

PERCENT GLASS TO WALL AREA = 10.1%

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL



1010 - THE FERRIS 2023 FOOTPRINT

SHEET:
A1a



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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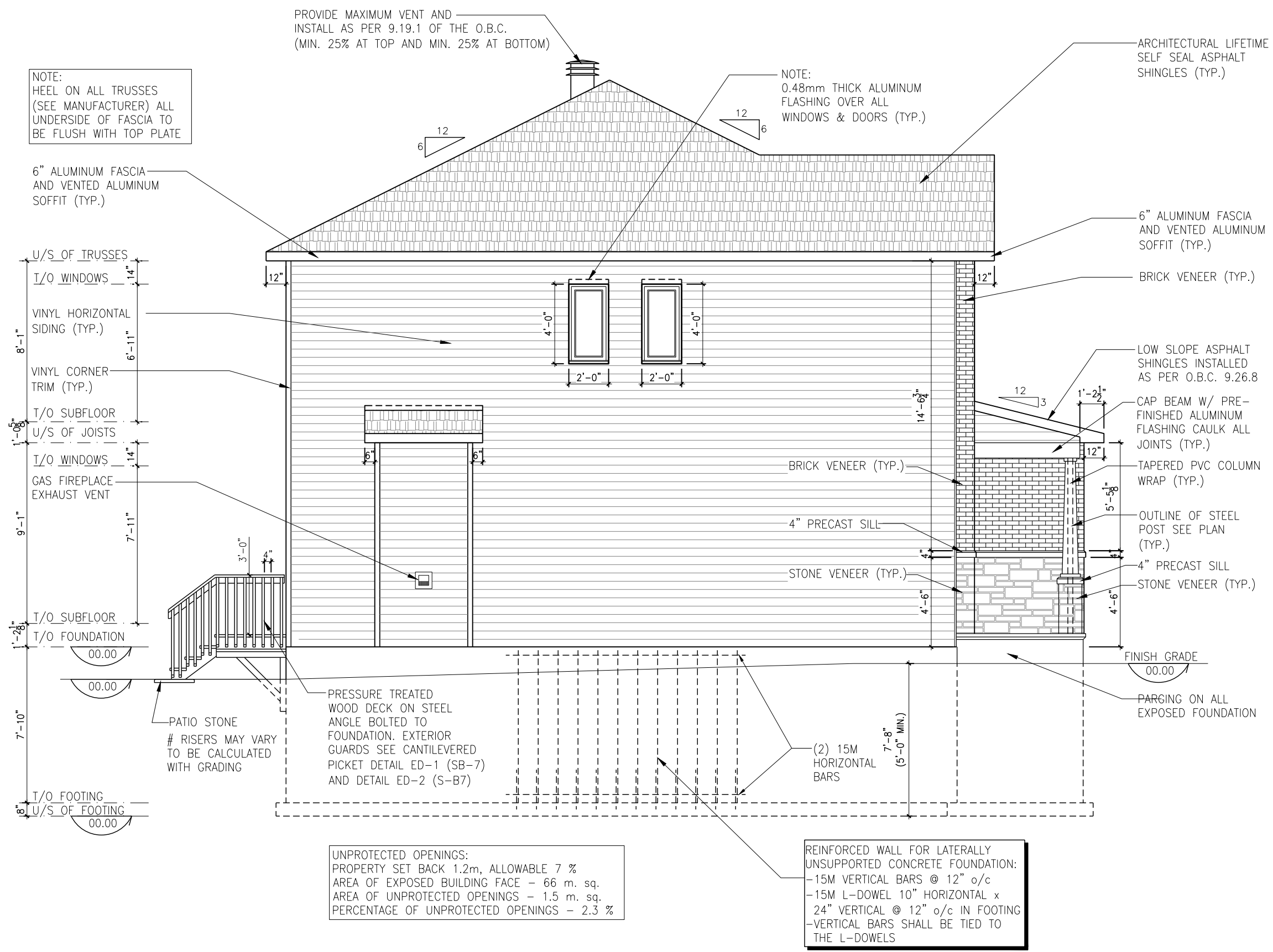
ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL



LEFT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: LEFT ELEVATION
ELEVATION A

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: REAR ELEVATION
ELEVATION A

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL CORNER
TRIM (TYP.)
VINYL HORIZONTAL
SIDING (TYP.)
EXTERIOR LIGHT
FIXTURE (TYP.)

FINISH GRADE

PARGING ON ALL
EXPOSED FOUNDATION

RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

STANDARD:

GROSS INSULATED = 278 M. SQ.
WALL AREA

GROSS WINDOW = 28.28 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 10.1%

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

BRICK VENEER (TYP.)

4" PRECAST SILL

FLASHING @ ROOF AND
WALL JUNCTURE (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

SQUARE PVC COLUMN
WRAP (TYP.)

4" PRECAST SILL

OUTLINE OF STEEL
POST SEE PLAN
(TYP.)

BRICK VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

PARGING ON ALL
EXPOSED FOUNDATION

CONCRETE PORCH

T/O FOOTING

U/S OF FOOTING

CAP BEAM W/ PRE-
FINISHED ALUMINUM
FLASHING CAULK ALL
JOINTS (TYP.)

CONCRETE STAIR
ONE INVERTED
RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

PRE-FINISHED METAL
FLASHING (TYP.)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

KAYCAN WOOD PRODUCTS
CORNER TRIM (7 1/4")
KAYCAN WOOD PRODUCTS
HORIZONTAL SIDING (7 1/4")

FLASHING @ ROOF AND WALL
JUNCTURE (TYP.)
LOW SLOPE ASPHALT SHINGLES
INSTALLED AS PER O.B.C. 9.26.8
MUSHROOM ROOF VENTS
(ROOF VENTILATION AS PER
OBC - SECTION 9.19.1) TYP.

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

SAN REMO A1101S-6
EXTERIOR LIGHT FIXTURE

BRICK VENEER (TYP.)

FINISH GRADE

6" FOUNDATION CHECK
SEE GRADE PLAN
(TYP.)

16'-0"x8'-0" OVERHEAD GARAGE DOOR
GLASS INSERTS 3 STACKED

FRONT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
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AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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| NO. | DESCRIPTION | DATE | BY |

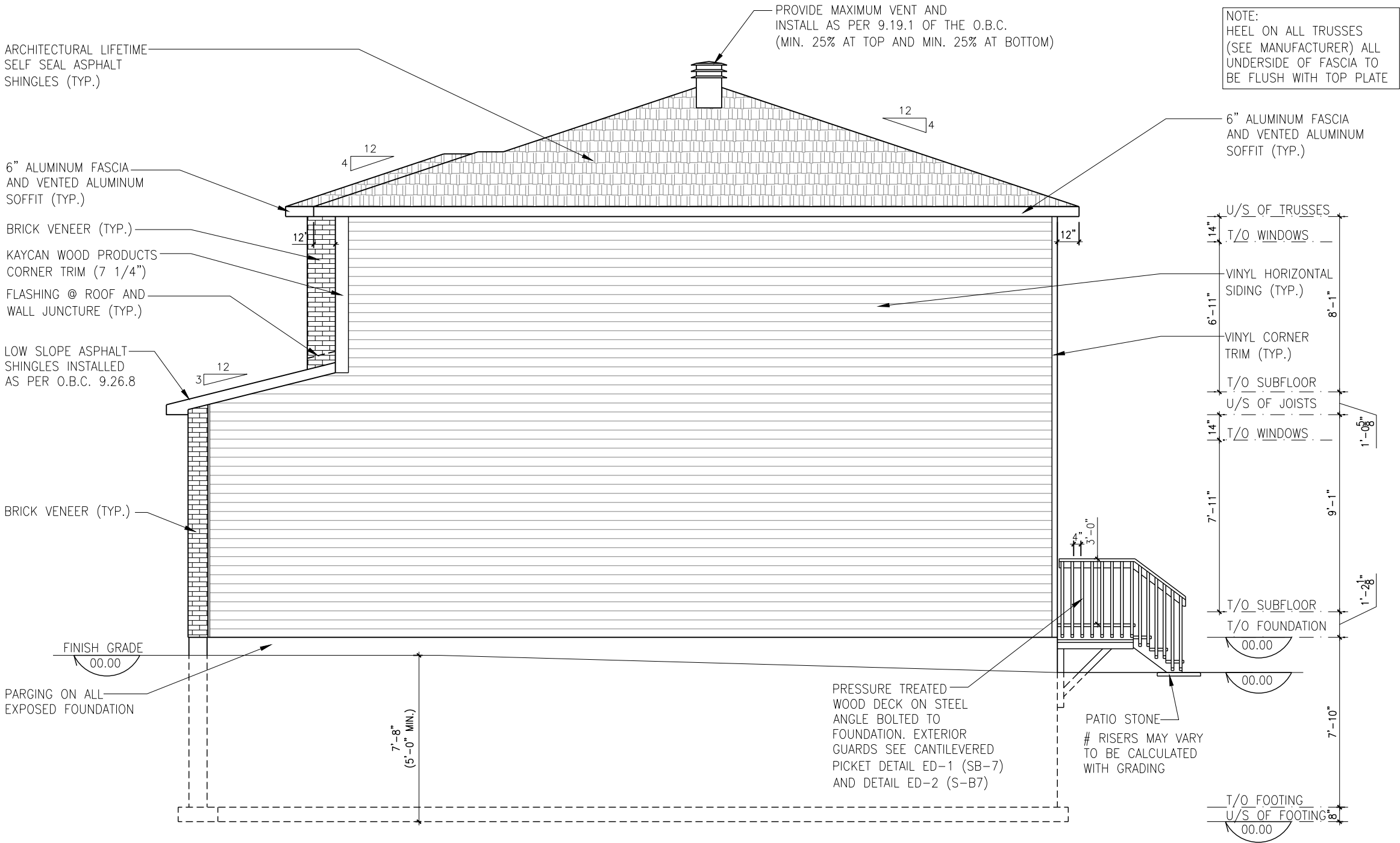
DRAWING: FRONT ELEVATION
ELEVATION B

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A1b



RIGHT ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| NO. | DESCRIPTION | DATE | BY |

DRAWING: **RIGHT ELEVATION
ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**1010 - THE FERRIS
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A2b



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2012 O.B.C. DRAWINGS

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ELEVATION B

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2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A4b

NOTE:
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BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL CORNER
TRIM (TYP.)
VINYL HORIZONTAL
SIDING (TYP.)
EXTERIOR LIGHT
FIXTURE (TYP.)

PARGING ON ALL
EXPOSED FOUNDATION

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES
T/O WINDOWS

T/O SUBFLOOR
U/S OF JOISTS
T/O WINDOWS

STONE VENEER
BEYOND
VINYL CORNER TRIM (TYP.)

T/O SUBFLOOR
T/O FOUNDATION

PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

T/O FOOTING
U/S OF FOOTING

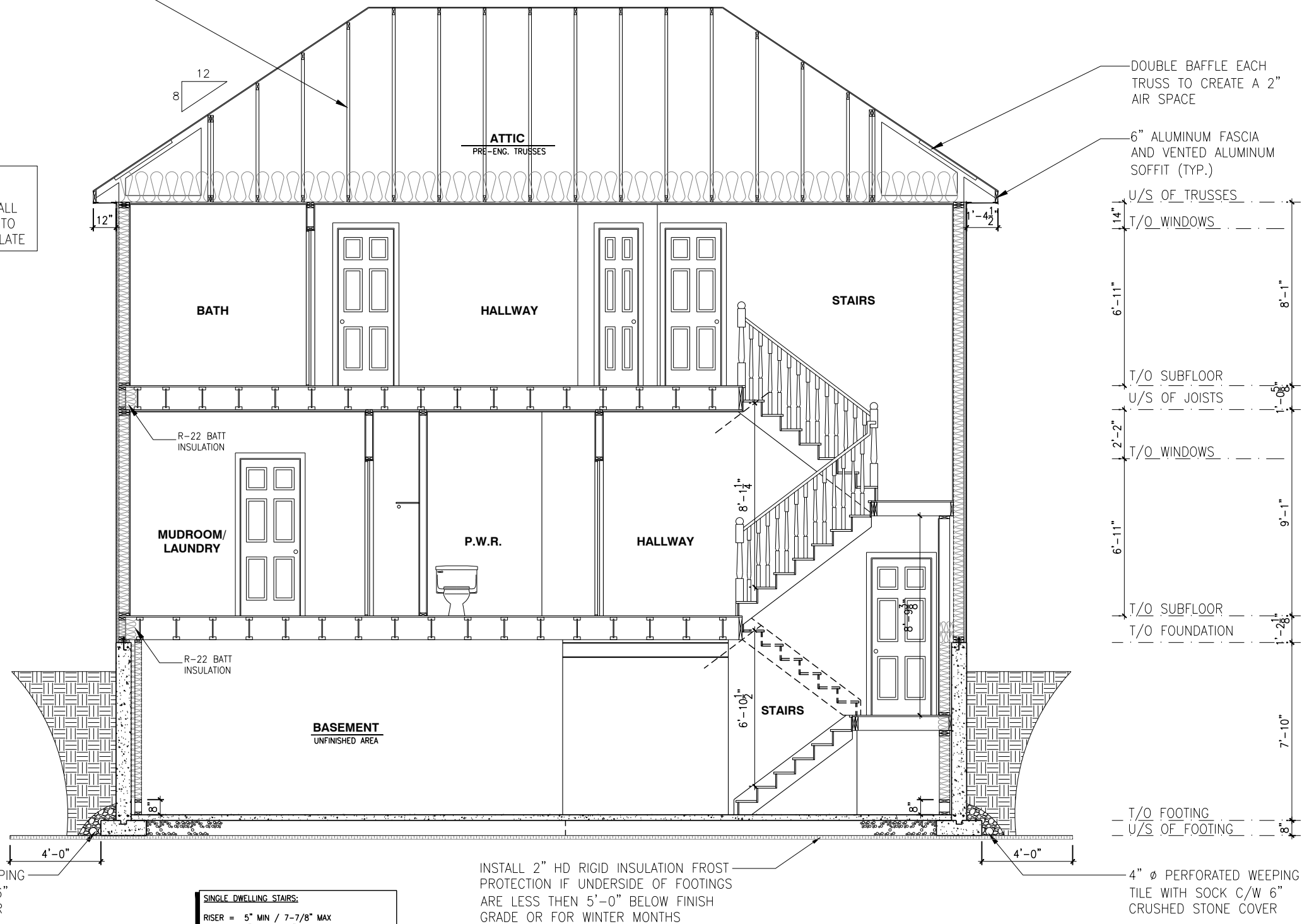
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TO BE CALCULATED
WITH GRADING

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)

PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

NOTE:
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(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |
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DRAWING: BUILDING SECTION
ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS) SHEET: A5a



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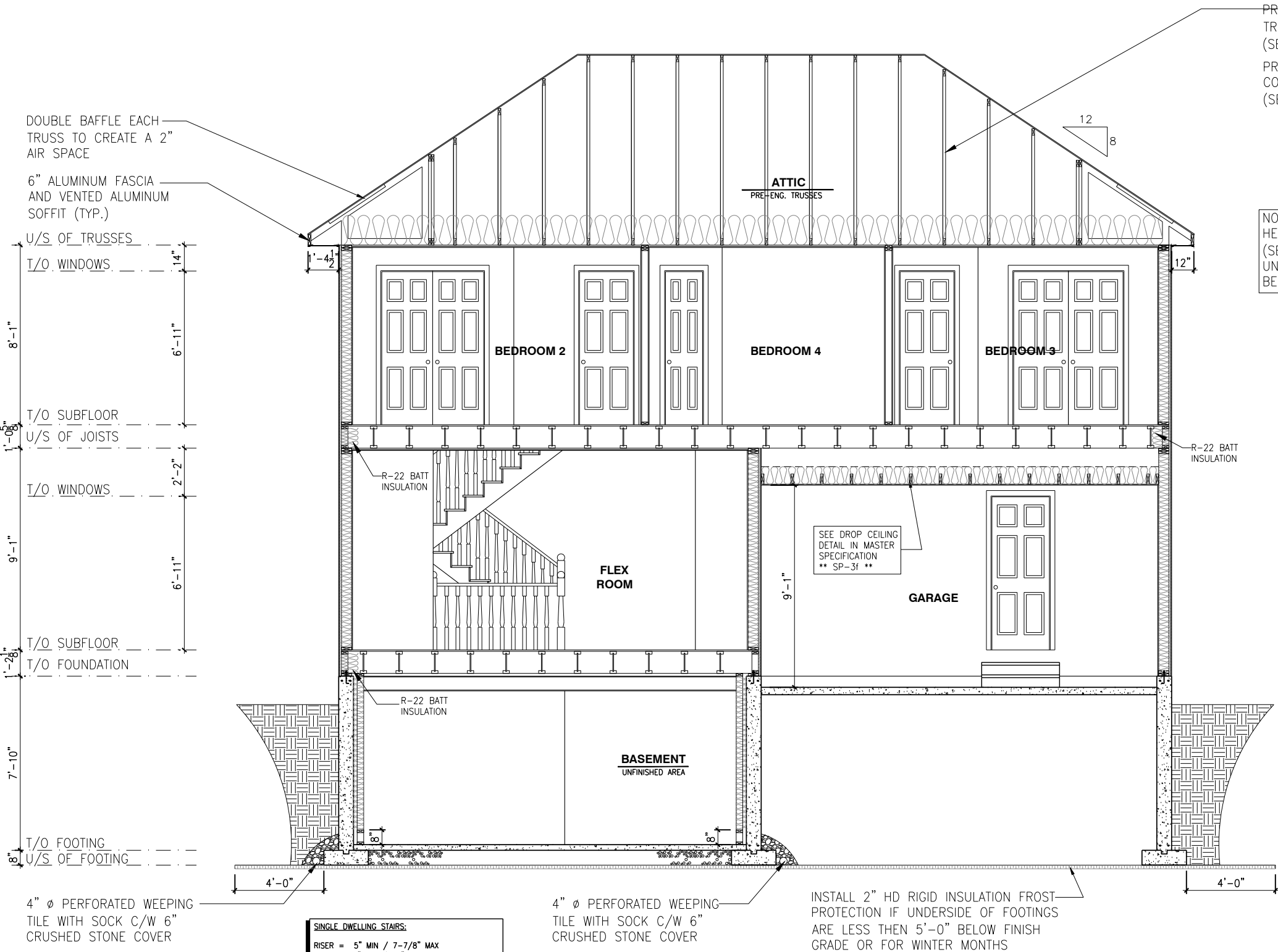
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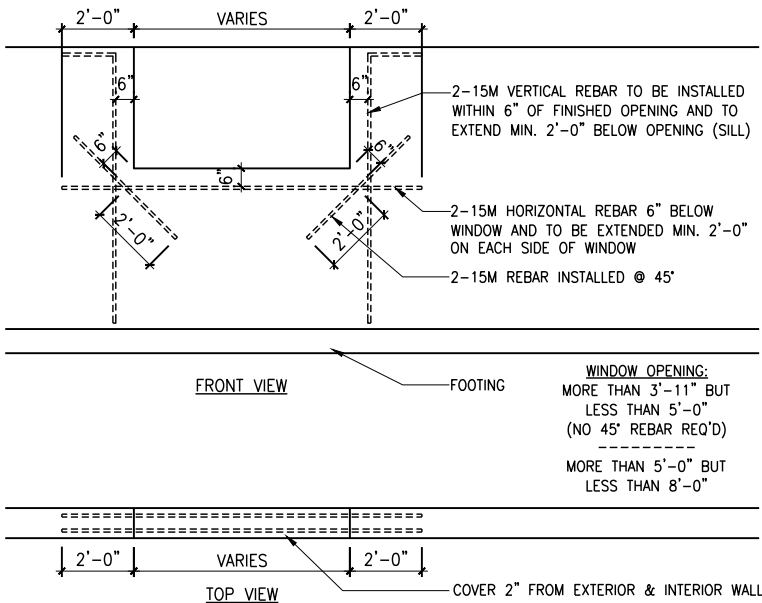
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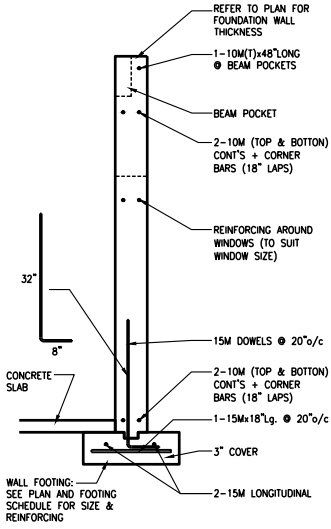


SINGLE DWELLING STAIRS:
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RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

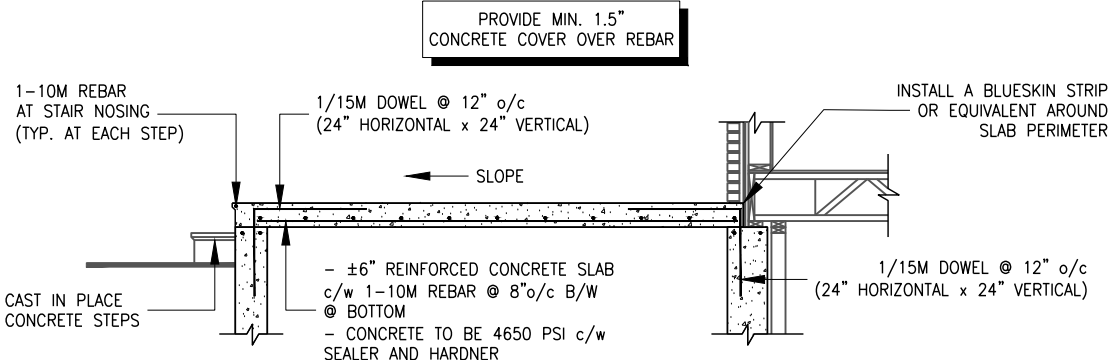
| FOOTING SCHEDULE | | | | | |
|--|----------------------------------|--|--|--|---|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» | | | | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| WF1 | 30"x8" DP. 2-15M(B) LONG. | 36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG. | 40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG. | 48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. | 72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG. |
| WF2 | 28"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG. | 46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. | 70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG. |
| WF3 | 26"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG. | 64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG. |
| WF4 | 24"x8" DP. 2-15M(B) LONG. | 28"x8" DP. 2-15M(B) LONG. | 32"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG. | 58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG. |
| WF5 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 26"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG. |
| WF6 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | 46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. |
| WF7 | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG. |
| PAD FOOTING SCHEDULE | | | | | |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» | | | | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| F1 | 52"x52"x10" w/ 4-15M 46" LG. e/w | 56"x56"x12" w/ 5-15M 50" LG. e/w | 60"x60"x12" w/ 5-15M 54" LG. e/w | 68"x68"x12" w/ 6-15M 62" LG. e/w | 78"x78"x12" w/ 7-15M 72" LG. e/w |
| F2 | 24"x24"x10" DP. | 24"x24"x10" DP. | 24"x24"x10" DP. | 28"x28"x12" DP. | 34"x34"x12" w/ 2-15M 28" LG. e/w |



1 BASEMENT WINDOW REINFORCING
A.6 SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING
A.6 SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING
A.6 SCALE: 1/4" = 1'-0"

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

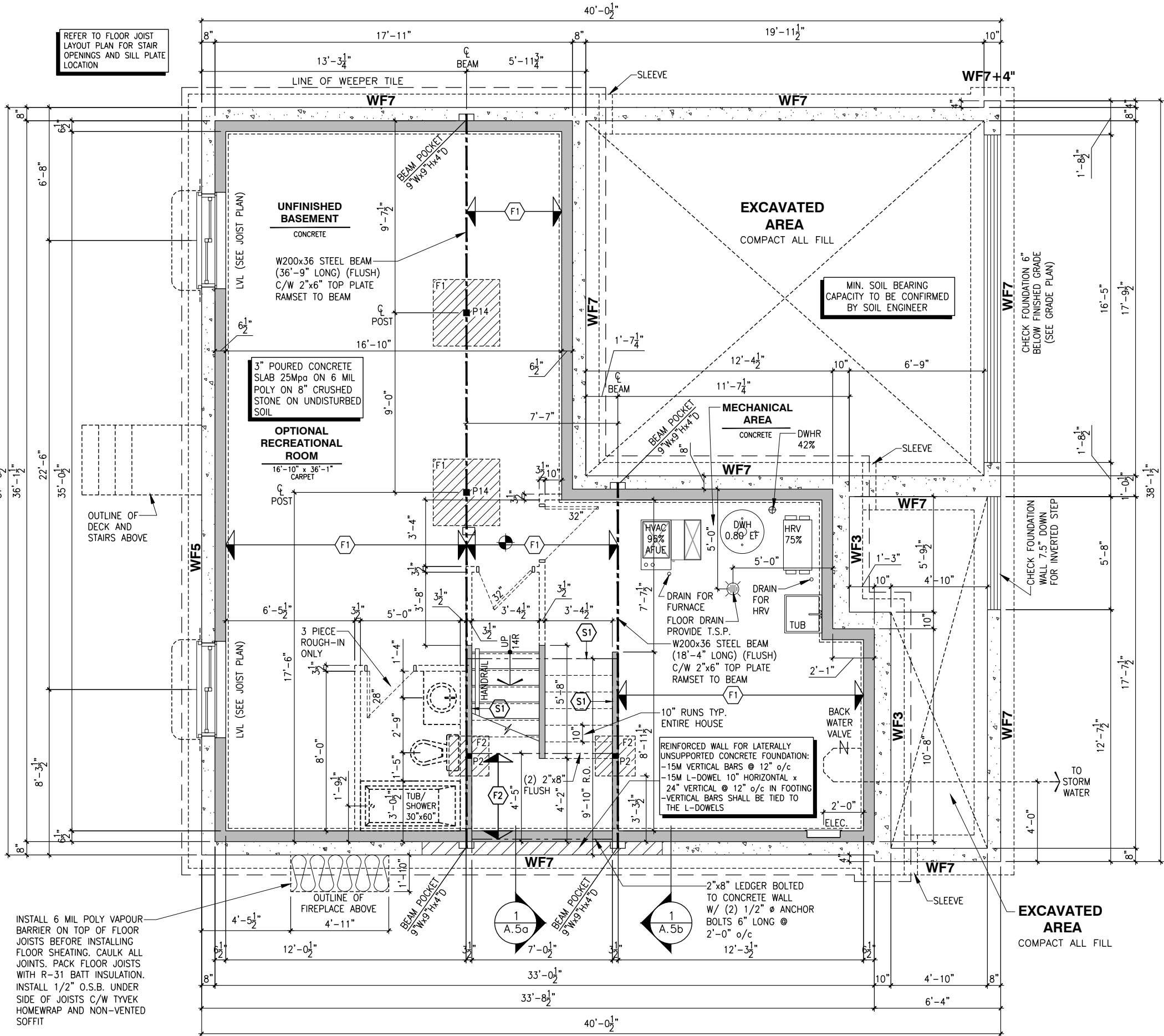
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION



BASEMENT FLOOR PLAN - ELEVATION A AND B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX
Valecraft
Homes (2019) Limited

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NOTES:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING: **BASEMENT FLOOR PLAN**
ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx
xx

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A6a

SHEET:
A7a

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

RISER = 5" MIN / 7-7/8" MAX
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3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
 SOIL. SLAB TO BEAR ON FOUNDATION WALLS.



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1010 - THE FERRIS 2023 FOOTPRINT

SHEET:

A7b

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
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ROOF AND FLOOR LAYOUT NOTES:

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FLOOR FRAMING:

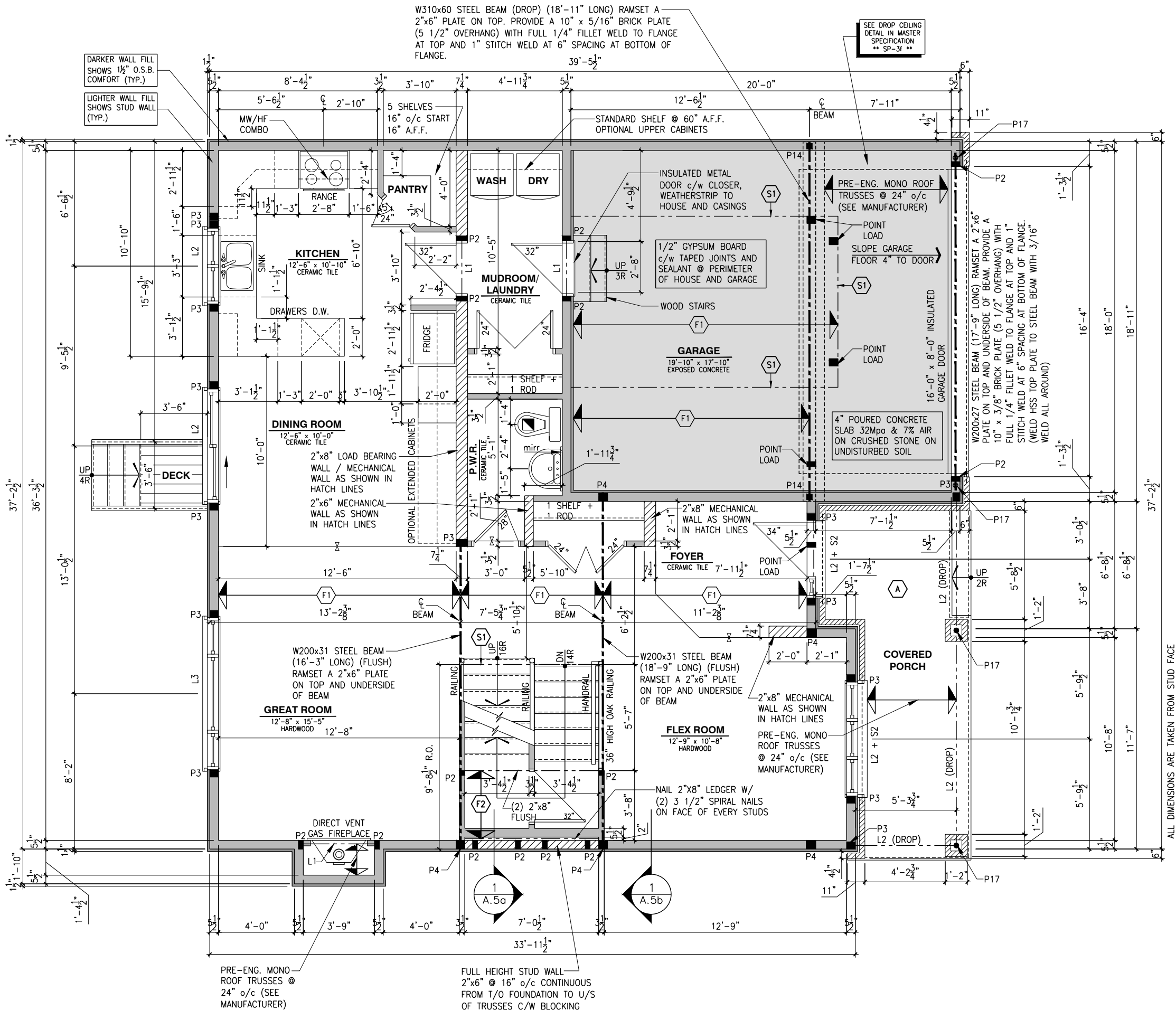
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7c

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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

GENERAL NOTES:

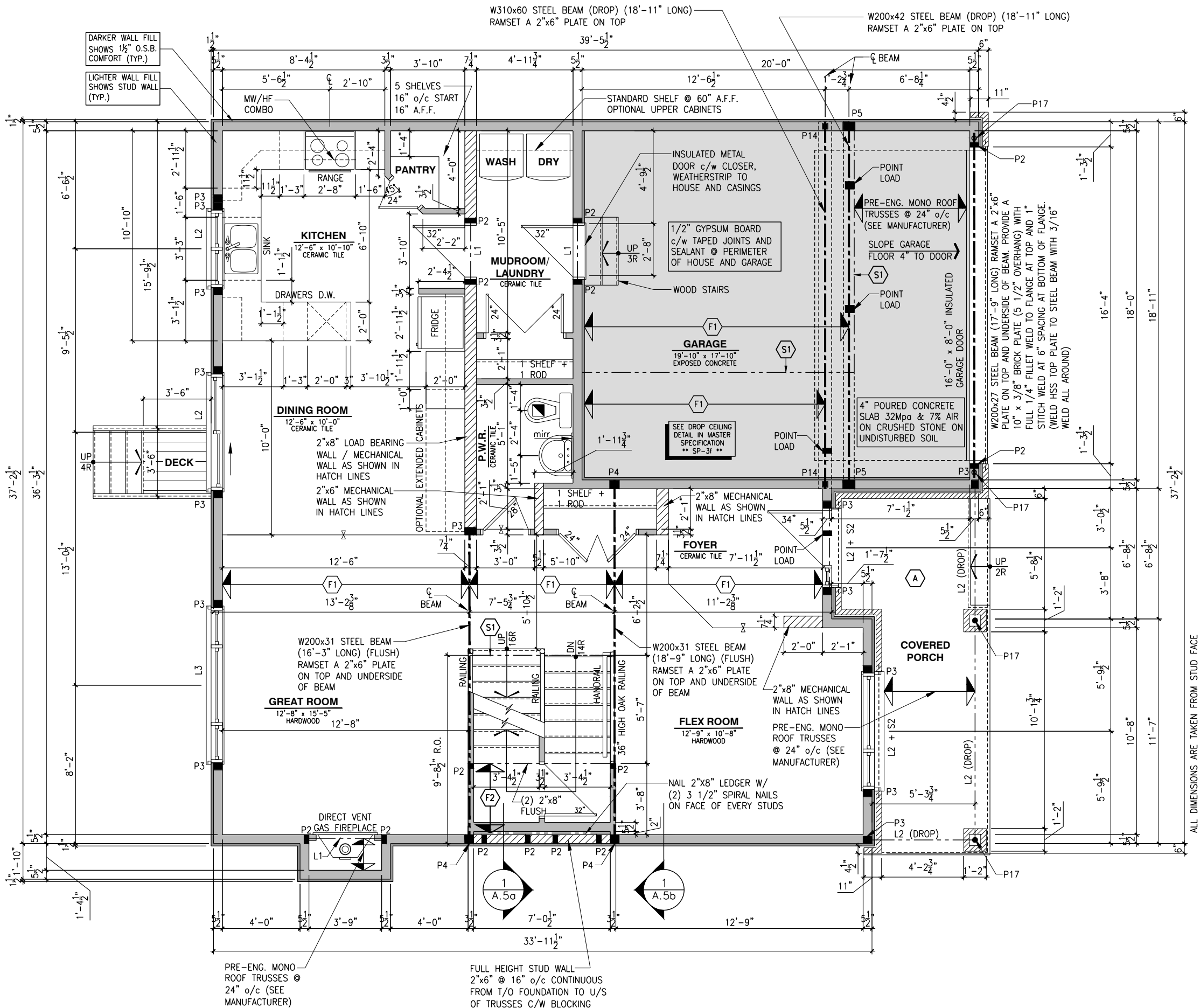
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FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

A PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7b

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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FLOOR FRAMING:

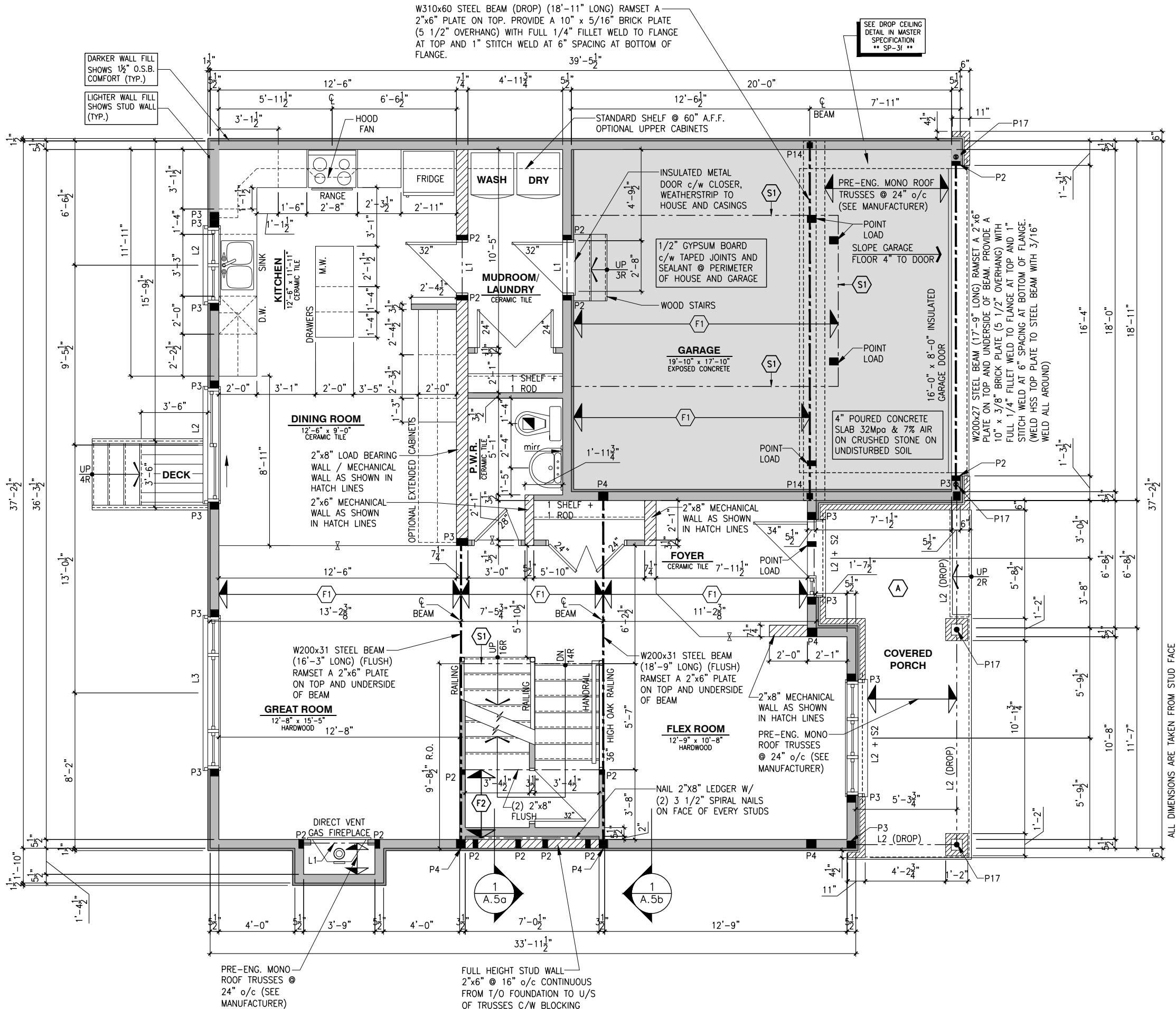
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft

Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV | DESCRIPTION | DATE | BY |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #2 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A7e

NOTES:

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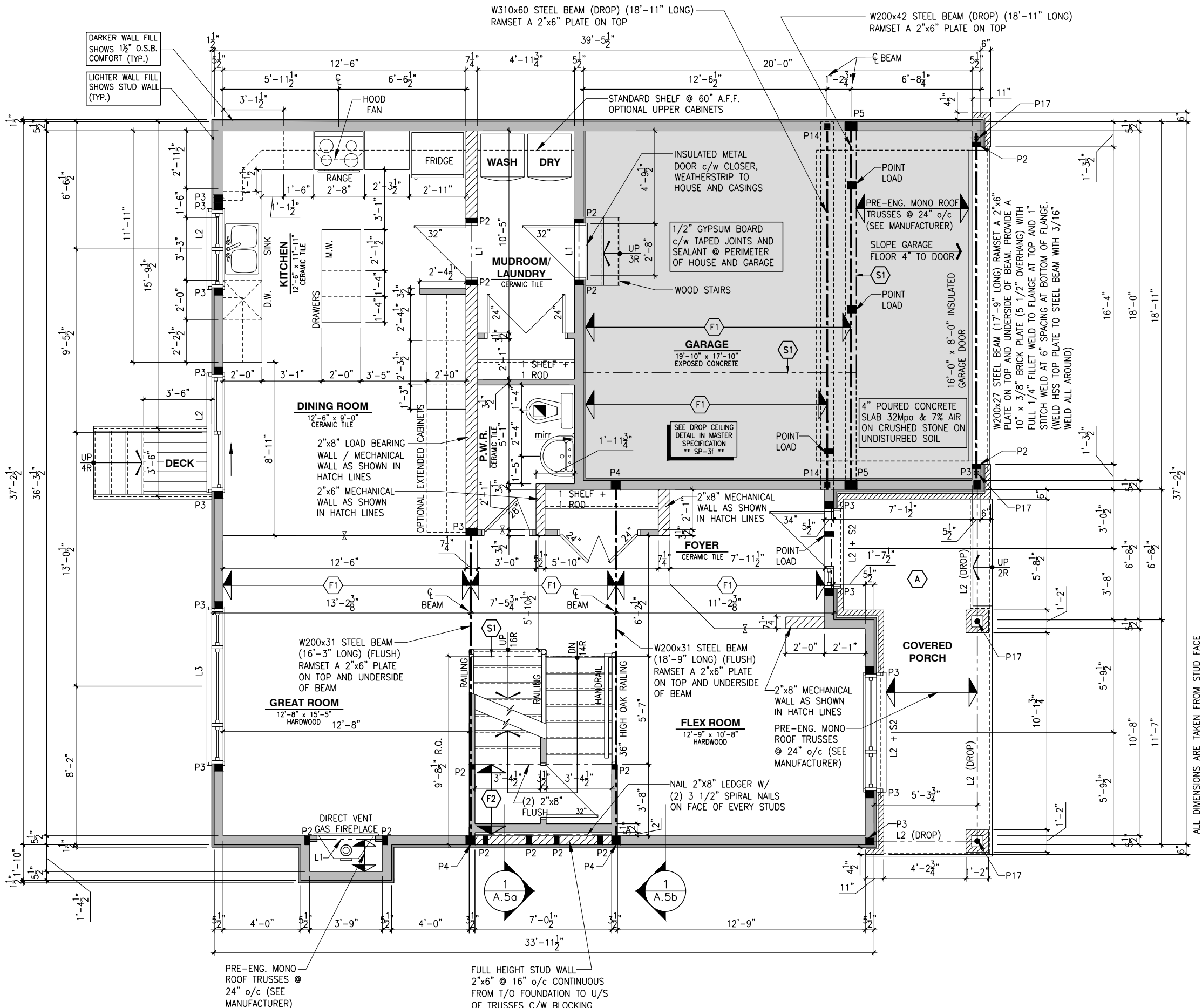
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

| REV | NO. | DESCRIPTION | DATE | BY |
|-------|-----|--------------------------------|------------|-------|
| REV-1 | 1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #2 - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7f

NOTES:

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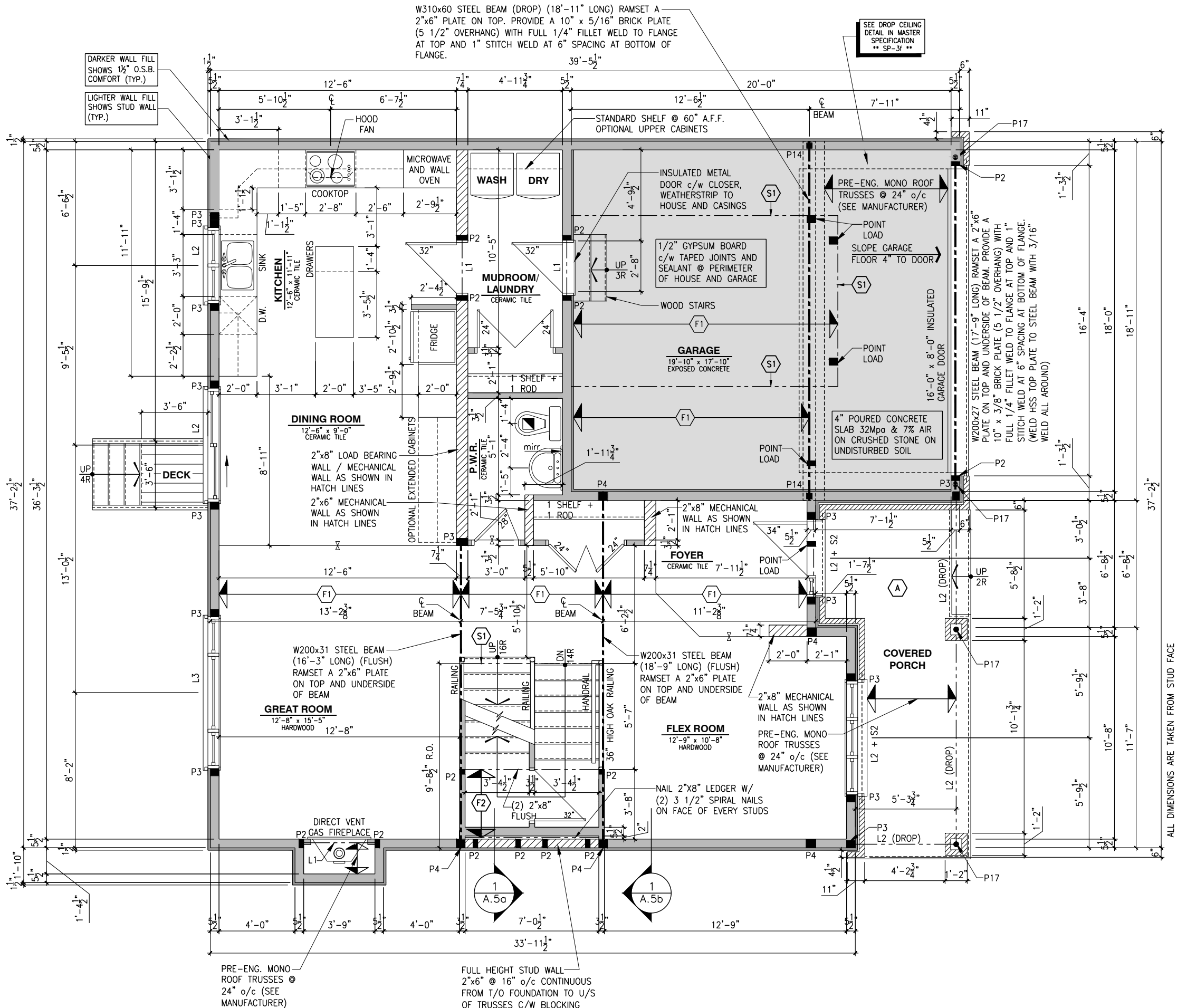
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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S3 = L 100x90x8
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S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #3 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A7g

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

- RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

GENERAL NOTES:

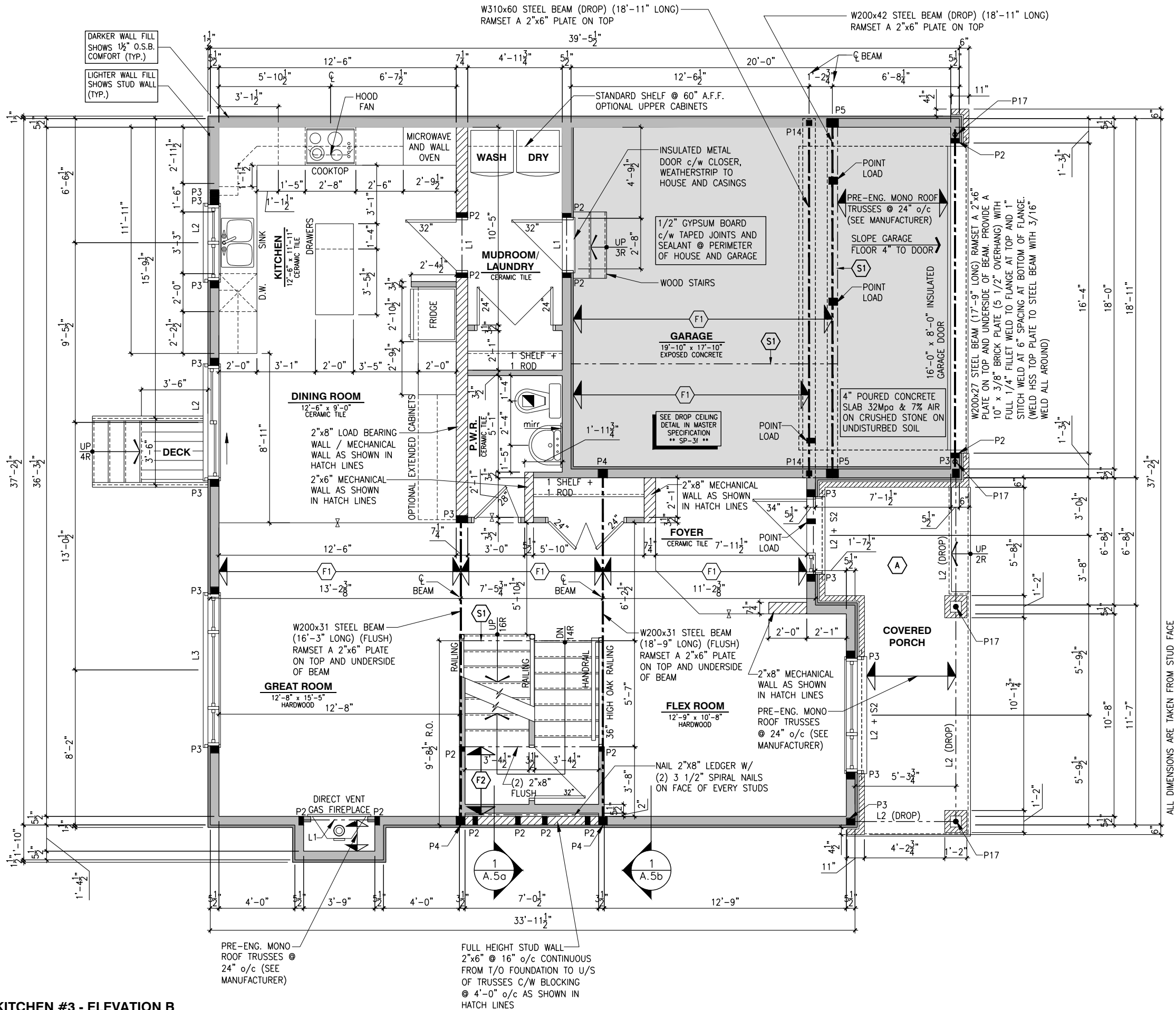
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

FLOOR FRAMING:

- F1** 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1** REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- A** PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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POST BY USP

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |
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DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #3 - ELEV. B

| ADDRESS: | SCALE: | DATE: |
|----------|---------------|------------|
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7h

ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

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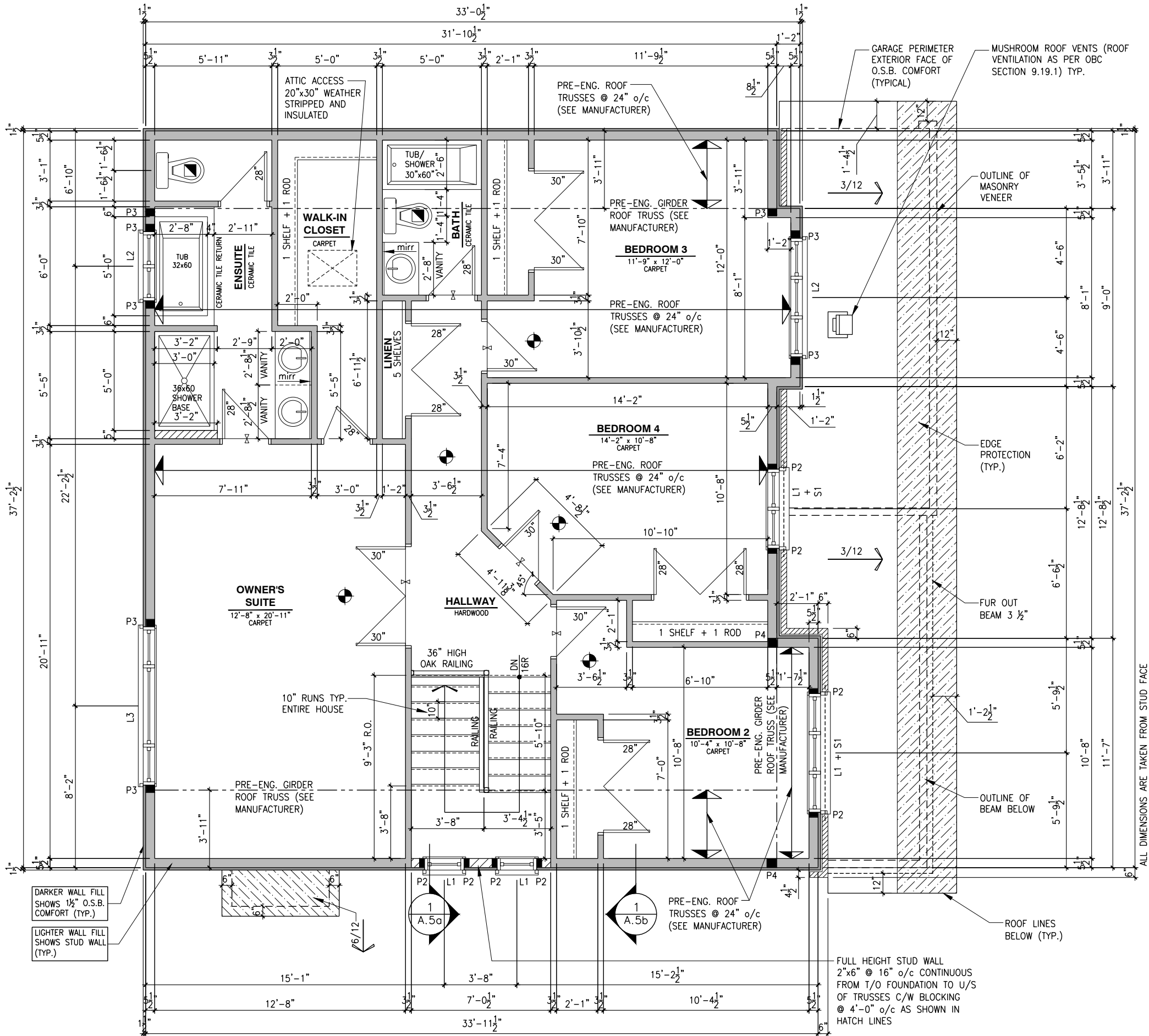
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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 255mm (10") - MAX 355mm (14")
TREAD: MIN 280mm (11") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (2'-10") - MAX 965mm (3'-2");
- THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 60mm (2 3/8") IF THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR ABRASIVE OR 50mm (2") IN ALL OTHER CASES;
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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| S1 | = L 90x90x6 |
| S2 | = 90x90x8 |
| S3 | = L 100x90x8 |
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| S5 | = L 125x90x10 |
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LINTEL TABLE:

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: **SECOND FLOOR PLAN**
ELEV. A (5 PC ENSUITE UPGRADE)

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A8c

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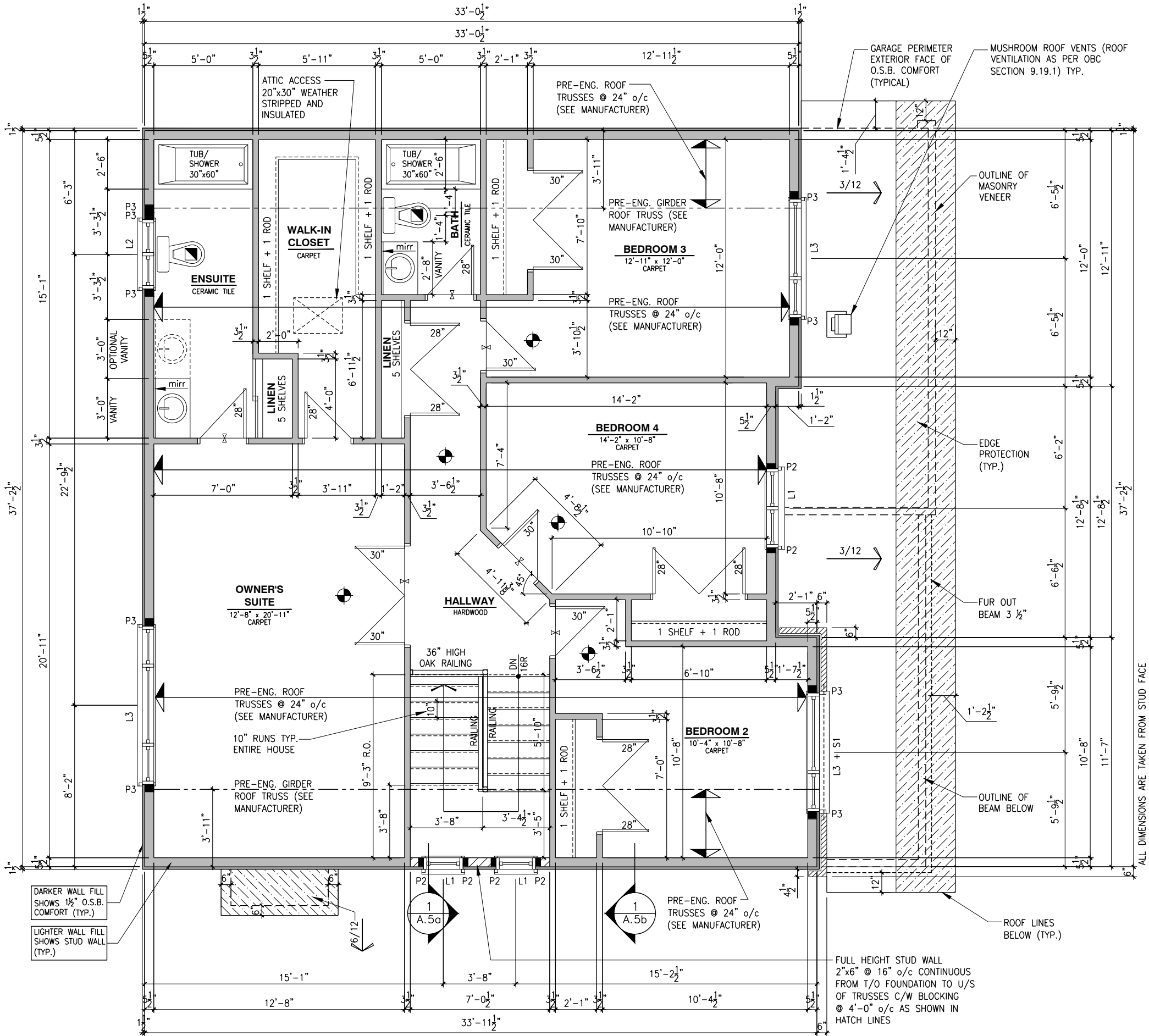
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SECOND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: SECOND FLOOR PLAN ELEVATION B

ADDRESS: xx

SCALE: 3/16" = 1'-0"

DATE: xx/xx/xxxx

1010 - THE FERRIS 2023 FOOTPRINT

(STANDARD DRAWINGS)

A8d

SHEET:

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

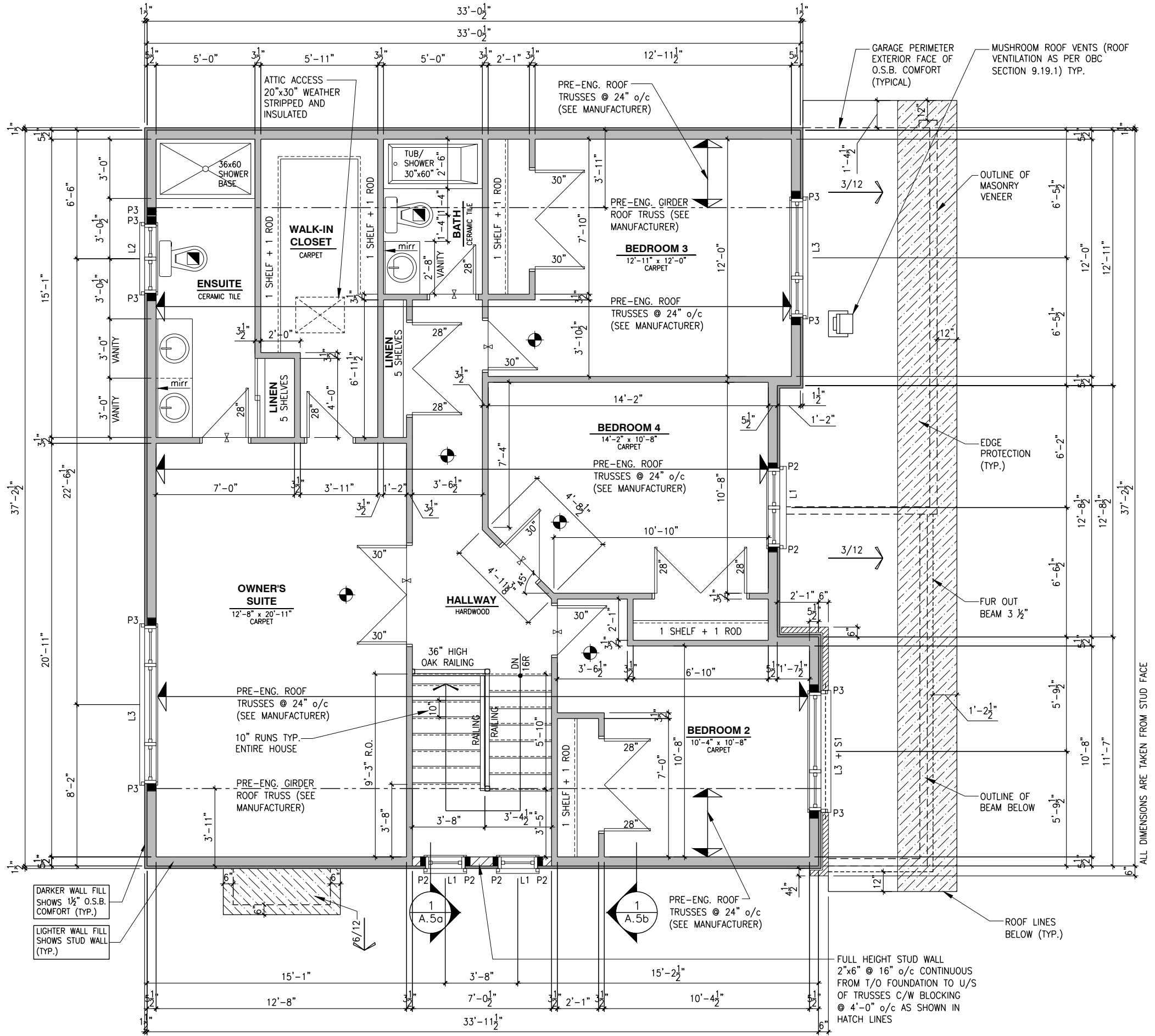
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 255mm (10") - MAX 355mm (14")
TREAD: MIN 280mm (11") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (2'-10") - MAX 965mm (3'-2");
- THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 60mm (2 3/8") IF THE SURFACE BEHIND THE HANDRAIL IS ROUGH OR ABRASIVE OR 50mm (2") IN ALL OTHER CASES;
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/24/2023 DOYON
NO. DESCRIPTION DATE BY

DRAWING: SECOND FLOOR PLAN
ELEV. B (4 PC ENSUITE UPGRADE)

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

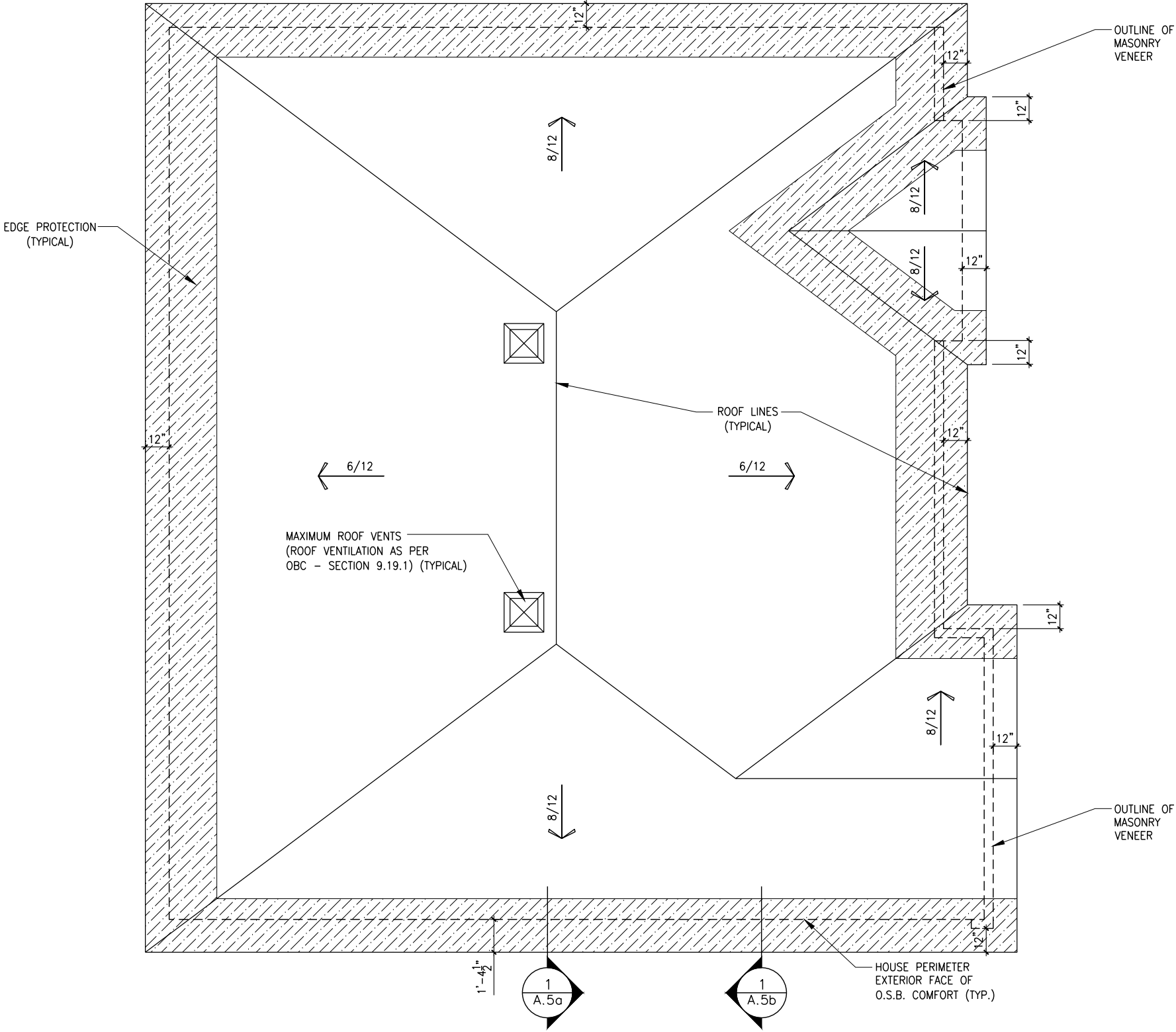
SHEET: A8e

SECOND FLOOR PLAN - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ROOF PLAN
ELEVATION A

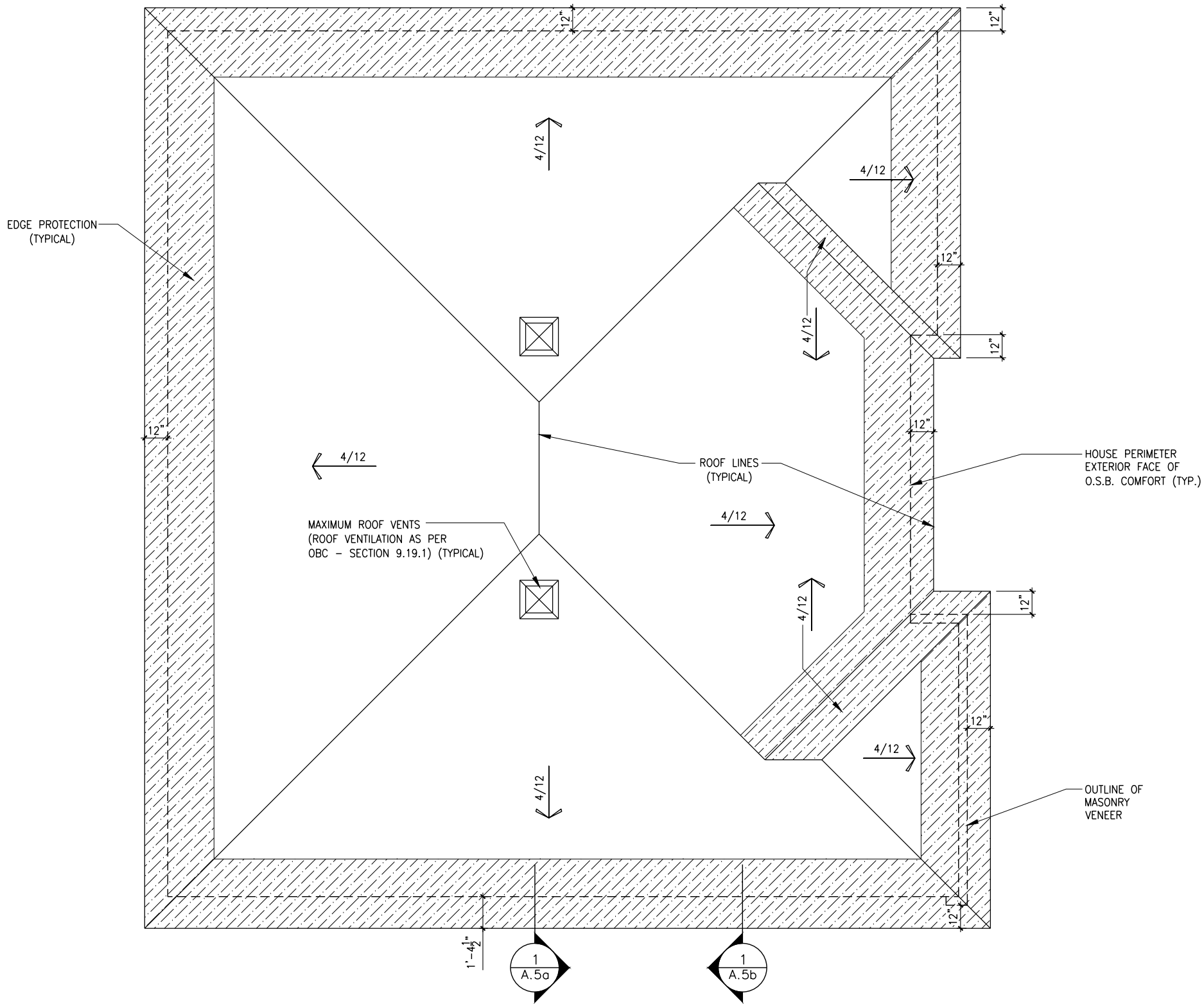
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| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A9a

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
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| NO. | DESCRIPTION | DATE | BY |

DRAWING: **ROOF PLAN ELEVATION B**

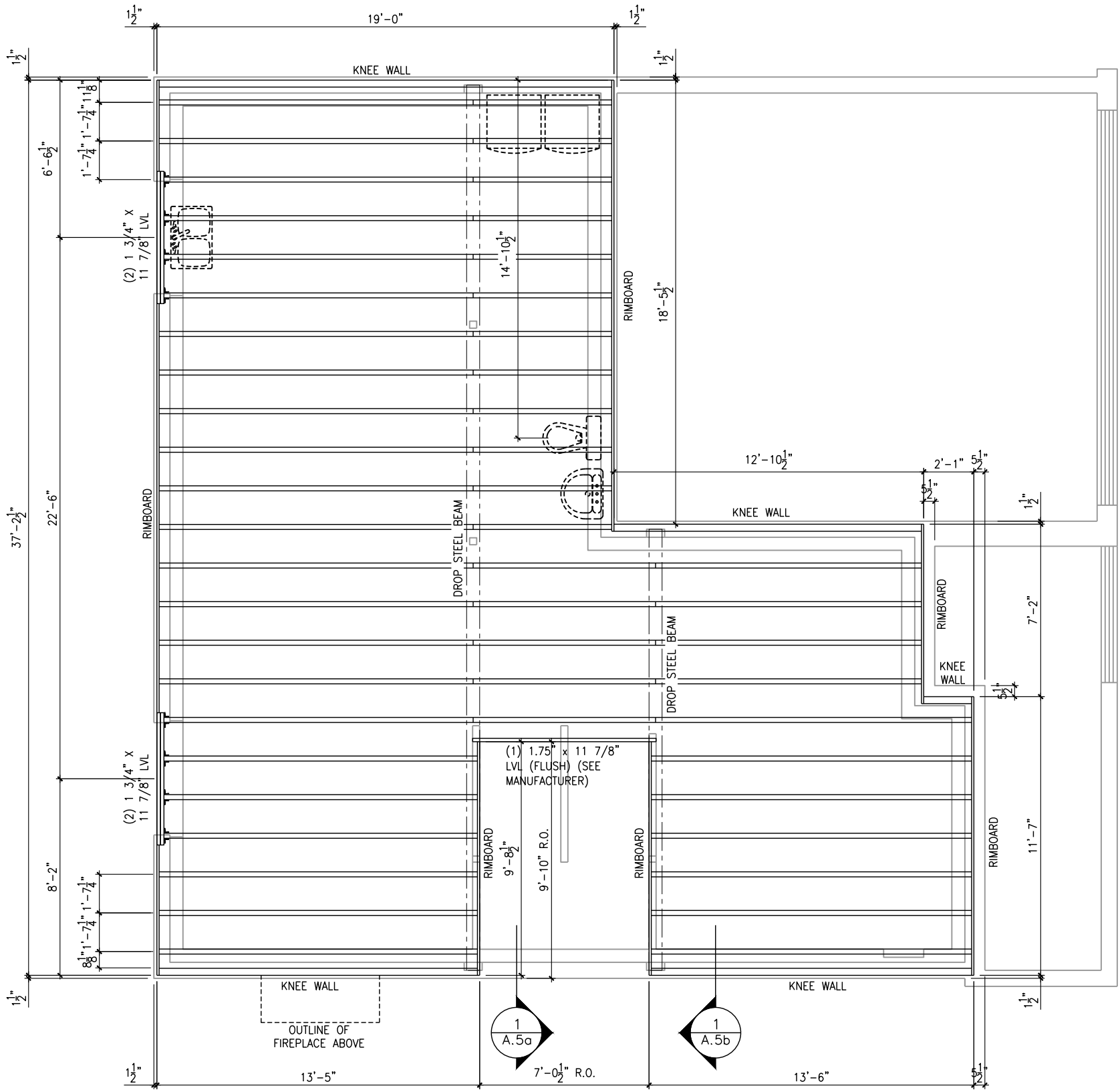
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A9b**

GROUND FLOOR - JOIST LAYOUT - ALL KITCHEN OPTIONS - ELEVATION A AND B

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

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LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: GROUND - JOIST LAYOUT
ELEV. A AND B

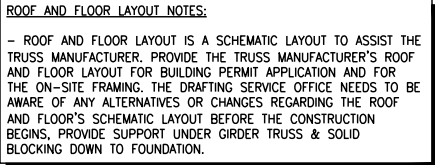
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10a



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: **2nd FLOOR-JOIST LAYOUT
ELEVATION A**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1010 - THE FERRIS 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11a

SECOND FLOOR - JOIST LAYOUT - ELEVATION A

SCALE: $3/16" = 1'-0"$



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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DRAWING: **2nd FLOOR-JOIST LAYOUT
ELEVATION A**

1010 - THE FERRIS 2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A11b



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

[illegible]

DRAWING: **2nd FLOOR-JOIST LAYOUT
ELEVATION A**

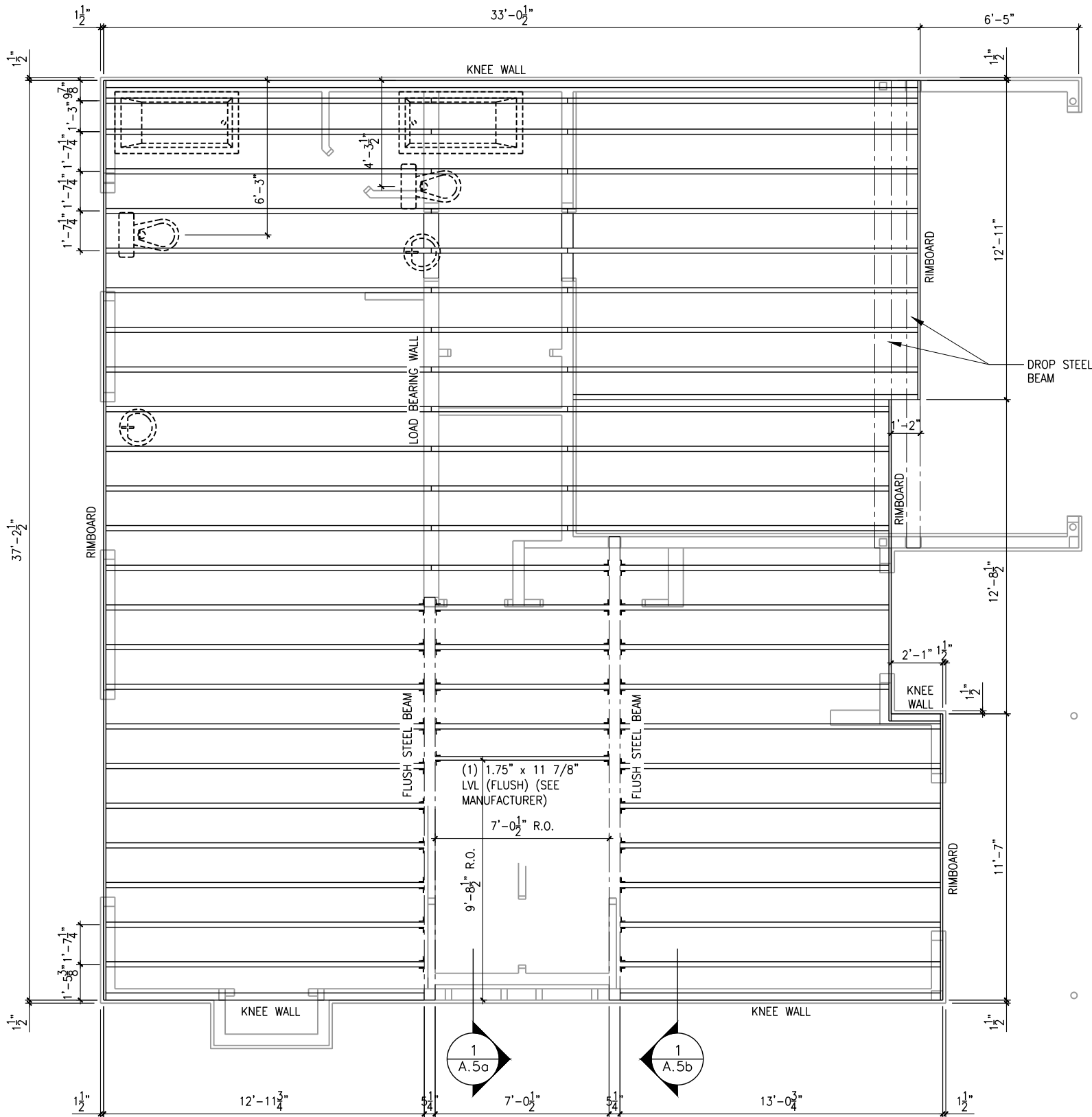
1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A11c


SECOND FLOOR - JOIST LAYOUT - ELEVATION B

SCALE: 3/16" = 1'-0"



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LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
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DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

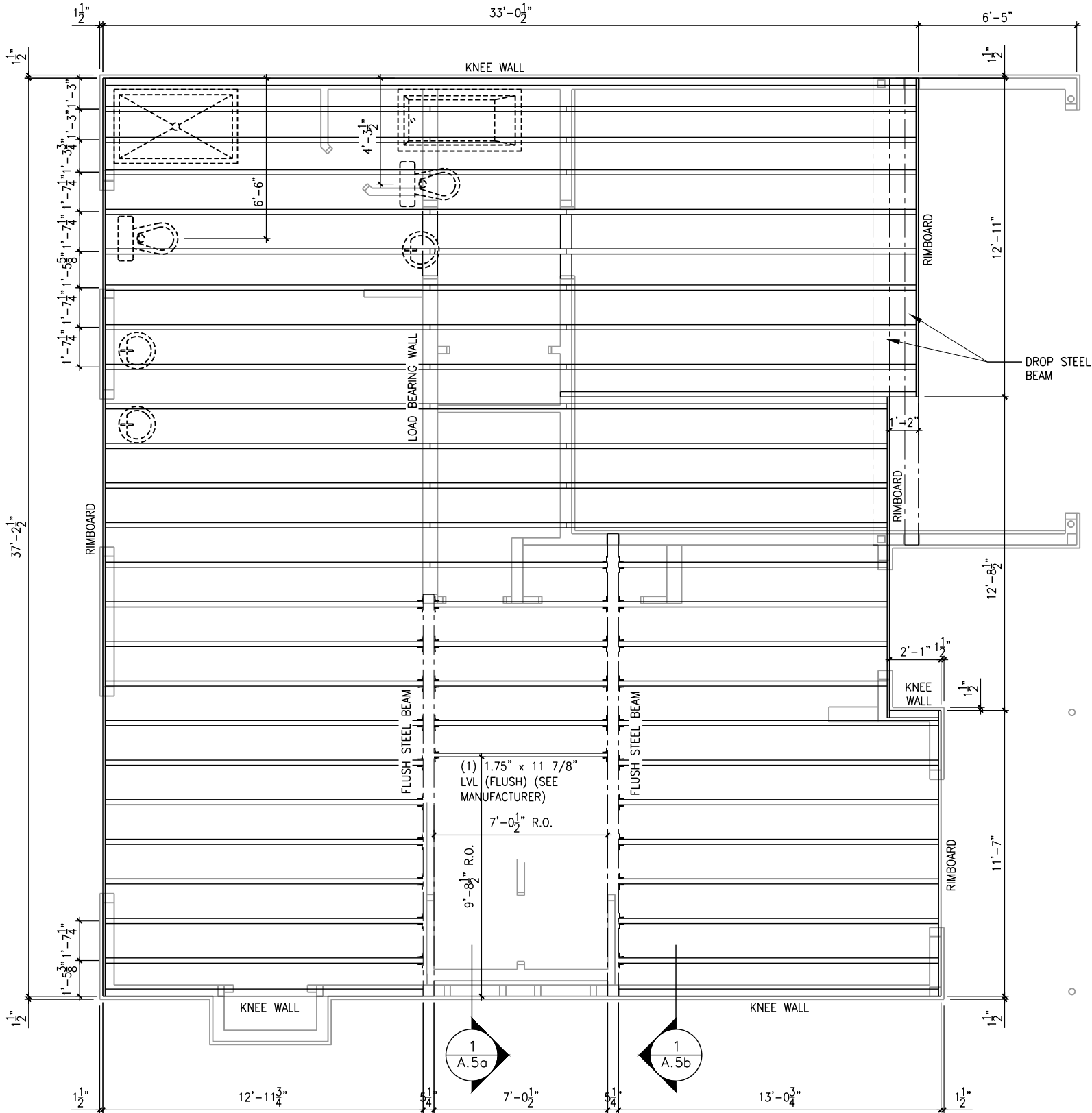
ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A11d

SECOND FLOOR - JOIST LAYOUT - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

| | | |
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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT

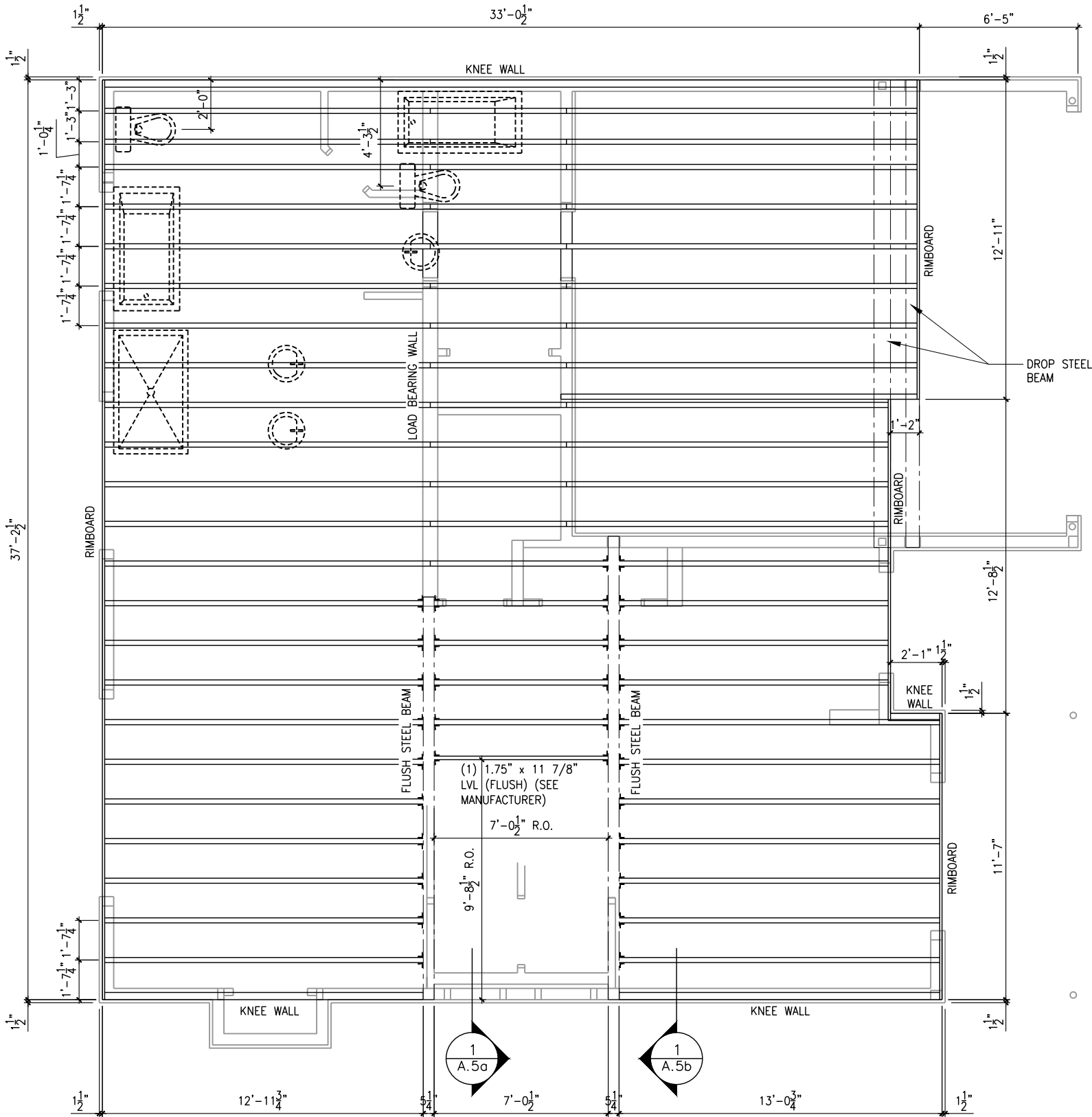
(STANDARD DRAWINGS)

SHEET:

A11e

SECOND FLOOR - JOIST LAYOUT - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX

DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: 2nd FLOOR-JOIST LAYOUT ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2023 FOOTPRINT

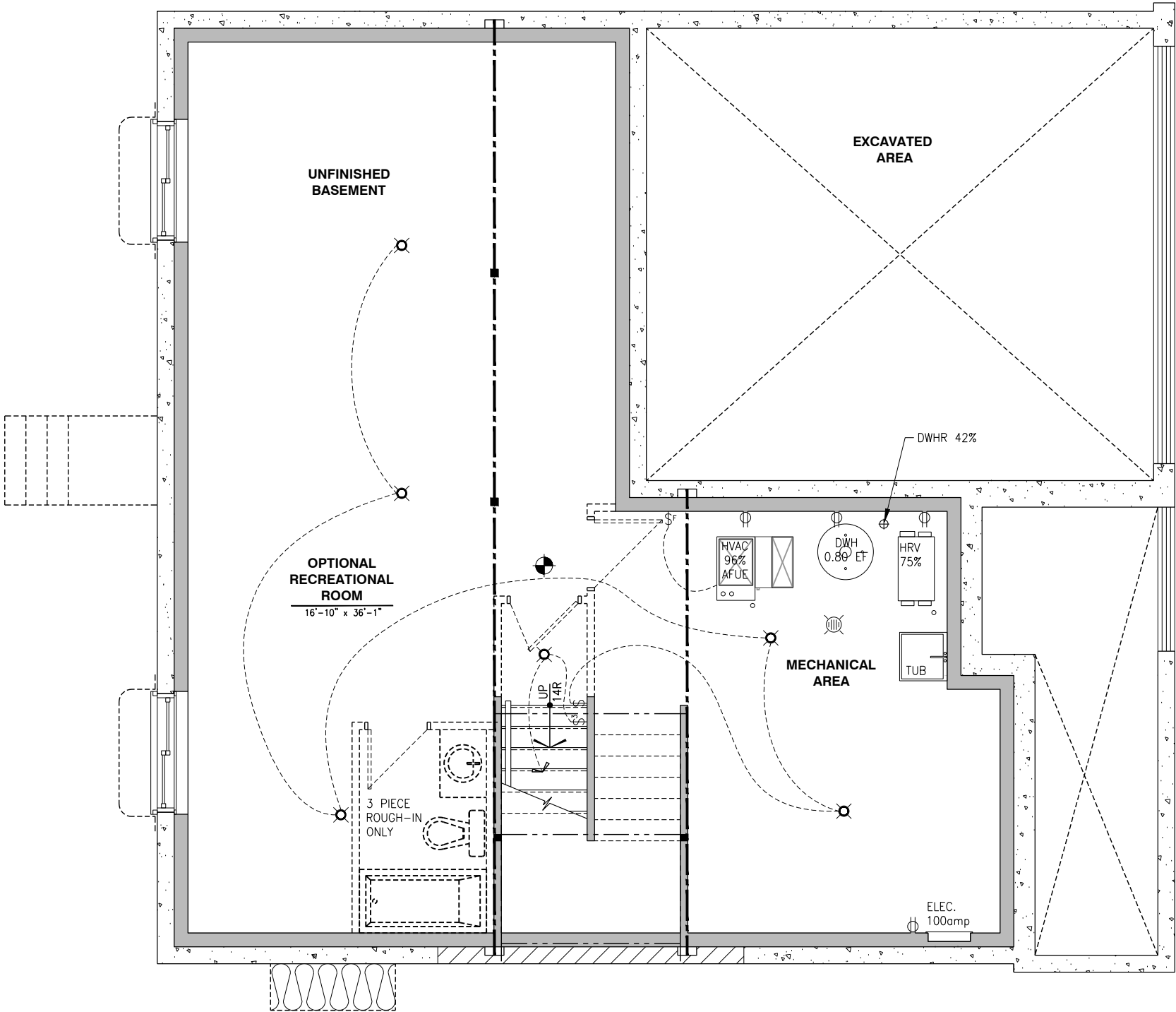
(STANDARD DRAWINGS)

SHEET:

A11f

ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:
ELECTRICAL PLAN - BASEMENT

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.1

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

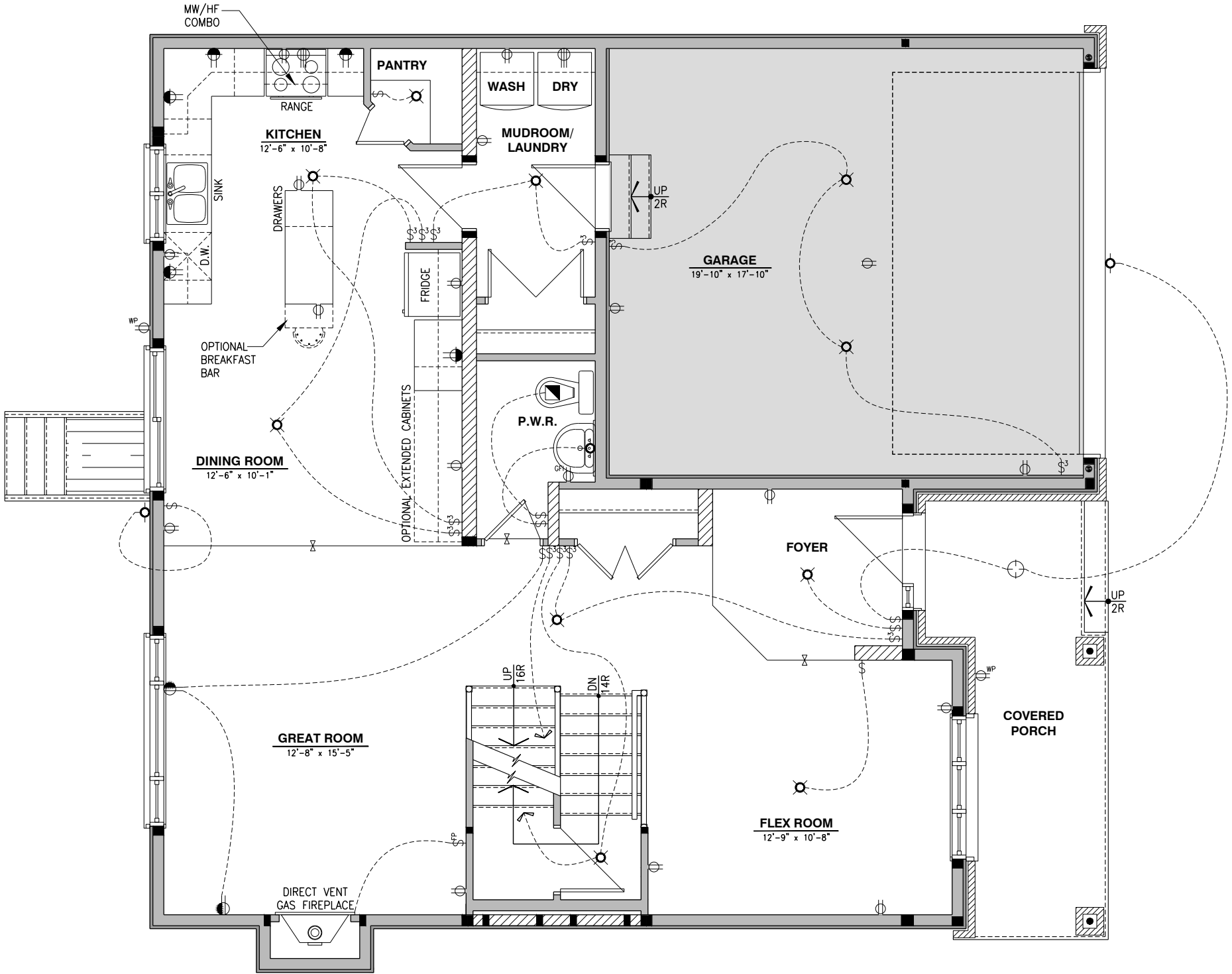
DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. A AND B

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2a



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

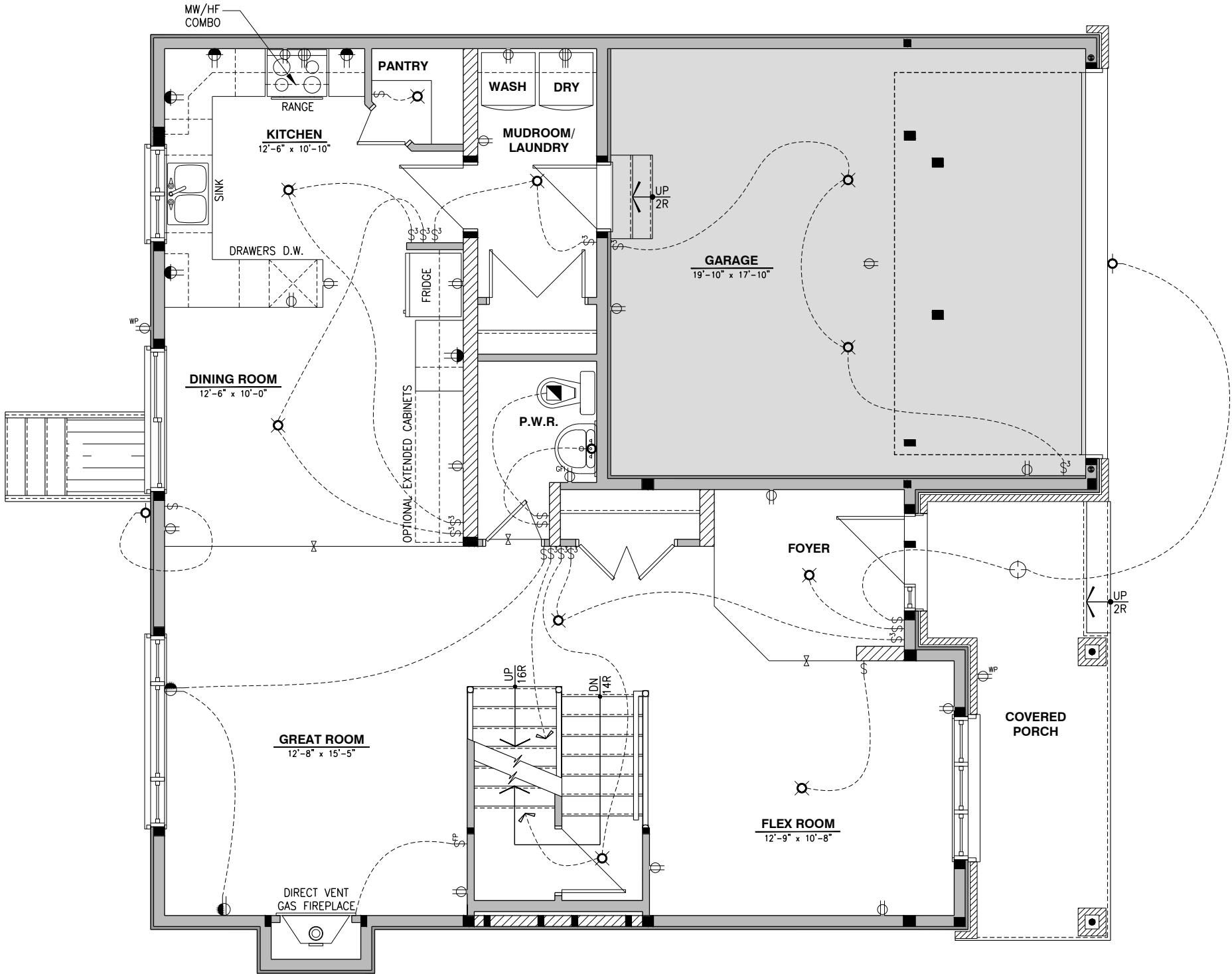
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GF1 GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION | DATE | BY |
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DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
- \$SMA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$MECH = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN GROUND FLOOR - ELEV. A AND B

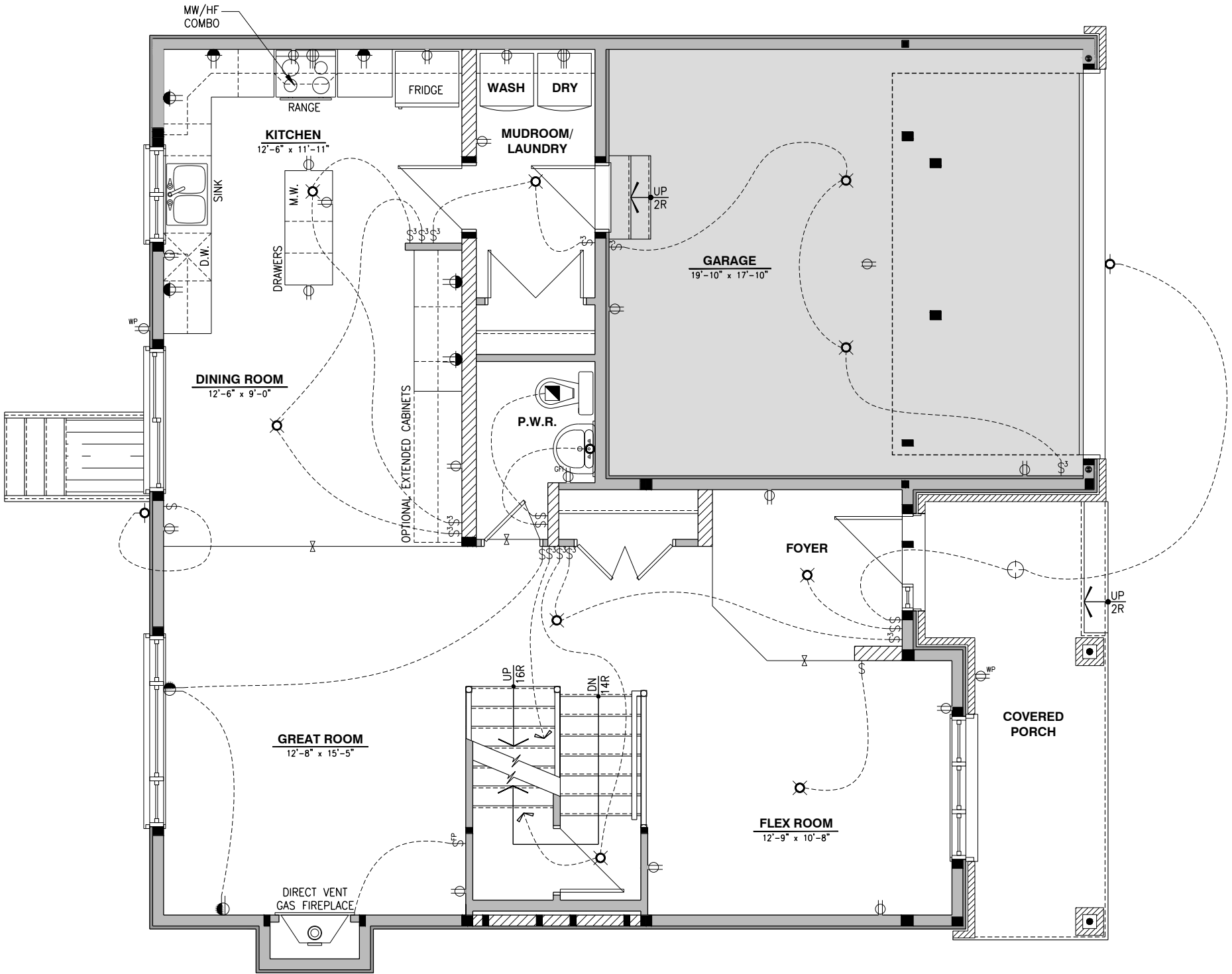
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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E.2c



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- \$3 3 WAY SWITCH
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- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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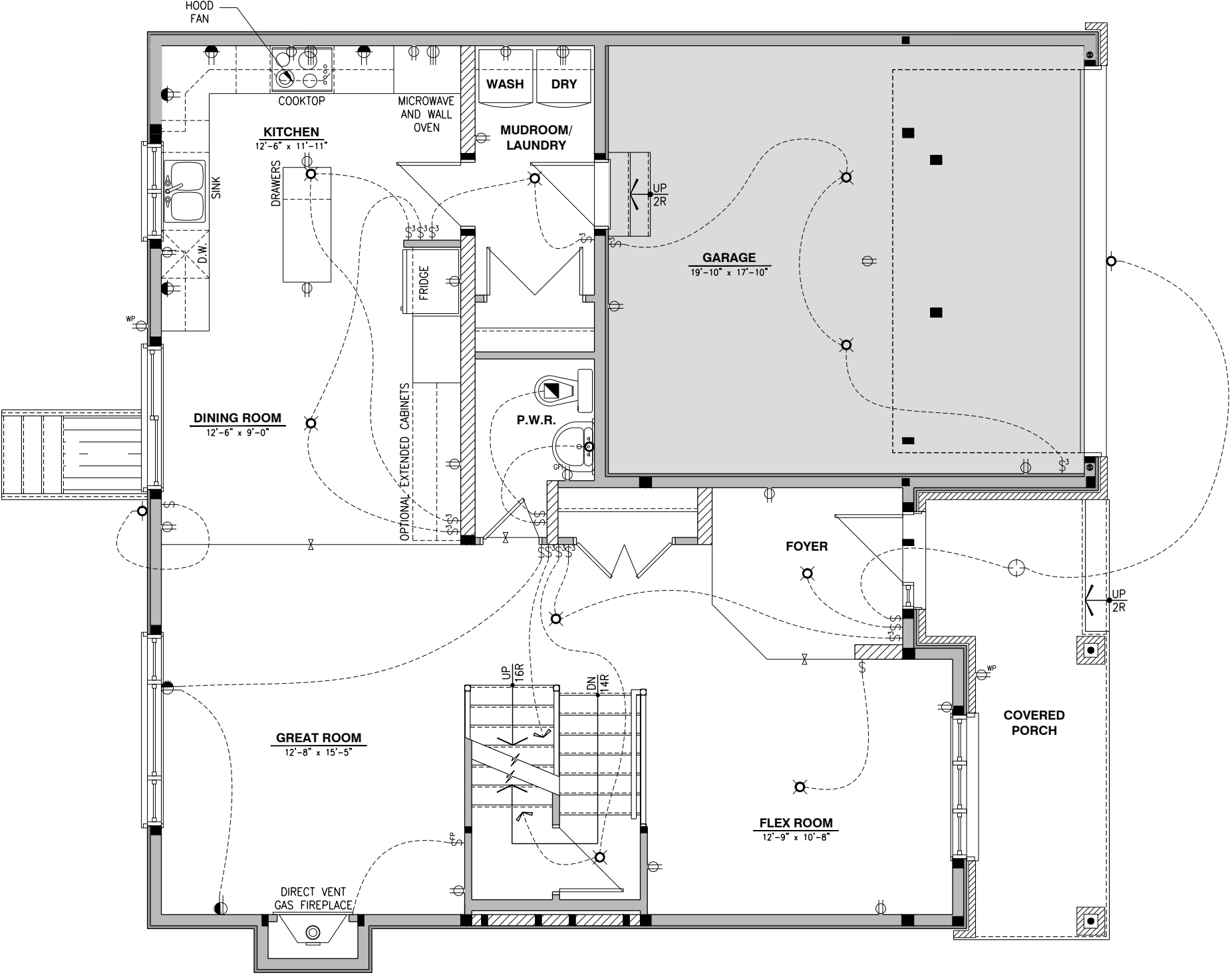
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A AND B

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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2d

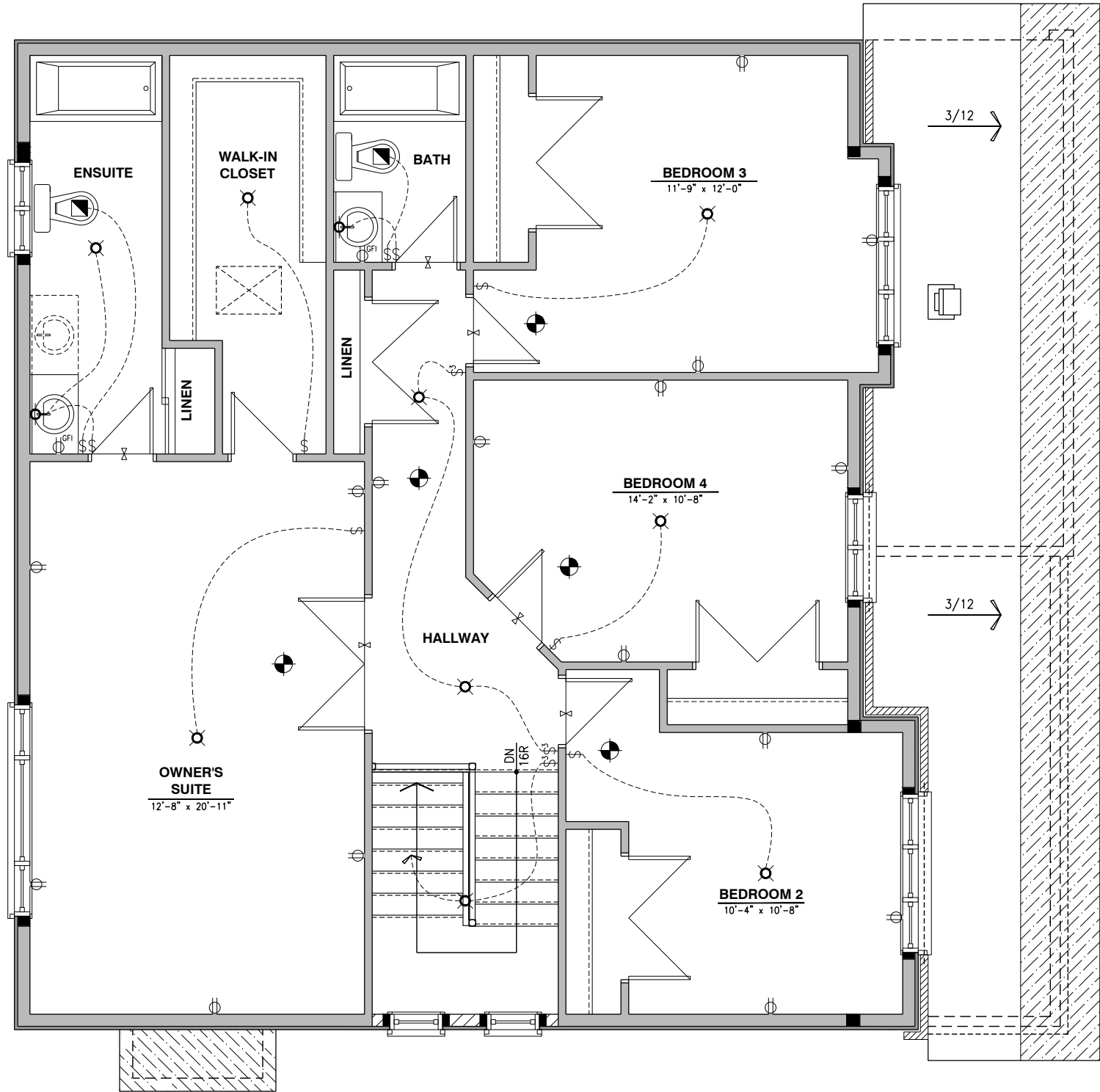


ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3- ELEVATION A AND B

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT

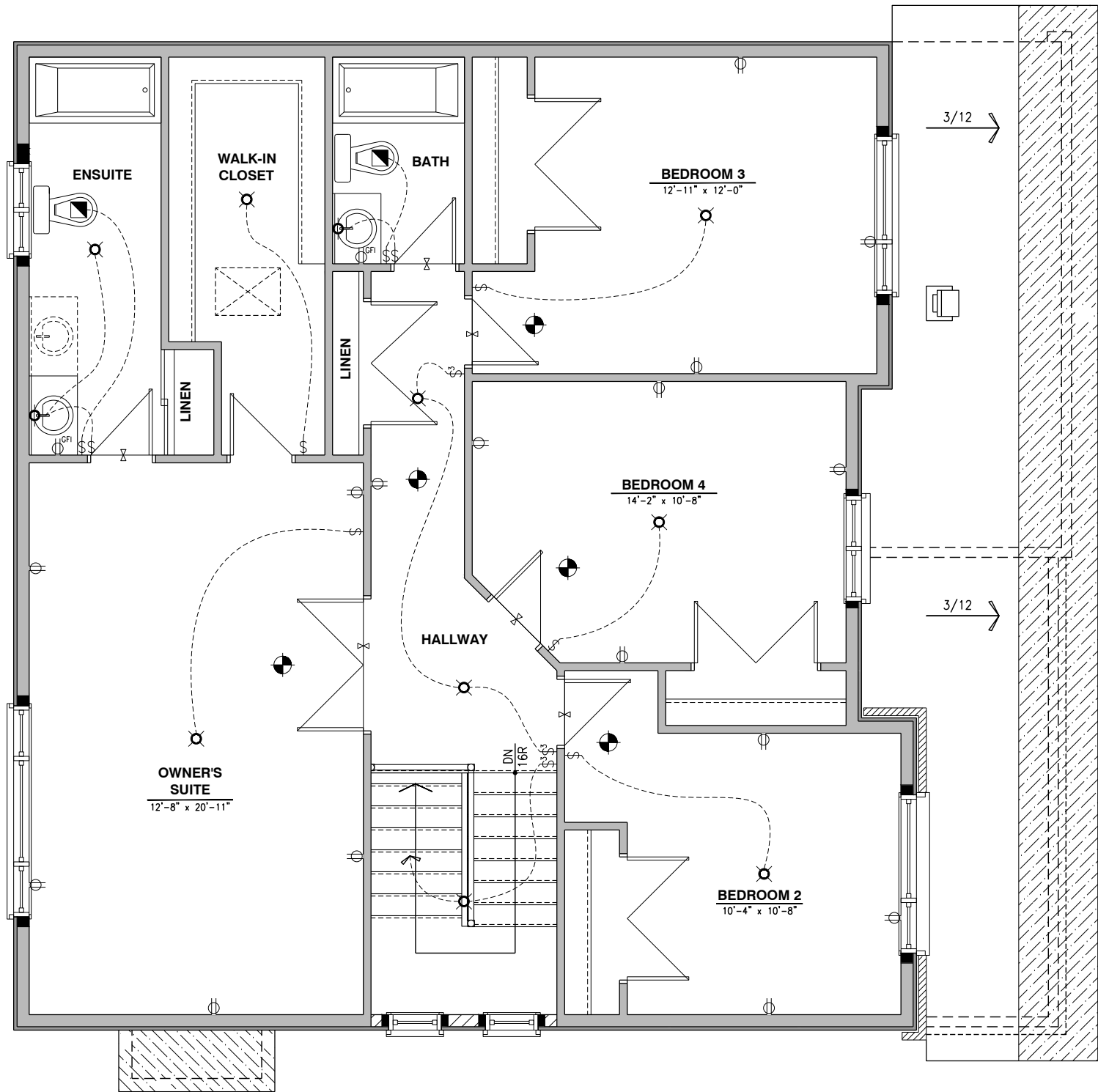
(STANDARD DRAWINGS)

SHEET:

E.3a

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ 4 WAY SWITCH
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- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

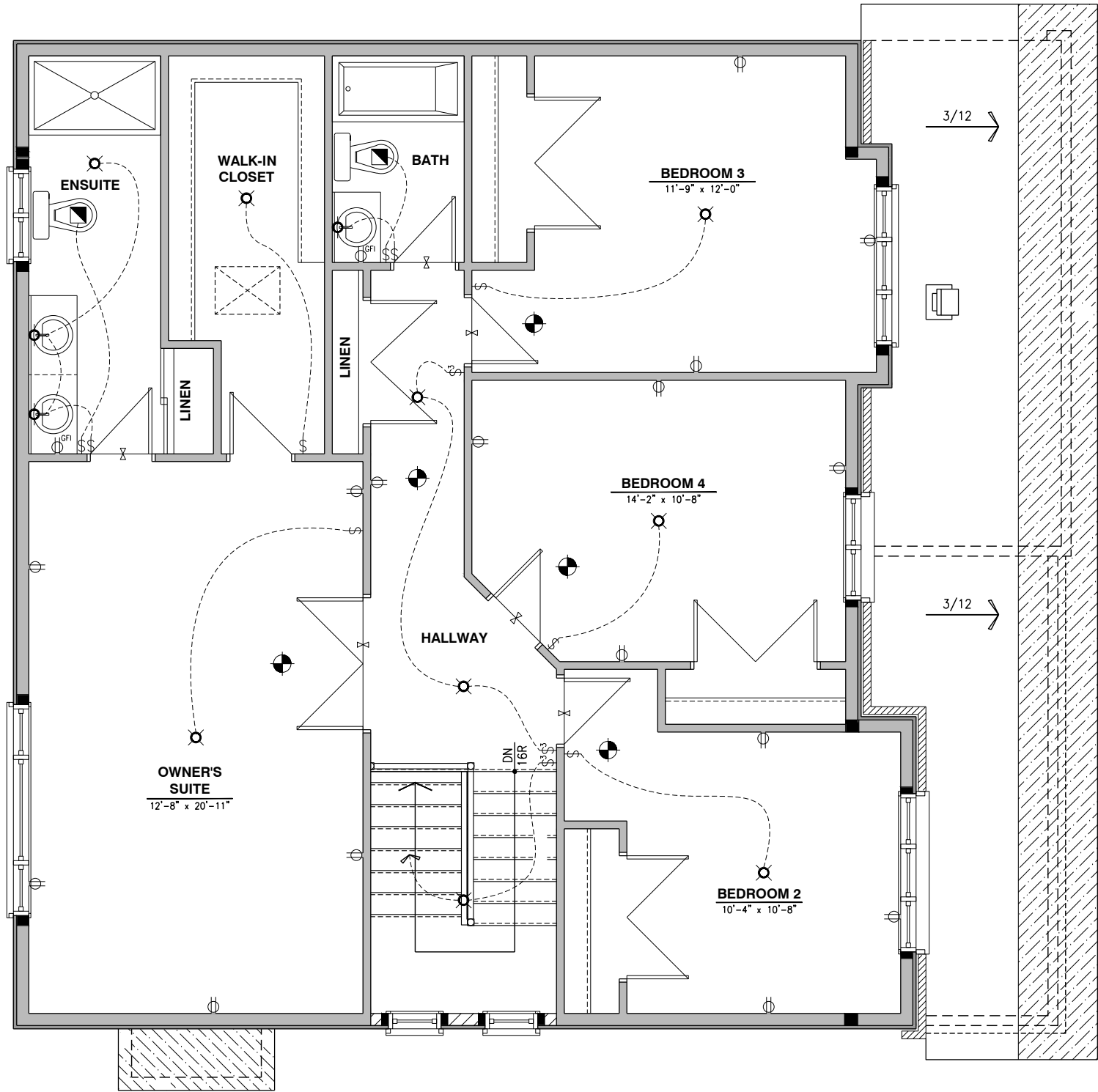
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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3b

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2023 FOOTPRINT

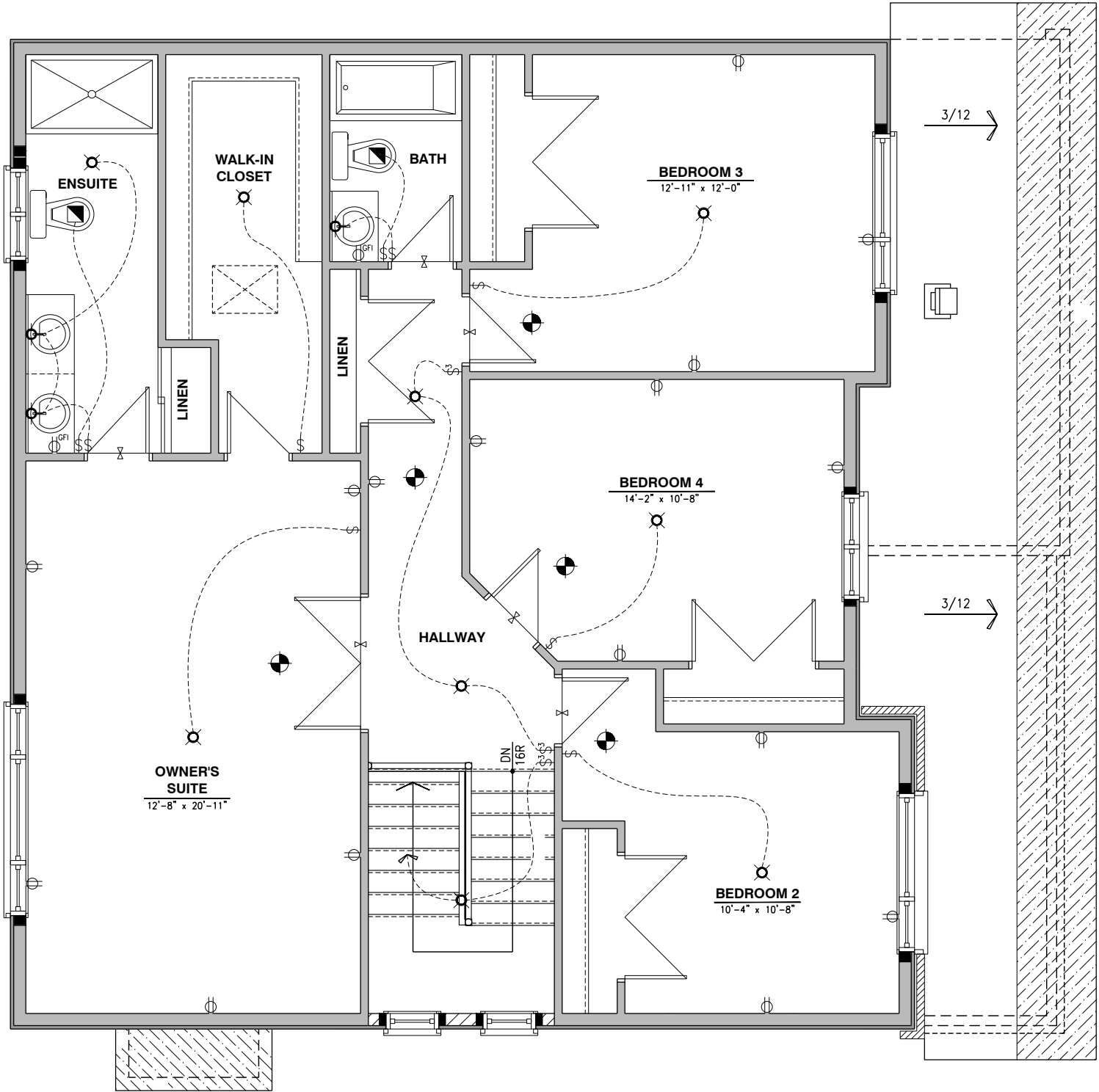
(STANDARD DRAWINGS)

SHEET:

E.3c

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

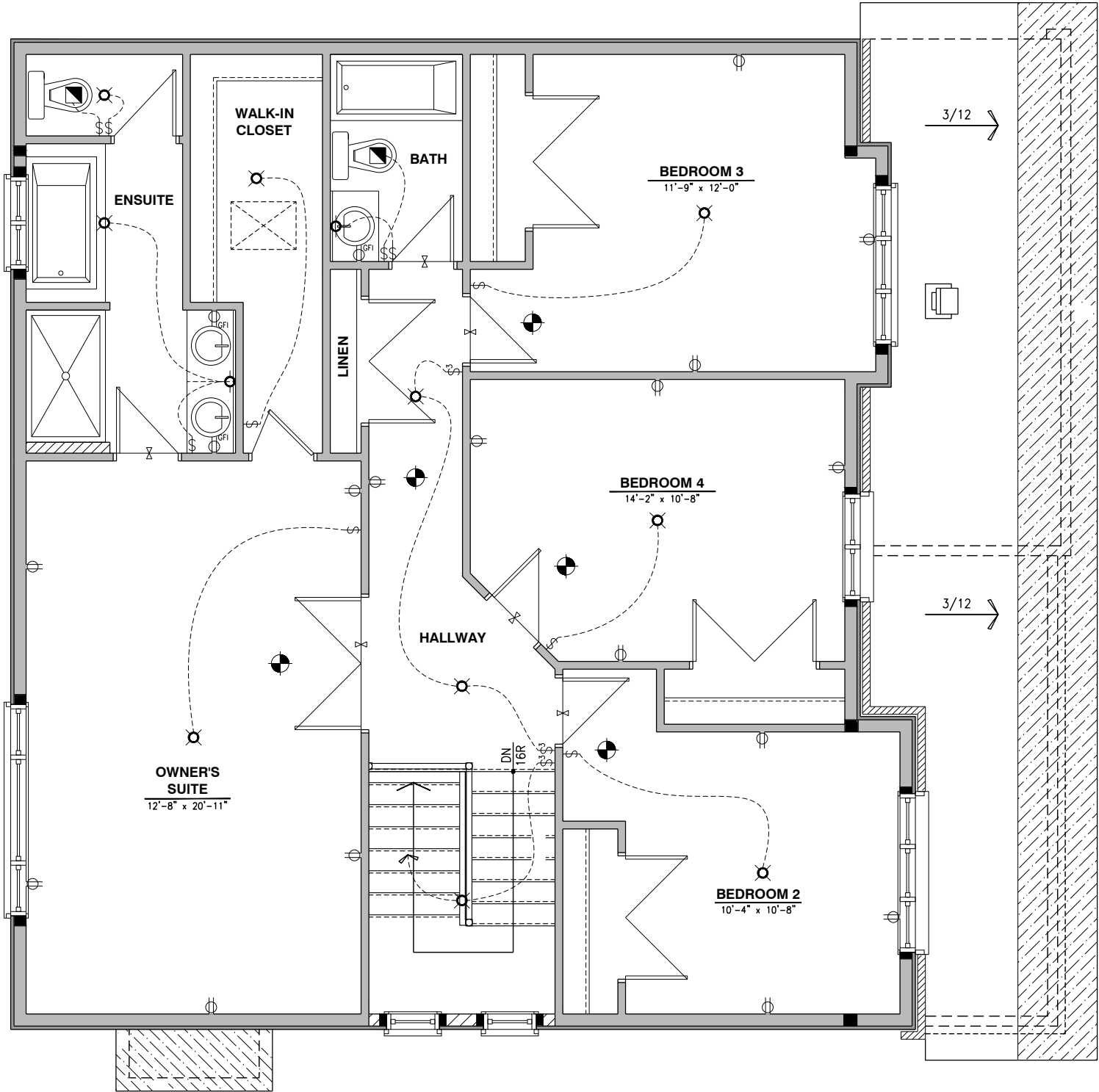
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1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3d

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

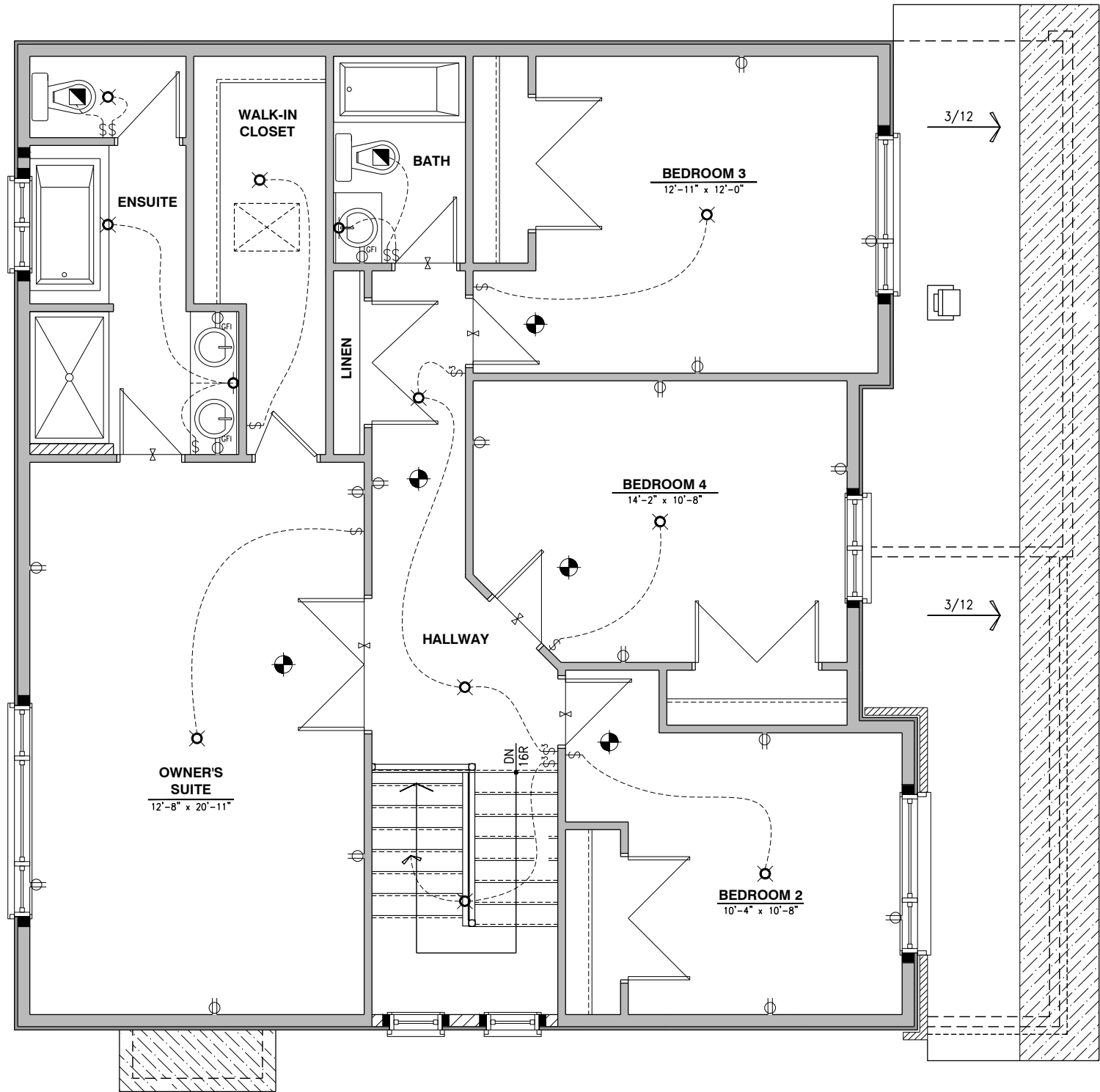
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1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3e

ELECTRICAL PLAN - SECOND FLOOR - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 02/24/2023 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3f