

STANDARD:

GROSS INSULATED = 297 M. SQ. WALL AREA

GROSS WINDOW = 29.79 M. SQ. AREA

PERCENT GLASS TO WALL AREA = 10%

STANDARD WITH ENSUITE UPGRADE:

GROSS INSULATED = 297 M. SQ. WALL AREA

GROSS WINDOW = 30.39 M. SQ. AREA

PERCENT GLASS TO WALL AREA = 10.2%

OPTIONAL OFFICE:

GROSS INSULATED = 297 M. SQ. WALL AREA

GROSS WINDOW = 30.69M. SQ. AREA

PERCENT GLASS TO WALL AREA = 10.3%

OPTIONAL OFFICE WITH ENSUITE UPGRADE:


GROSS INSULATED = 297 M. SQ. WALL AREA

GROSS WINDOW = 31.29 M. SQ. AREA

PERCENT GLASS TO WALL AREA = 10.5%

LOT:XXXX

DATE:XX/XX/XXXX



Valecraft

Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

FRONT ELEVATION  
ELEVATION A

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT

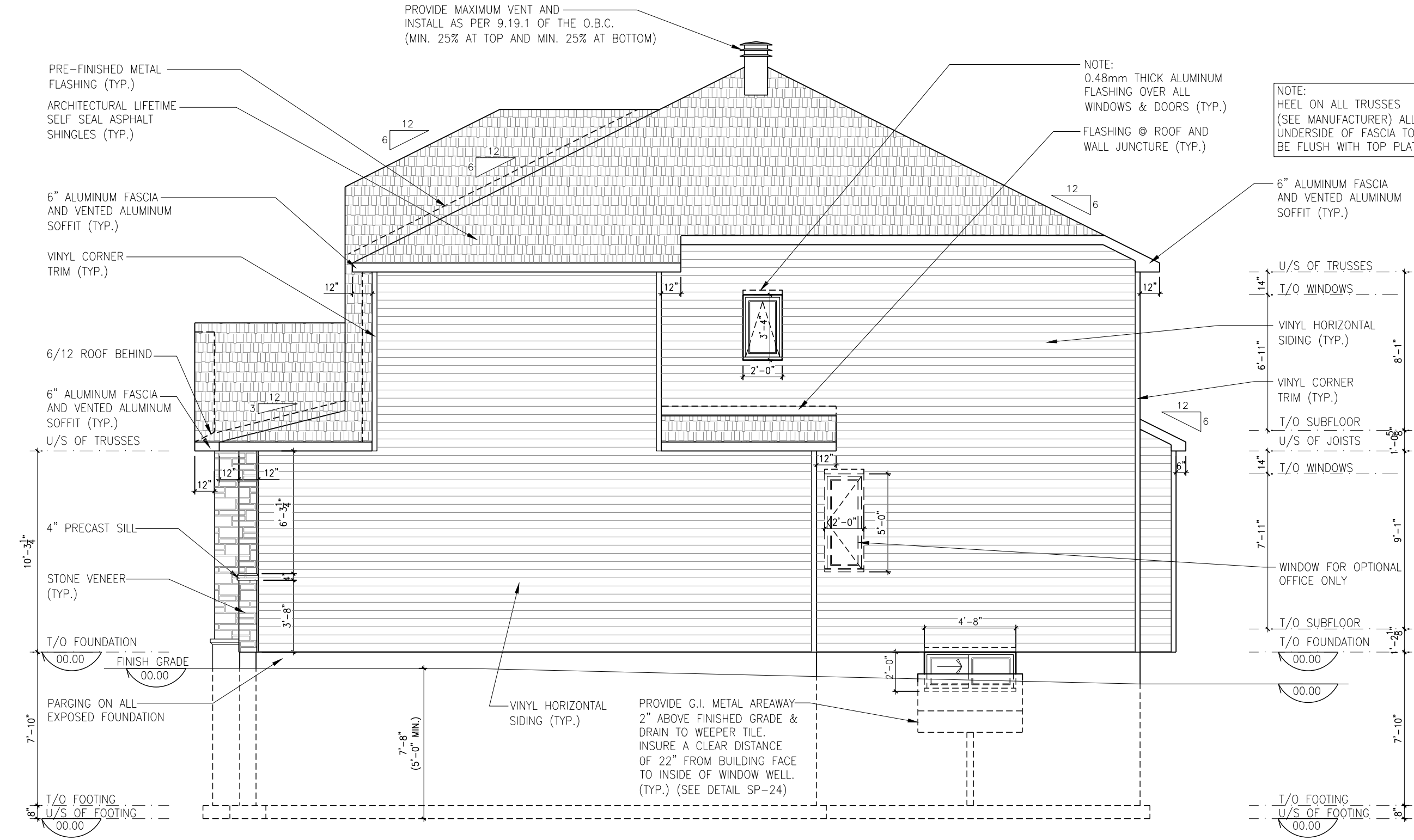
(STANDARD DRAWINGS)

SHEET:

A1a

FRONT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 77 m. sq.  
AREA OF UNPROTECTED OPENINGS - 1.4 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 1.8 %

UNPROTECTED OPENINGS: WITH OPTIONAL OFFICE  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 77 m. sq.  
AREA OF UNPROTECTED OPENINGS - 2.3 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 2.98 %



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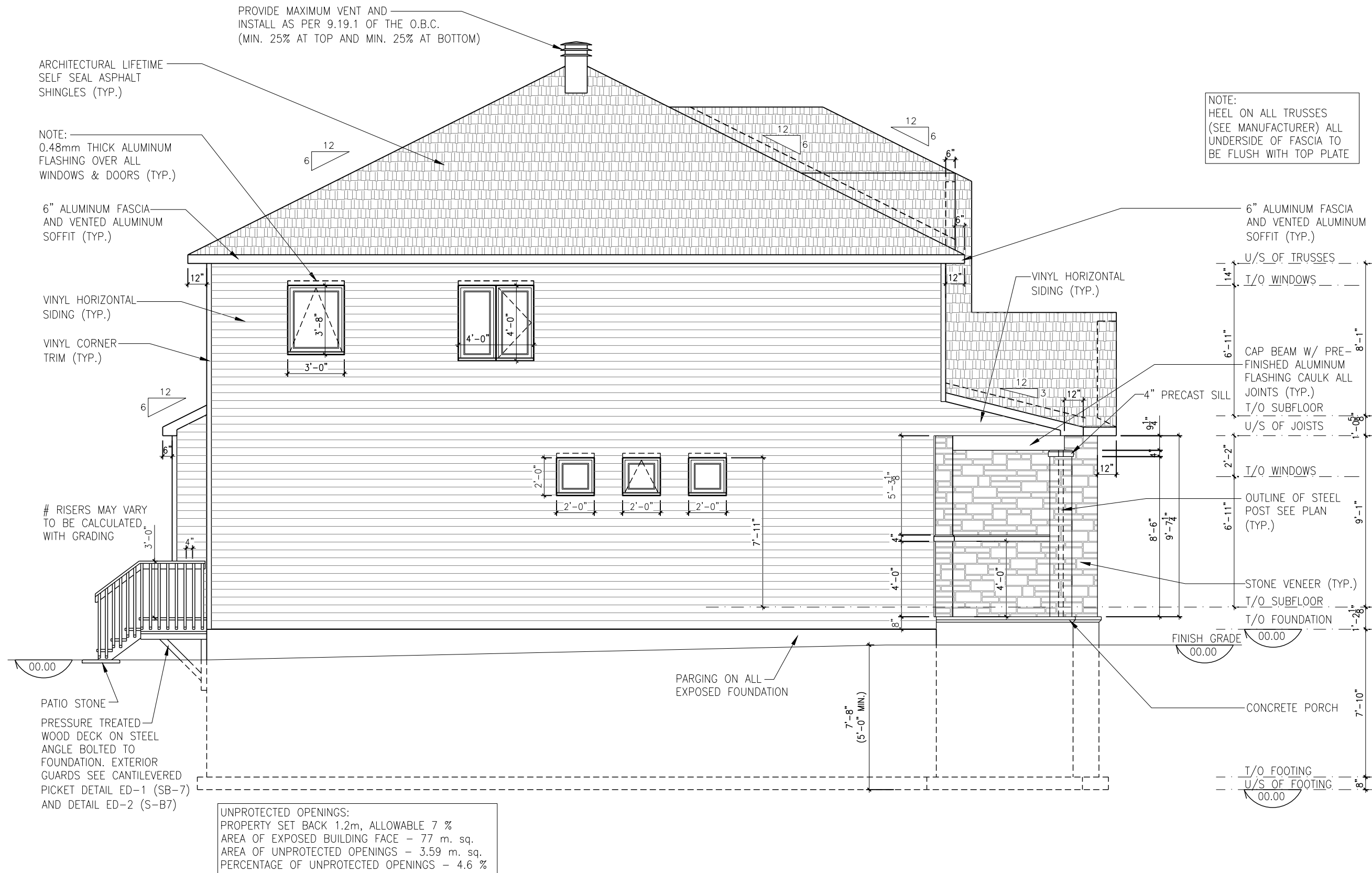
PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: RIGHT ELEVATION  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



LEFT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
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AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL  
DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S  
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION  
ELEVATION A

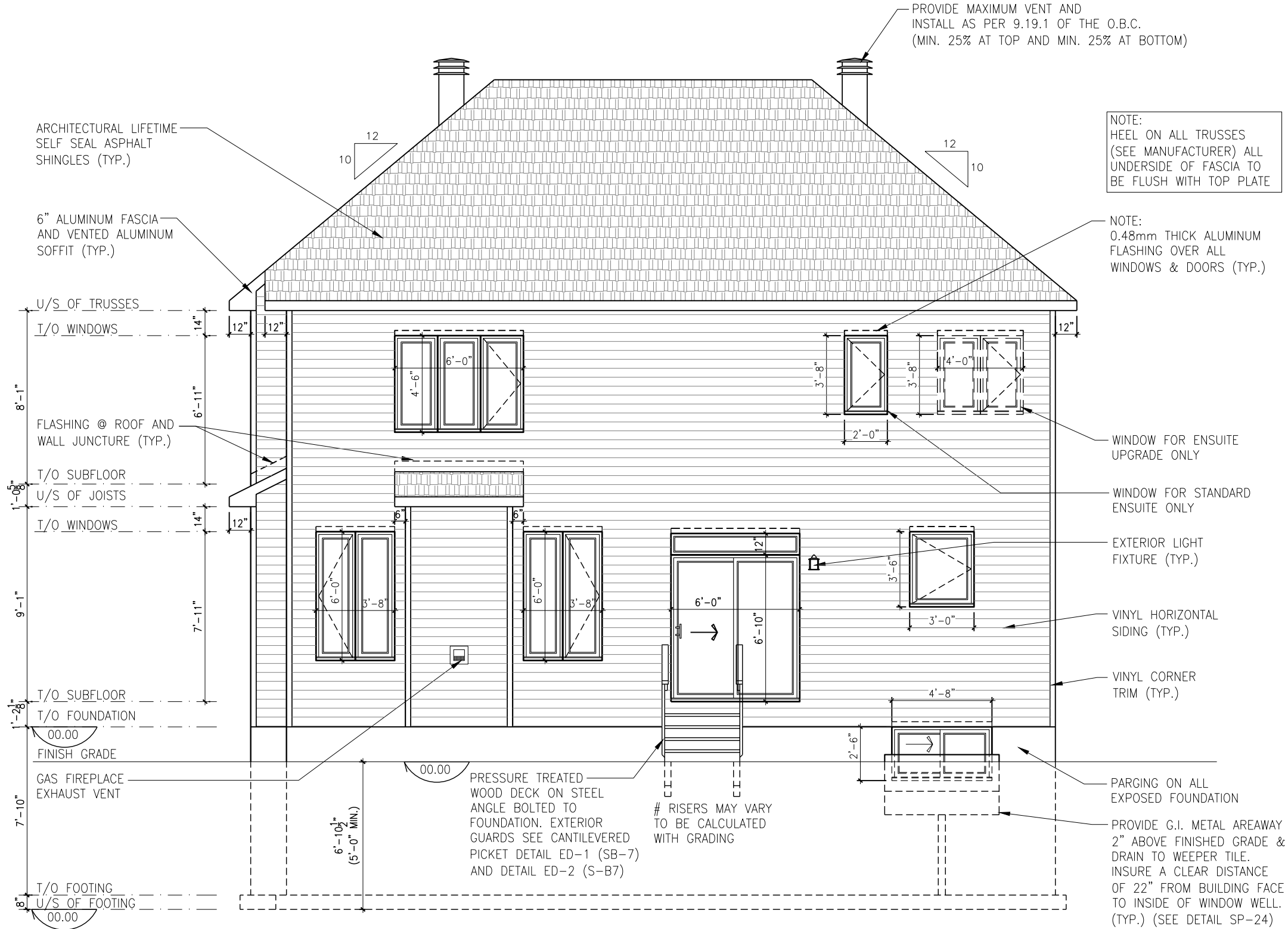
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A3a

REAR ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- TARIION REGISTRATION NUMBER #611

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A4a



OPTIONAL OFFICE WITH ENSUITE UPGRADE:

GROSS INSULATED = 298 M. SQ.  
WALL AREA

GROSS WINDOW = 32.99 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 11%

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)



**Valecraft**  
Homes (2019) Limited

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NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

— FLASHING @ ROOF AND  
WALL JUNCTURE (TYP.)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA—  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

KAYCAN WOOD PRODUCTS  
CORNER TRIM (7 1/4")

4" PRECAST SILL

BRICK VENEER  
(TYP.)

6" ALUMINUM FASCIA —  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

## U/S OF TRUSSES

BRICK VENEER  
(TYP.)

4" PRECAST SILL

STONE VENEER  
(TYP.)

T/O FOUNDATION

FINISH GRADE

PARGING ON ALL—  
EXPOSED FOUNDATION

—OUTLINE OF  
GARAGE ROOF  
TRUSSES

—VINYL HORIZONTAL  
SIDING (TYP.)

PROVIDE G.I. METAL AREAWAY-  
2" ABOVE FINISHED GRADE &  
DRAIN TO WEEPER TILE.  
INSURE A CLEAR DISTANCE  
OF 22" FROM BUILDING FACE  
TO INSIDE OF WINDOW WELL.  
(TYP.) (SEE DETAIL SP-24)

UNPROTECTED OPENINGS: WITH OPTIONAL OFFICE PROPERTY SET BACK 1.2m, ALLOWABLE 7 % AREA OF EXPOSED BUILDING FACE - 77 m. sq. AREA OF UNPROTECTED OPENINGS - 2.3 m. sq. PERCENTAGE OF UNPROTECTED OPENINGS - 2.98 %
--

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE – 77 m. sq.
AREA OF UNPROTECTED OPENINGS – 1.4 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS – 1.8 %

U/S OF TRUSSES

14"

I/O WINDOWS

6'-11"

VINYL HORIZONTAL SIDING (TYP.)

VINYL CORNER TRIM (TYP.)

I/O SUBFLOOR U/S OF JOISTS

14"

I/O WINDOWS

7'-11"

WINDOW FOR OPTIONAL OFFICE ONLY

I/O SUBFLOOR

I/O FOUNDATION

00.00

00.00

8'-1"

1'-0"

1'-2 1/2"

7'-10"

8"

I/O FOOTING

U/S OF FOOTING

00.00

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION**  
**ELEVATION B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1046 - THE HAZELWOOD**  
**2022 FOOTPRINT**  
 (STANDARD DRAWINGS)

SHEET:  
**A2b**

**RIGHT ELEVATION - ELEVATION B**

SCALE: 3/16" = 1'-0"



**Valecraft**  
Homes (2019) Limited

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PC - PRECAST KEYSTONE  
PCI 10 - 10" PRECAST LINTE



SCALE: 3/16" = 1'-0"

<b>2012 O.B.C. DRAWINGS</b>			
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:	<b>LEFT ELEVATION ELEVATION B</b>
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ADDRESS: <div style="border-bottom: 1px solid black; min-height: 20px;">xx</div>	SCALE: <div style="border-bottom: 1px solid black; min-height: 20px;">3/16" = 1'-0"</div>	DATE: <div style="border-bottom: 1px solid black; min-height: 20px;">xx/xx/xxxx</div>
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1046 - THE HAZELWOOD

2022 FOOTPRINT

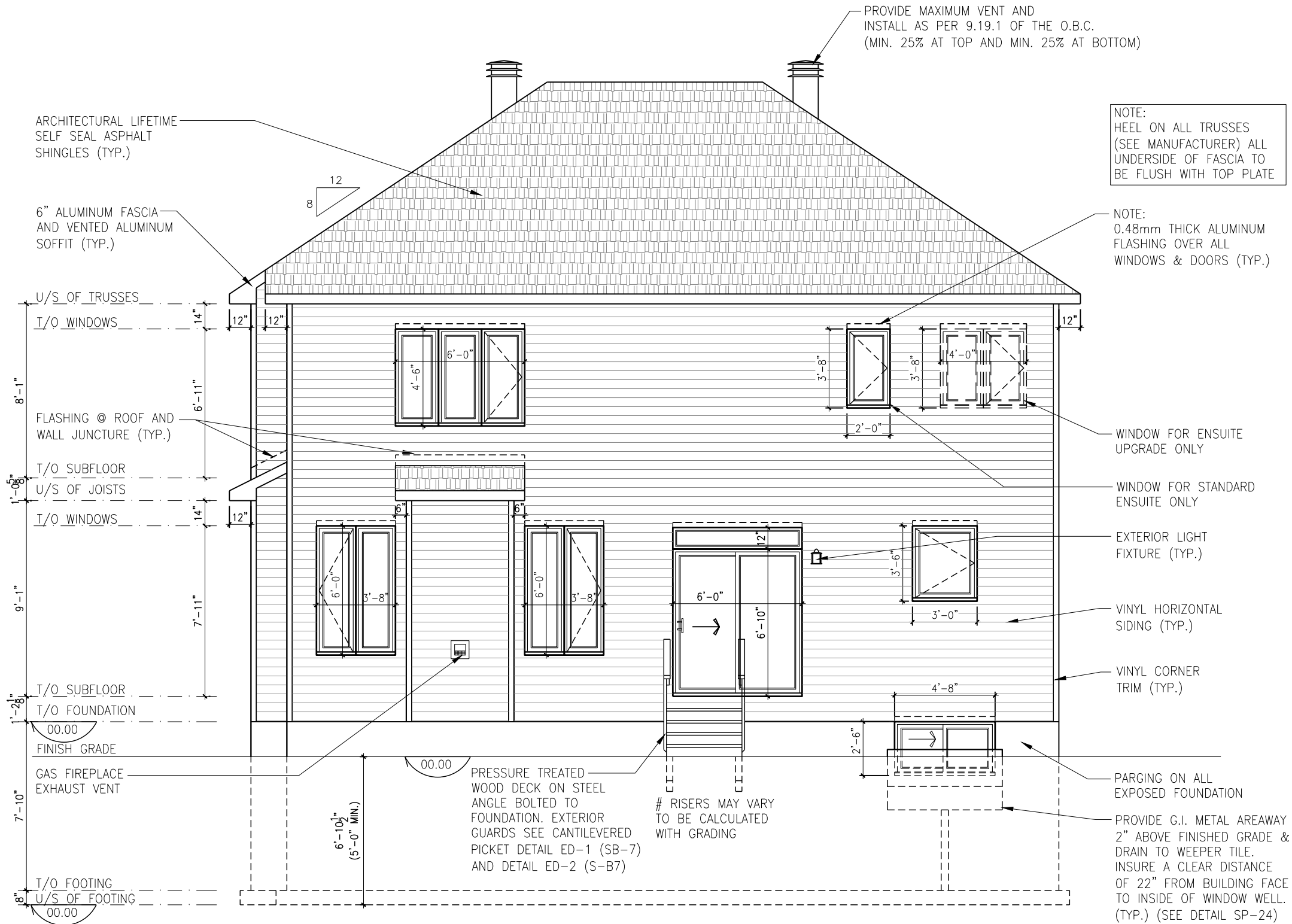
(STANDARD DRAWINGS)

SHEET:

A3b

REAR ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: REAR ELEVATION  
ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4b



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- EXTERIOR FINISH LEGEND:
- B - BRICK (MAIN)
  - B1 - BRICK SOLDIER COURSE (ACCENT)
  - B2 - BRICK SOLDIER COURSE (ACCENT)
  - + 20mm PROUD
  - B3 - BRICK SLEEPER COURSE
  - B4 - STACK BOND (ACCENT)
  - B5 - BRICK SILL (ACCENT)
  - B6 - BRICK ROW LOCK (ACCENT)
  - B7 - BRICK CORBELLING
  - B8 - BRICK COINING 20mm PROUD
  - +20 - BRICK 20mm PROUD
  - 20 - BRICK 20mm RECESSED
  - S - SIDING (HORIZONTAL)
  - SV - SIDING (VERTICAL)
  - ST - STONE VENEER
  - T - TRIM 200mm COVE SIDING
  - AF - ALUMINUM FASCIA
  - AC - ALUMINUM CLADDING
  - AB - 48" ALUMINUM BAND
  - AS - ASPHALT SHINGLES
  - F - FLASHING
  - V - ROOF VENT (MAXIMUM)
  - P - PARGING
  - PC - PARGING
  - PCH10 - PRECAST HEADER 10"
  - PCH8 - PRECAST HEADER 8"
  - PCS - PRECAST SILL
  - PCB - PRECAST BAND
  - VS - VINYL SHAKES
  - VEC - SIDING (VERTICAL CORNER)
  - KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BUILDING SECTION  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

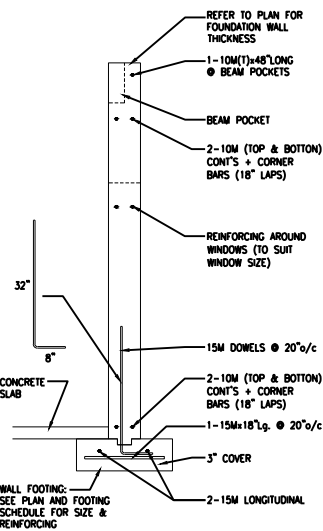
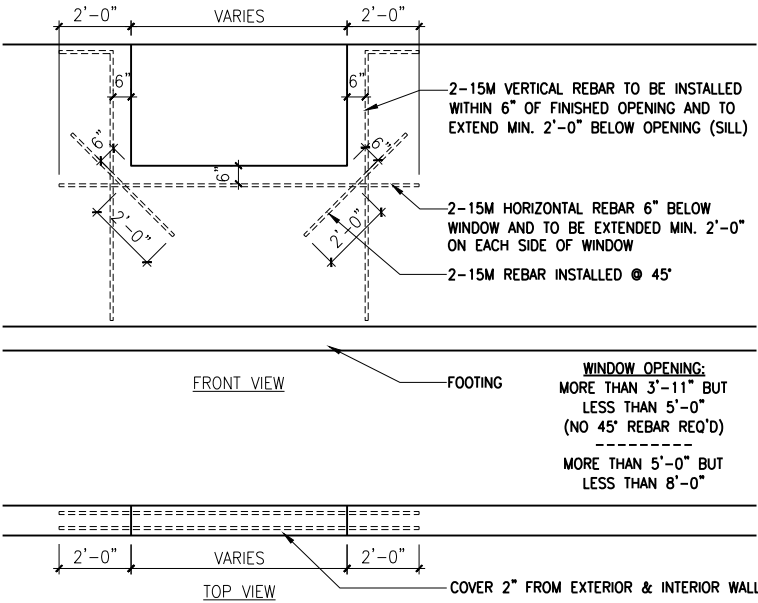
PRE-ENGINEERED ROOF  
TRUSSES @ 24" o/c  
(SEE MANUFACTURER)  
  
PRE-ENGINEERED  
CONTINUOUS BRACING  
(SEE MANUFACTURER)

OUTLINE OF  
STEEL POST  
SEE PLAN  
(TYP.)

4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

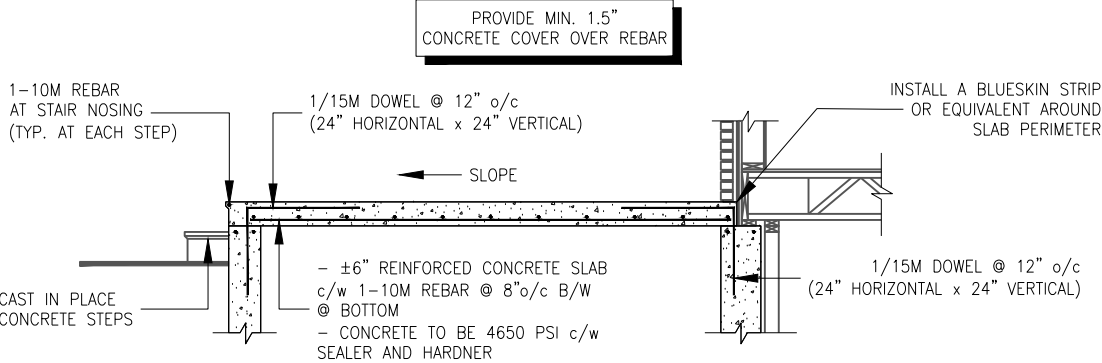
SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
TREAD = 9-1/4" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
HEADROOM = 6'-5" MAX

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	40"x40"x10" w/ 3-15M 34" LG. e/w	44"x44"x10" w/ 3-15M 38" LG. e/w	48"x48"x10" w/ 4-15M 42" LG. e/w	52"x52"x10" w/ 4-15M 46" LG. e/w	64"x64"x12" w/ 5-15M 58" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 3-15M 28" LG. e/w



## CONCRETE WALL REINFORCING

2  
A.6 SCALE: 1/4" = 1'-0"



## CONCRETE PORCH REINFORCING

3  
A.6 SCALE: 1/4" = 1'-0"

### NOTES:

FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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### NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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- POST ARE ALL JACK c/w STUD

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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

## FOOTING TABLE & DETAILS

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6

NOTES:  
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;  
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);  
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;  
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;  
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

**BASEMENT NOTE:**  
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:  
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:  
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
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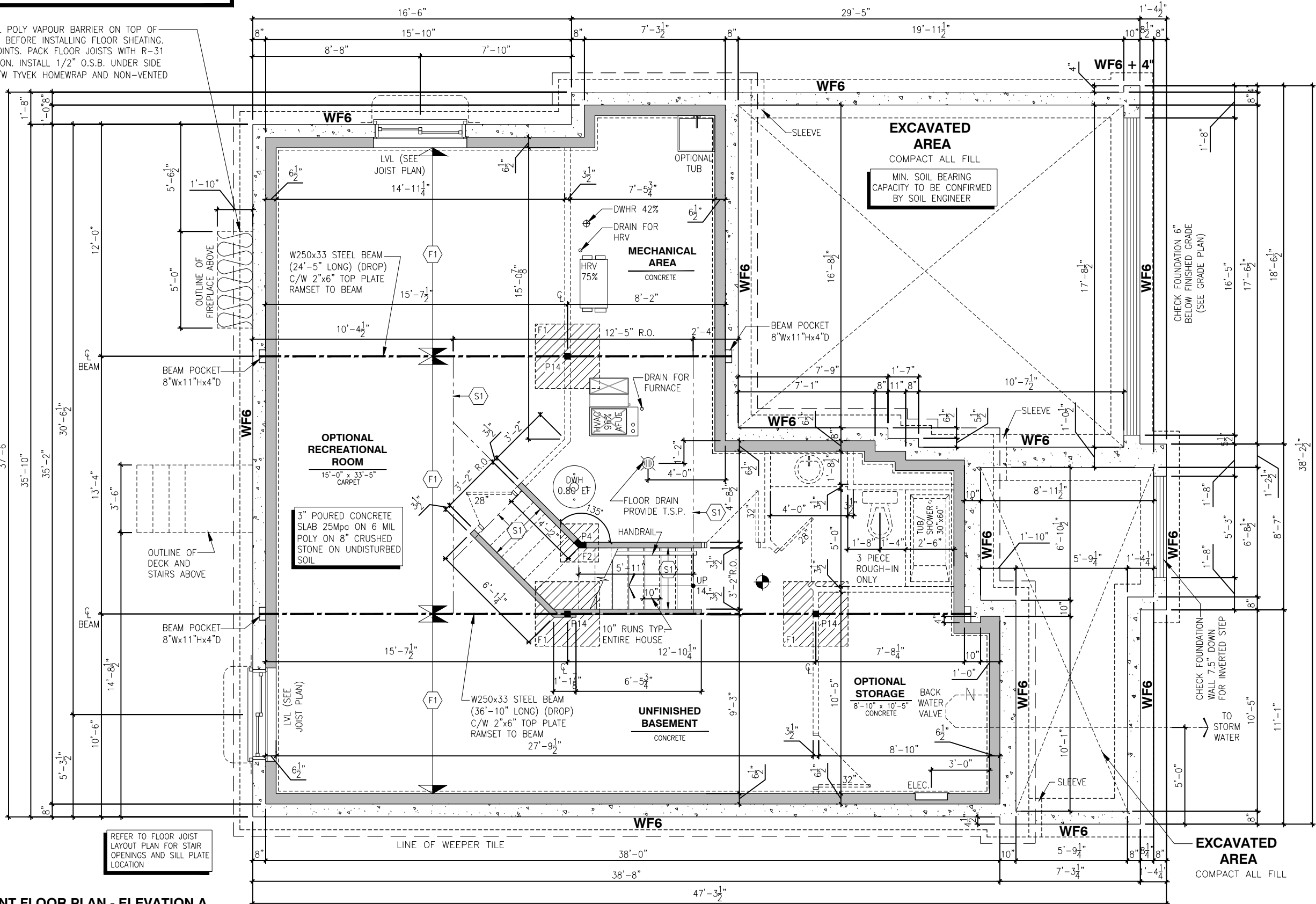
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BASEMENT FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT FLOOR PLAN  
ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A6a

NOTES:

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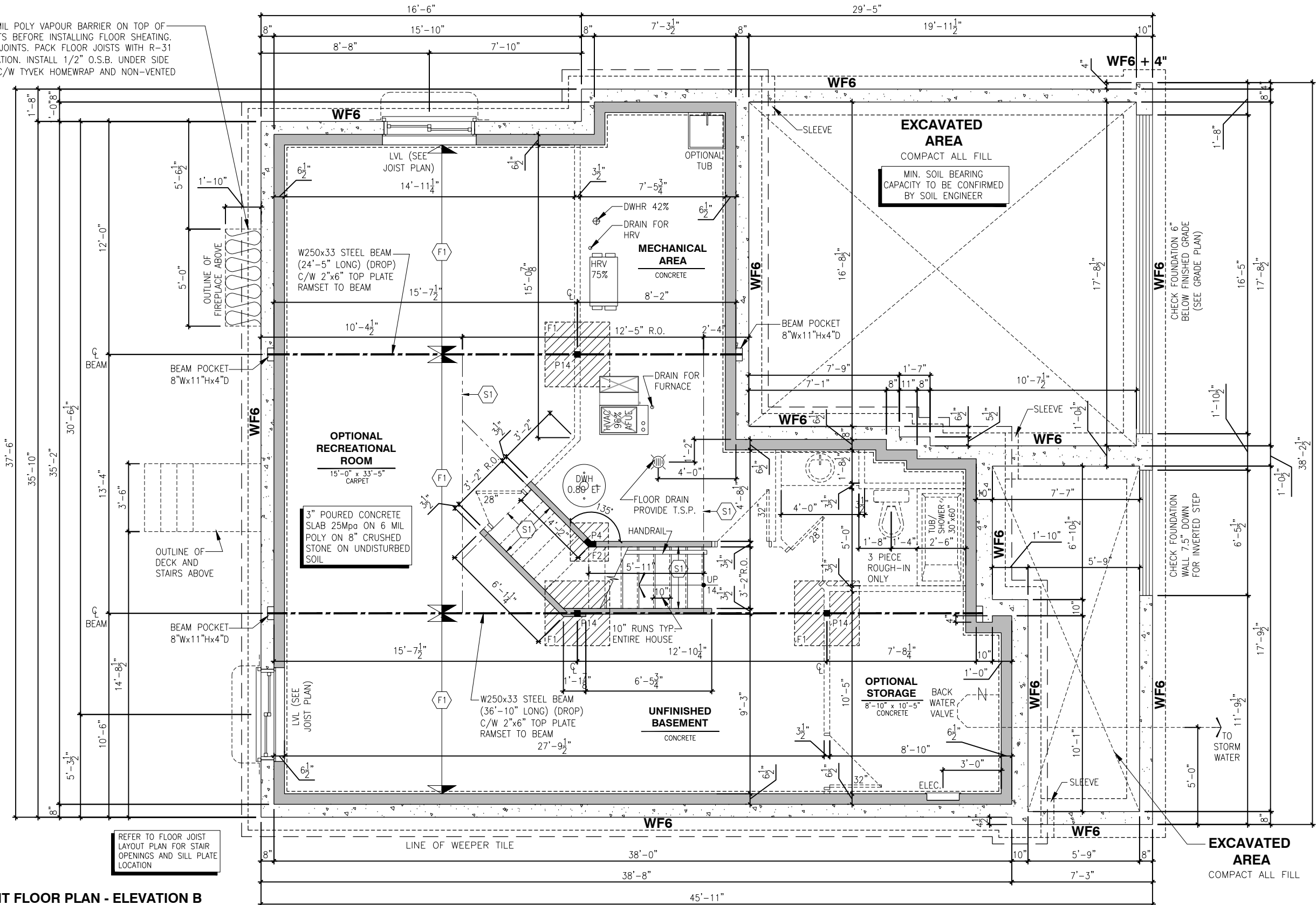
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**BASEMENT FLOOR PLAN - ELEVATION B**

SCALE: 3/16" = 1'-0"

**LOT: XXXX**

**DATE: XX/XX/XXXX**



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**2012 O.B.C. DRAWINGS**


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1046 - THE HAZELWOOD 2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET: **A6b**



## NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

## ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

## FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- W250x73 STEEL BEAM (DROP) (18'-10" LONG) RAMSET A 2"x6" PLATE ON TOP. PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

## SINGLE DWELLING STAIRS:

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RUN = 10" MIN / 14" MAX  
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THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

## NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

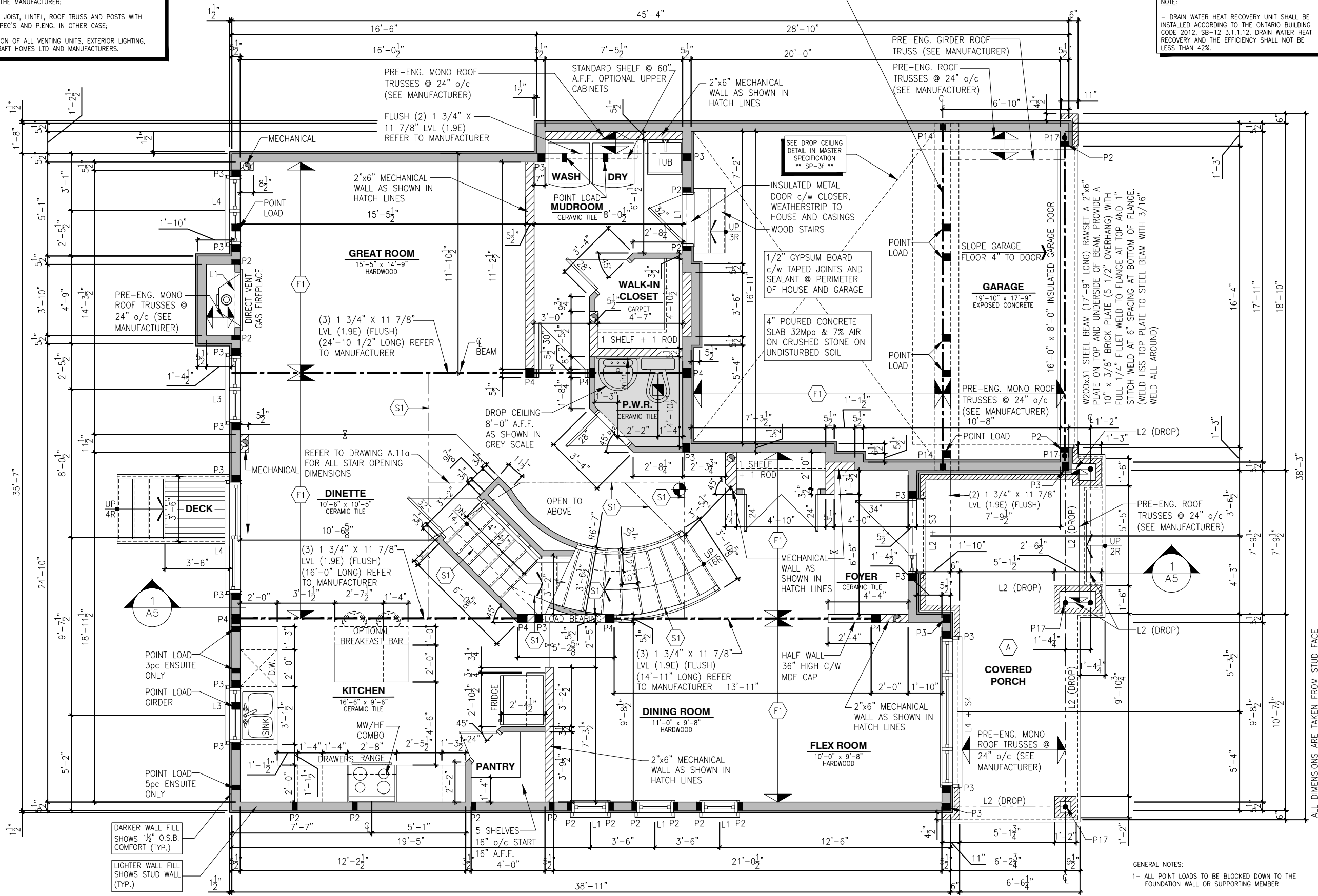
1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A7a

## GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



## GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE

## NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

## ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

## FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- W250x73 STEEL BEAM (DROP) (18'-10" LONG) RAMSET A 2"x6" PLATE ON TOP. PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

## SINGLE DWELLING STAIRS:

- RISE = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN

## NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.2. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

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## NOTES:

## STEEL LINTEL:

- S1 = L 90x90x6  
S2 = 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

## LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: **GROUND FLOOR PLAN****STANDARD KITCHEN - ELEV. B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

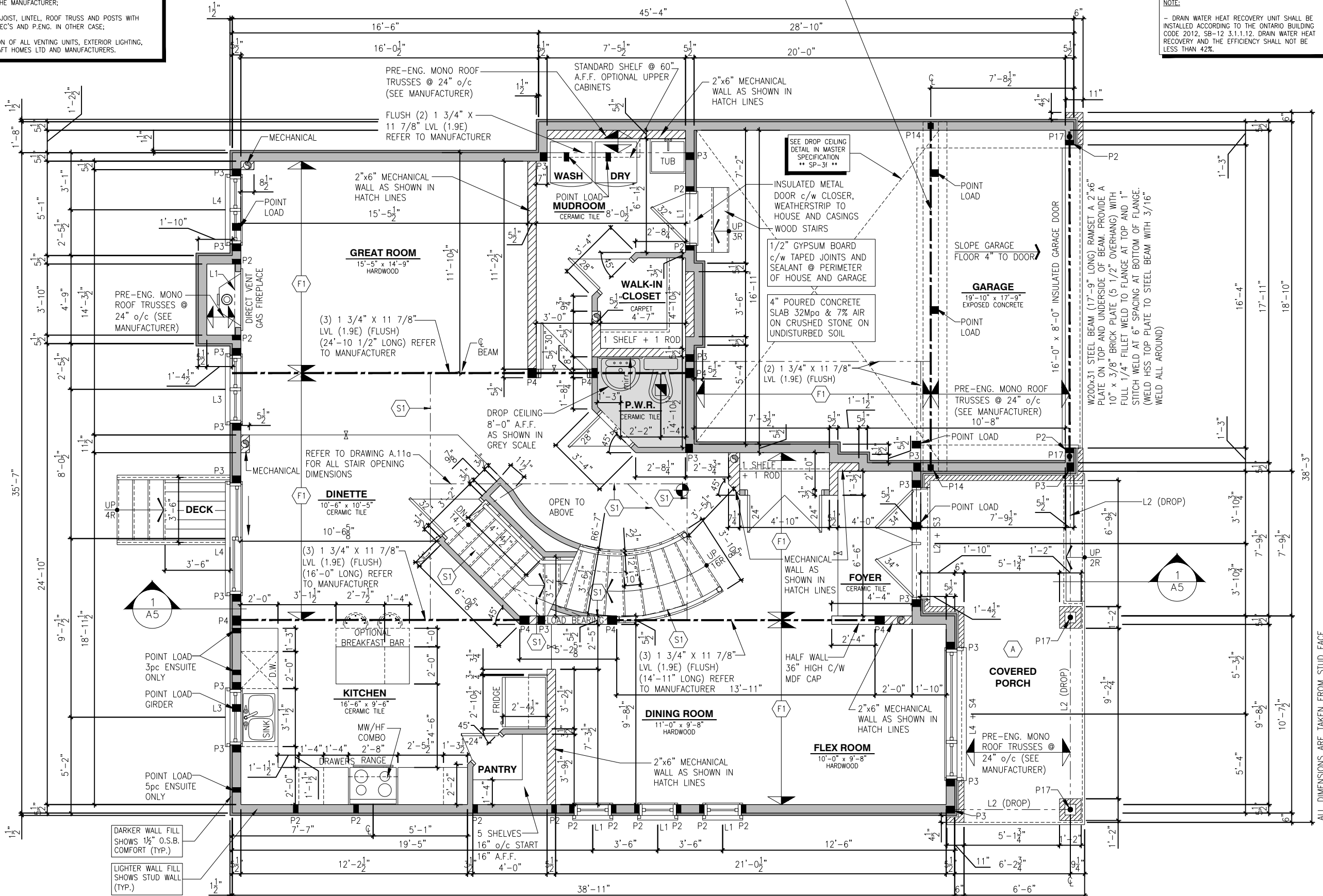
**1046 - THE HAZELWOOD**  
**2022 FOOTPRINT**

(STANDARD DRAWINGS)

**A7b**

## GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"



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## 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - ELEV. A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXX

## 1046 - THE HAZELWOOD 2022 FOOTPRINT

(STANDARD DRAWINGS)

**A7c**

## GROUND FLOOR PLAN - STANDARD KITCHEN - OPTIONAL OFFICE - ELEVATION A

SCALE:  $3/16" = 1'-0"$

## NOTES:

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LOT: XXXX

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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

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## 2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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DRAWING: **GROUND FLOOR PLAN**  
**STANDARD KITCHEN - ELEV. B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

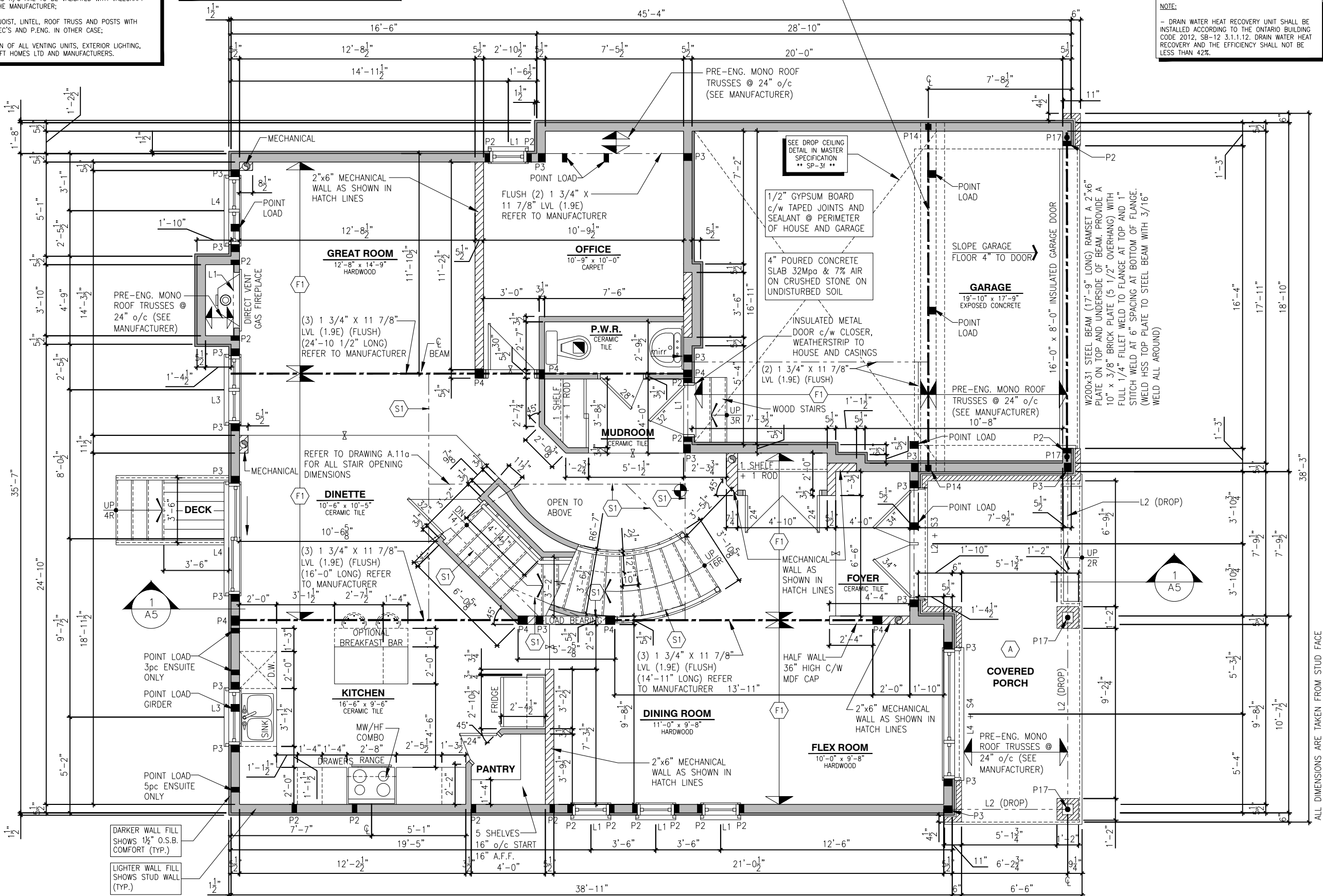
1046 - THE HAZELWOOD  
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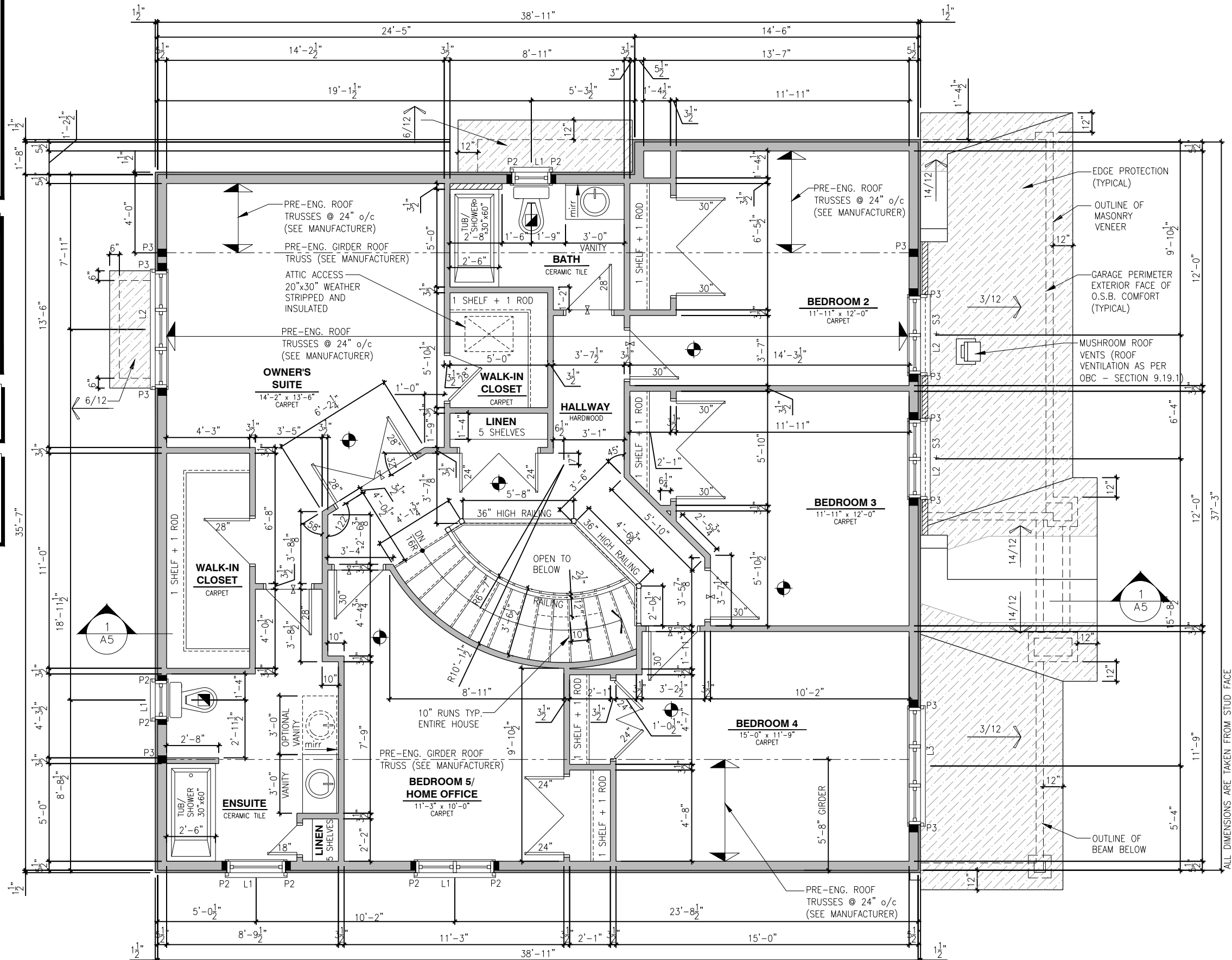
A7d

## GROUND FLOOR PLAN - STANDARD KITCHEN - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



RISER = 5" MIN / 7-7/8" MAX  
 RUN = 10" MIN / 14" MAX  
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**1046 - THE HAZELWOOD**  
**2022 FOOTPRINT**  
 (STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"



STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

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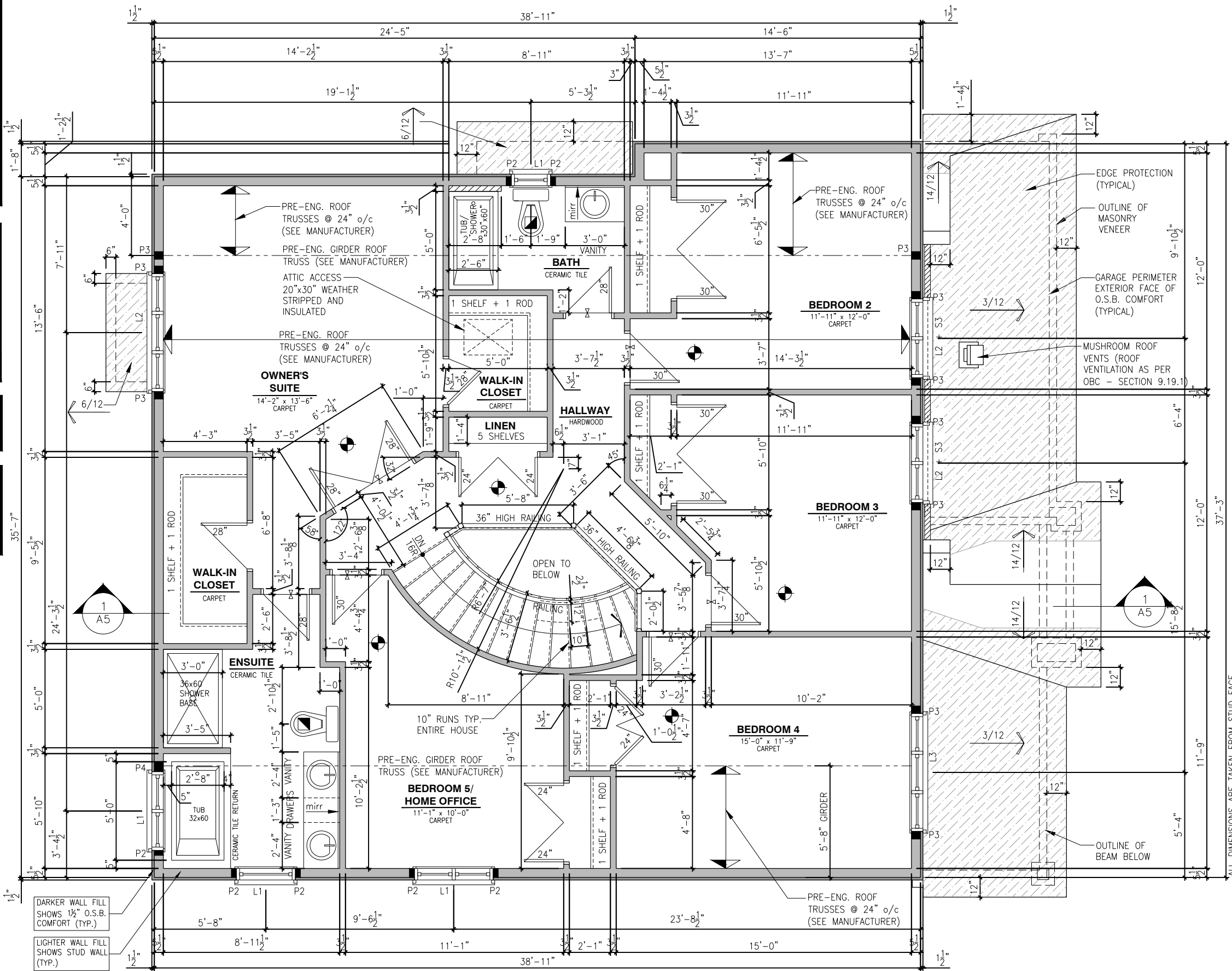
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SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
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THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN



SECOND FLOOR PLAN - ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: SECOND FLOOR PLAN  
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A8b

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
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- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

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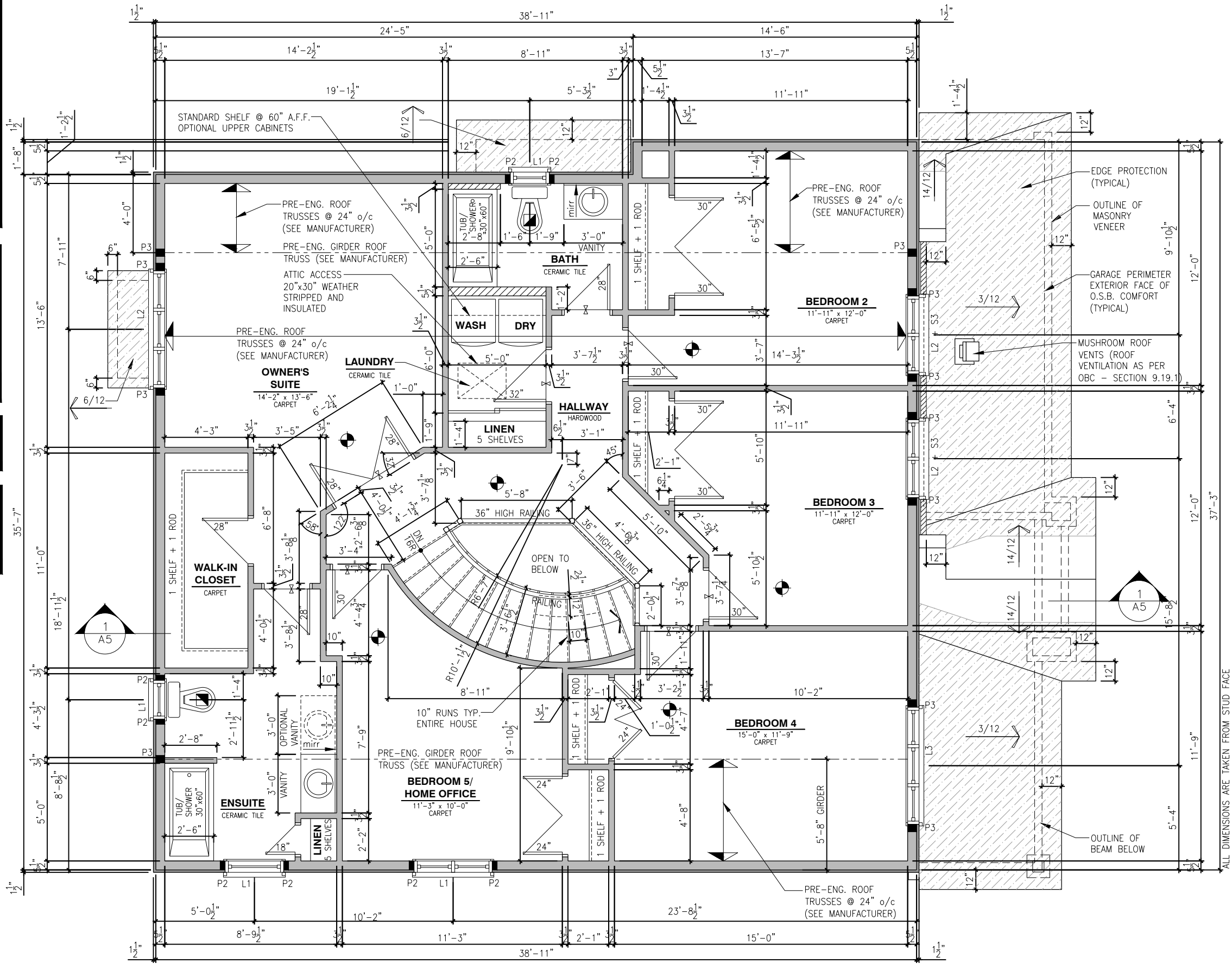
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SECOND FLOOR PLAN - OPTIONAL LAUNDRY - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

A8c

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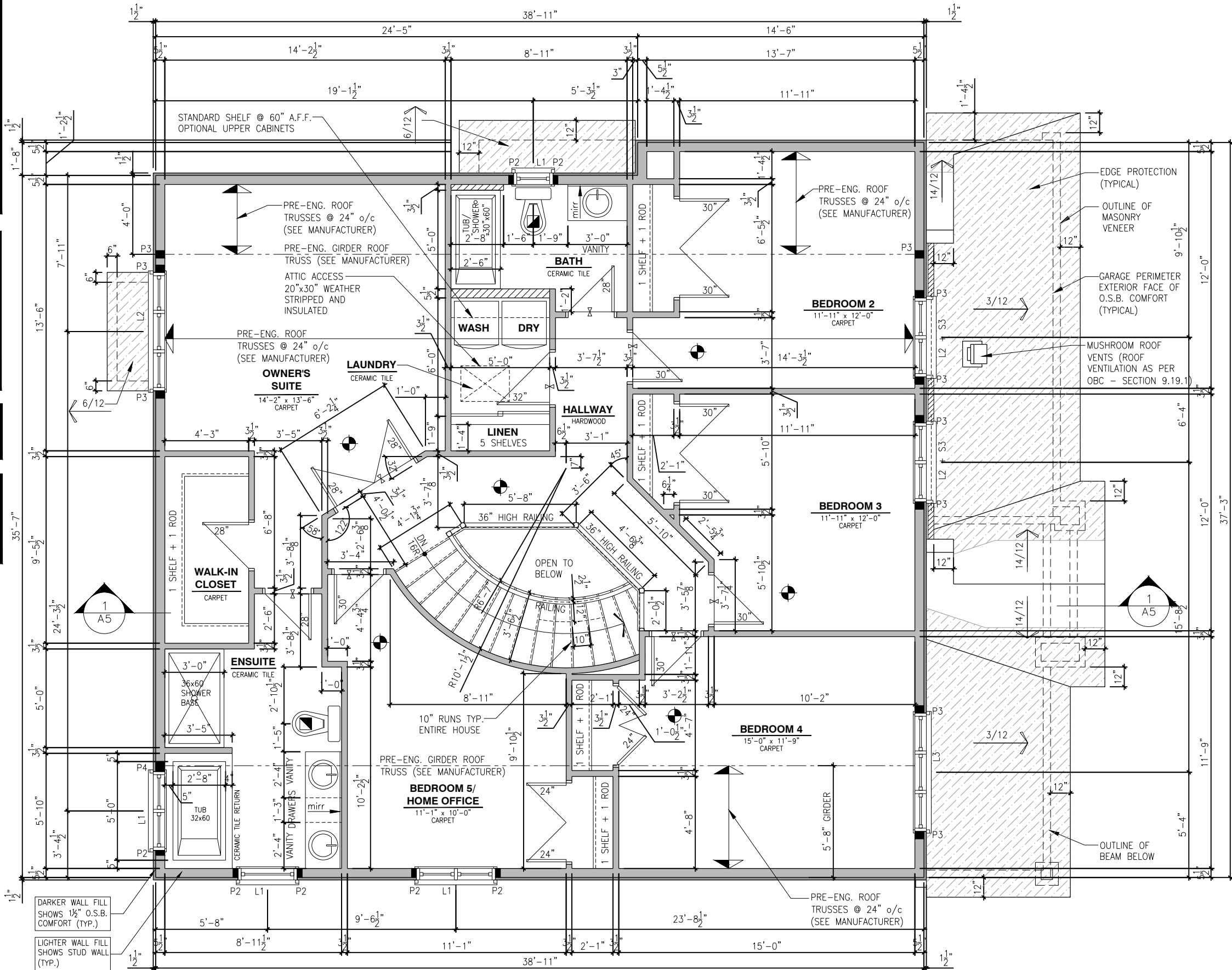
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SECOND FLOOR PLAN - OPTIONAL LAUNDRY - ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

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REV-1 NEW STANDARD DRWG MODIFICATION 08/30/2022 DOYON  
NO. DESCRIPTION DATE BY

DRAWING: SECOND FLOOR PLAN  
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX  
BY

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A8d





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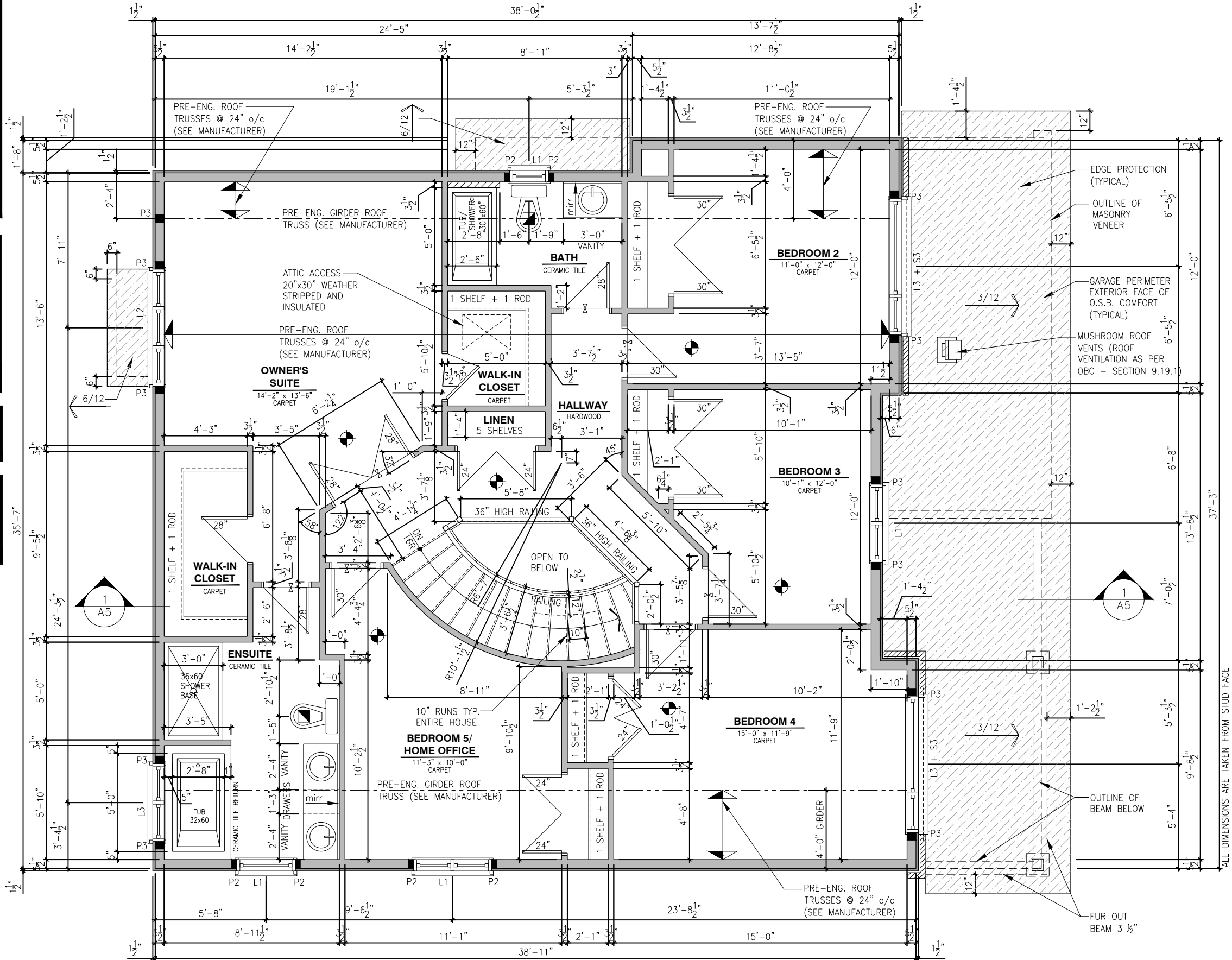
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SECOND FLOOR PLAN - ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT

SHEET: A8f

(STANDARD DRAWINGS)

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

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NOTE:

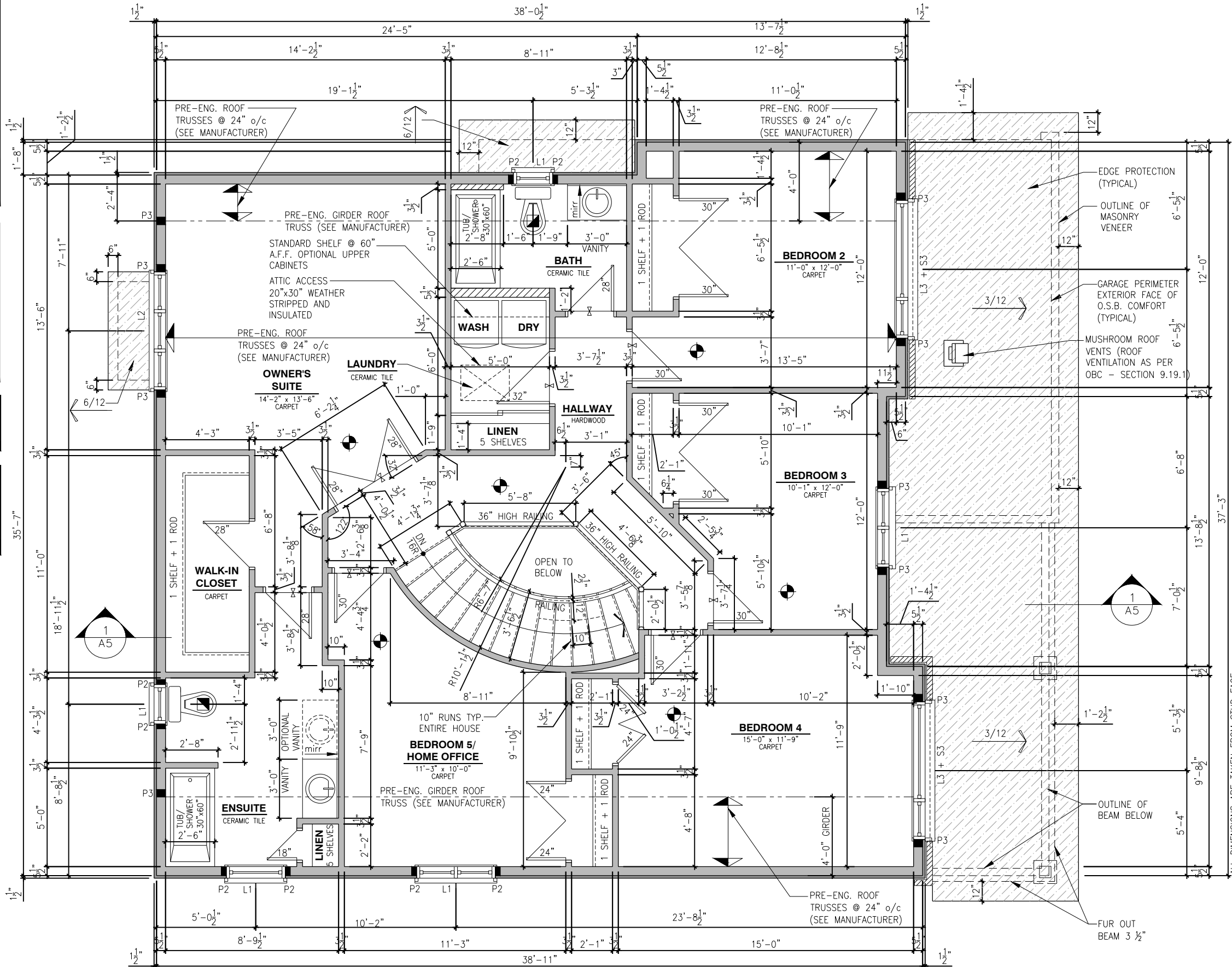
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ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"  
HEADROOM = 6'-5" MIN



SECOND FLOOR PLAN - OPTIONAL LAUNDRY - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN  
ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
**A8g**

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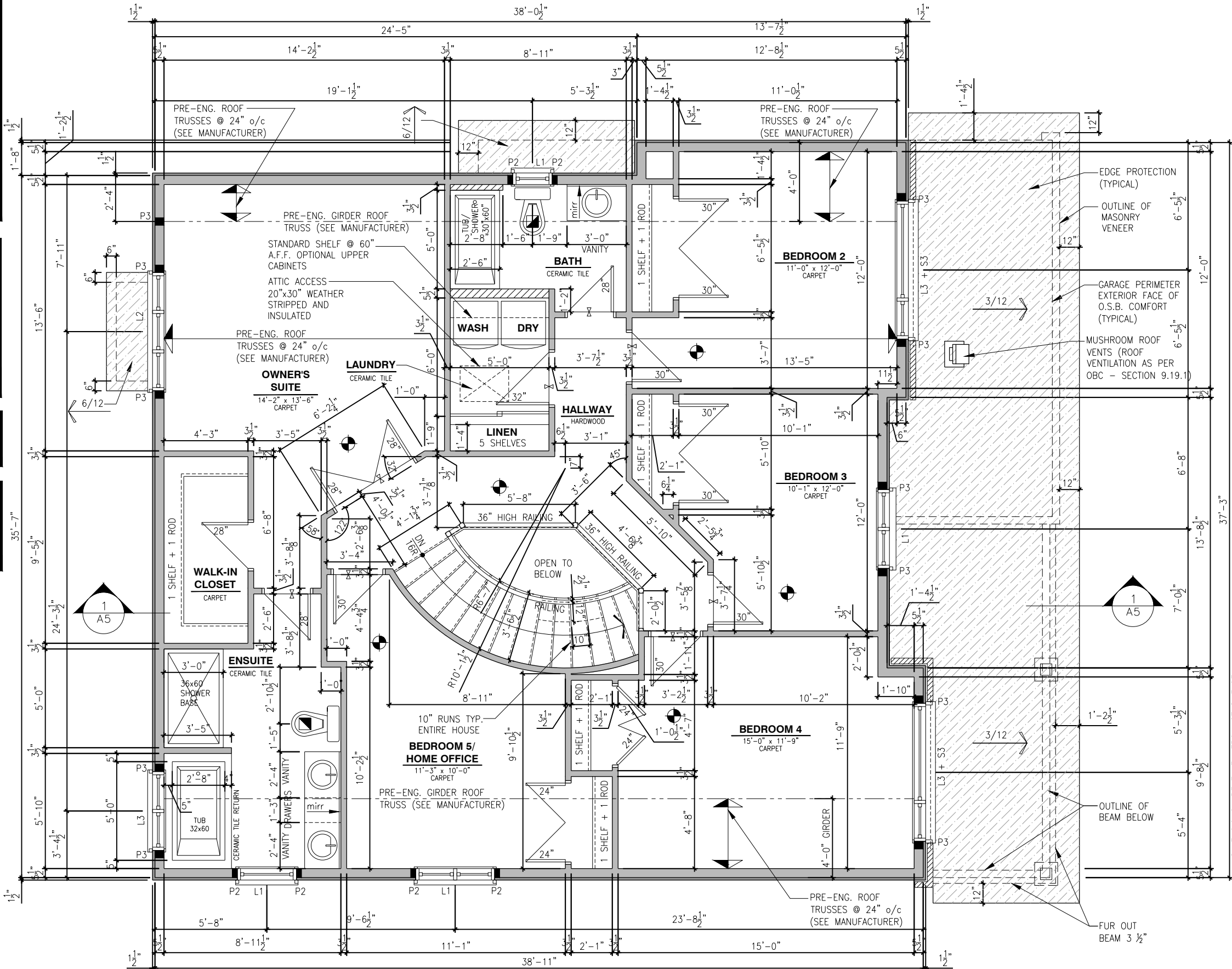
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SECOND FLOOR PLAN - OPTIONAL LAUNDRY - ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

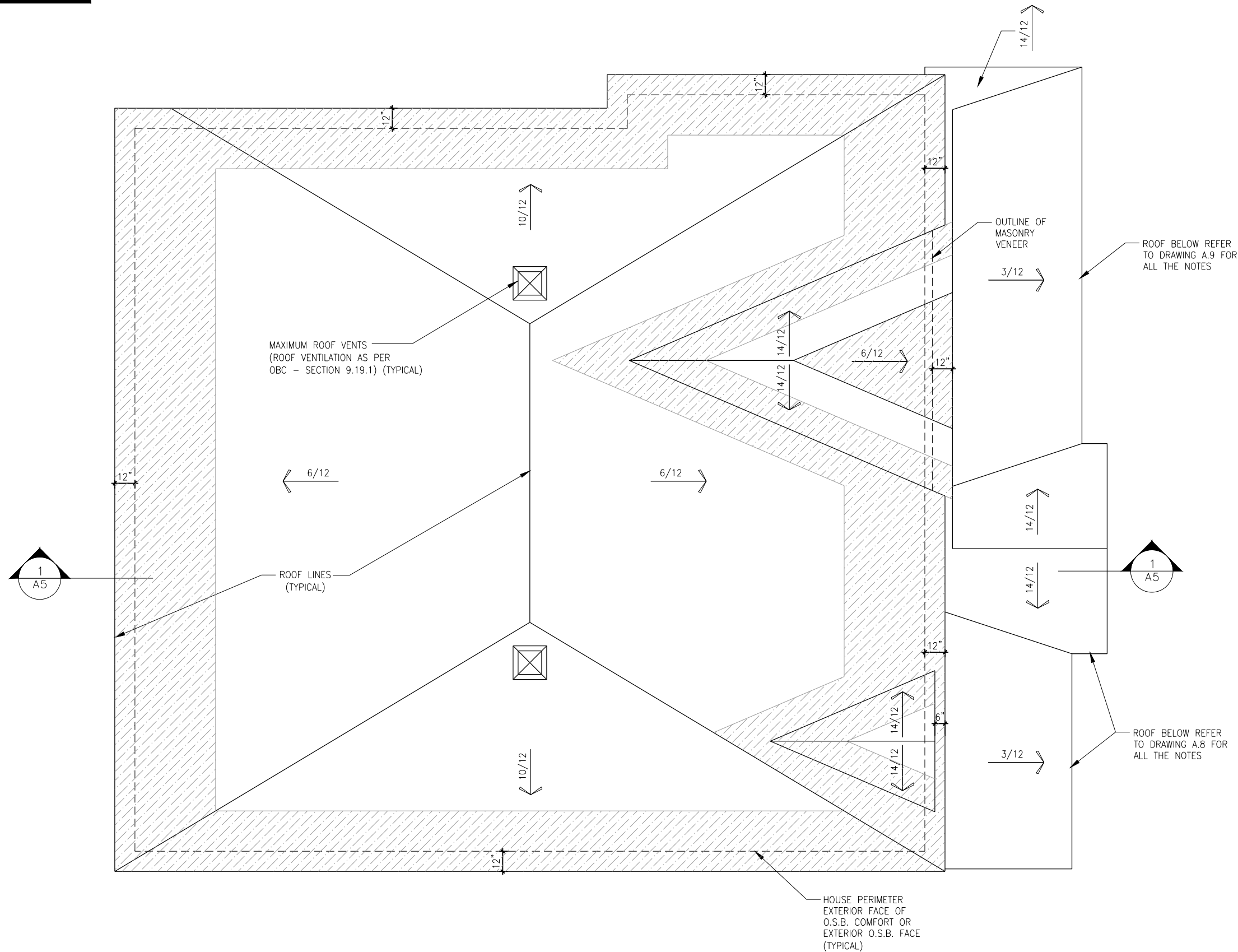
1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
**A8h**

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: **ROOF PLAN ELEVATION A**

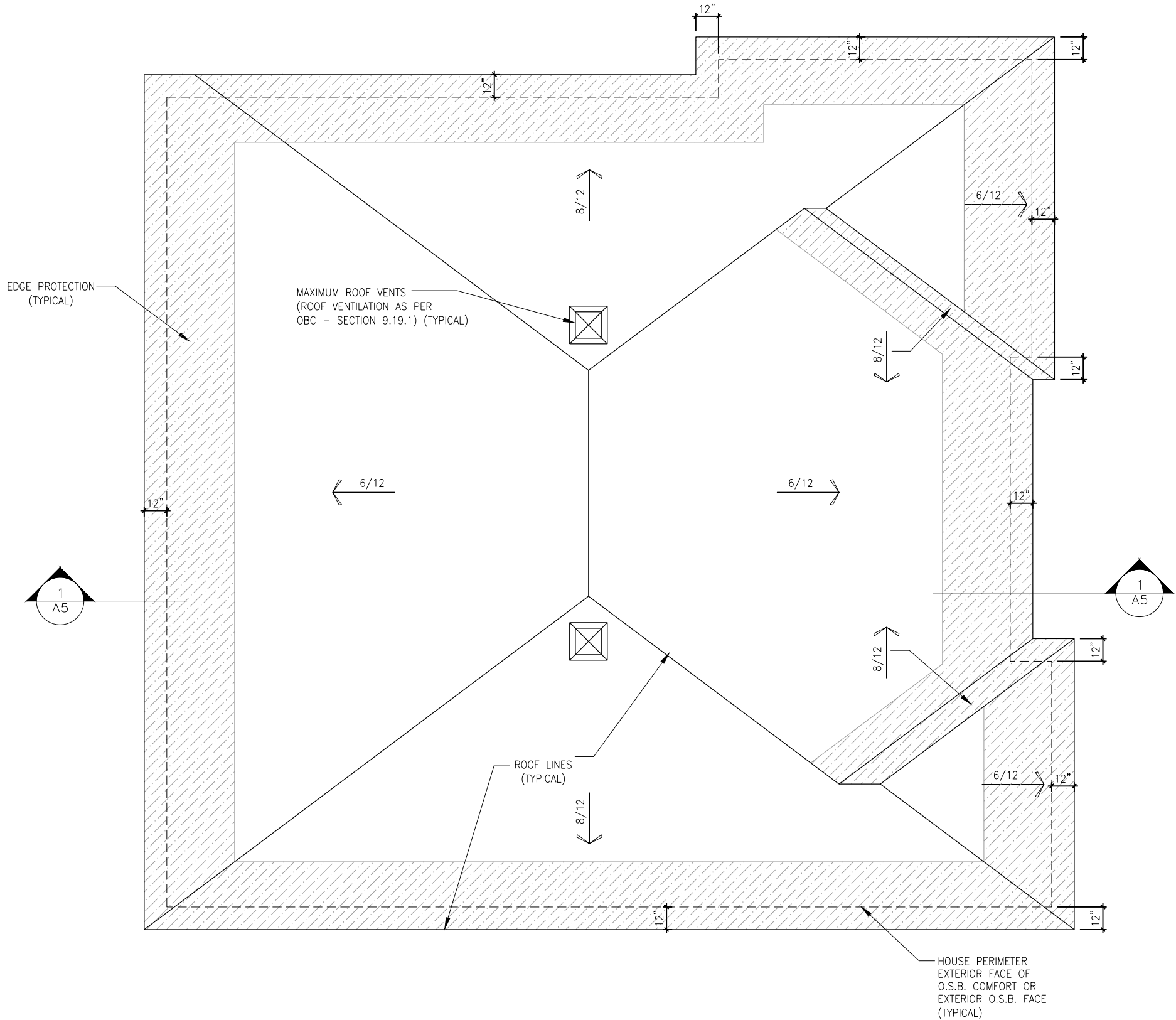
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A9a**

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

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REV-1

NEW STANDARD DRWG MODIFICATION

08/30/2022

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DESCRIPTION

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ELEVATION B

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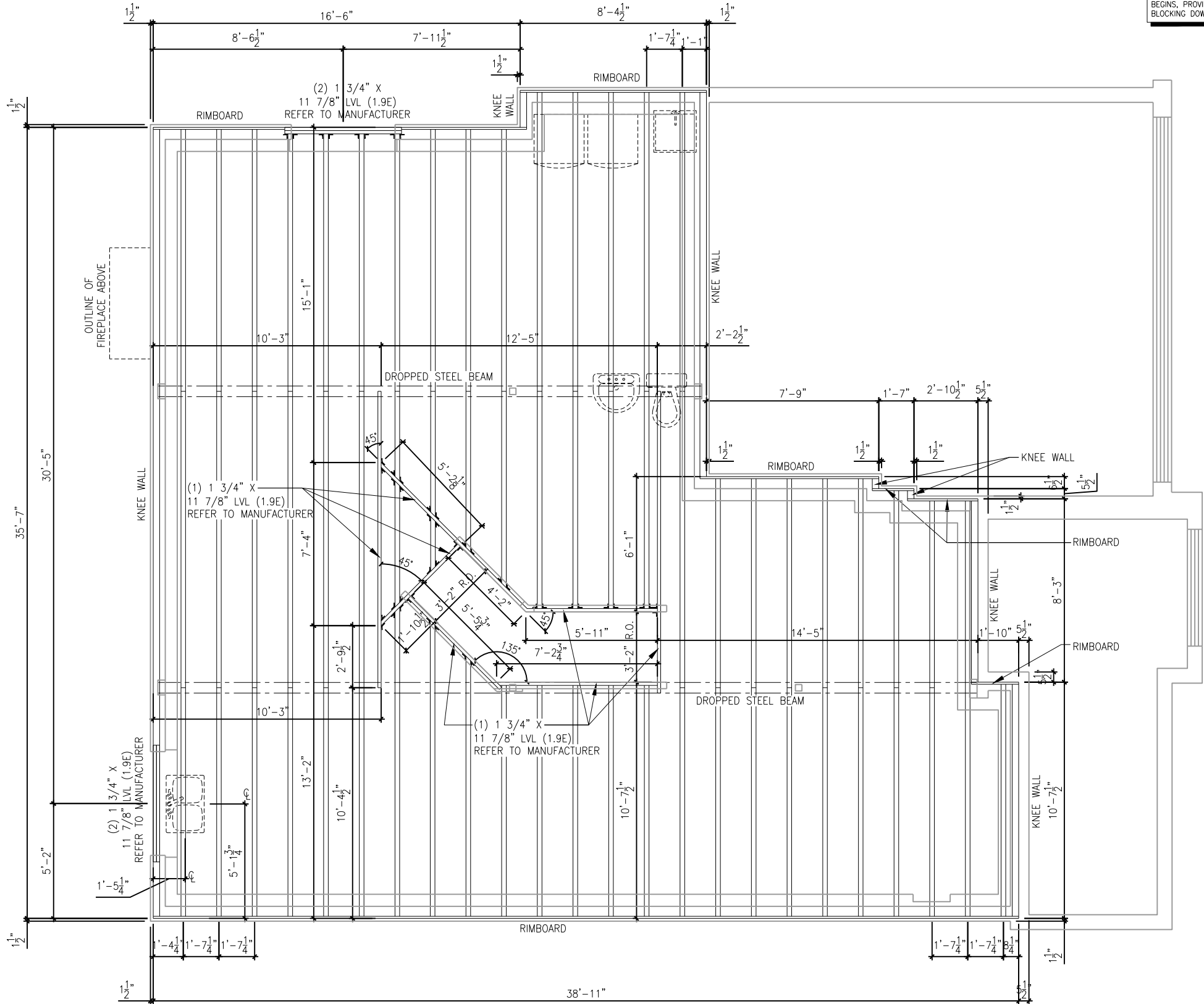
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1046 - THE HAZELWOOD  
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SHEET: A9b

(STANDARD DRAWINGS)



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GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT  
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A10a



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

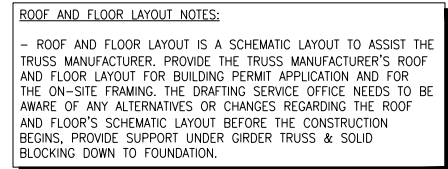
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SCALE: 3/16" = 1'-0"


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**

ELEVATION A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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SHEET:  
**A10b**





I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

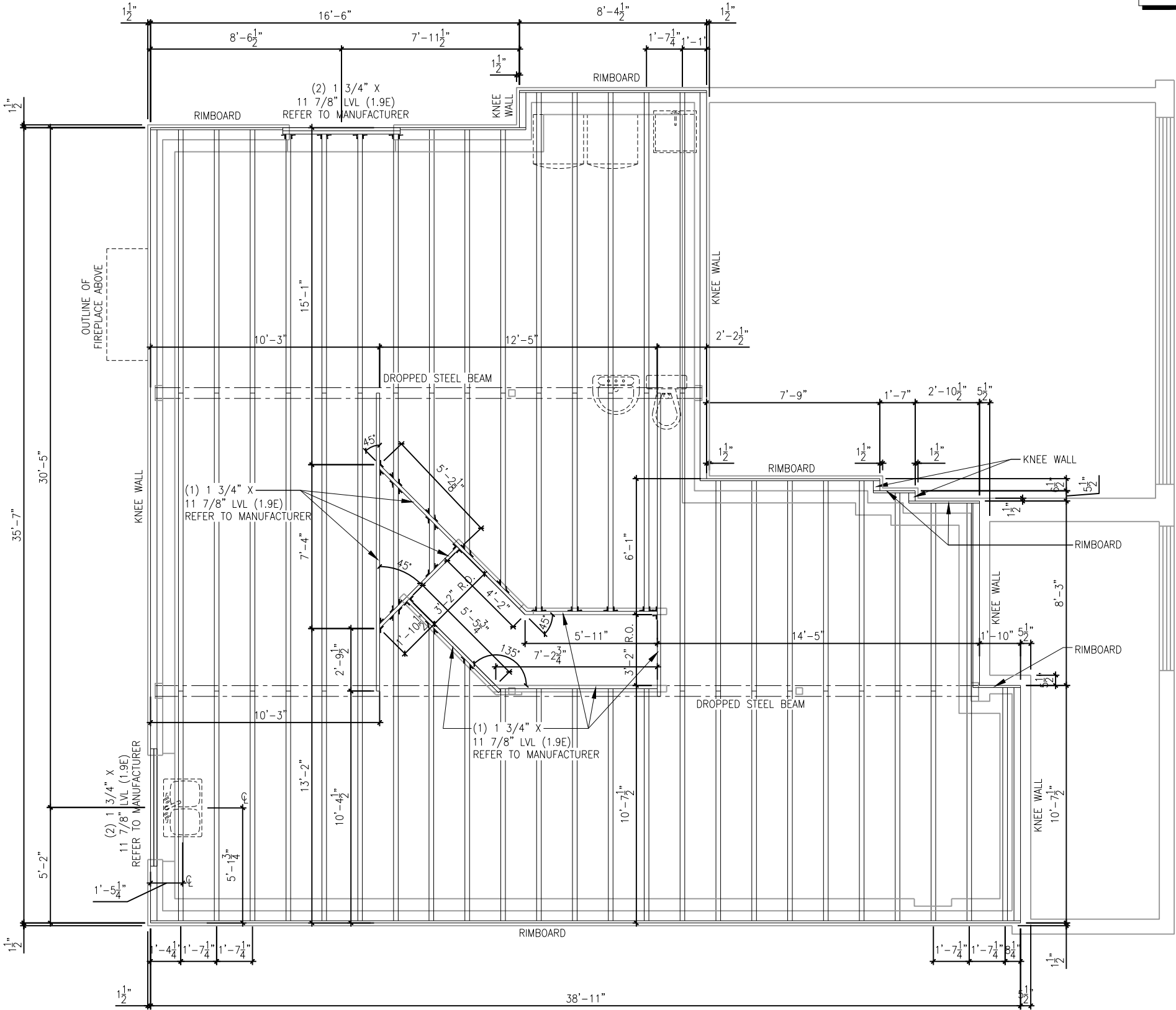

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:GROUND - JOIST LAYOUT  
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ROOF AND FLOOR LAYOUT NOTES:

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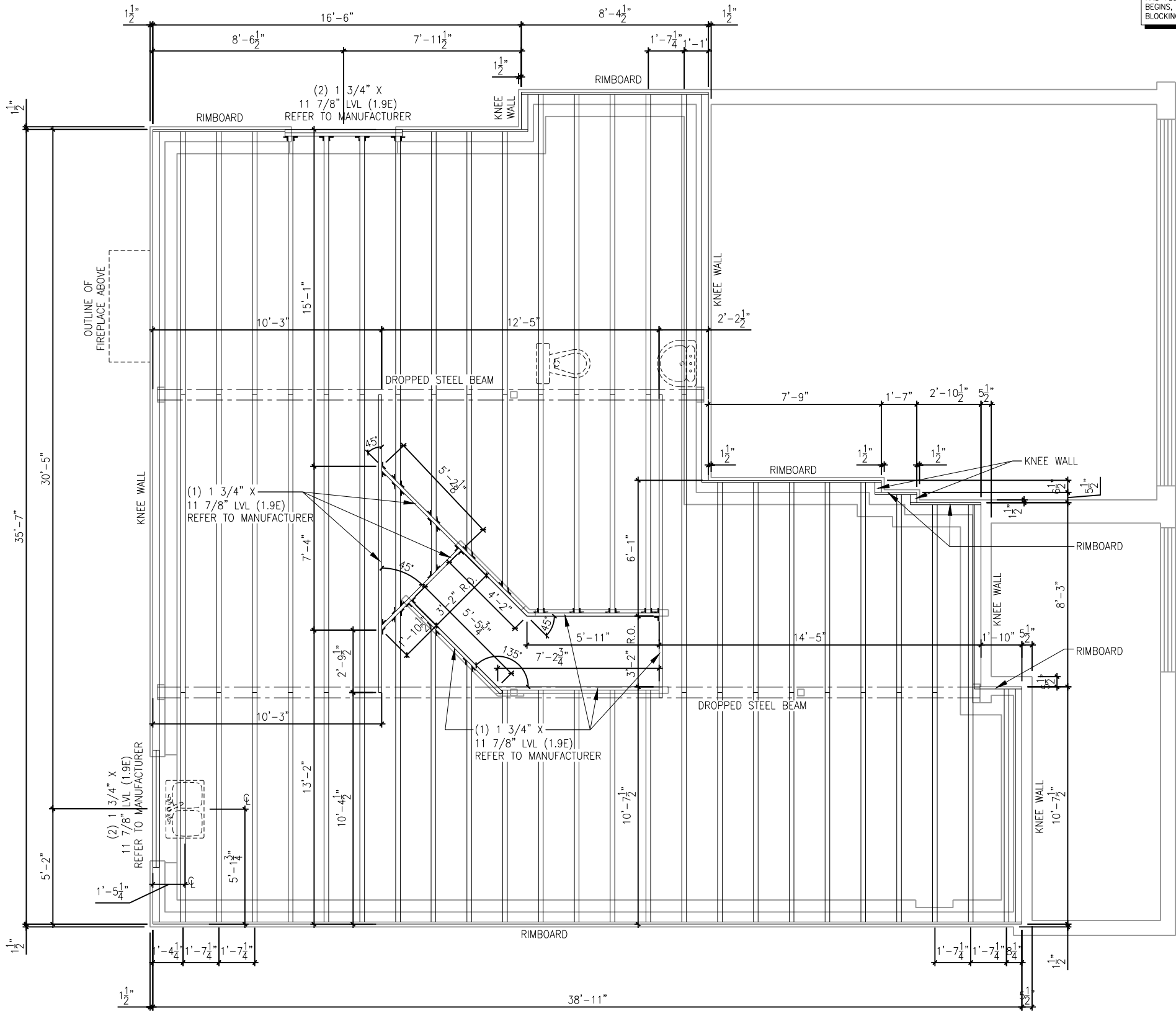


GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

GROUND FLOOR - JOIST LAYOUT - STANDARD KITCHEN - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT  
ELEVATION B

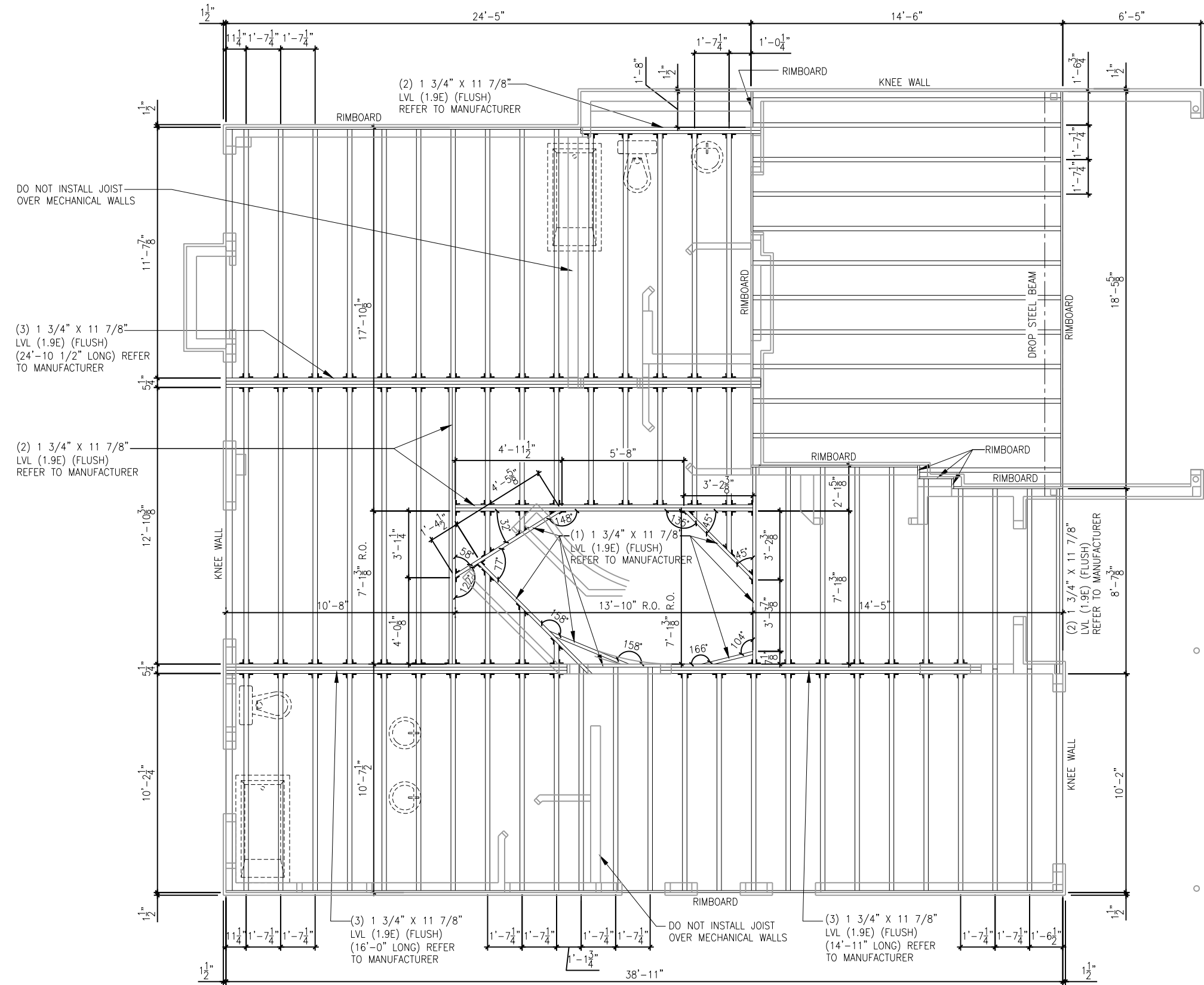
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

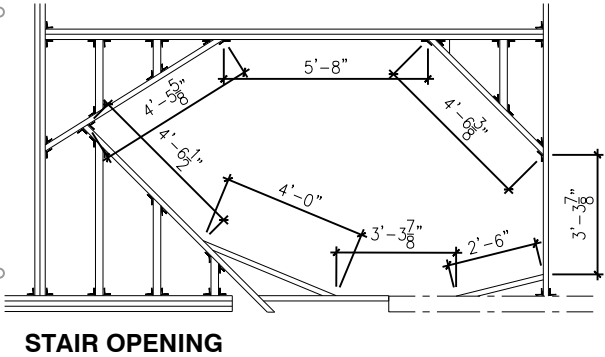
SHEET:  
A10d

SECOND FLOOR - JOIST LAYOUT - ELEVATION A

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

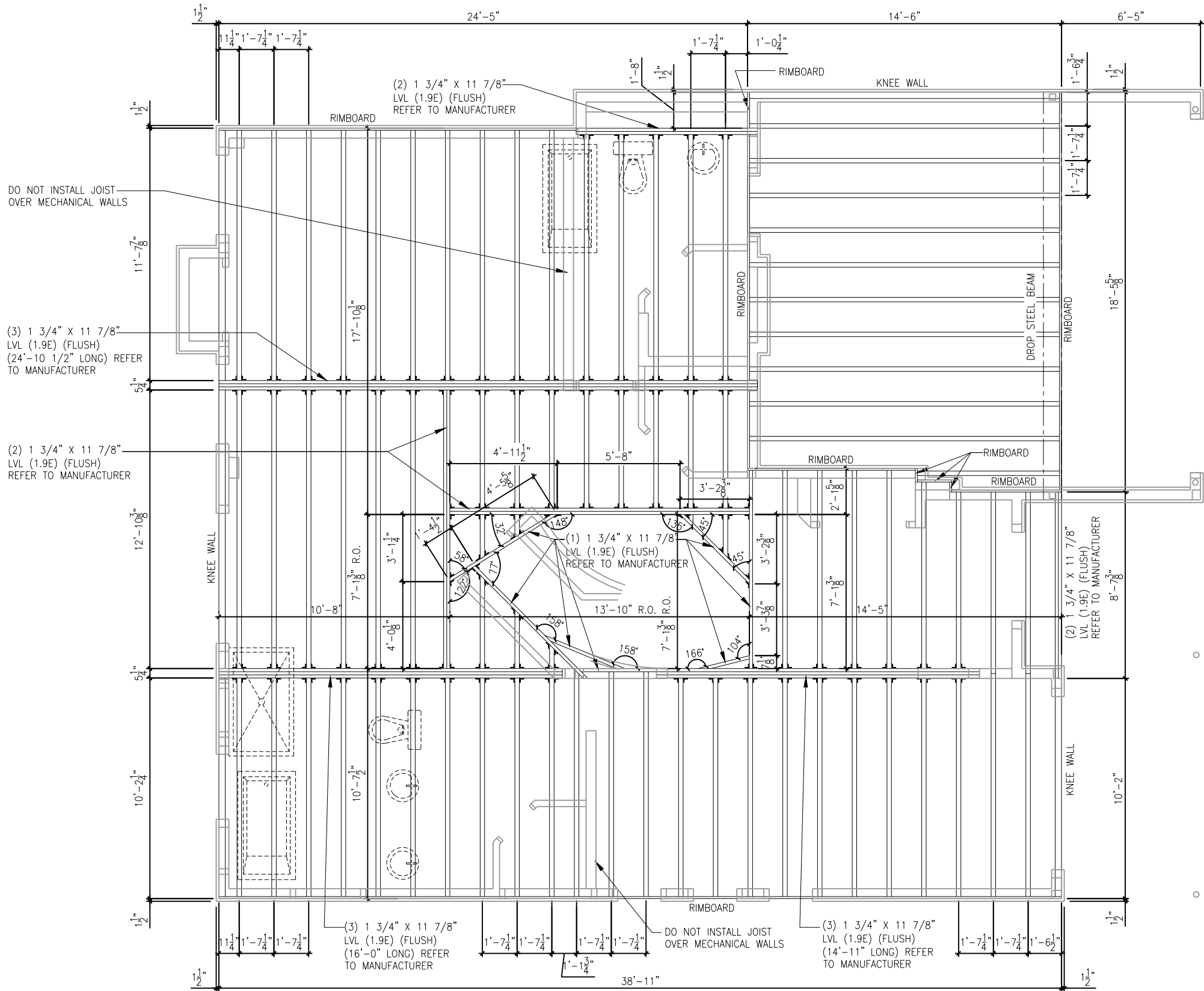
1046 - THE HAZELWOOD 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A11a**

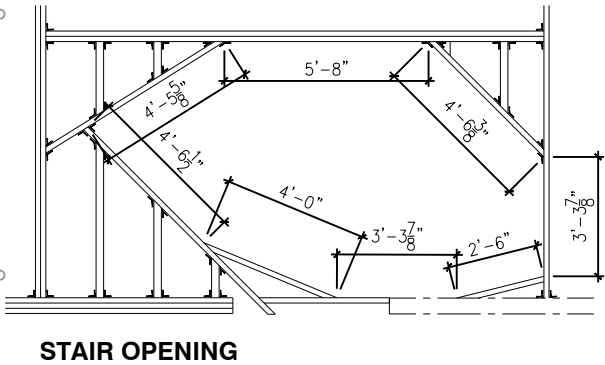
SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - ELEVATION A

SCALE: 3/16" = 1'-0"



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NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT  
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11b



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Homes (2019) Limited

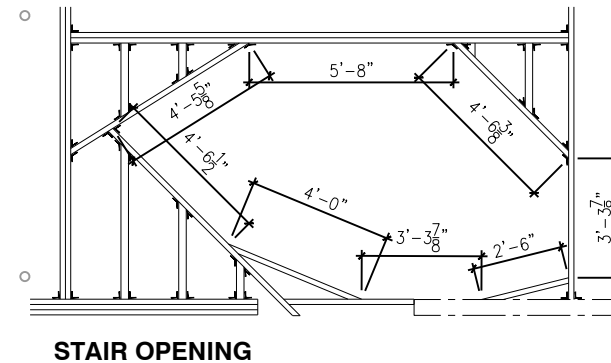
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SCALE: 3/16" = 1'-0"

[illegible]

DRAWING: **2nd FLOOR-JOIST LAYOUT  
ELEVATION A**

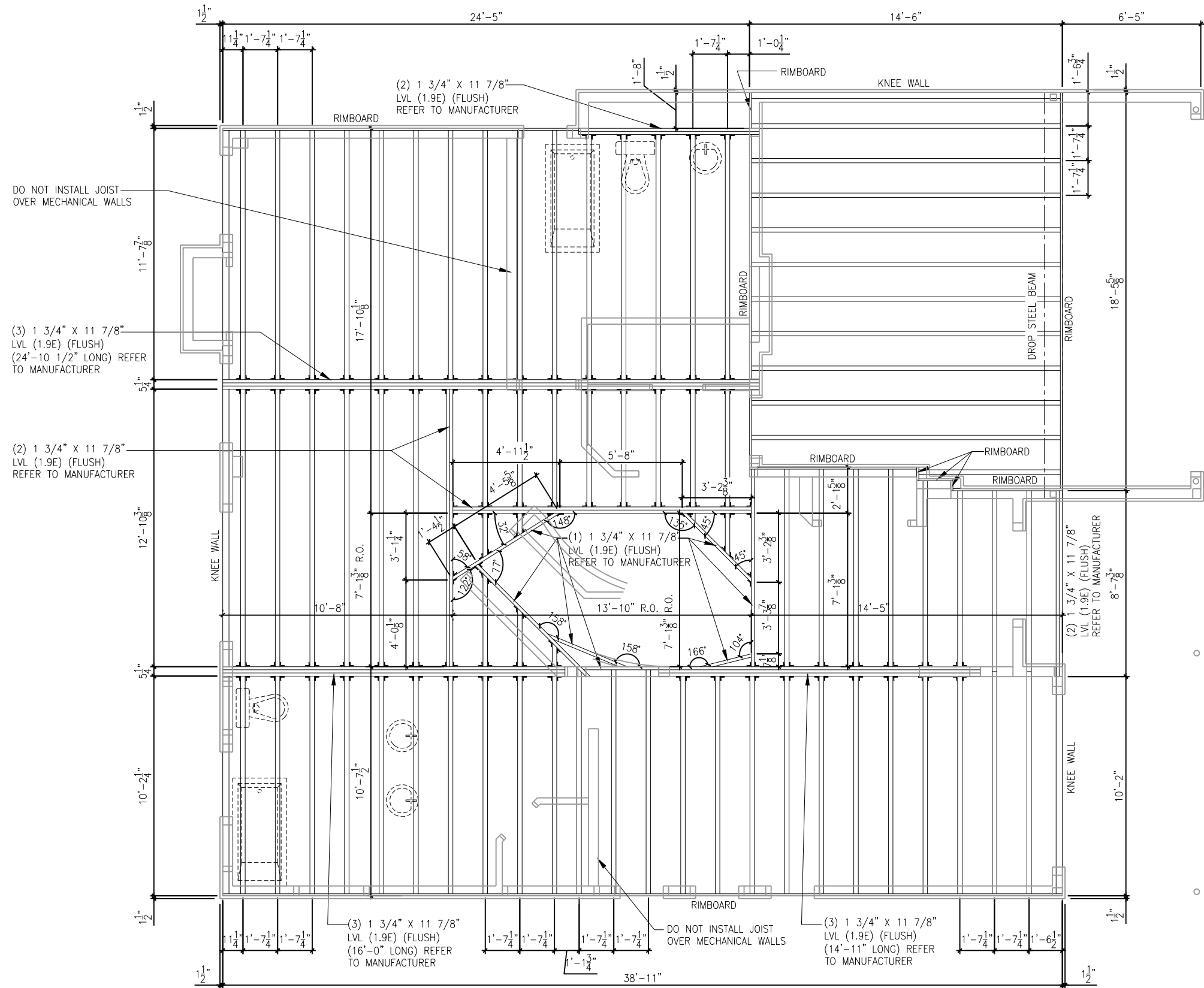
**1046 - THE HAZELWOOD  
2022 FOOTPRINT**

SHEET:  
**A11c**



SECOND FLOOR - JOIST LAYOUT - OPTIONAL OFFICE - ELEVATION A

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX



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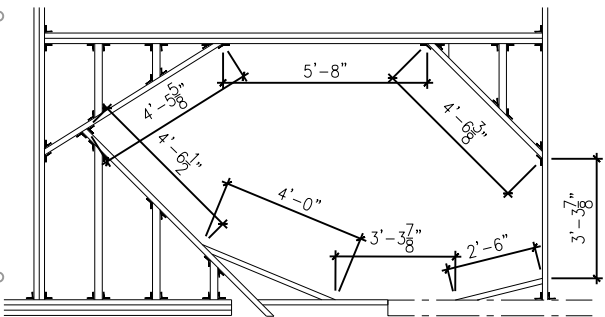
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STAIR OPENING

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

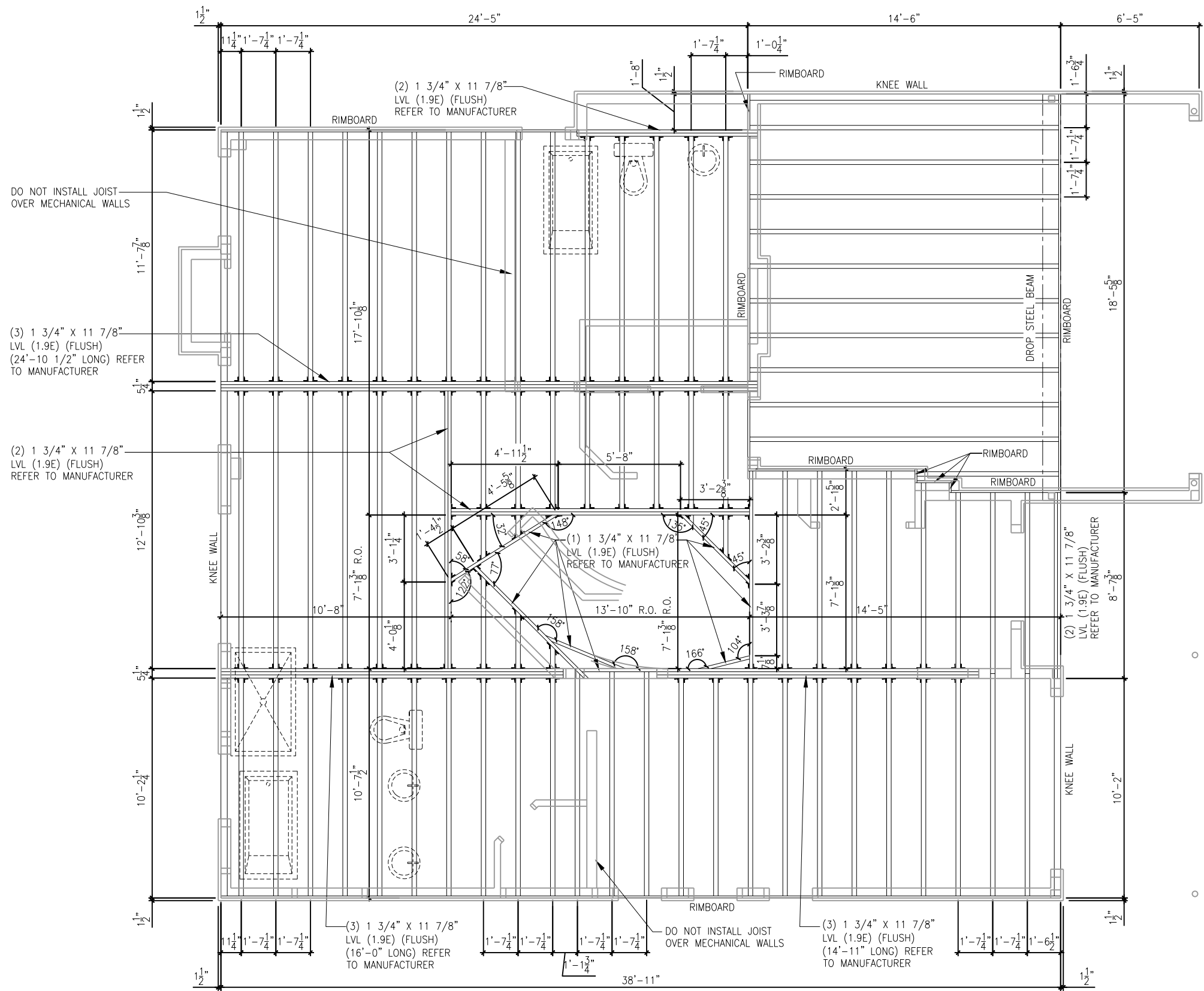
2nd FLOOR-JOIST LAYOUT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A11e

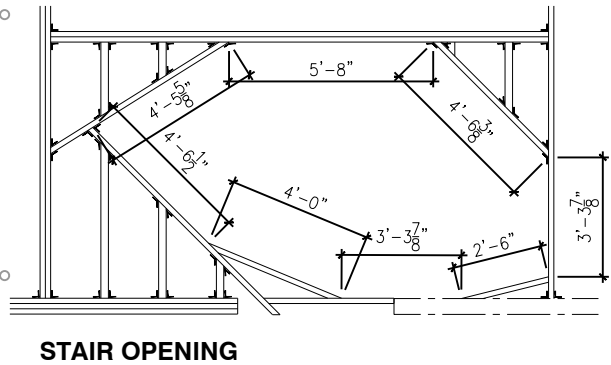
SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - OPTIONAL OFFICE - ELEVATION A

SCALE: 3/16" = 1'-0"



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LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1046 - THE HAZELWOOD 2022 FOOTPRINT**

(STANDARD DRAWINGS)

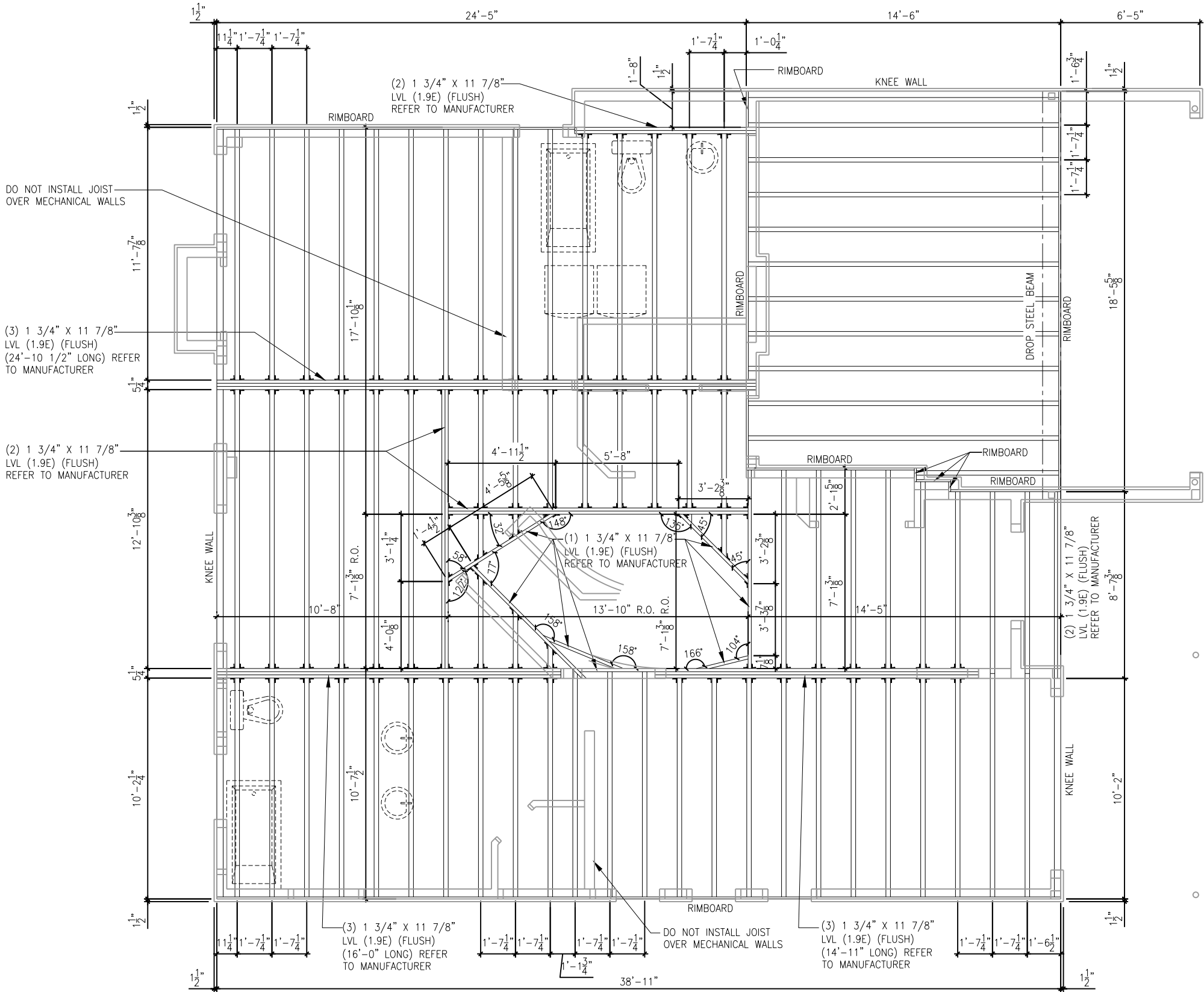
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**A11f**



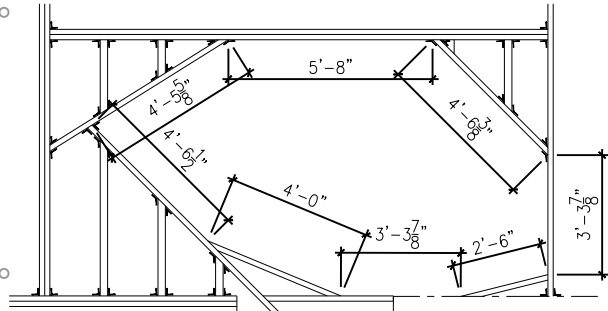
SECOND FLOOR - JOIST LAYOUT - OPTIONAL LAUNDRY - OPTIONAL OFFICE - ELEVATION A

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STAIR OPENING

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1046 - THE HAZELWOOD 2022 FOOTPRINT

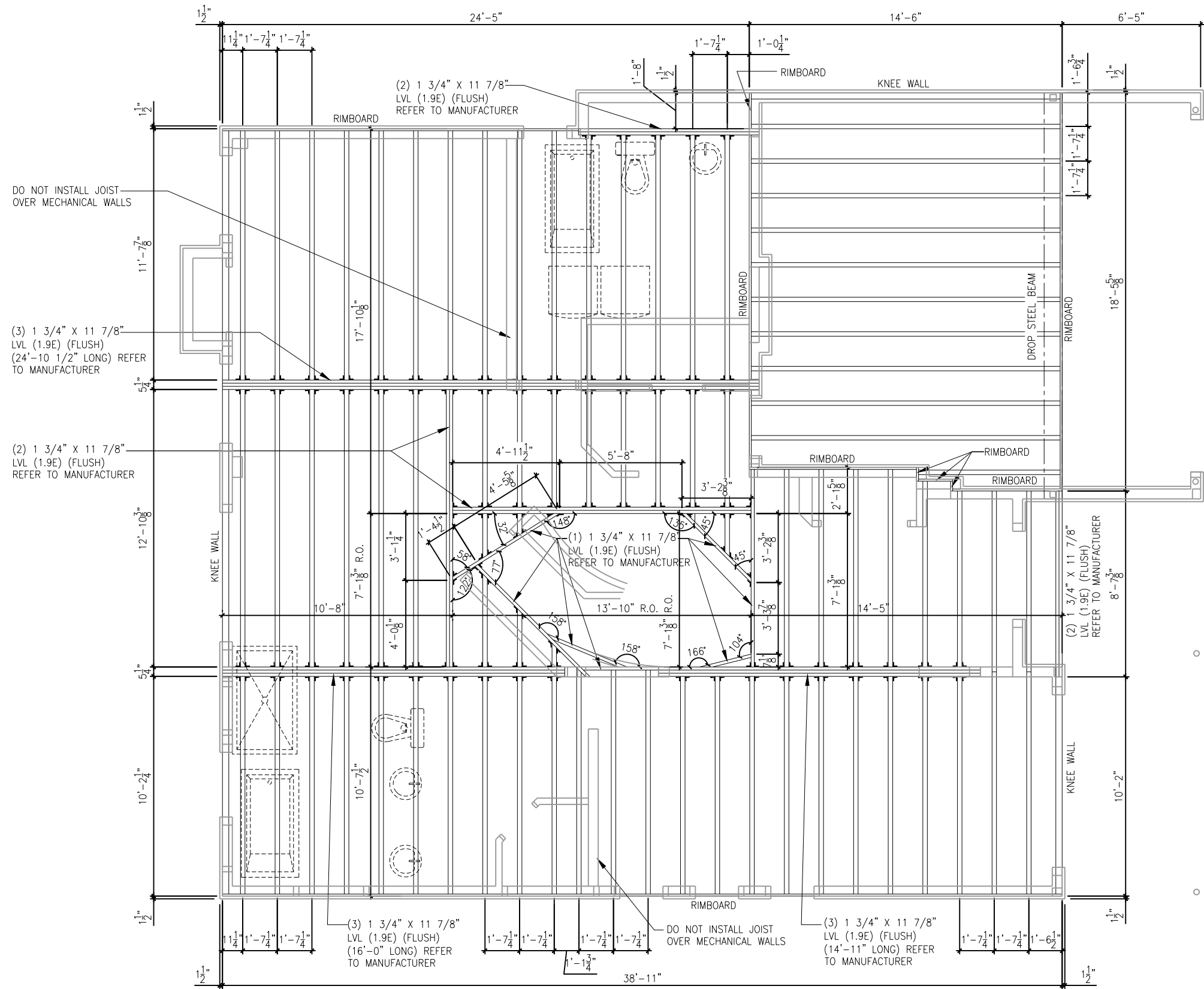
(STANDARD DRAWINGS)

SHEET:

A11g

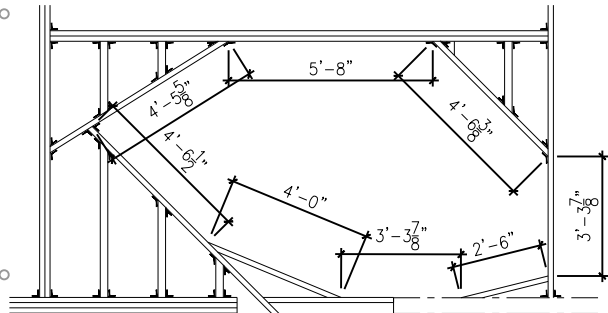
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xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT

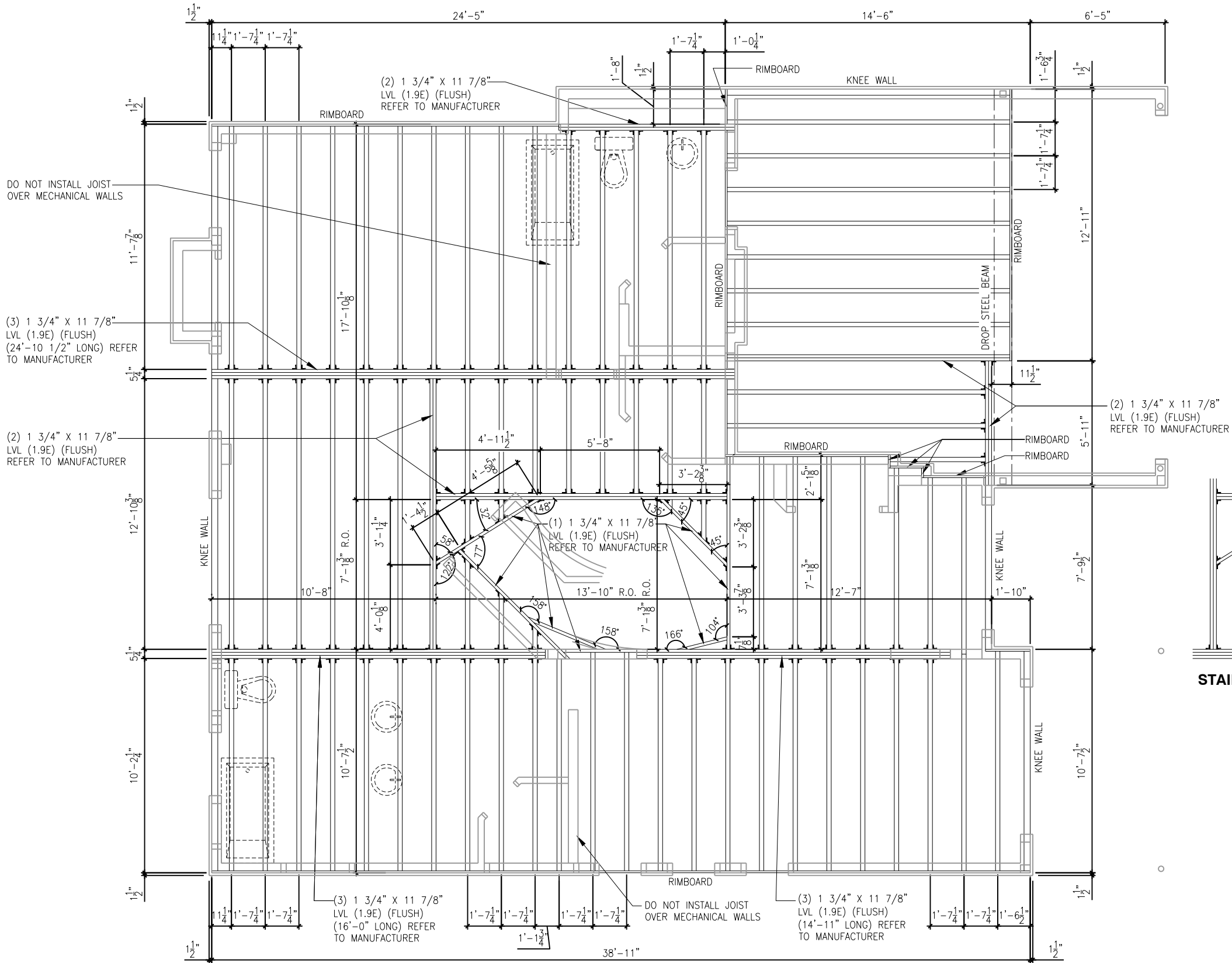
(STANDARD DRAWINGS)

SHEET:

A11h

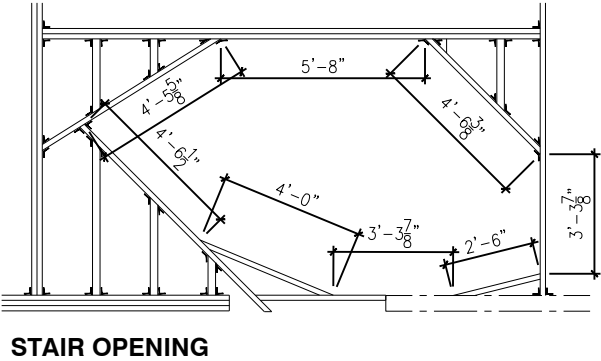
SECOND FLOOR - JOIST LAYOUT - ELEVATION B

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

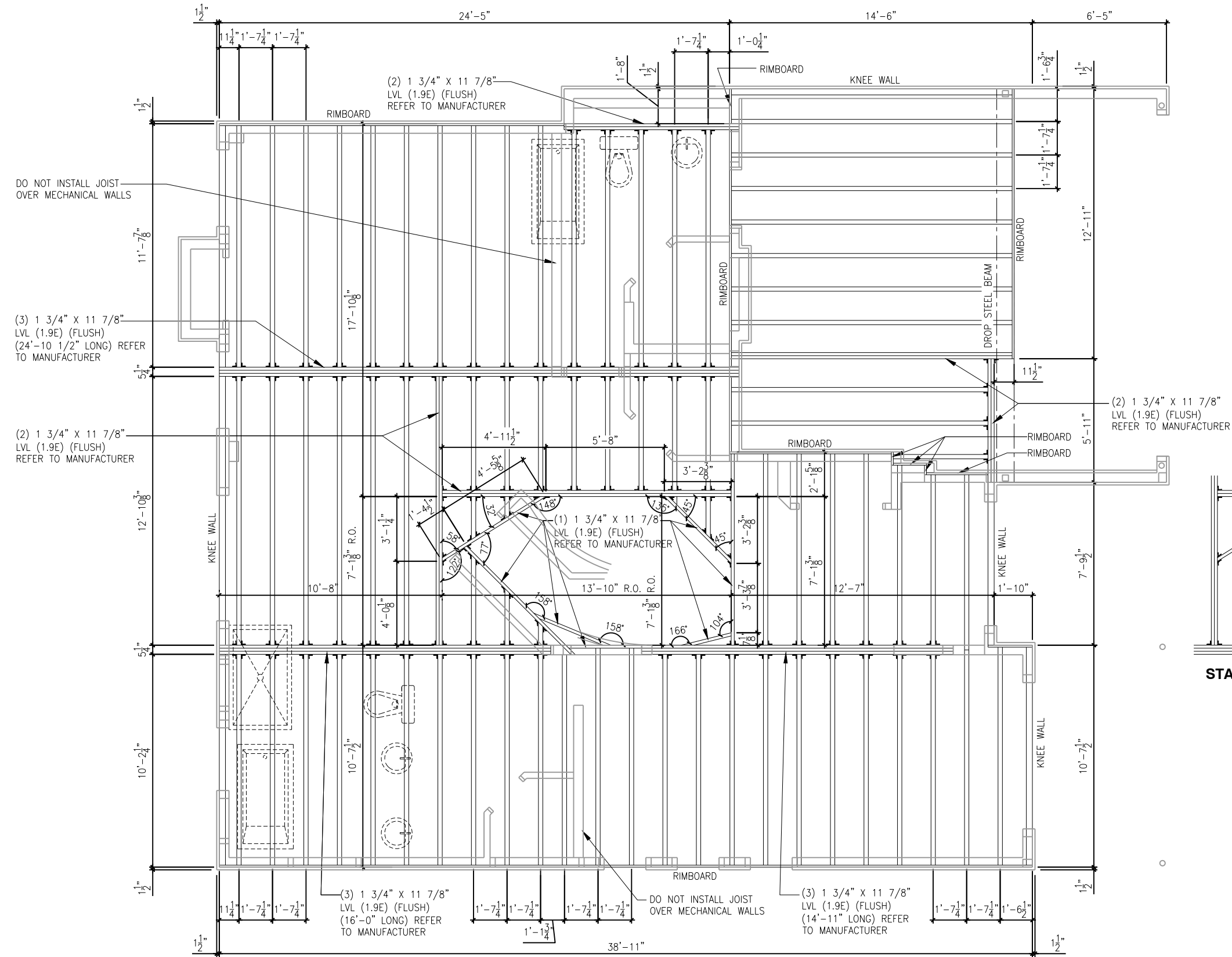
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A11i

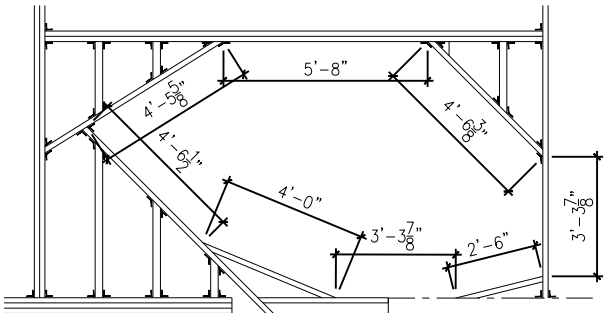
SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - ELEVATION B

SCALE: 3/16" = 1'-0"



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STAIR OPENING

LOT: XXXX

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

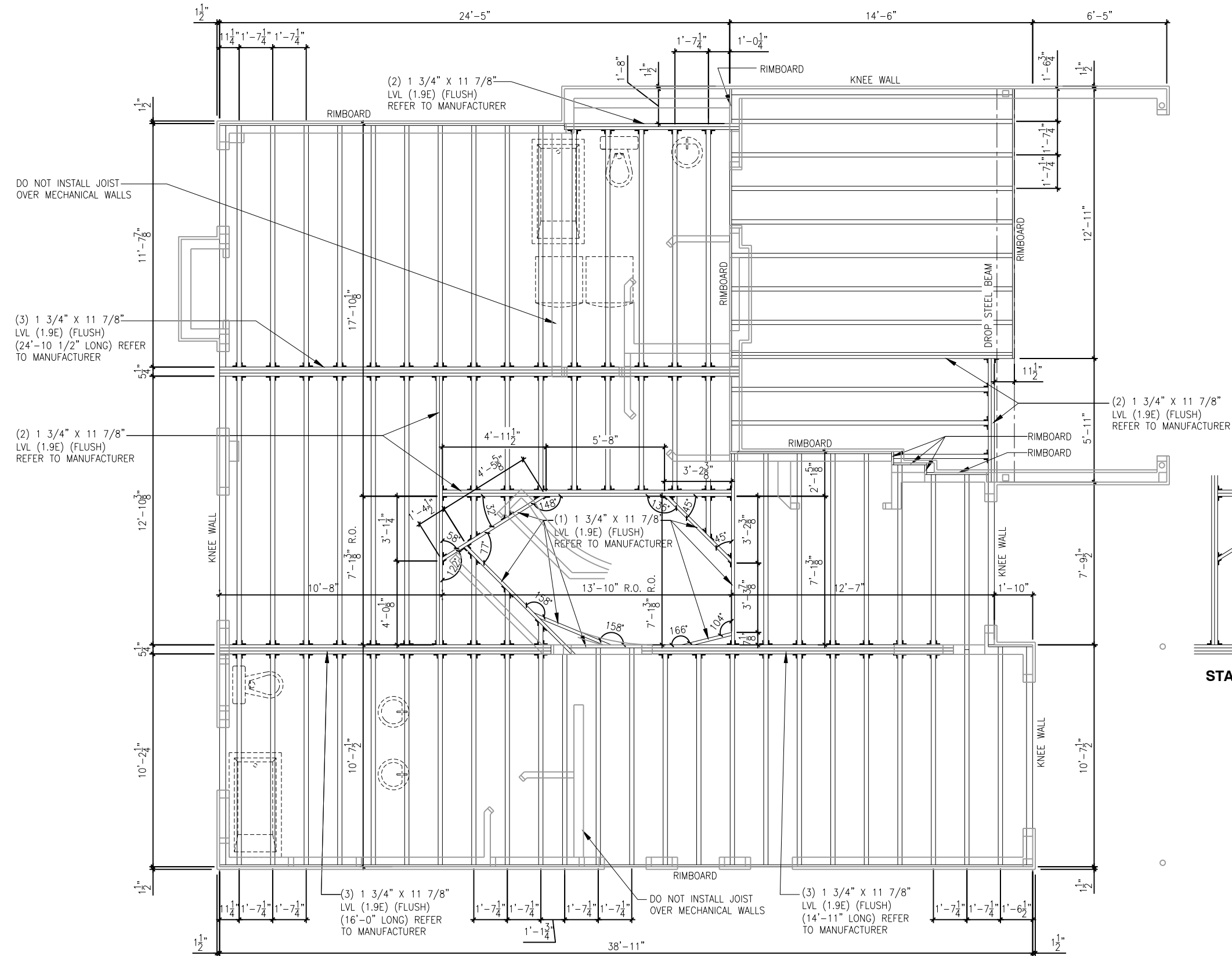
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A11j

SECOND FLOOR - JOIST LAYOUT - OPTIONAL LAUNDRY - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

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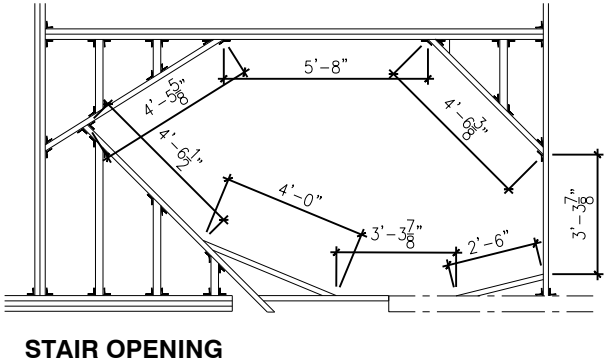
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A11k**

DATE: XX/XX/XXXX



**Valecraft**  
Homes (2019) Limited



Homes (2019) Limited

1. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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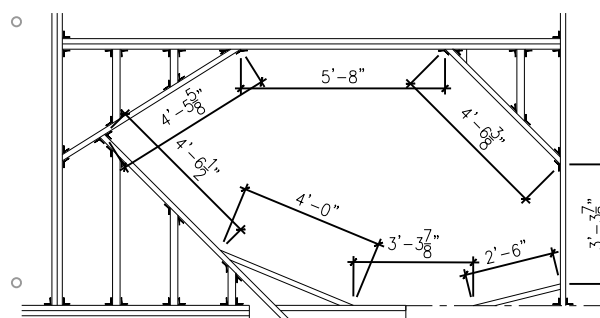
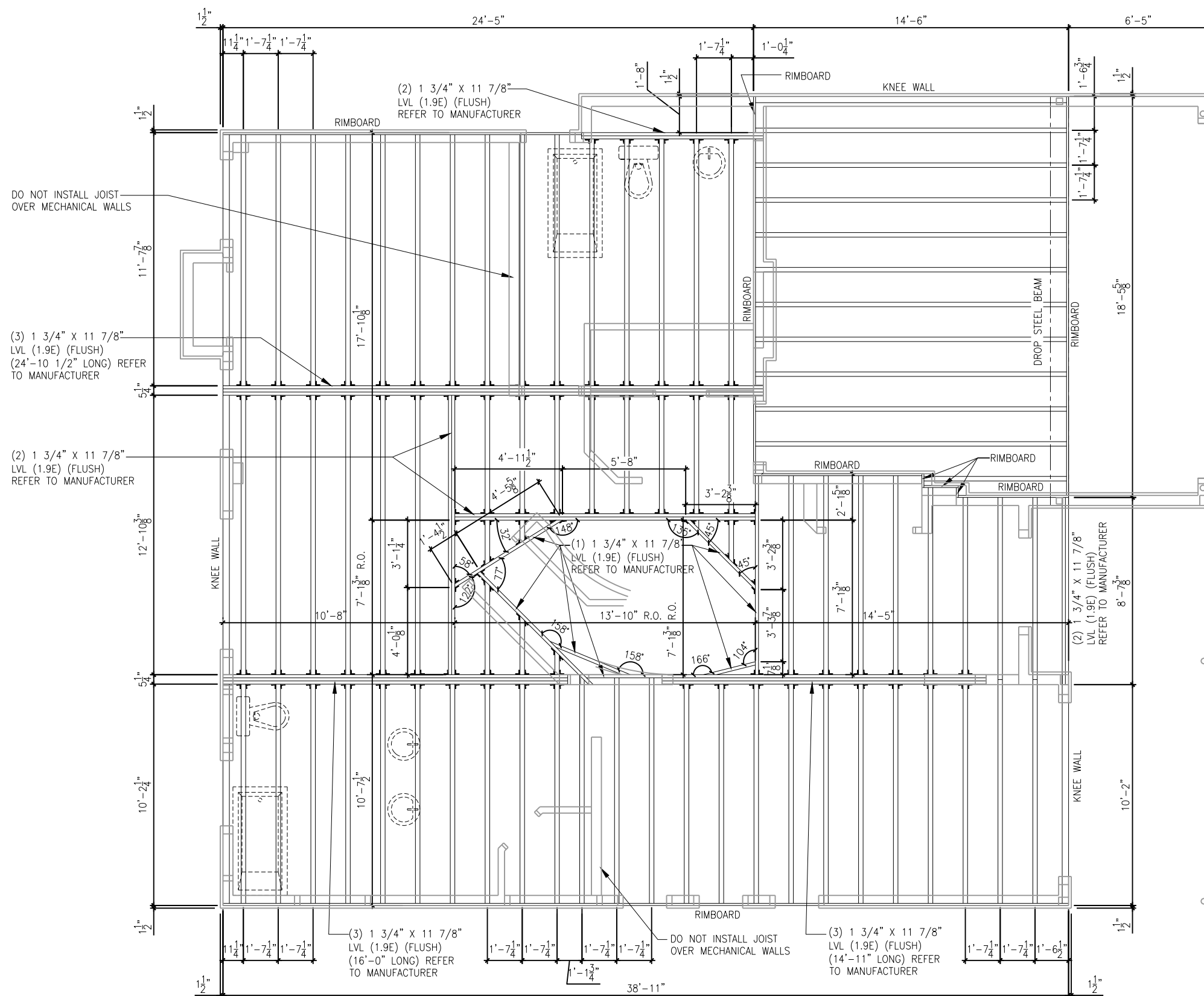
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## STAIR OPENING

**SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - OPTIONAL LAUNDRY - ELEVATION B**

SCALE:  $3/16" = 1'-0"$

2012 O.B.C. DRAWINGS

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**1046 - THE HAZELWOOD  
2022 FOOTPRINT**

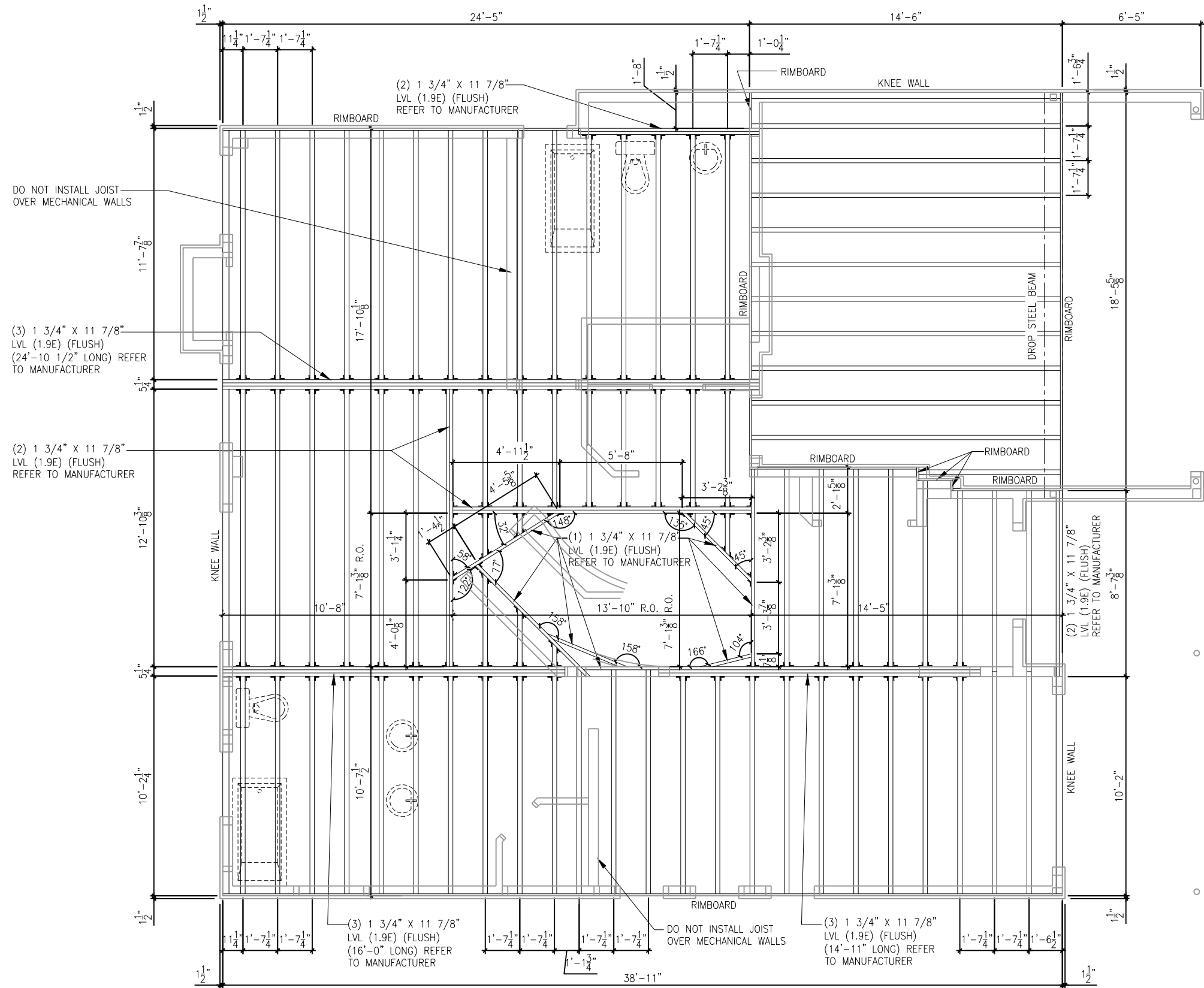
(STANDARD DRAWINGS)

SHEET:

**A111**

SECOND FLOOR - JOIST LAYOUT - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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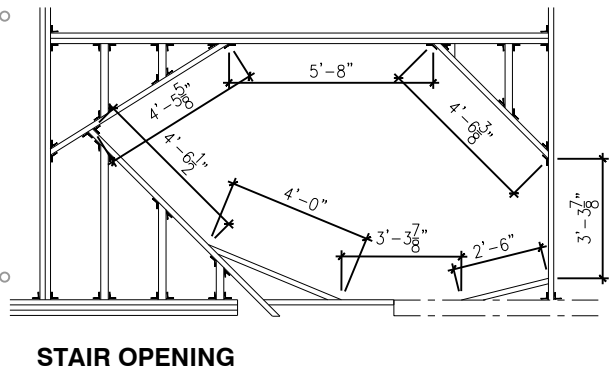
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION B**

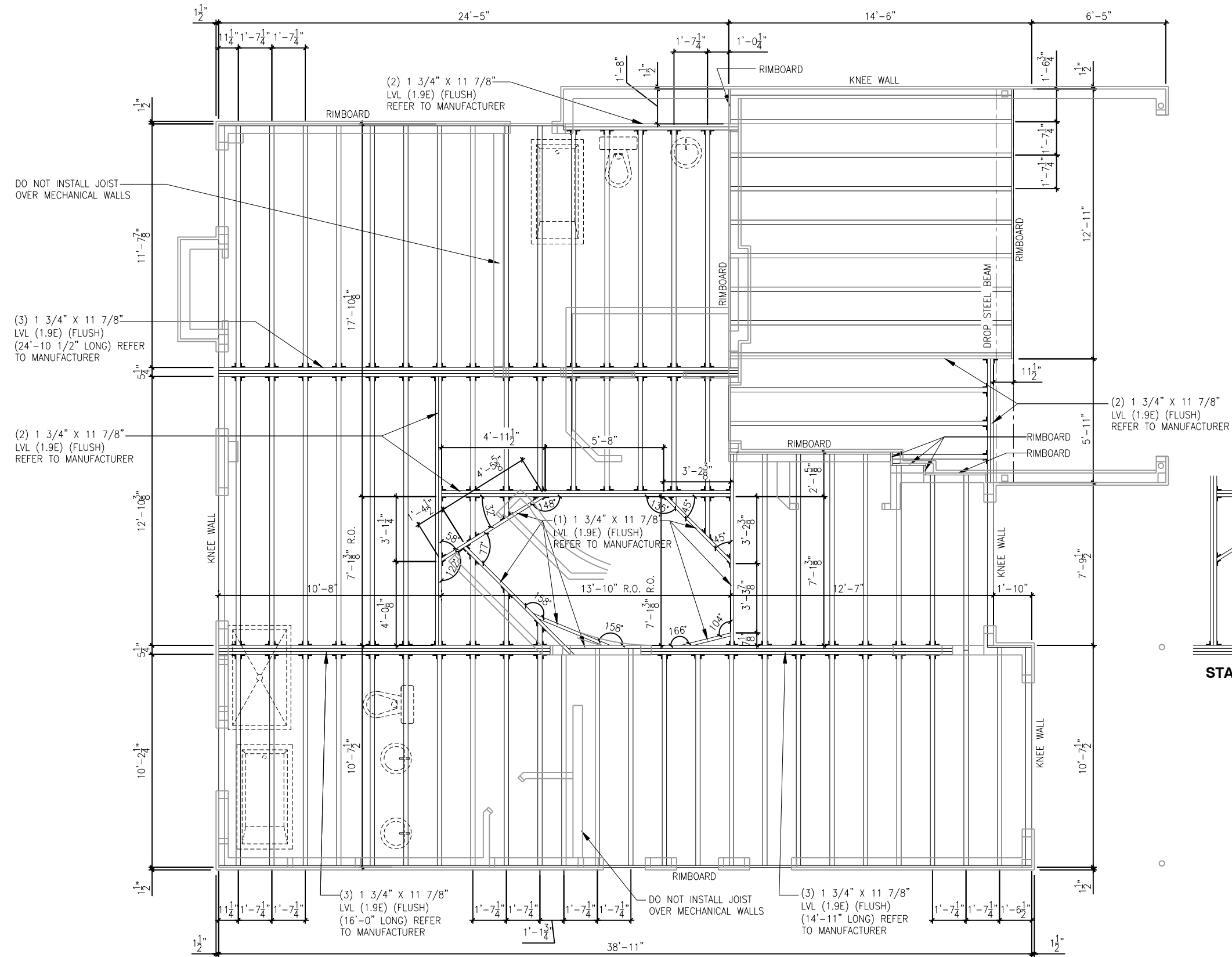
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT  
(STANDARD DRAWINGS)

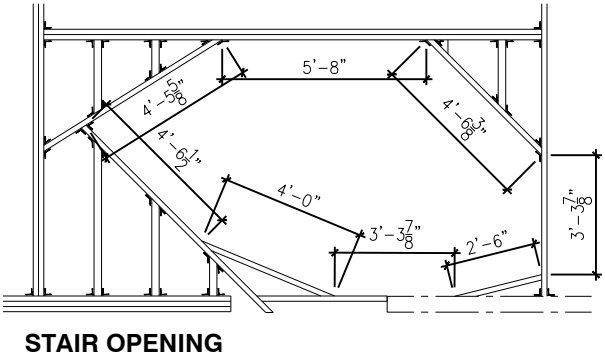
SHEET:  
**A11m**

SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-1	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON

DRAWING: **2nd FLOOR-JOIST LAYOUT ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT

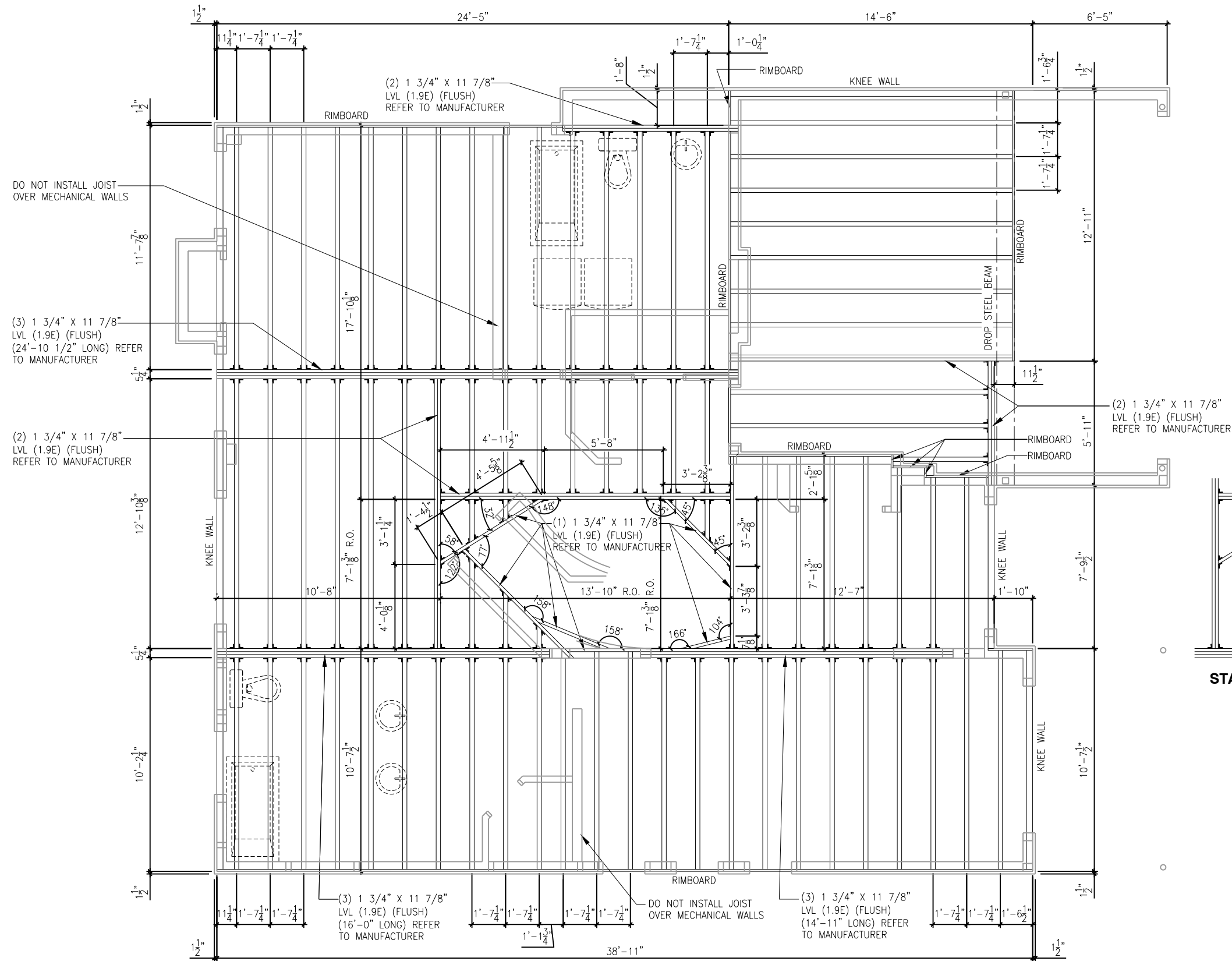
(STANDARD DRAWINGS)

SHEET: **A11n**

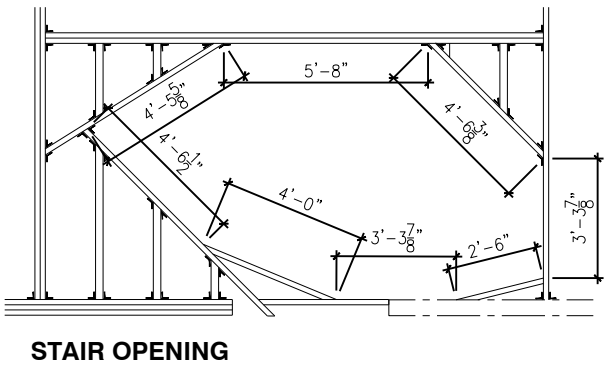


SECOND FLOOR - JOIST LAYOUT - OPTIONAL LAUNDRY - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



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Valecraft  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

ADDRESS: xx | SCALE: 3/16" = 1'-0" | DATE: xx/xx/xxxx

1046 - THE HAZELWOOD 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A110

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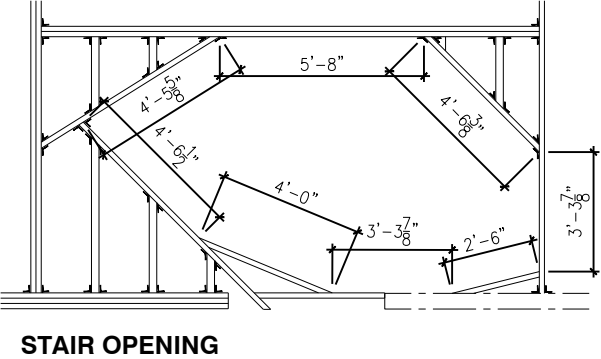
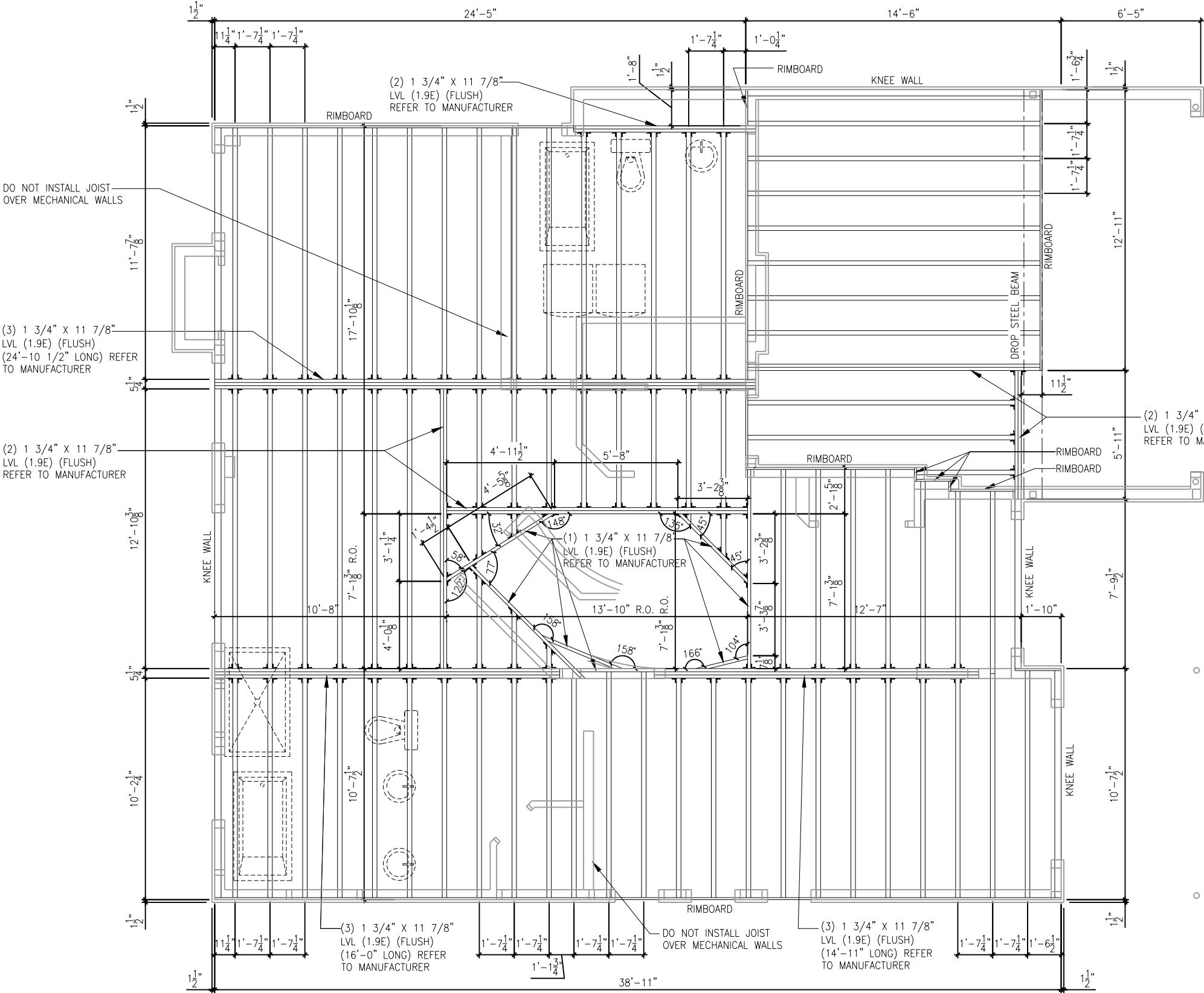
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SECOND FLOOR - JOIST LAYOUT - ENSUITE UPGRADE - OPTIONAL LAUNDRY -OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

ADDRESS: XX      SCALE: 3/16" = 1'-0"      DATE: XX/XX/XXXX

1046 - THE HAZELWOOD 2022 FOOTPRINT

STANDARD DRAWINGS

A11p

LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMOKE SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

### 2012 O.B.C. DRAWINGS

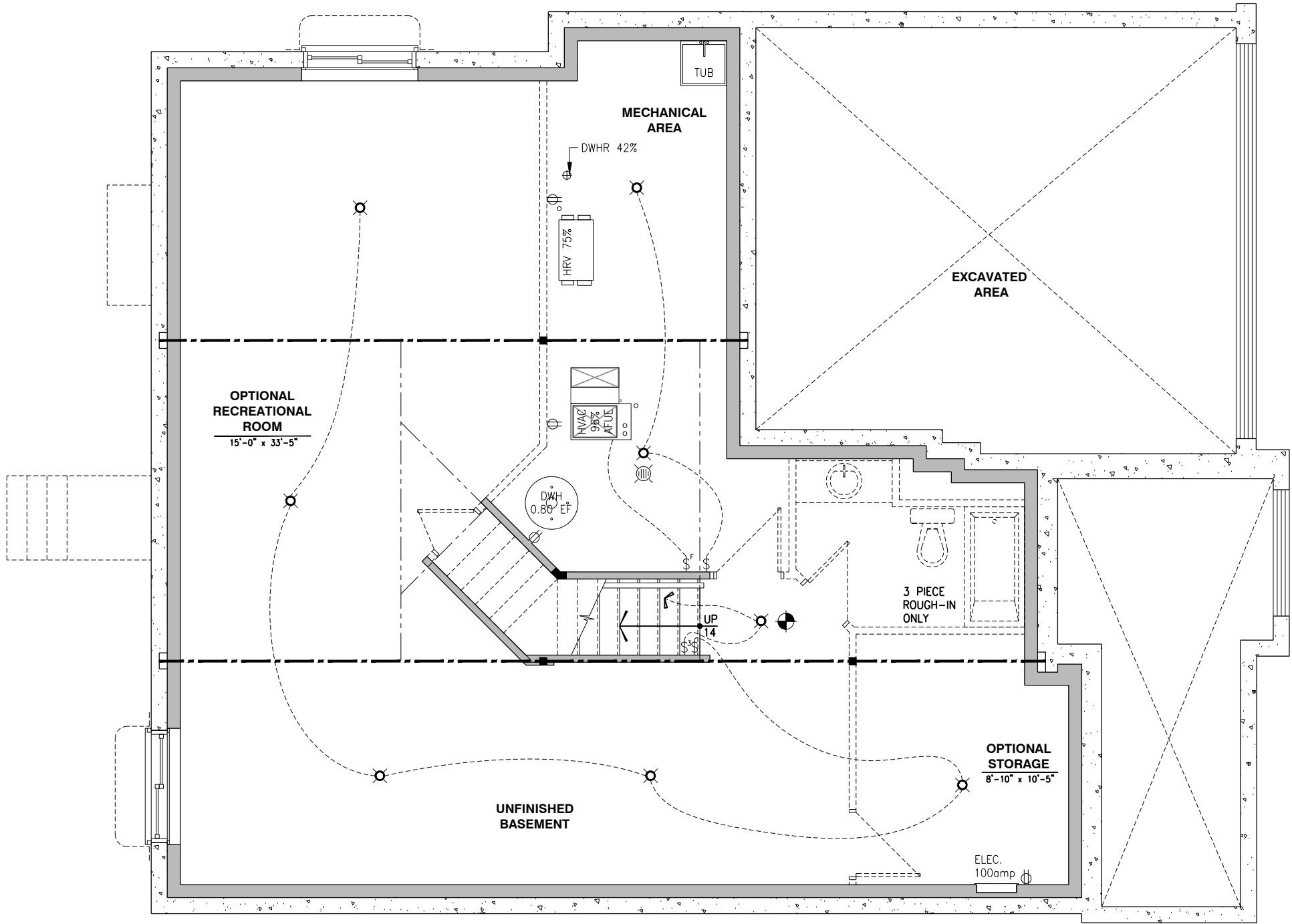

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

### DRAWING: ELECTRICAL PLAN BASEMENT - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.1a**



### ELECTRICAL PLAN BASEMENT - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

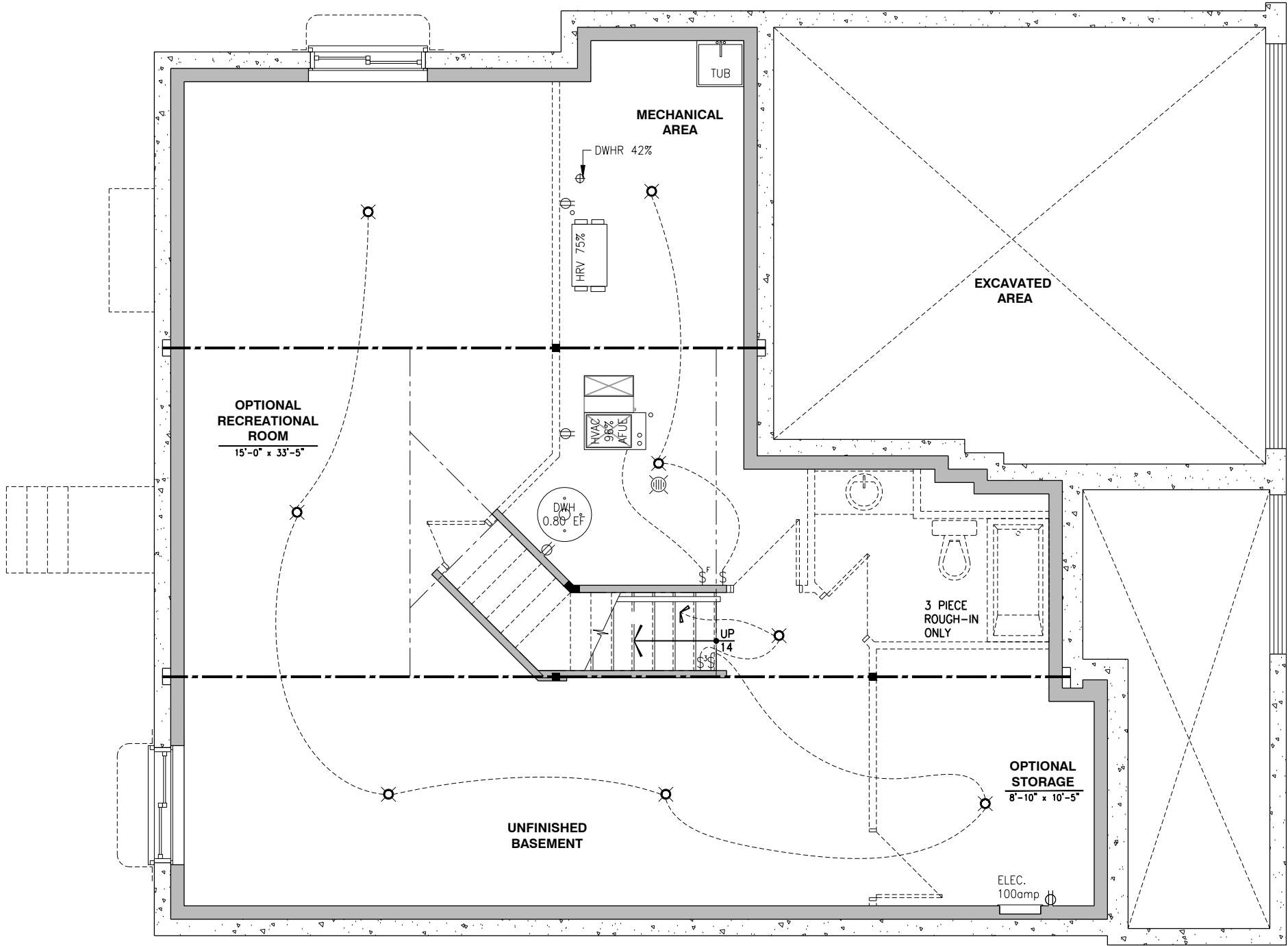

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
BASEMENT - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.1b**

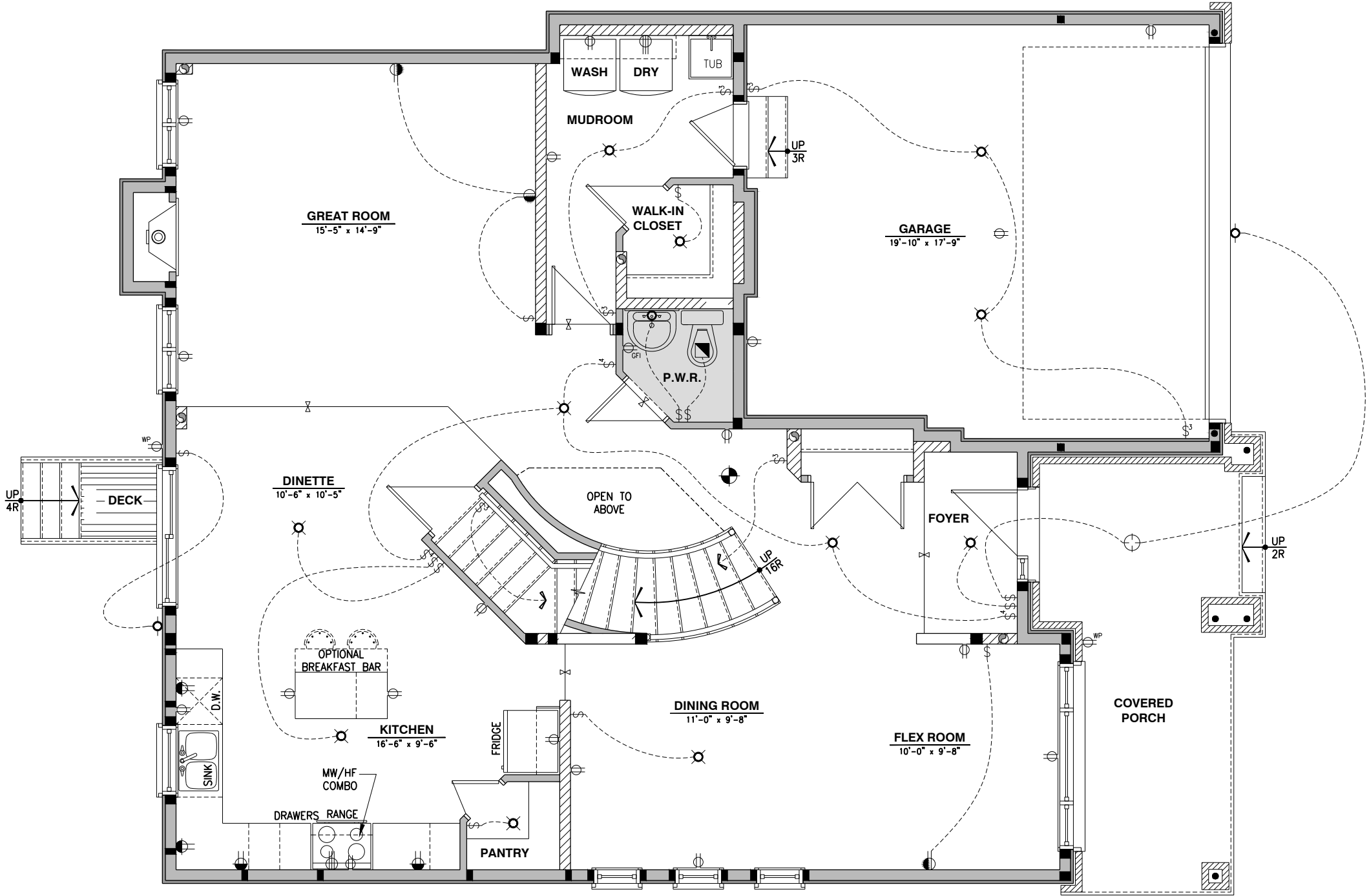


ELECTRICAL PLAN BASEMENT - ELEVATION B

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.2a

LOT: XXXX  
DATE: XX/XX/XXXX



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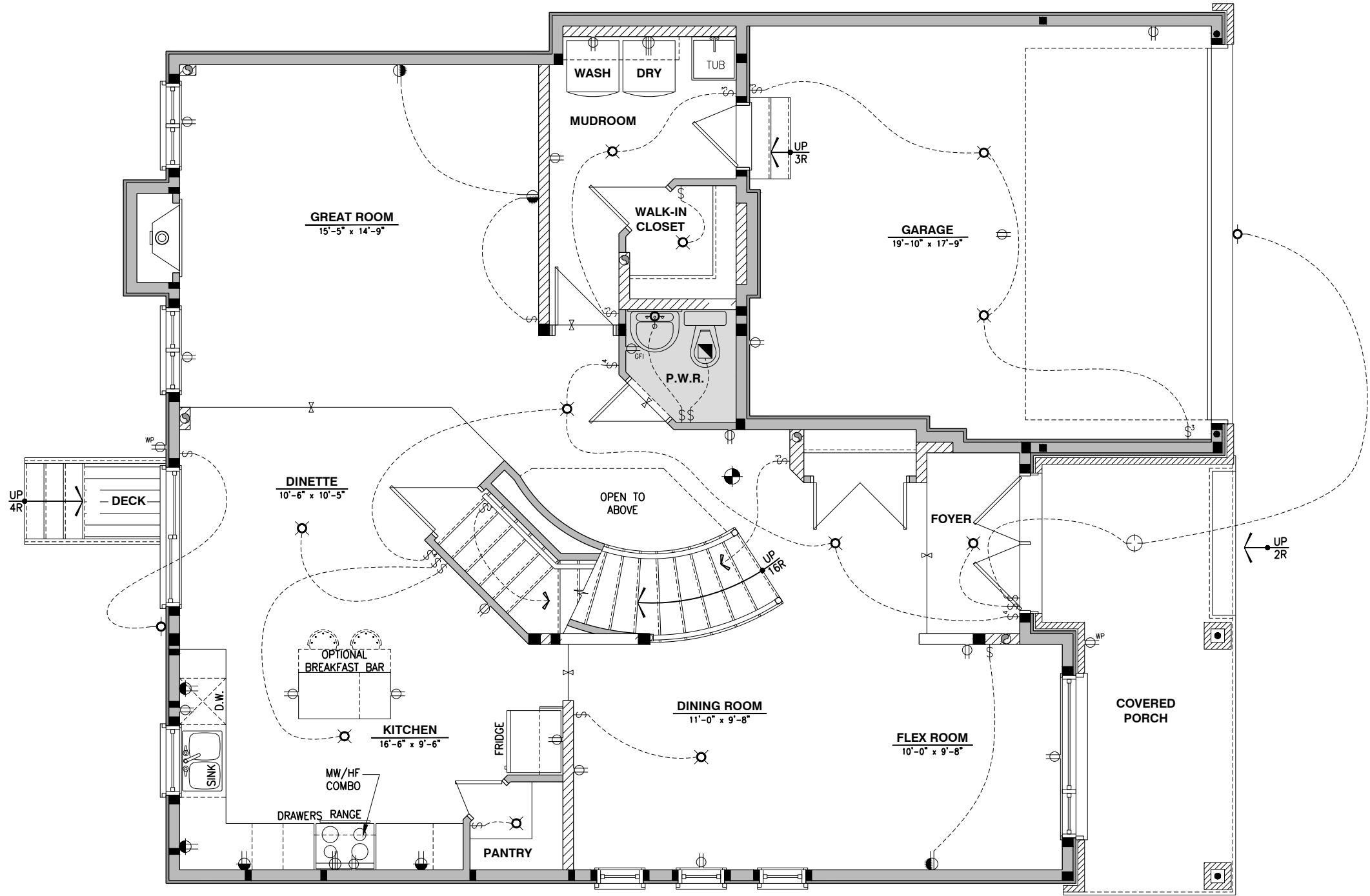
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX  
1046 - THE HAZELWOOD 2022 FOOTPRINT

SHEET: E.2b  
(STANDARD DRAWINGS)

## ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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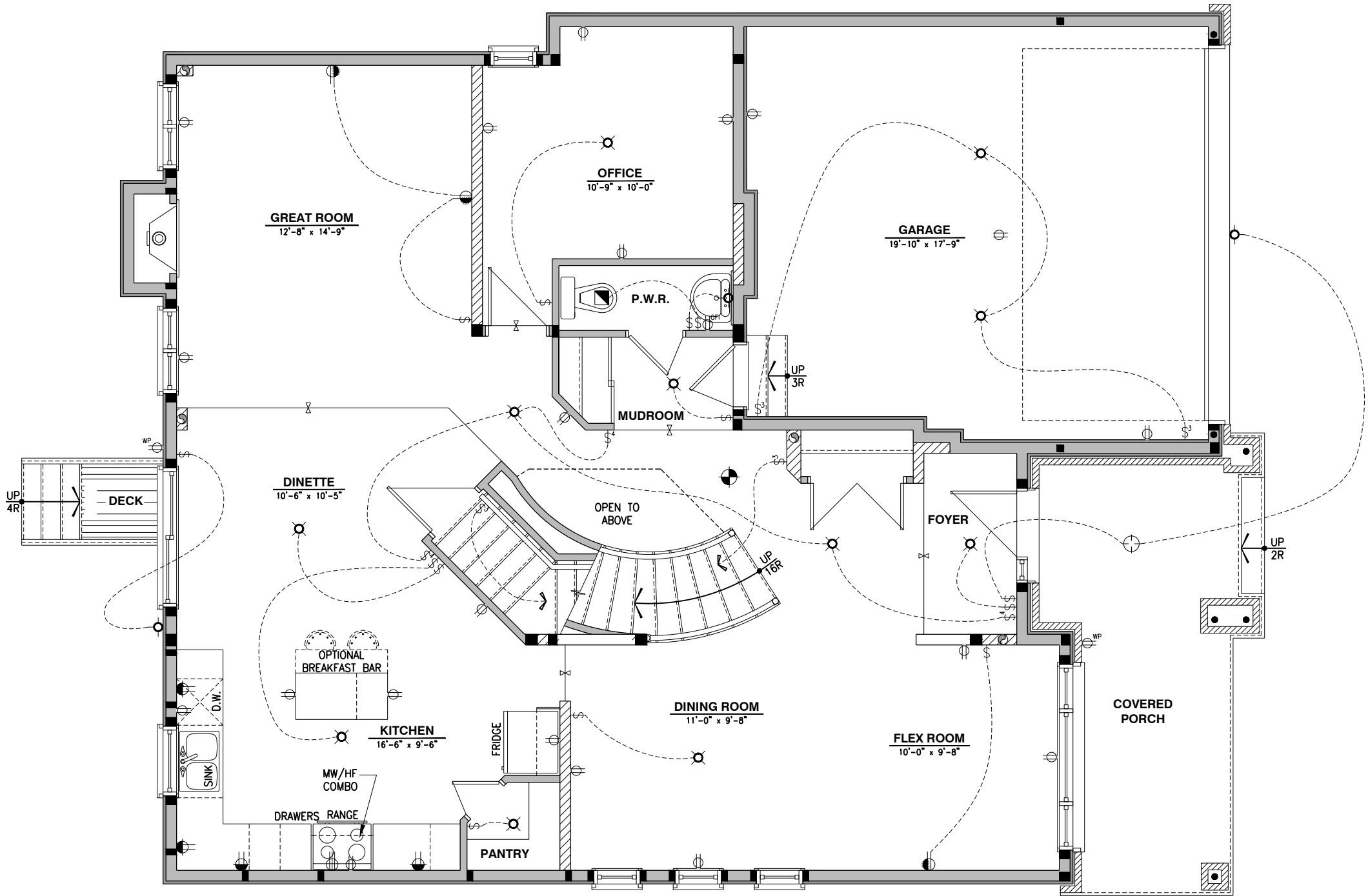
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#### 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

REV-1 NEW STANDARD DRWG MODIFICATION 08/30/2022 DOYON  
NO. DESCRIPTION DATE BY

#### DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX  
SHEET: E.2c

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

#### ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL OFFICE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

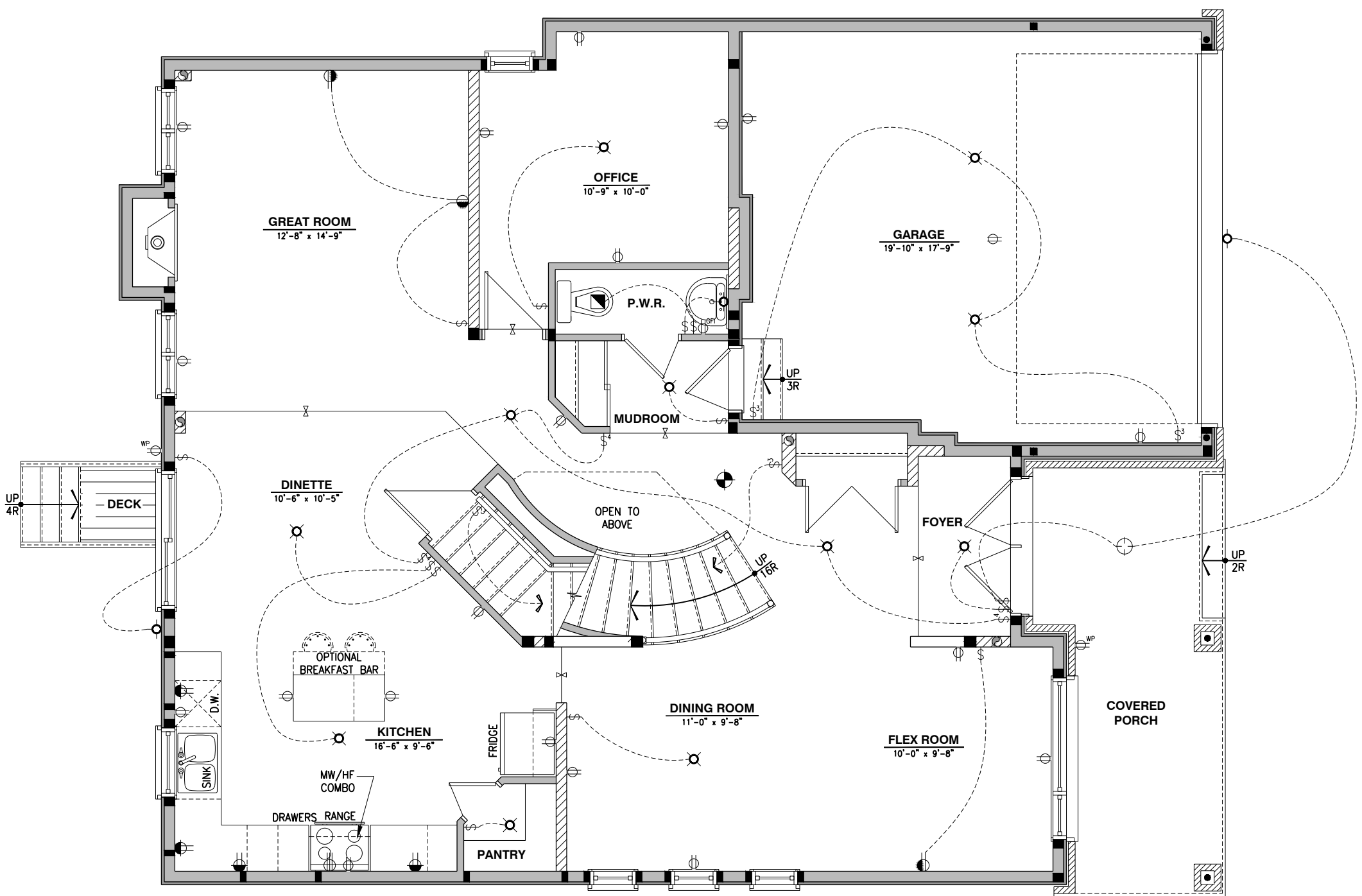

REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2d



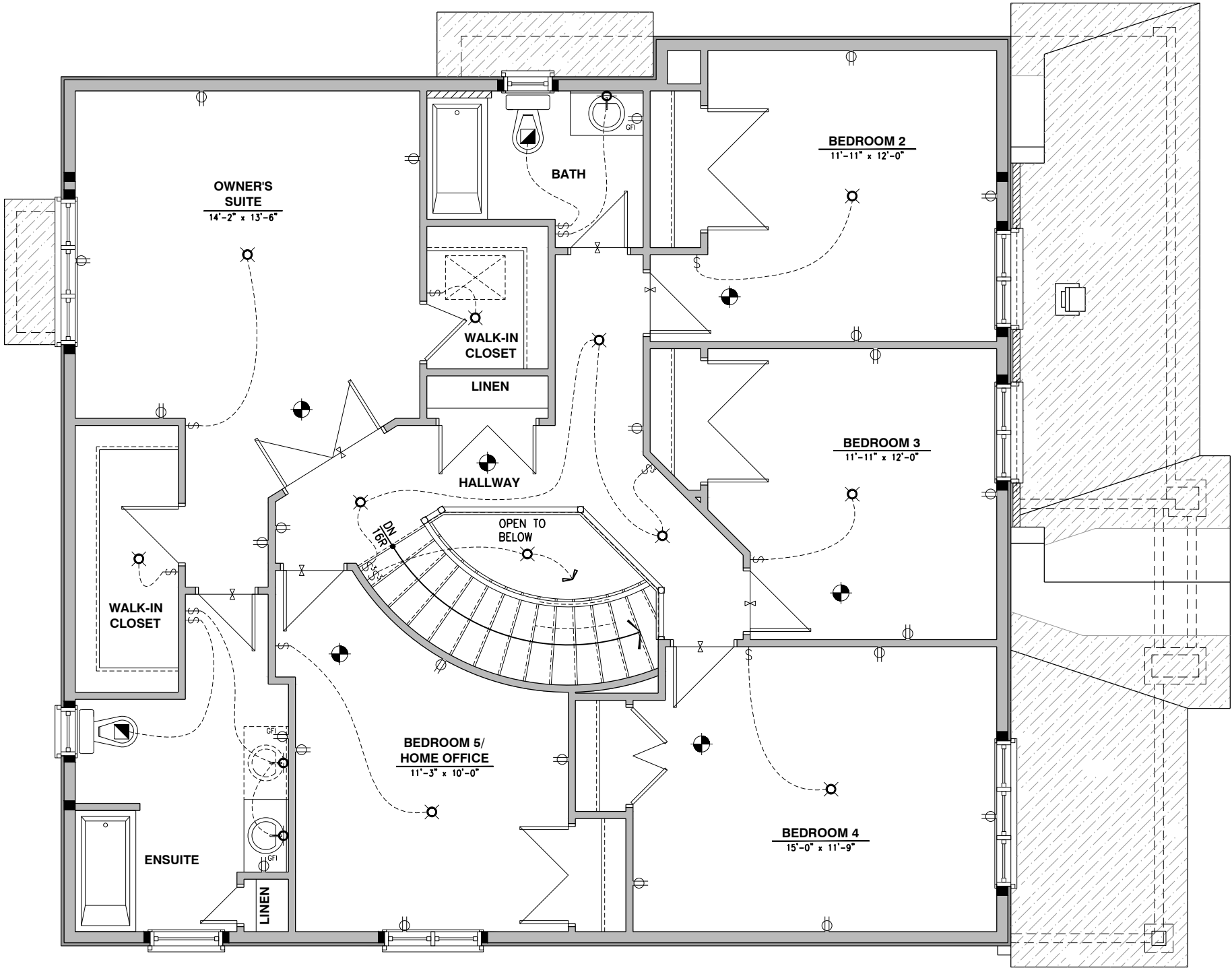
ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL OFFICE - ELEVATION B

SCALE: 3/16" = 1'-0"



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3a

LOT: XXXX  
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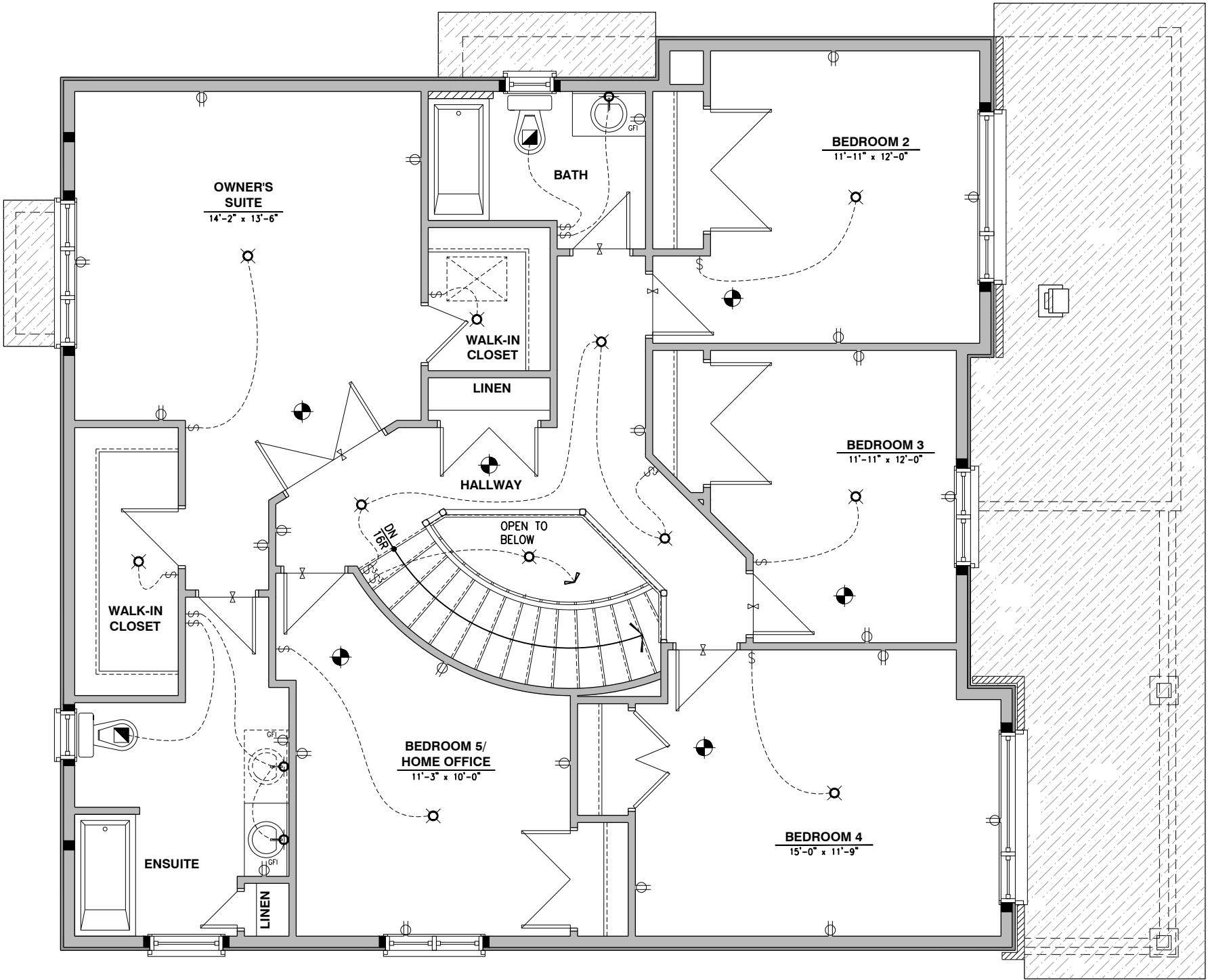
REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.3b



ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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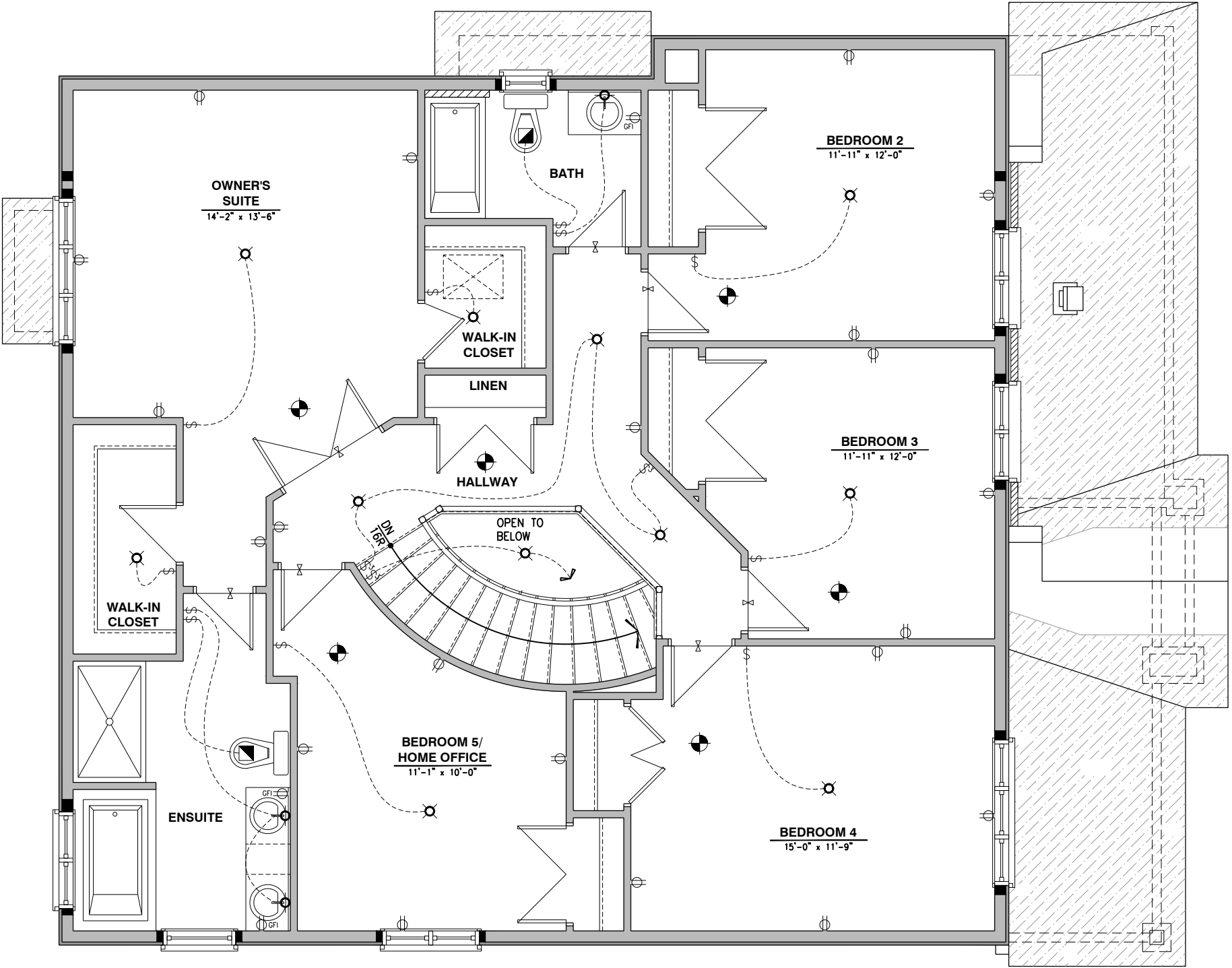
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#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: ELECTRICAL PLAN SECOND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3c**

#### ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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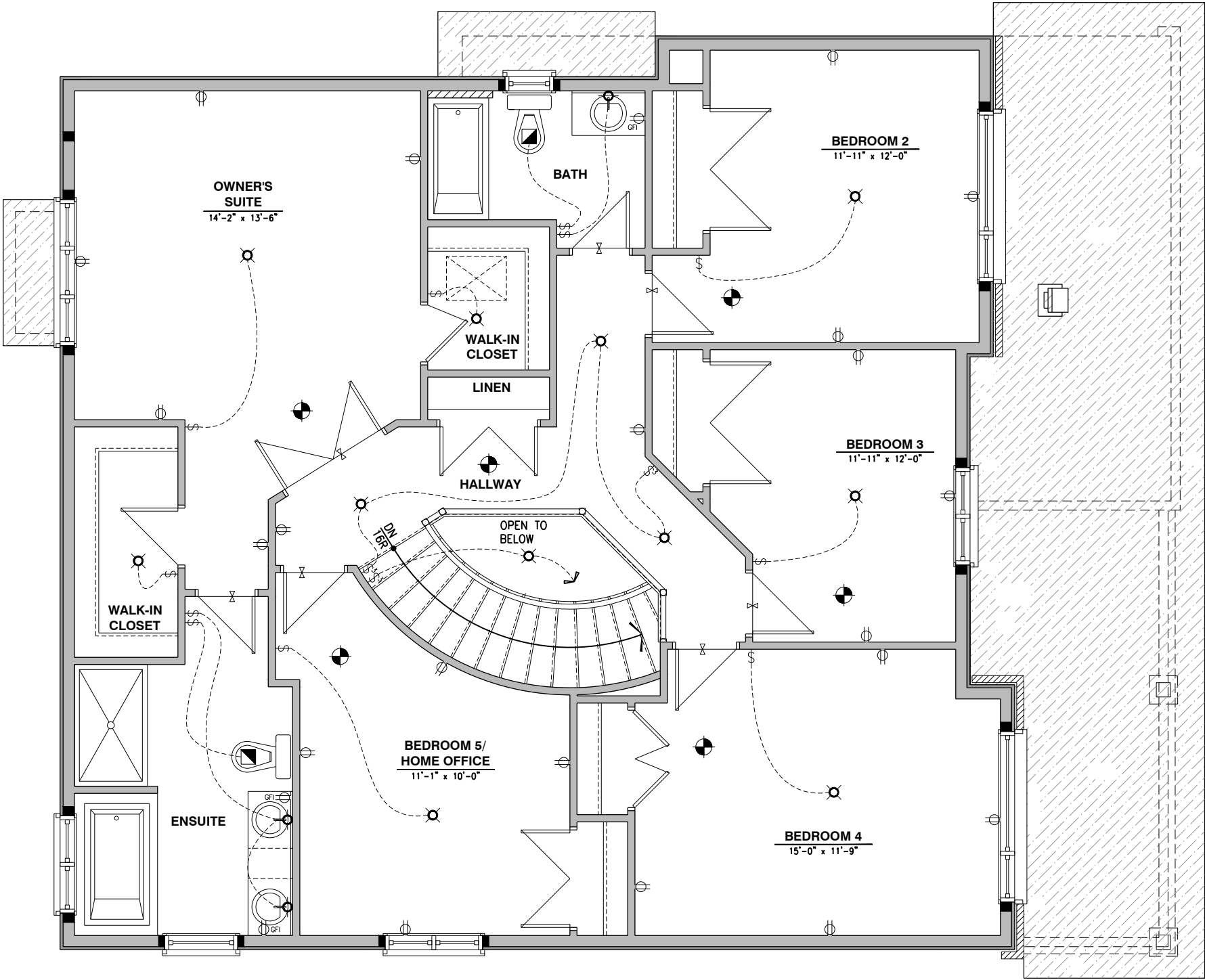
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GFI GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3d

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

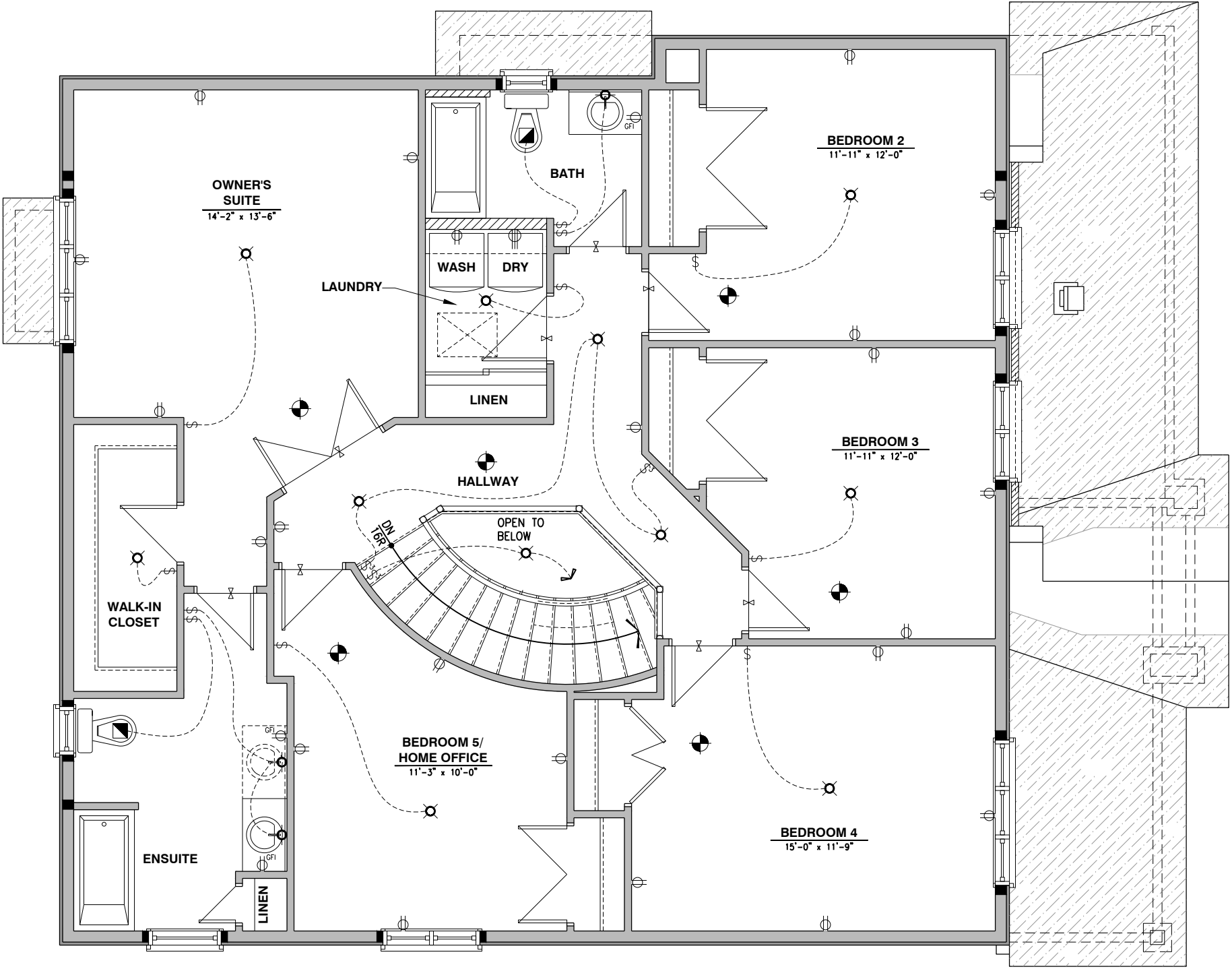
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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
SECOND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3e**

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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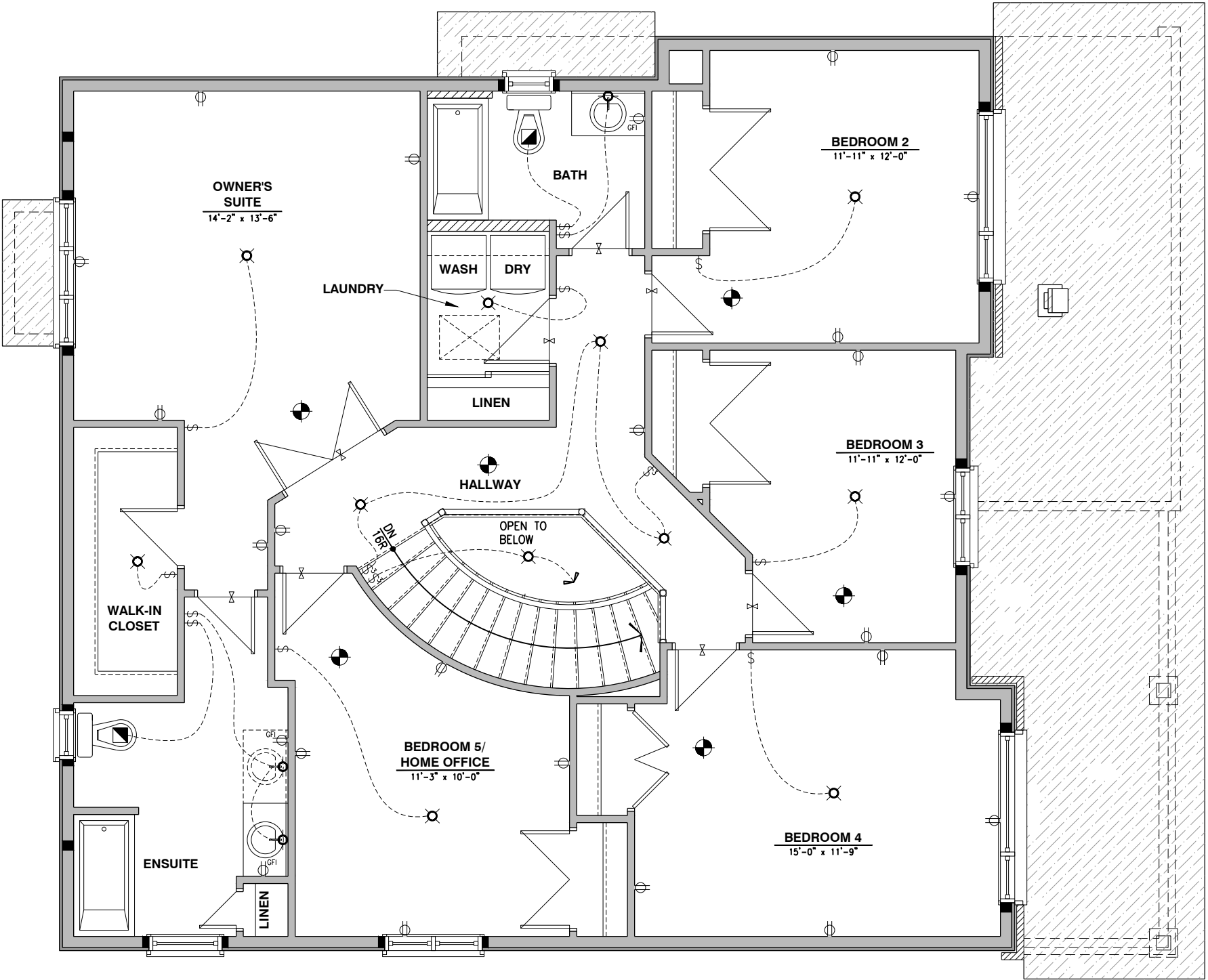
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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.3f

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL LAUNDRY - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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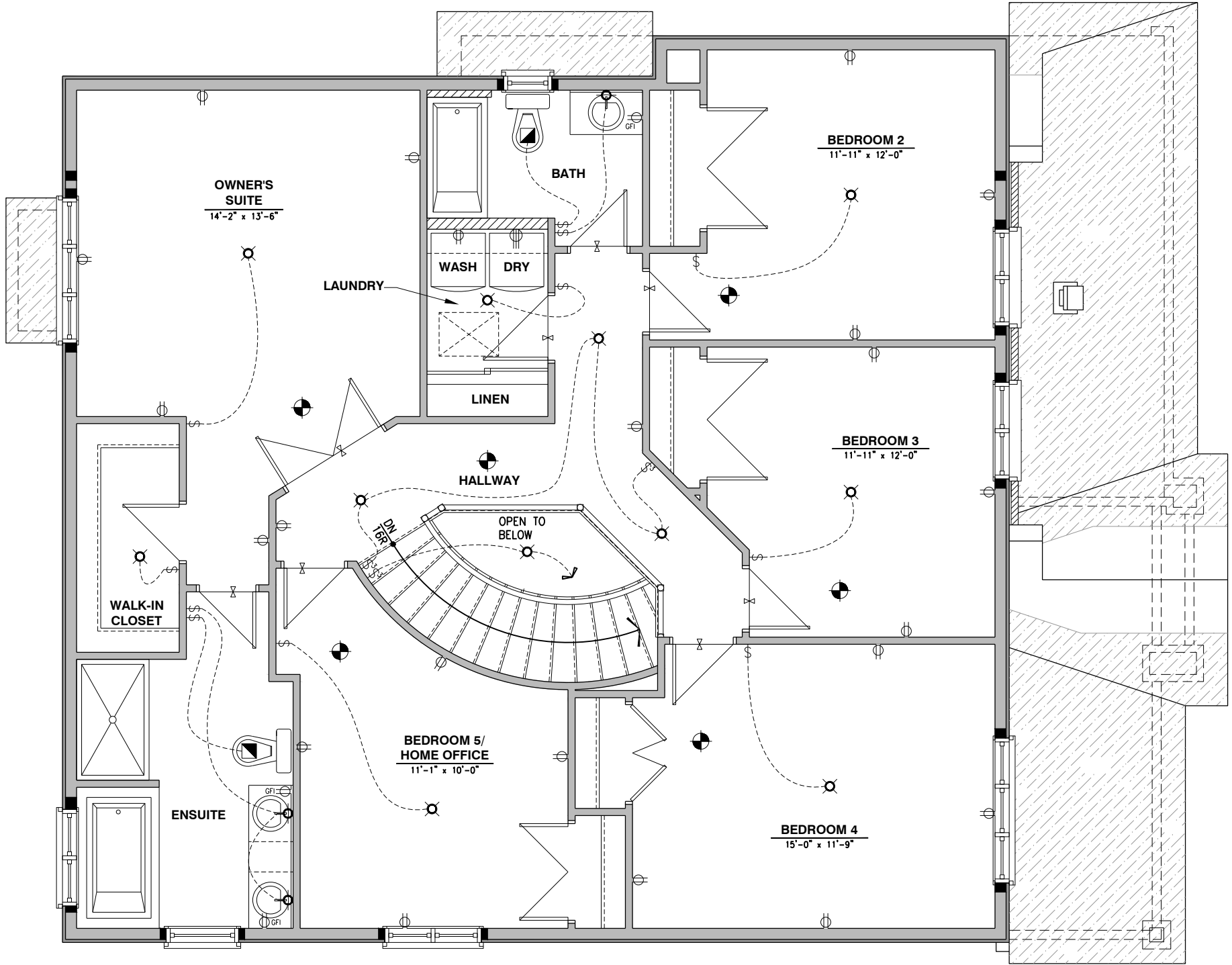
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#### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: ELECTRICAL PLAN SECOND FLOOR - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3g**

#### ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - OPTIONAL LAUNDRY - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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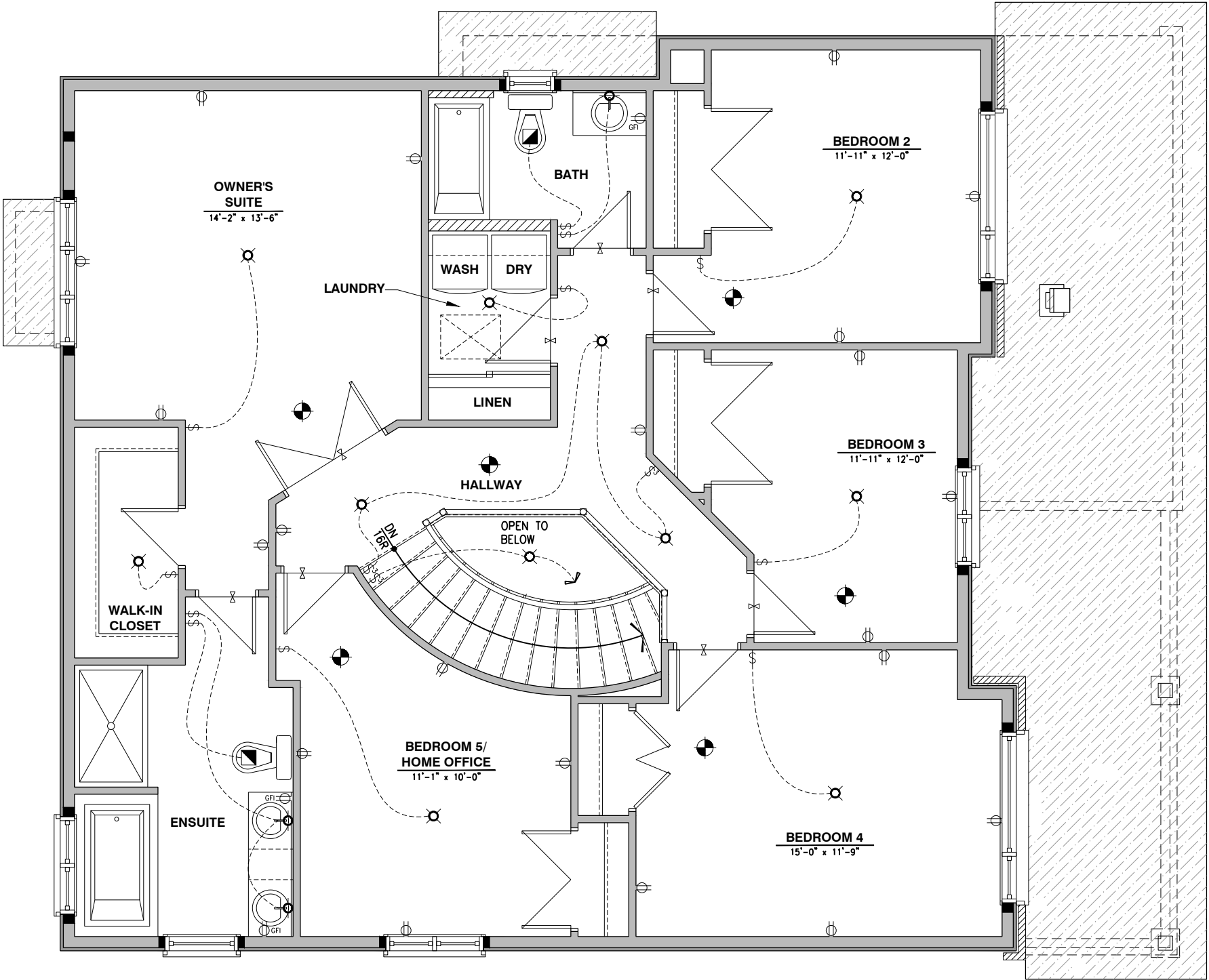
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### 2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	08/30/2022	DOYON
NO.	DESCRIPTION	DATE	BY

### ELECTRICAL PLAN GROUND FLOOR - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1046 - THE HAZELWOOD  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**E.3h**

### ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL ENSUITE - OPTIONAL LAUNDRY - ELEVATION B

SCALE: 3/16" = 1'-0"