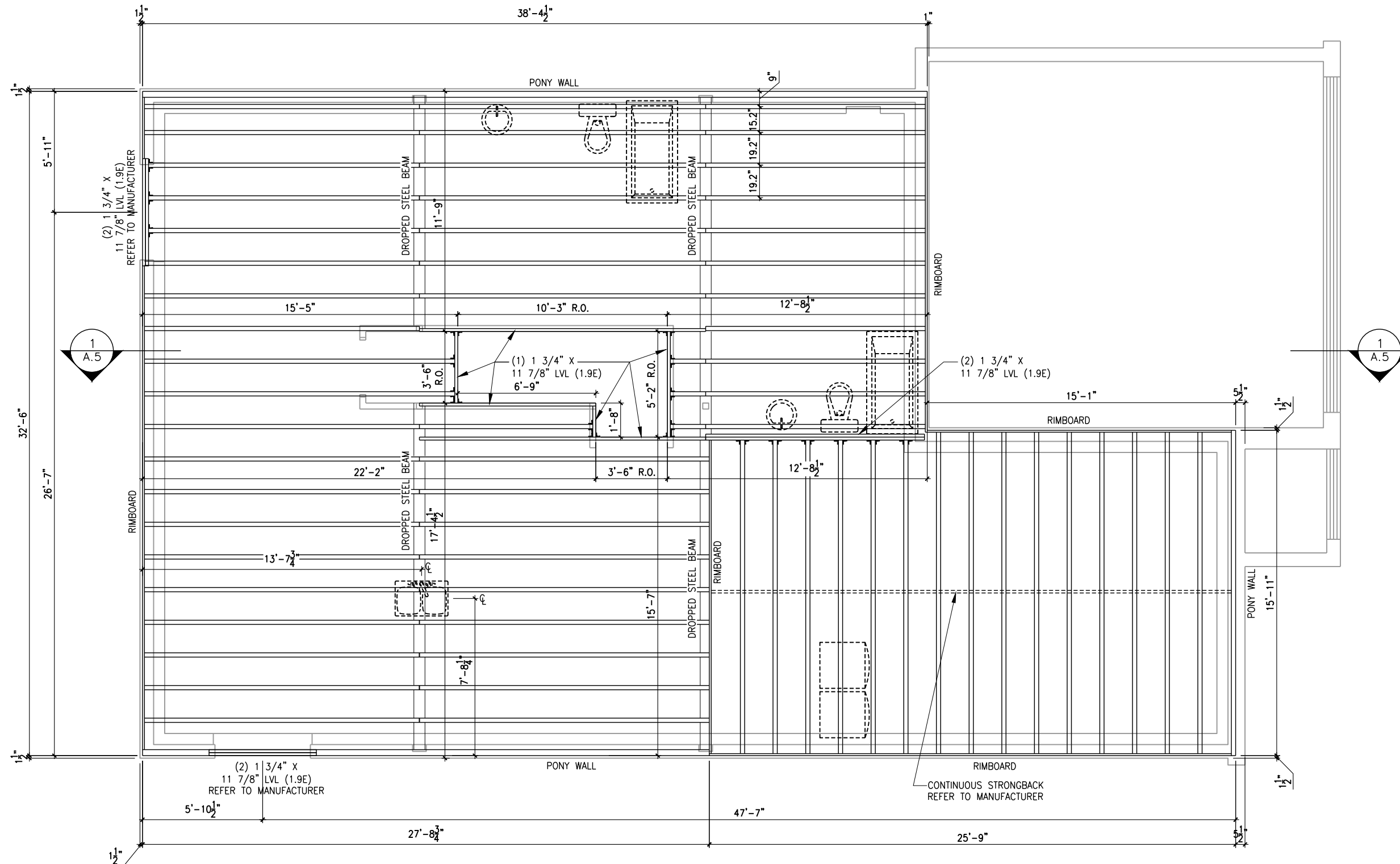
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Homes (2019) Limited

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SCALE:  $3/16" = 1'-0"$

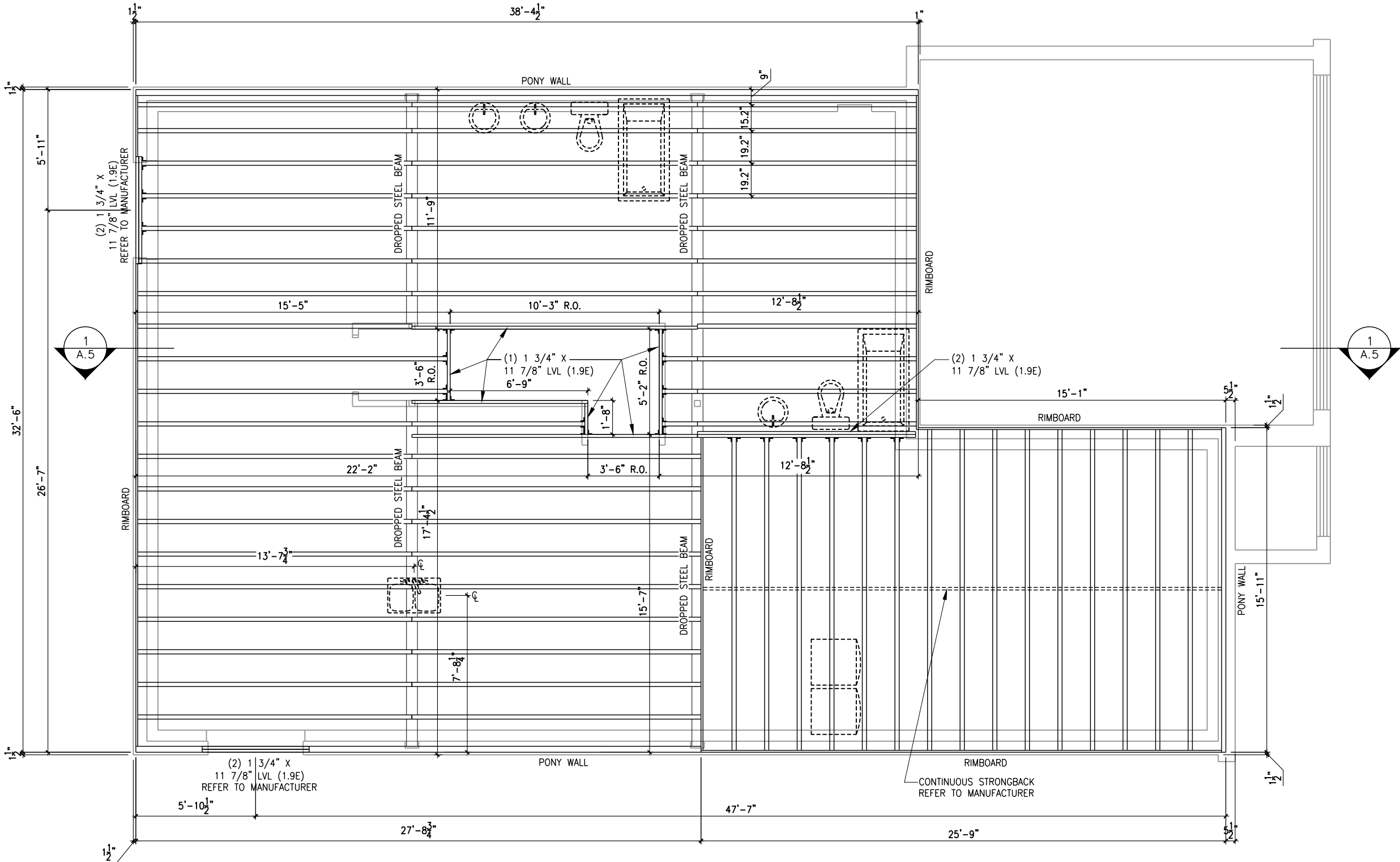

DRAWING: **01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION B**

**1015 - THE MURRY**  
**2022 FOOTPRINT**  
 (STANDARD DRAWINGS)

SHEET:

## A9c

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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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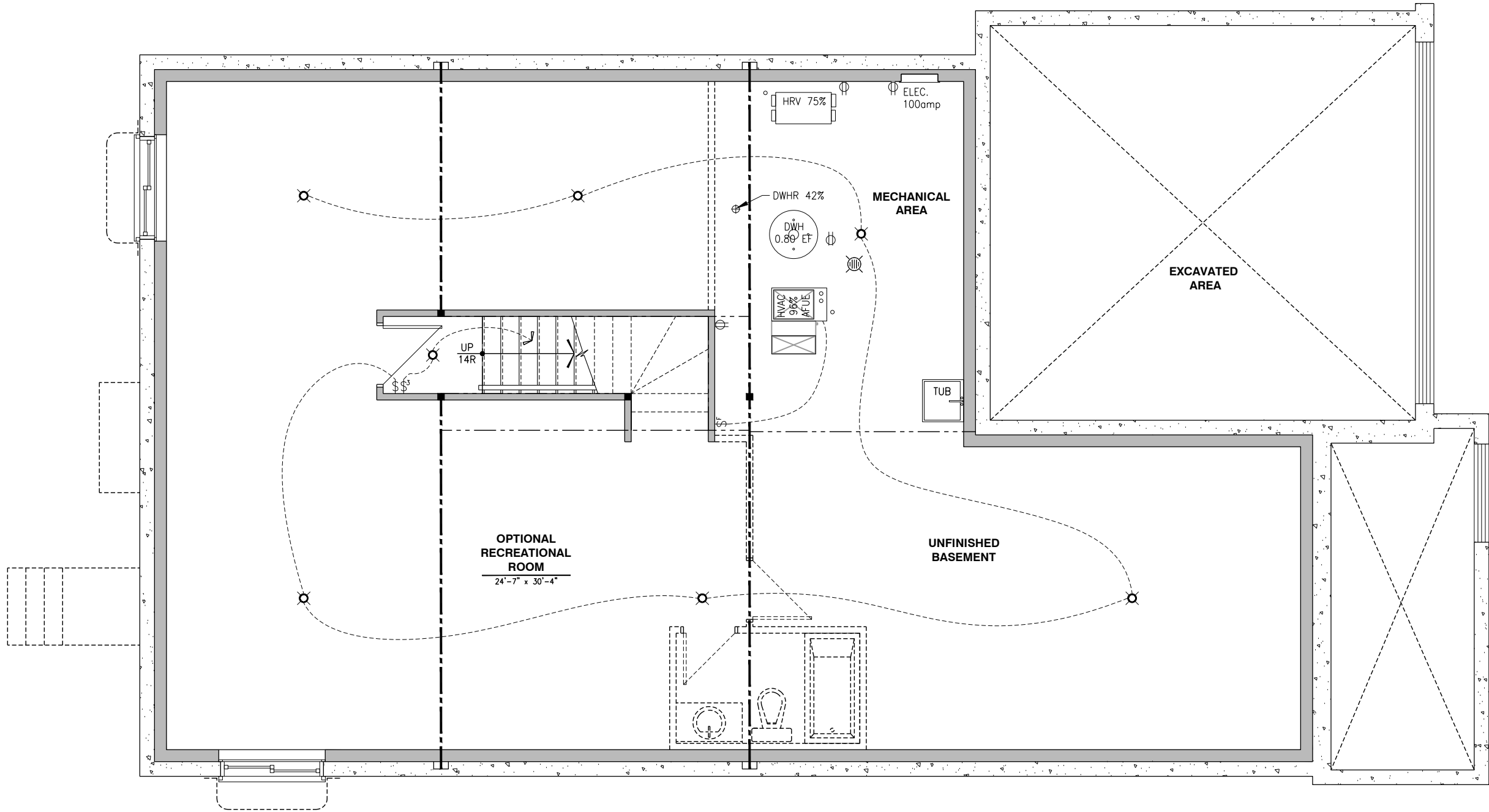
DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9b



**ELECTRICAL PLAN - BASEMENT - ELEVATION A**  
SCALE: 1/4" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN  
BASEMENT - ELEVATION A**

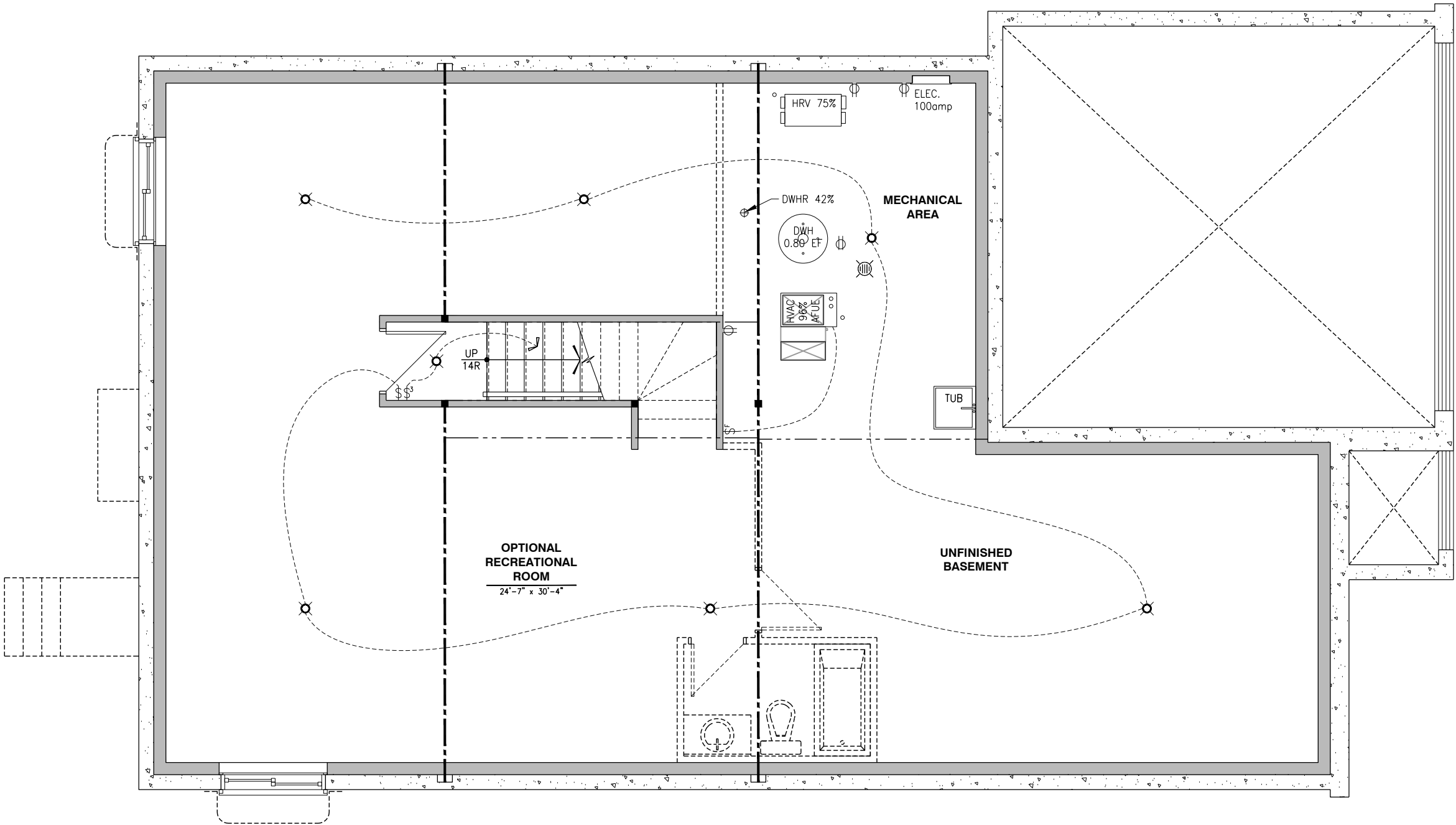
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**1015 - THE MURRY  
2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET: **E.1**

ELECTRICAL PLAN - BASEMENT - ELEVATION B

SCALE: 1/4" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
BASEMENT - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.2**





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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕ GFI GROUND FAULT INTERVOLT
- ⊕ WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

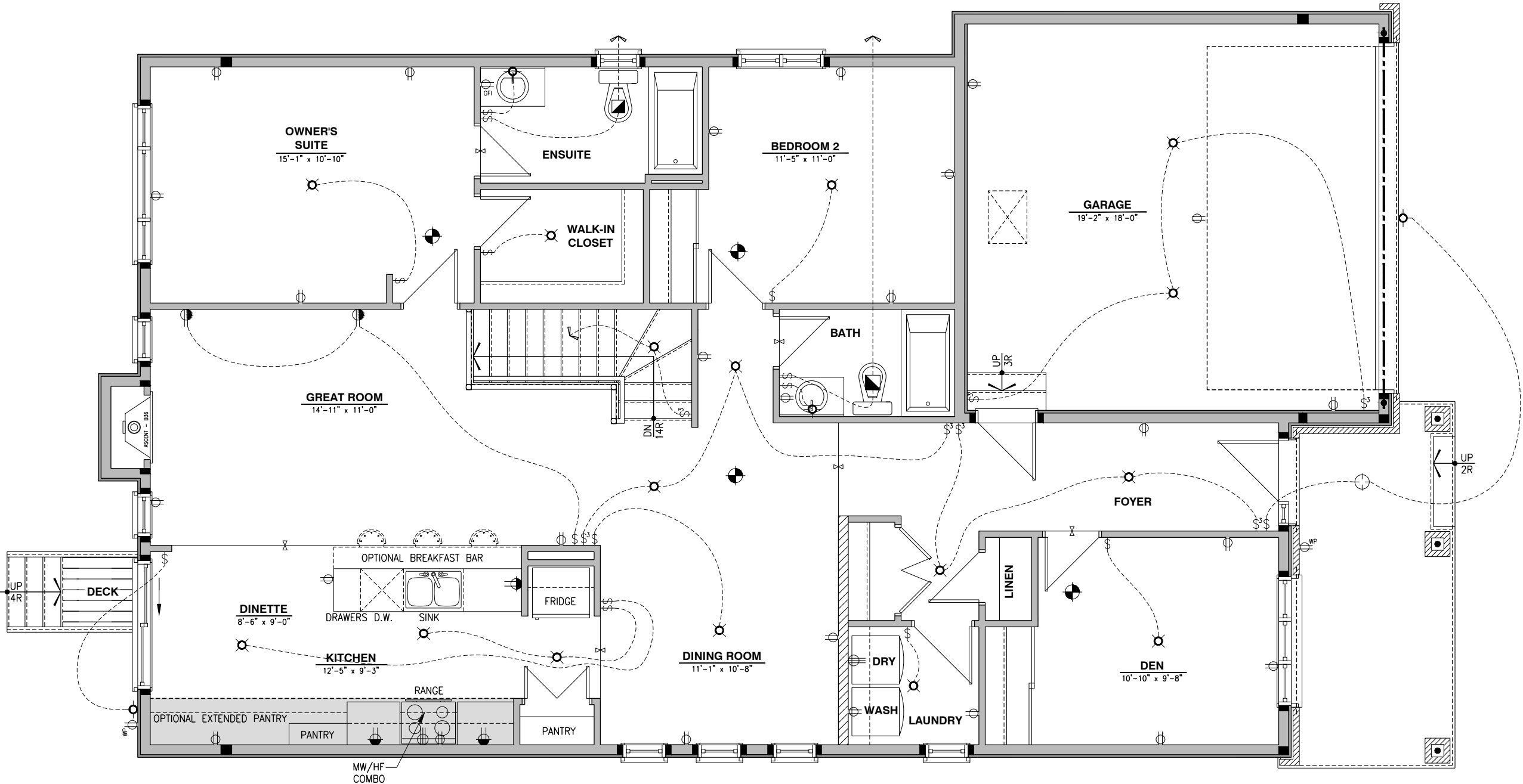
1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.3

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 1/4" = 1'-0"



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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- ⬢

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⬢

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

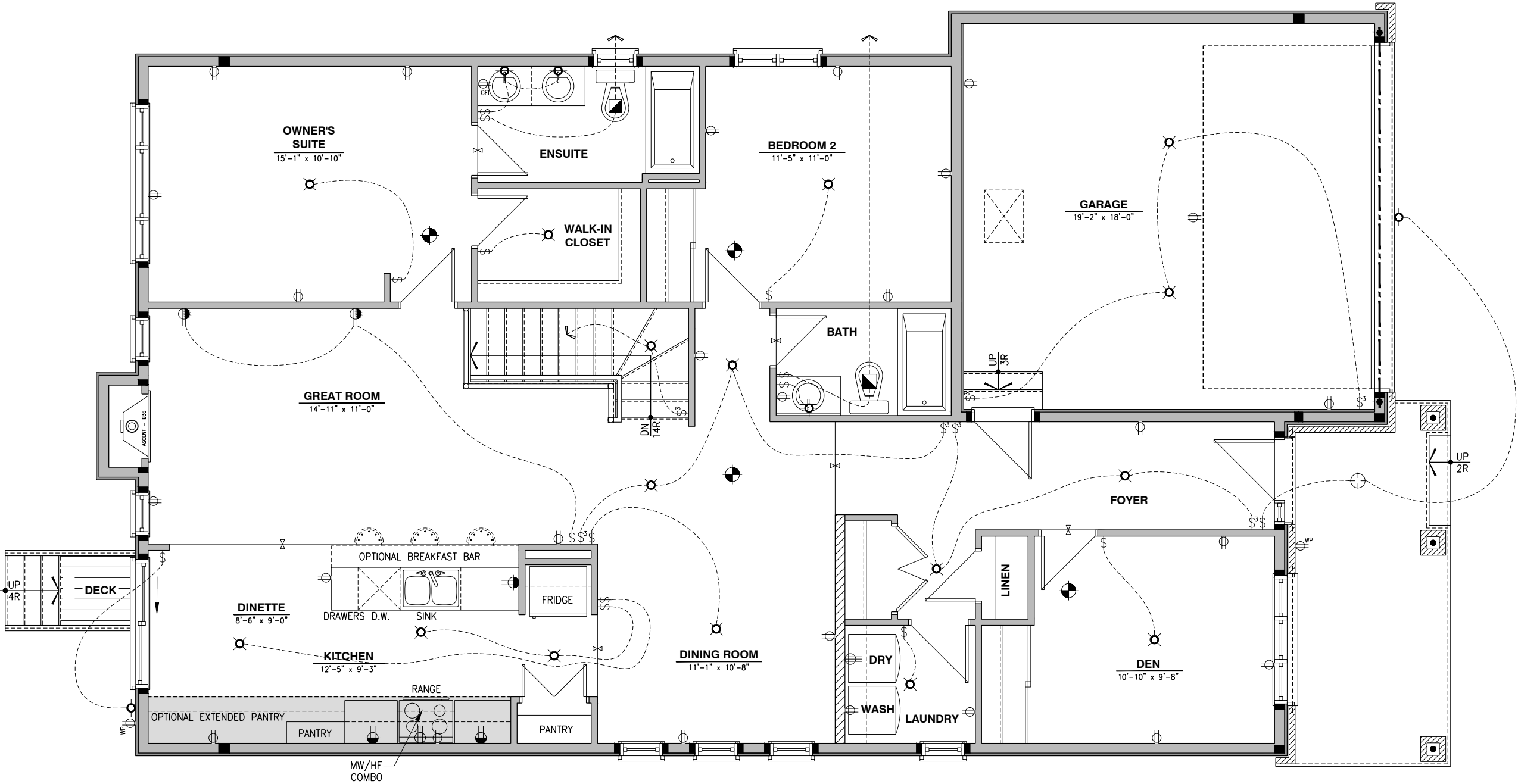

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.4



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"



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- TARIION REGISTRATION NUMBER #611

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- 12

DUPLEX OUTLET (12" HIGH)
- 12

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- 2

SPLIT OUTLET
- 220

220 VOLT OUTLET
- W

WALL MOUNTED LIGHT FIXTURE
- ⊗

CEILING MOUNTED LIGHT FIXTURE
- P

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ME

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

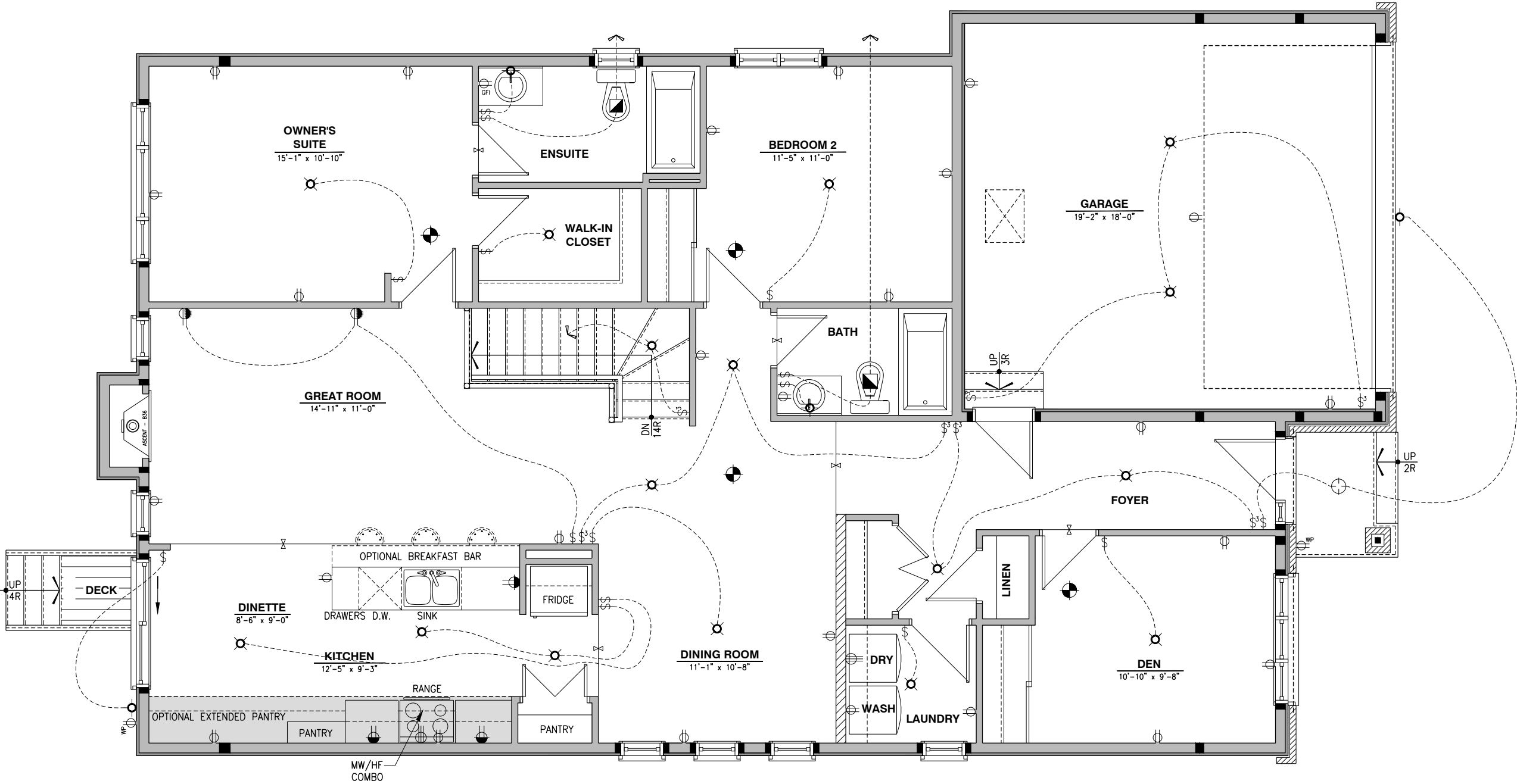
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.5

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- Ø

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

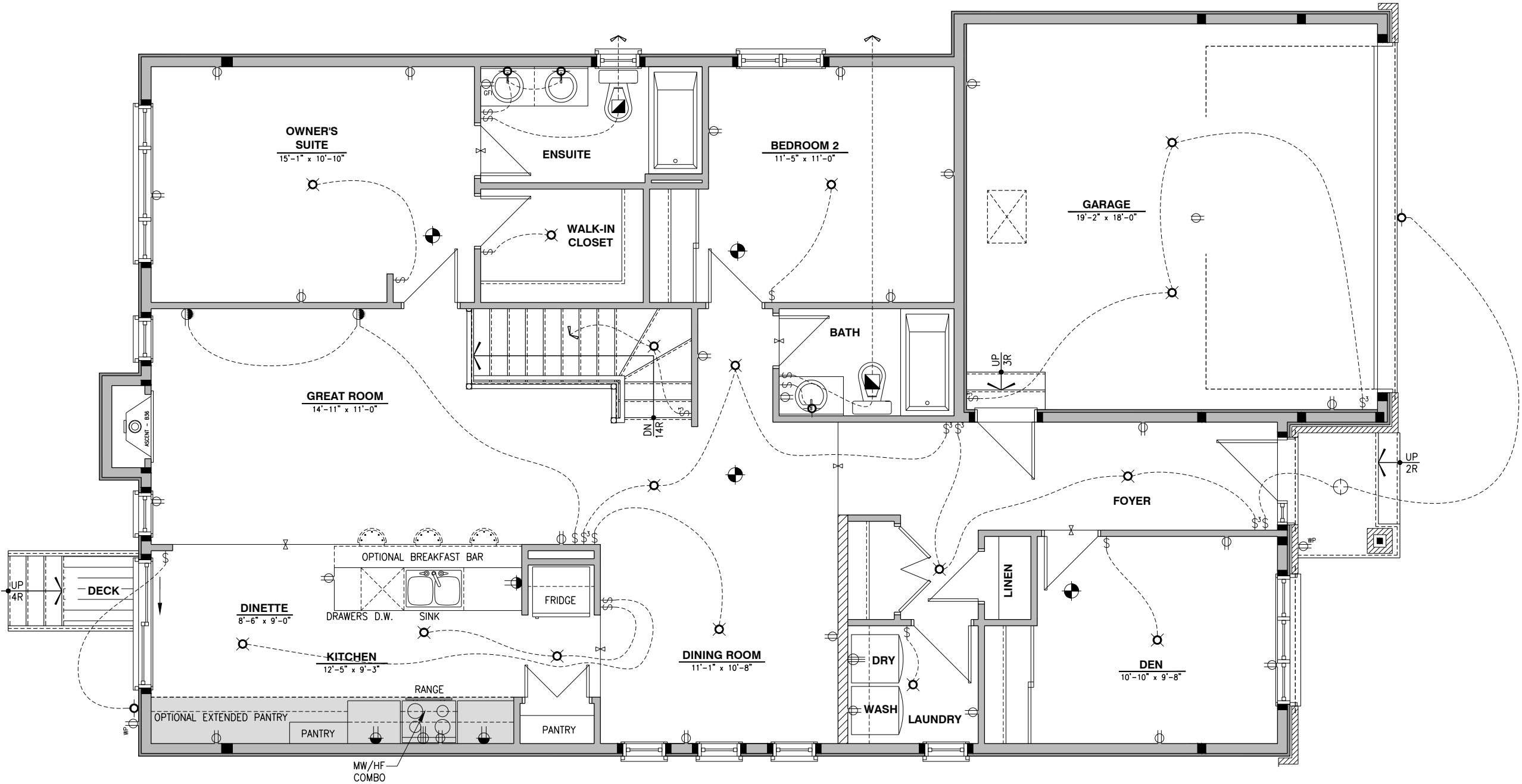
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.6

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

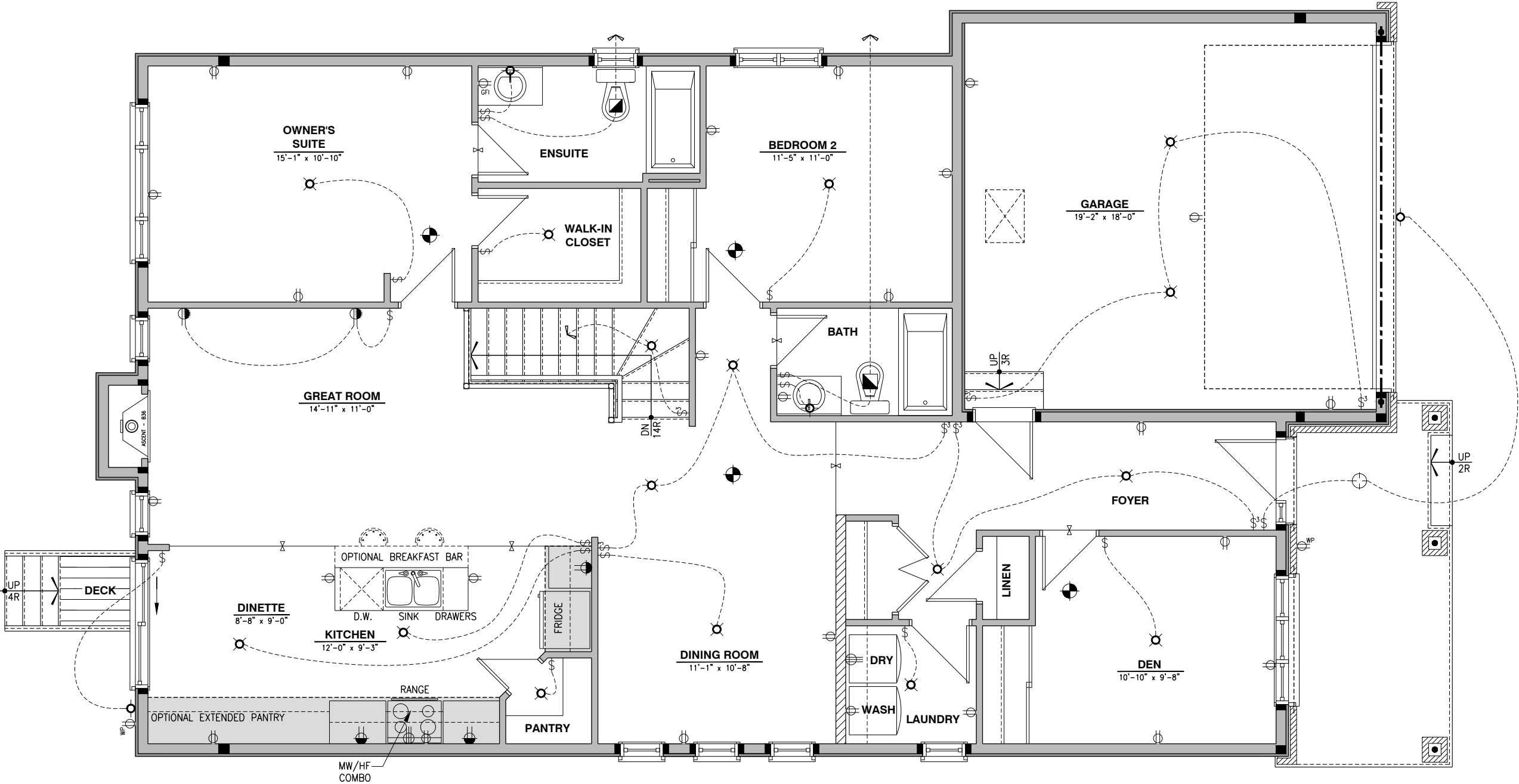
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.7

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 1/4" = 1'-0"



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















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-  SINGLE POLE SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  FURNACE SWITCH
-  FIREPLACE SWITCH
-  DUPLEX OUTLET (12" HIGH)
-  DUPLEX OUTLET (UPPER HALF SWITCH)
-  GROUND FAULT INTERVOLT
-  WEATHER PROOF DUPLEX OUTLET
-  SPLIT OUTLET
-  220 VOLT OUTLET
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  POT LIGHT
-  SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	DOYON

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. A**

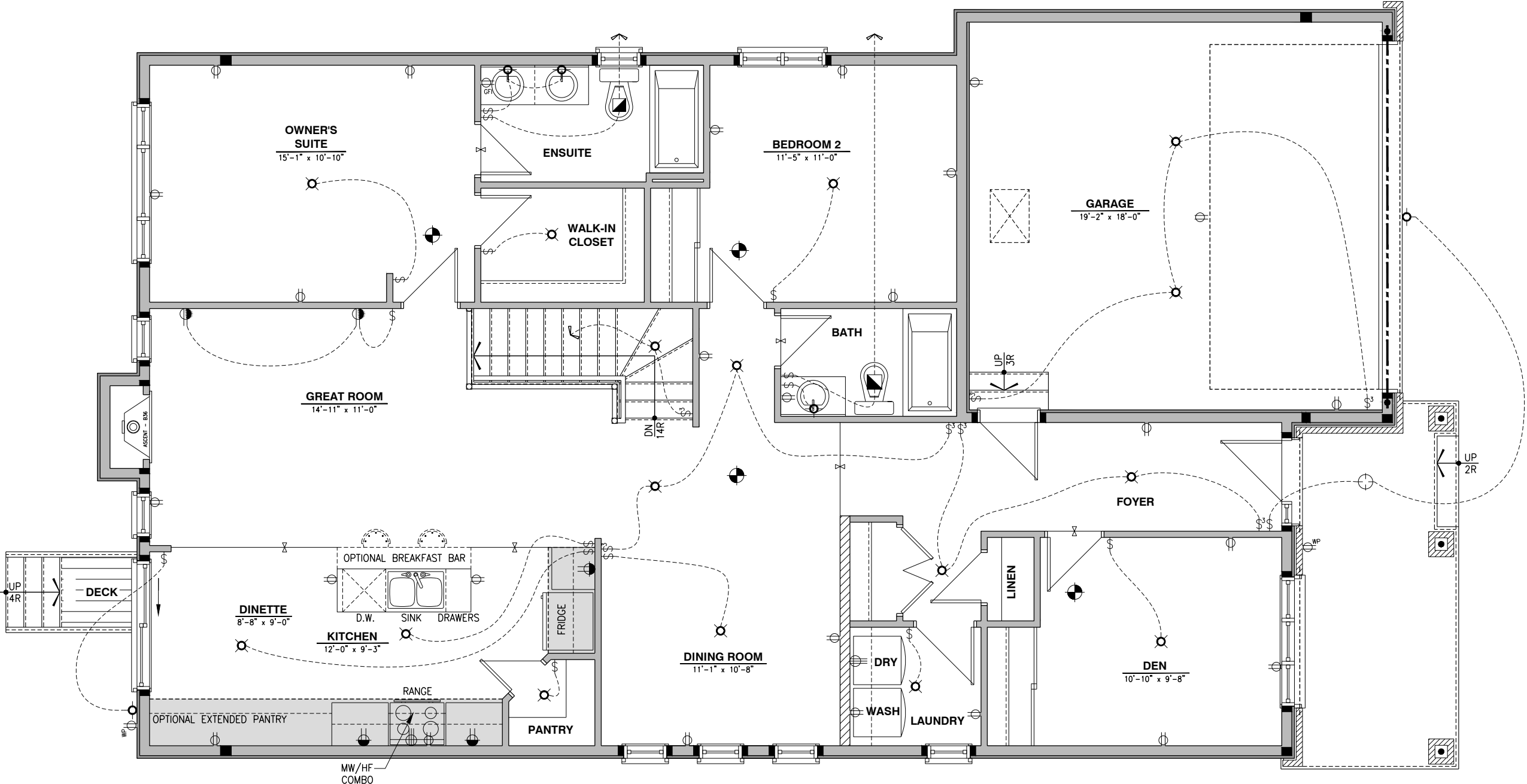
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: **E.8**

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

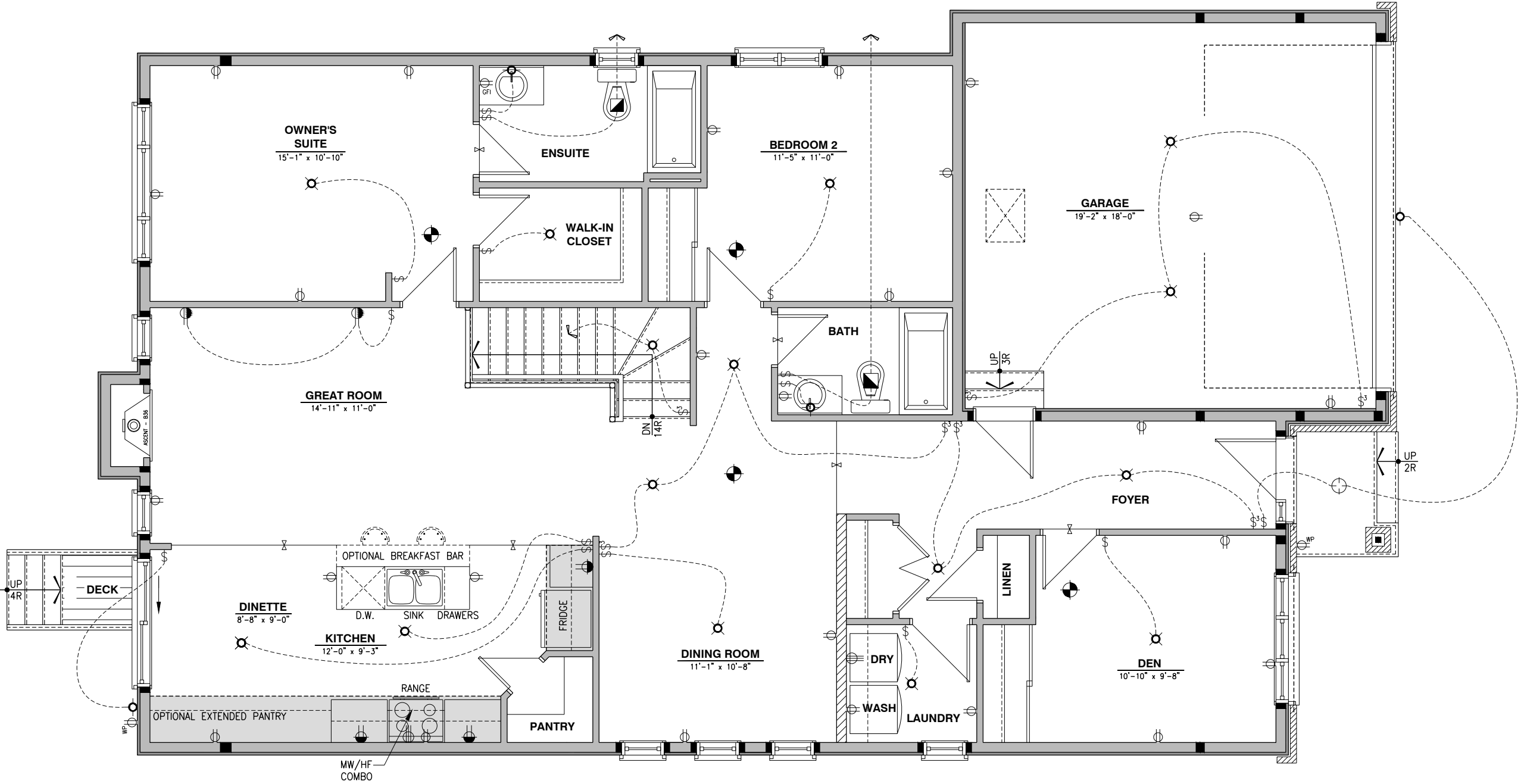

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 1/4" = 1'-0"



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

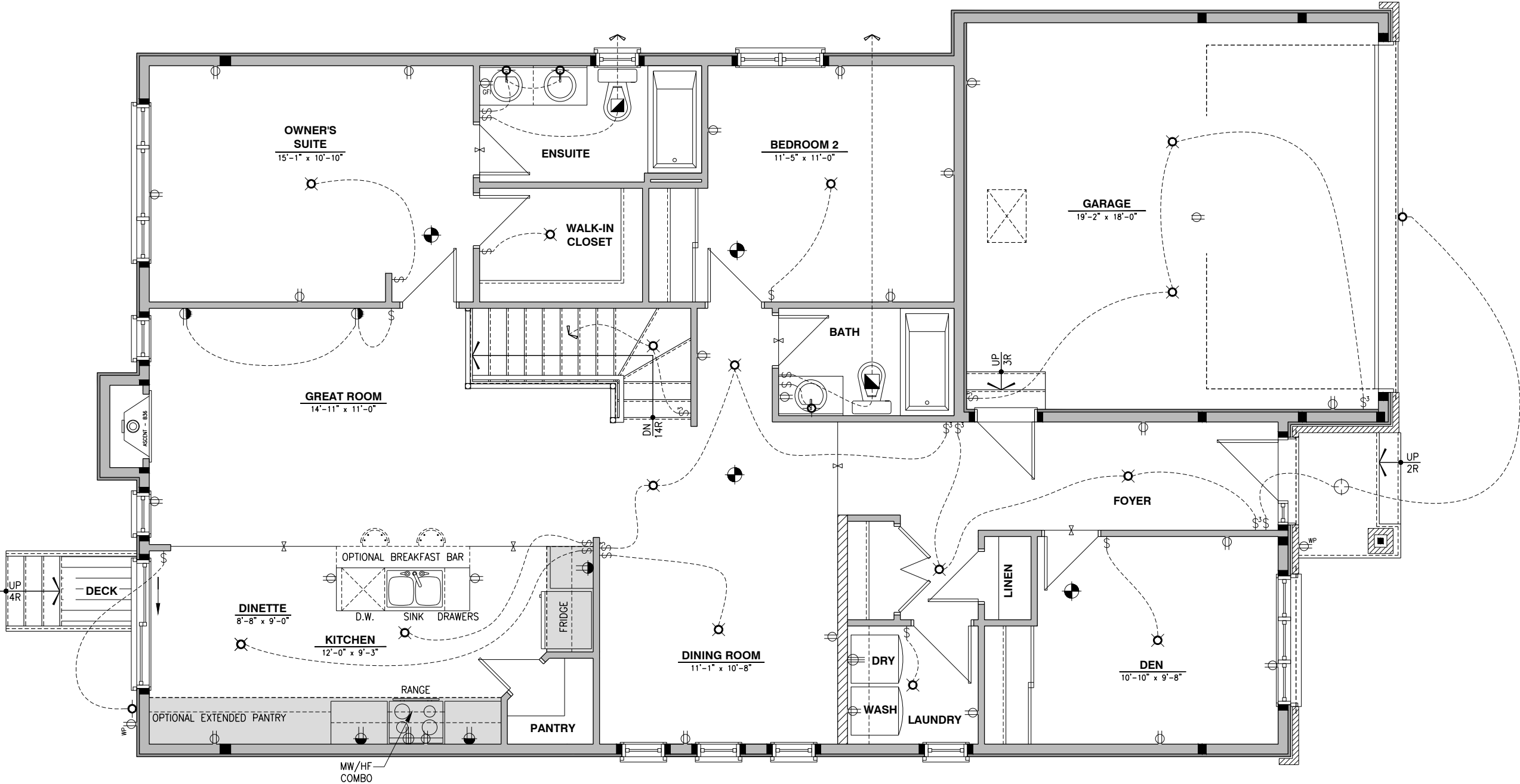
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"





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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊗

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊗

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

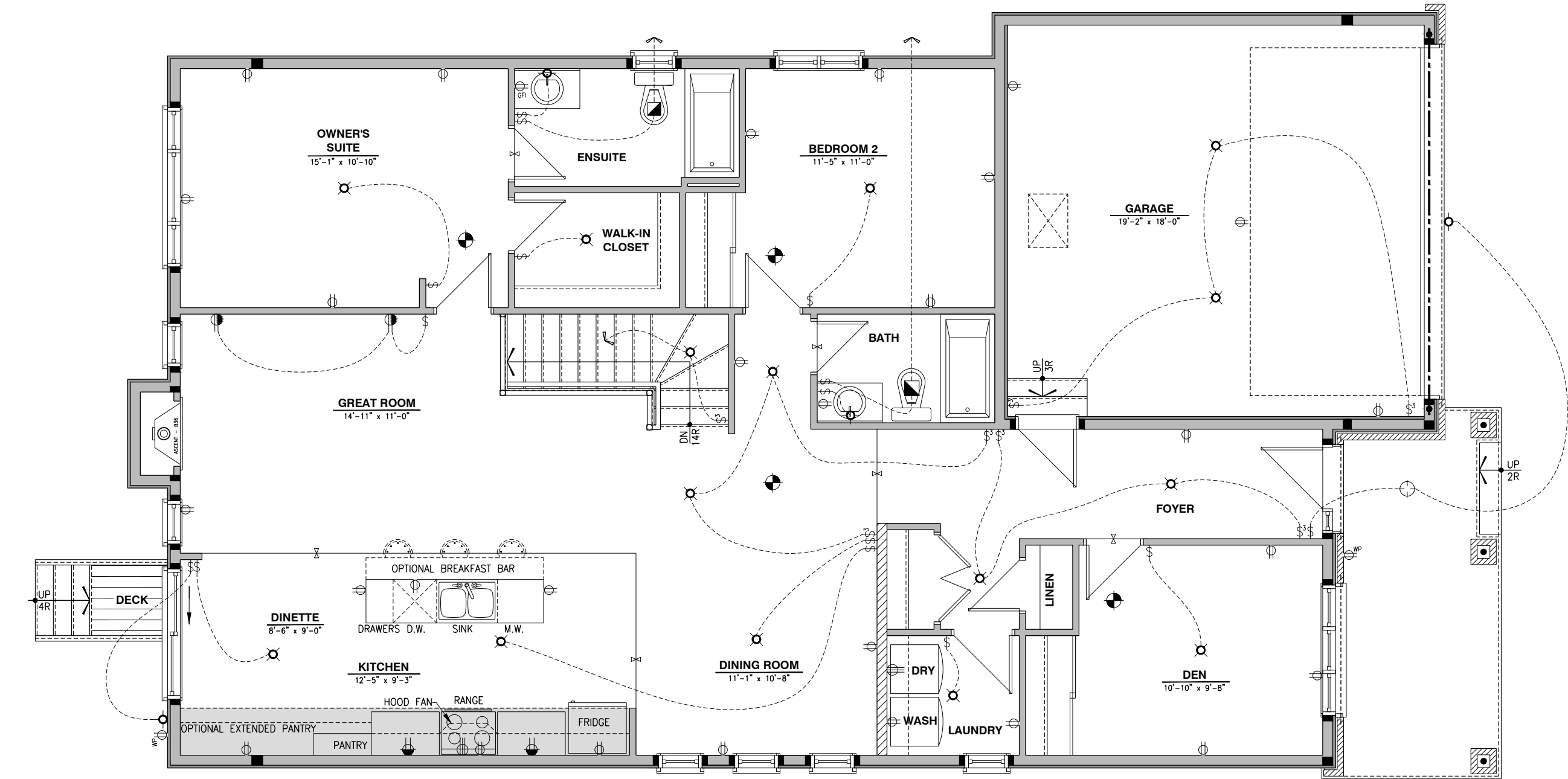
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. A**

ADDRESS: xx      SCALE: 3/16" = 1'-0"      DATE: xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.11**



**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION A**

SCALE: 1/4" = 1'-0"

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- TARIION REGISTRATION NUMBER #611

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- 12

DUPLEX OUTLET (12" HIGH)
- 12

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- 2

SPLIT OUTLET
- 220

220 VOLT OUTLET
- W

WALL MOUNTED LIGHT FIXTURE
- CL

CEILING MOUNTED LIGHT FIXTURE
- P

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

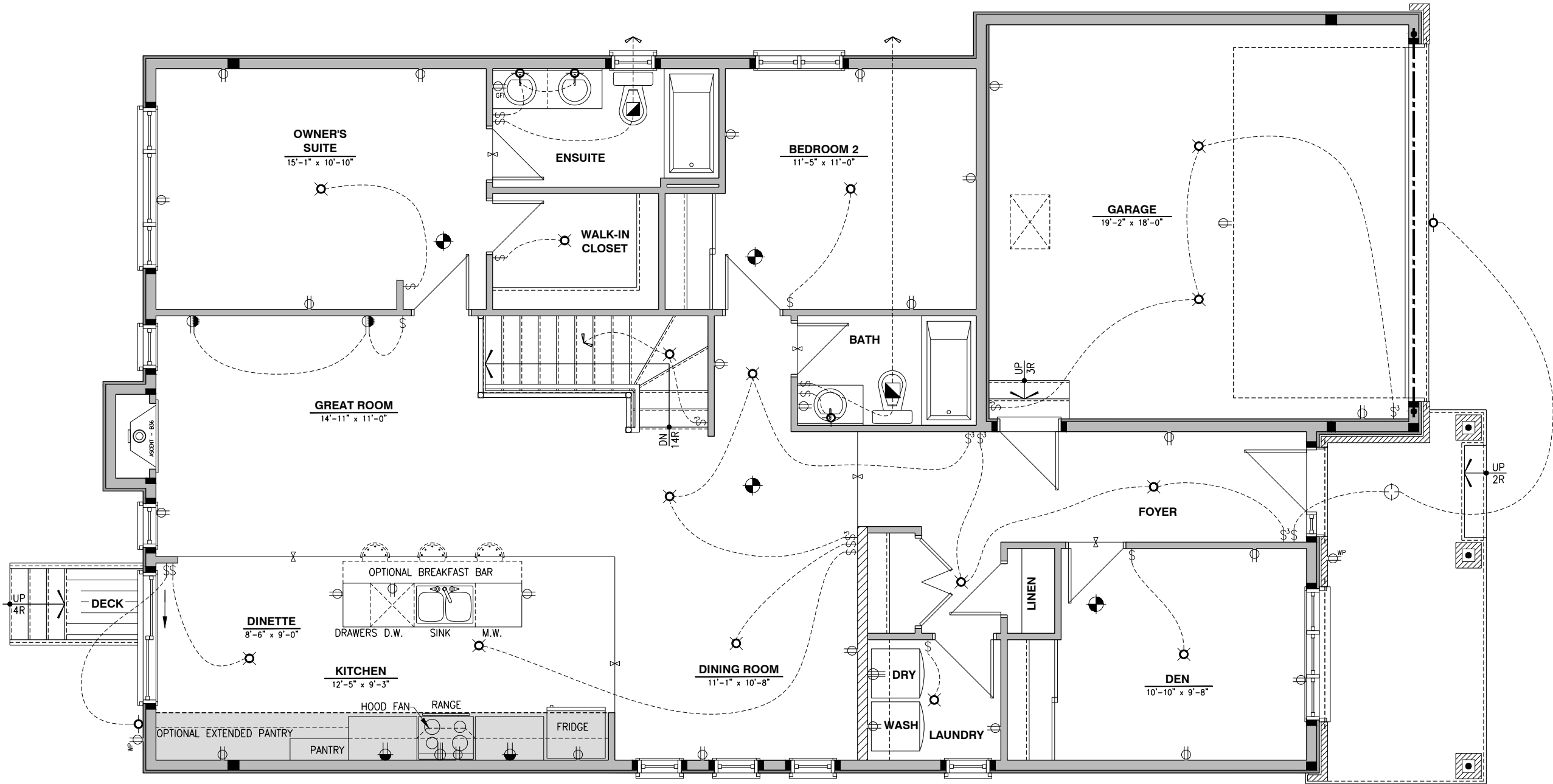
PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. A**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



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











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-  SINGLE POLE SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  FURNACE SWITCH
-  FIREPLACE SWITCH
-  DUPLEX OUTLET (12" HIGH)
-  DUPLEX OUTLET (UPPER HALF SWITCH)
-  GROUND FAULT INTERVOLT
-  WEATHER PROOF DUPLEX OUTLET
-  SPLIT OUTLET
-  220 VOLT OUTLET
-  WALL MOUNTED LIGHT FIXTURE
-  CEILING MOUNTED LIGHT FIXTURE
-  POT LIGHT
-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

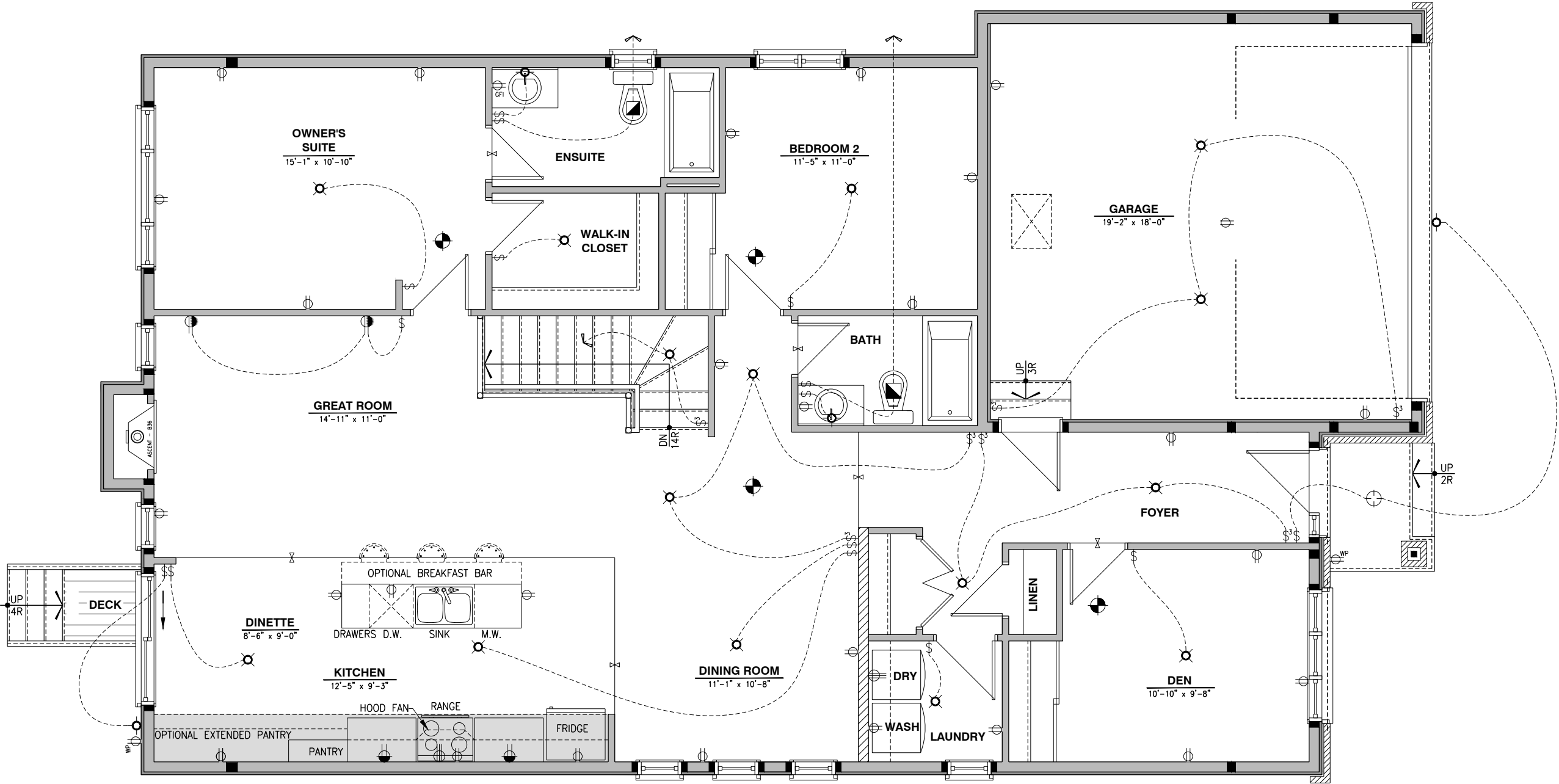

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

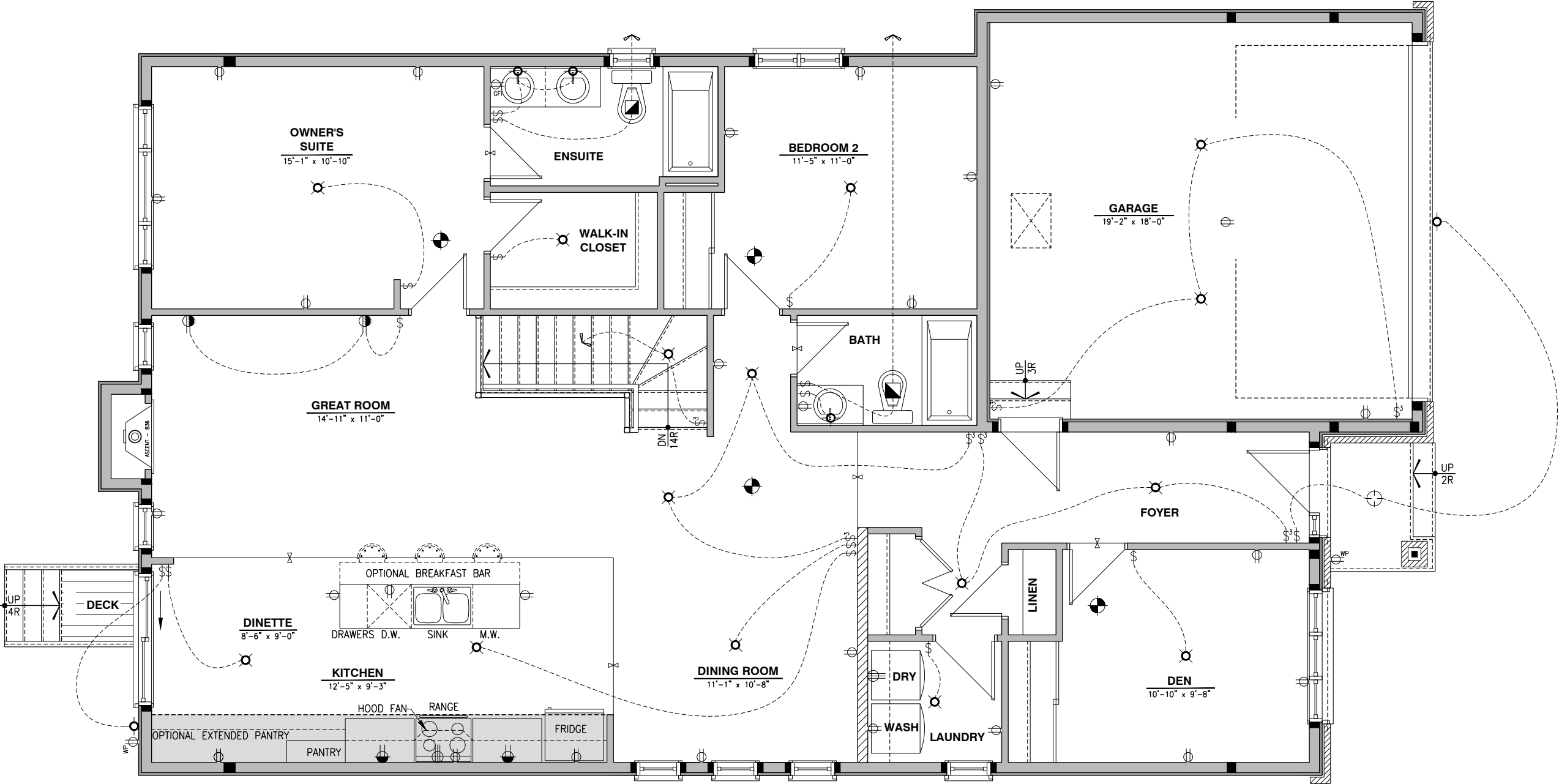

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.14



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

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- \$

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

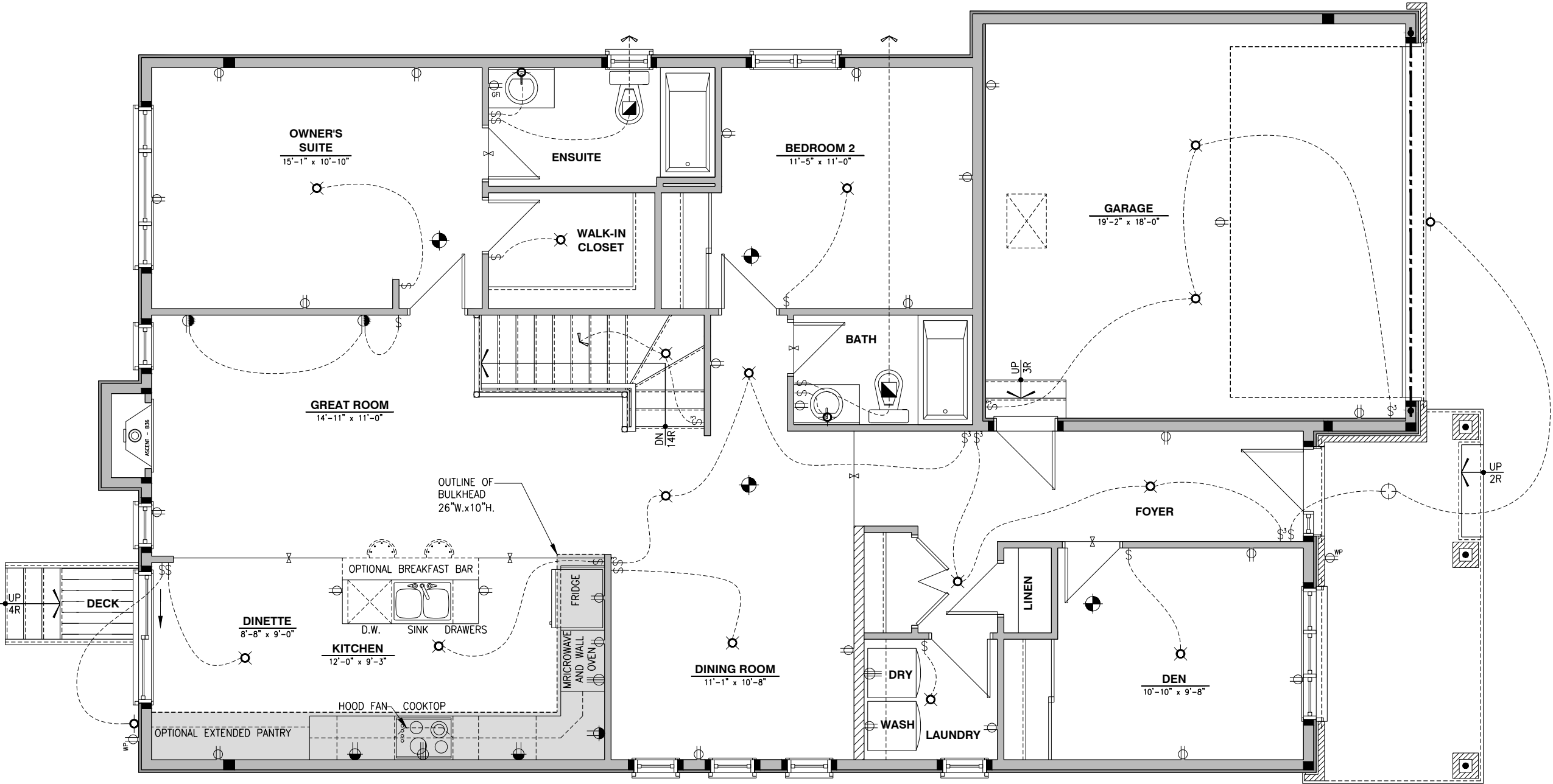
DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- 12

DUPLEX OUTLET (12" HIGH)
- 12U

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- 2

SPLIT OUTLET
- 220

220 VOLT OUTLET
- W

WALL MOUNTED LIGHT FIXTURE
- C

CEILING MOUNTED LIGHT FIXTURE
- P

POT LIGHT
- SA

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

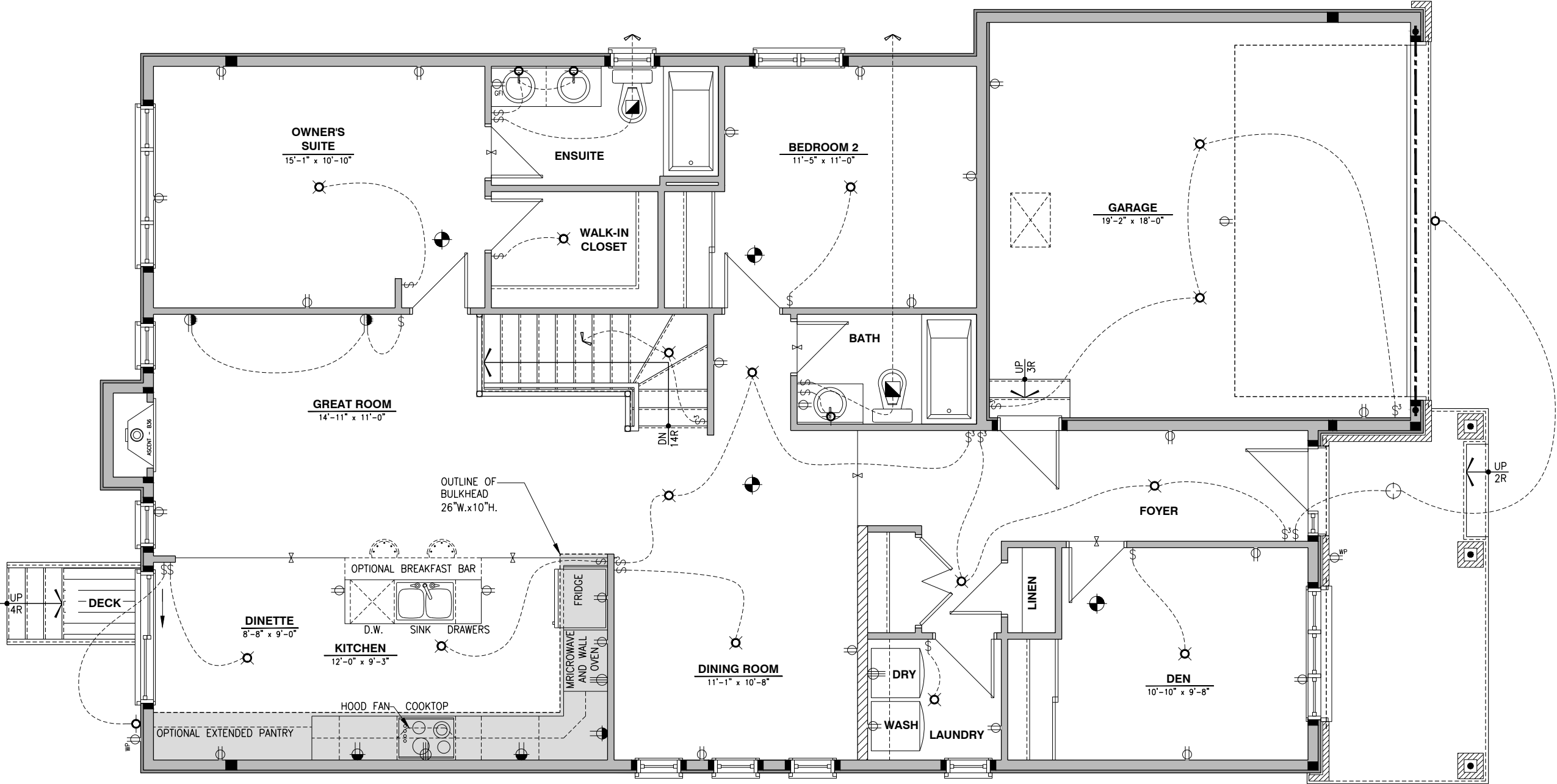
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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- DO

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- SO

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WL

WALL MOUNTED LIGHT FIXTURE
- CL

CEILING MOUNTED LIGHT FIXTURE
- PL

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ME

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

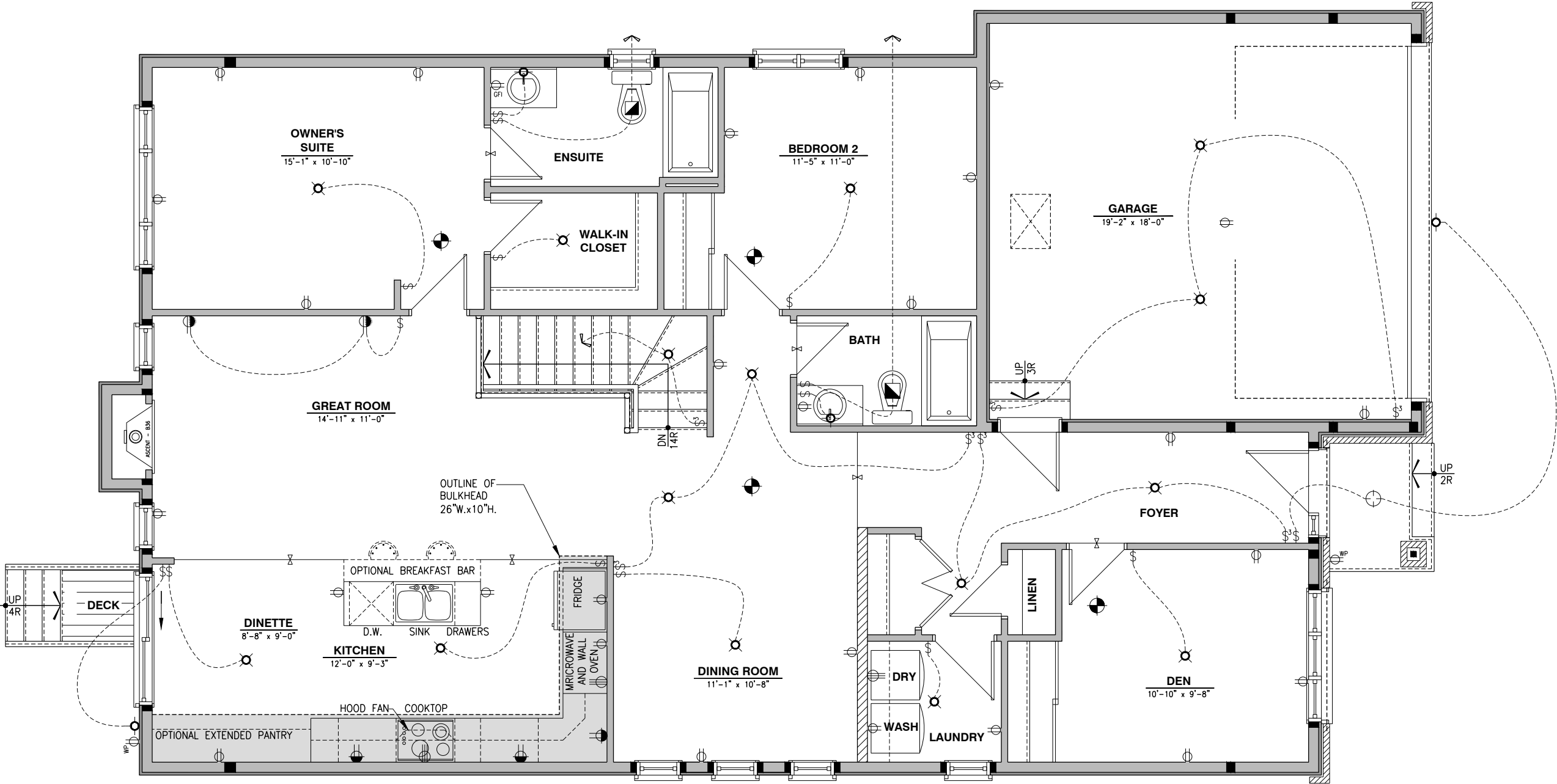
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**  
**GROUND FLOOR - ELEV. B**

ADDRESS: xx      SCALE: 3/16" = 1'-0"      DATE: xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.17**



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

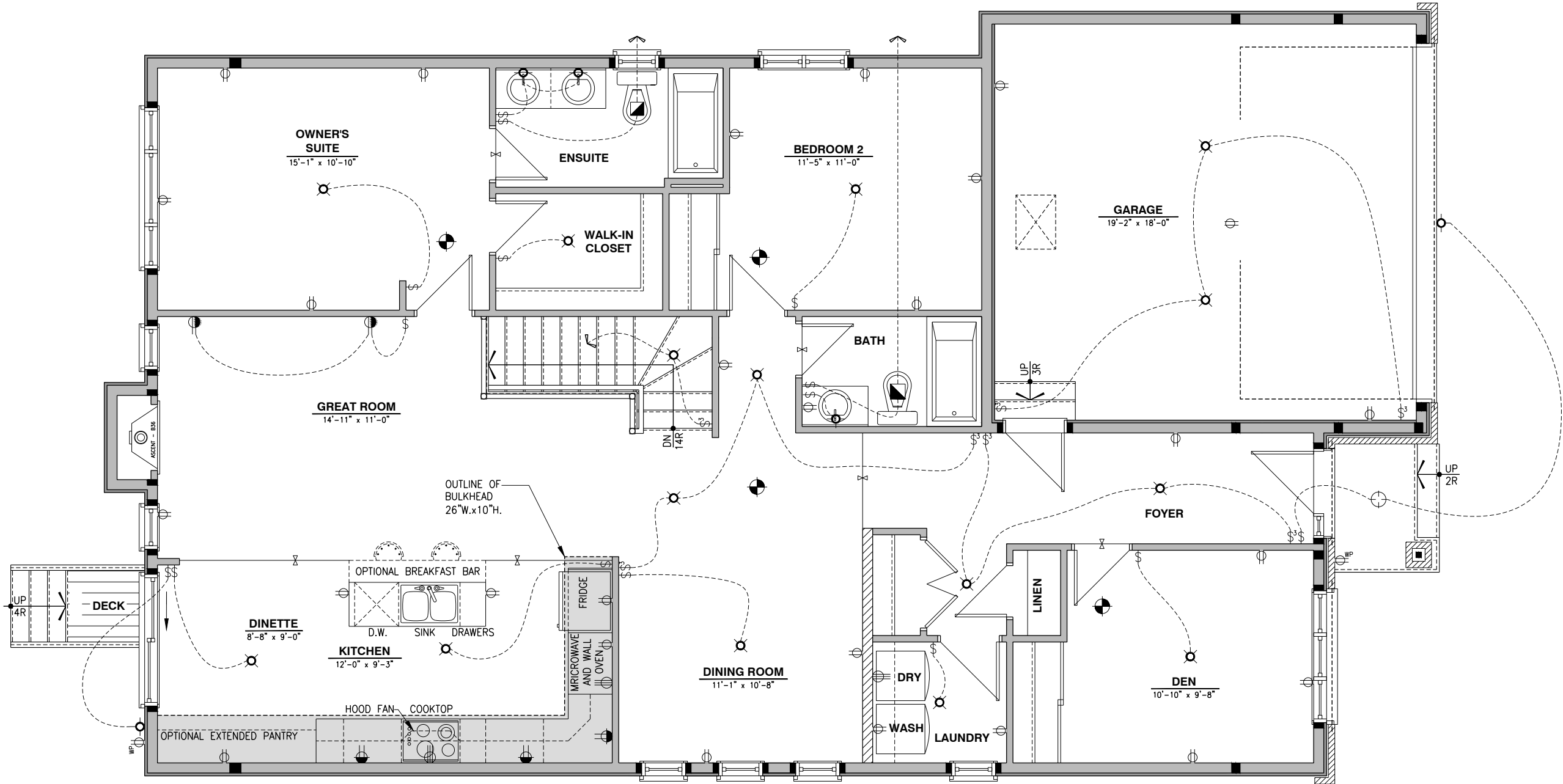
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.18



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"