

3 BEDROOM:

GROSS INSULATED = 293 M. SQ.
WALL AREA

GROSS WINDOW = 29.3 M. SQ.
AREA

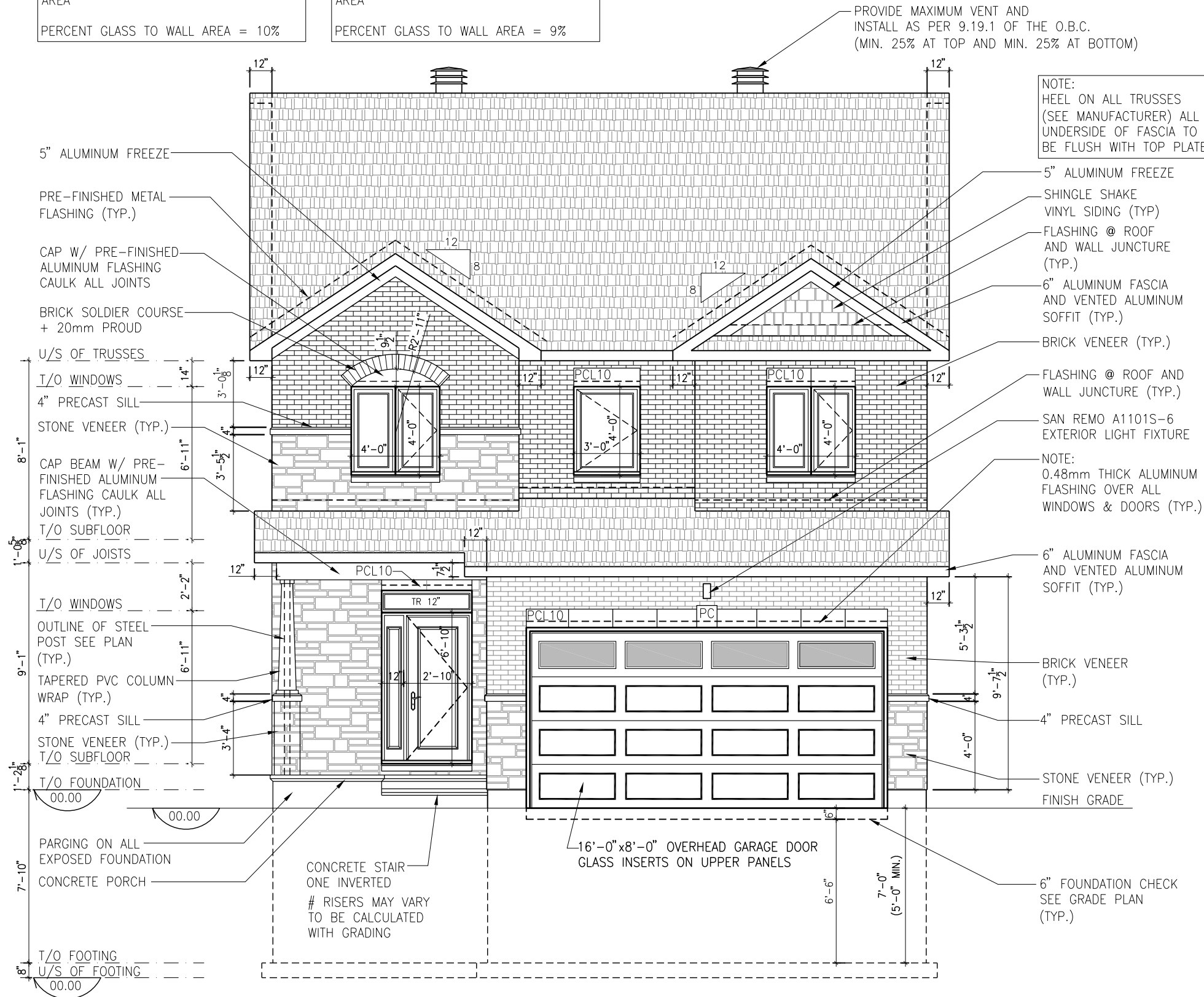
PERCENT GLASS TO WALL AREA = 10%

4 BEDROOM:

GROSS INSULATED = 293 M. SQ.
WALL AREA

GROSS WINDOW = 26.6 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9%



FRONT ELEVATION - 3 AND 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

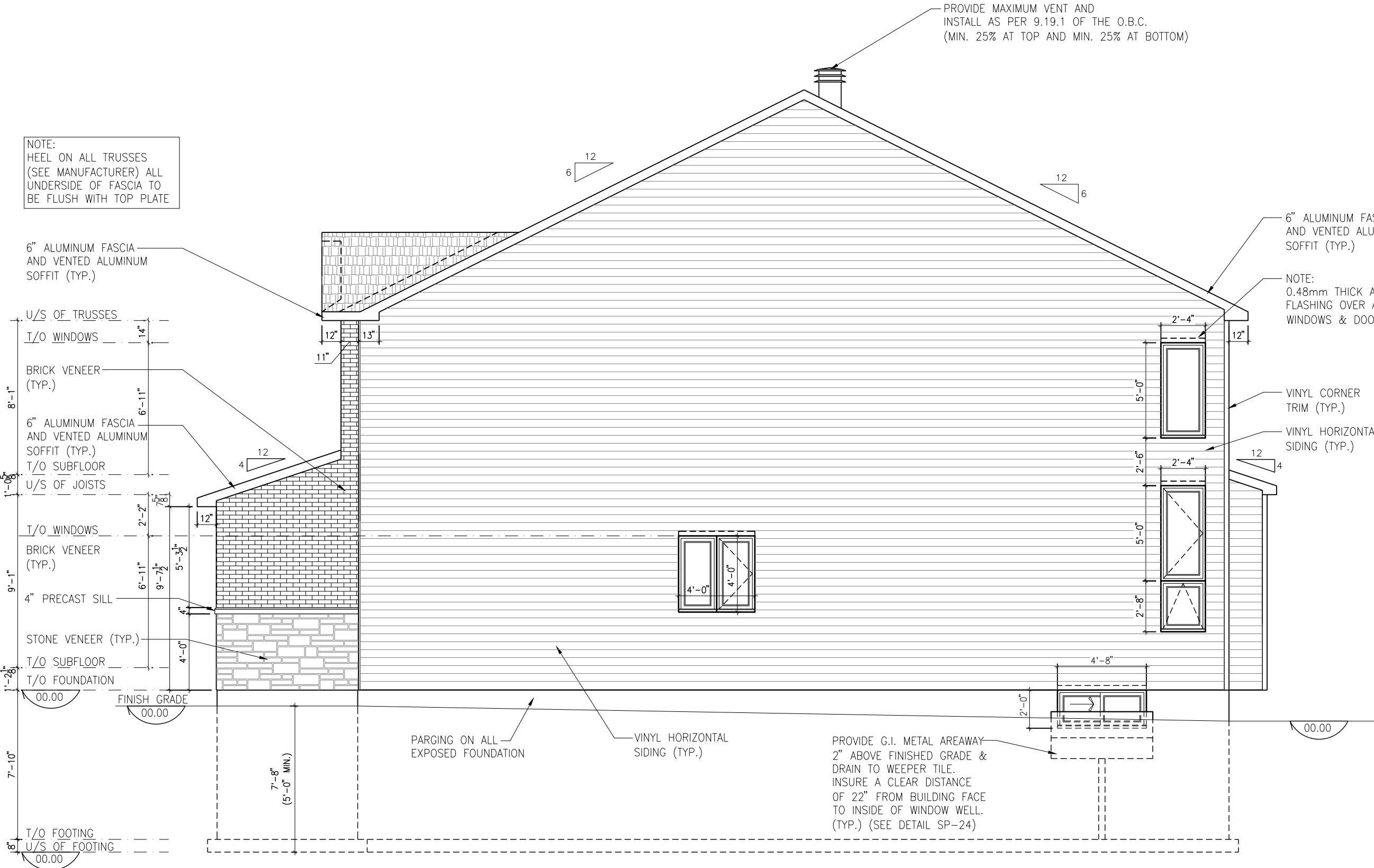
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION - 3 AND 4
BEDROOM - ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A1a



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

BRICK VENEER
(TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

BRICK VENEER
(TYP.)

4" PRECAST SILL

STONE VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

T/O FOOTING

U/S OF FOOTING

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL CORNER
TRIM (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

PARGING ON ALL
EXPOSED FOUNDATION

VINYL HORIZONTAL
SIDING (TYP.)

PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 89.3 m. sq.
AREA OF UNPROTECTED OPENINGS - 0.74 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0.82 %

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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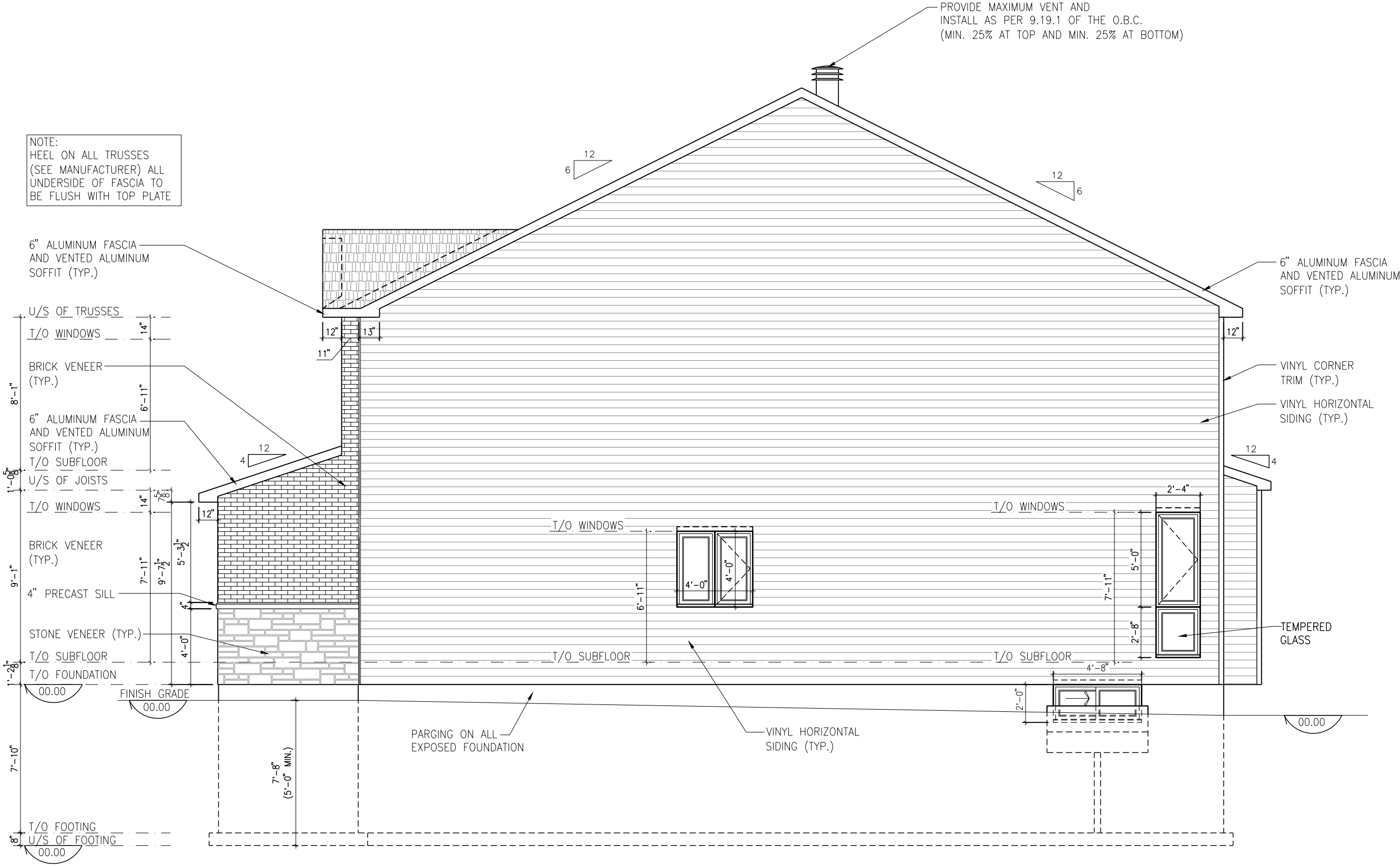
DRAWING: **RIGHT ELEVATION**
3 BEDROOM - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2a

RIGHT ELEVATION - 3 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION - 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

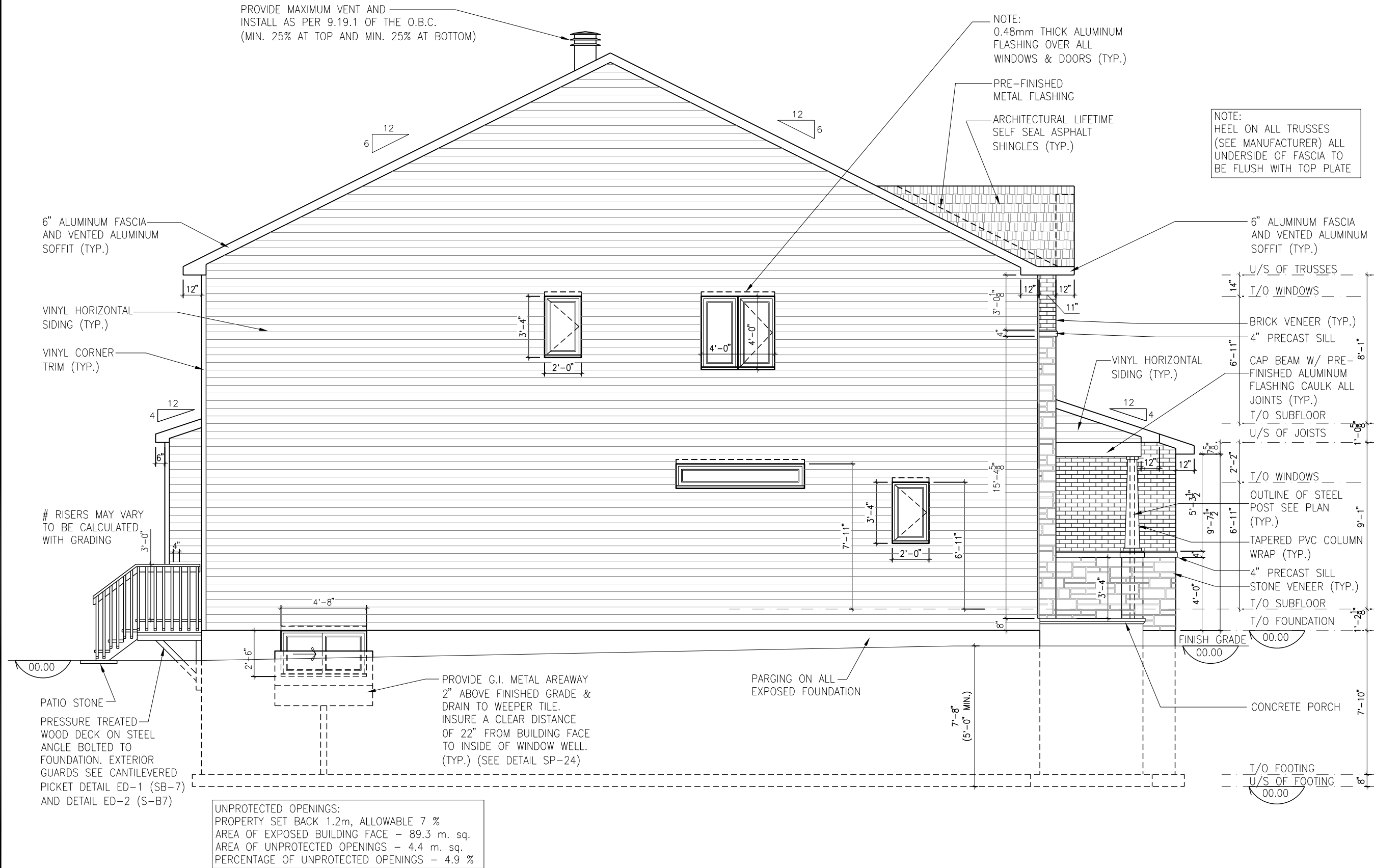
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NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION**
4 BEDROOM - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx
BY: xx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2a



LEFT ELEVATION - 3 AND 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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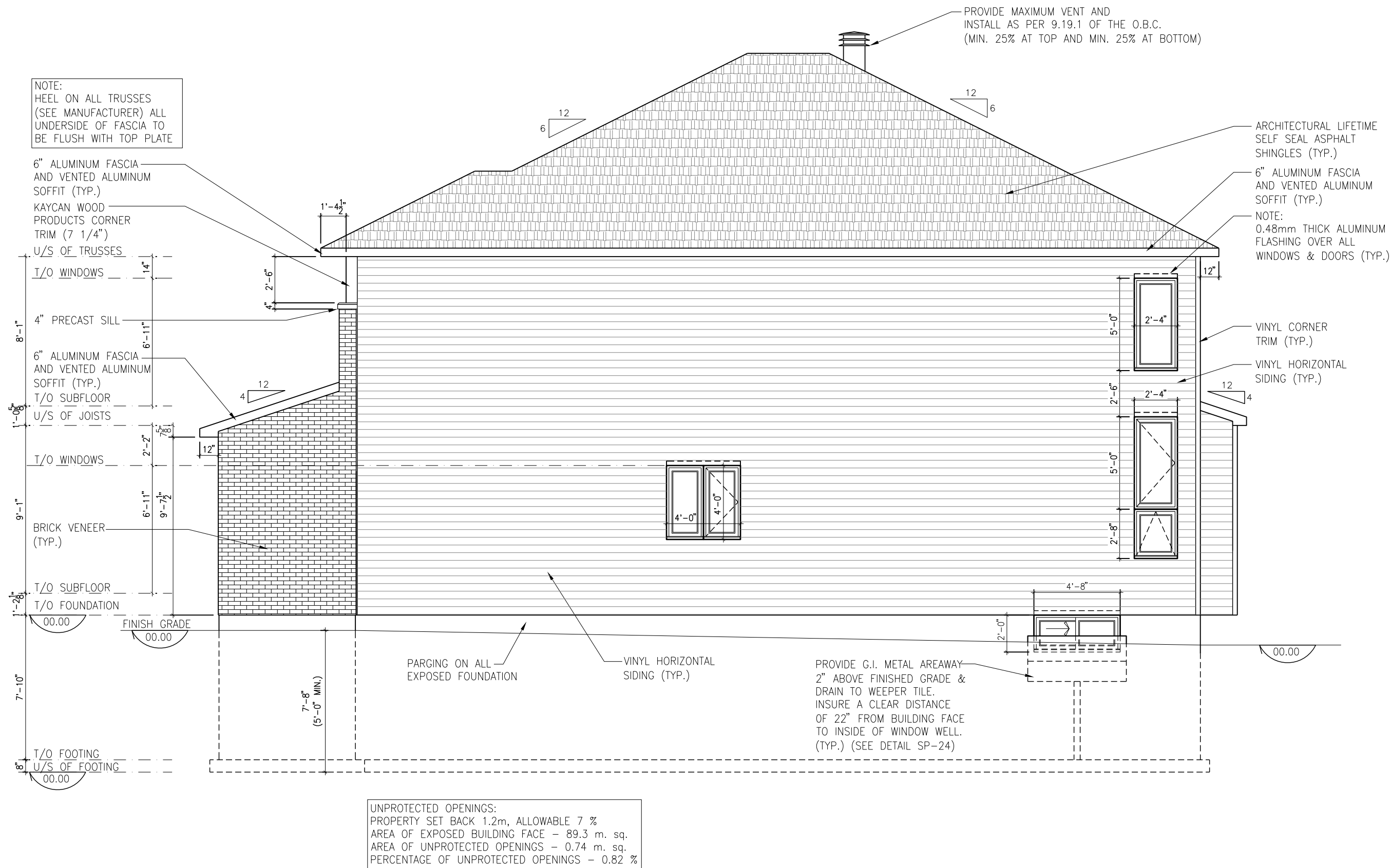
DRAWING: LEFT ELEVATION
3 AND 4 BEDROOM - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A3a

A1b



RIGHT ELEVATION - 3 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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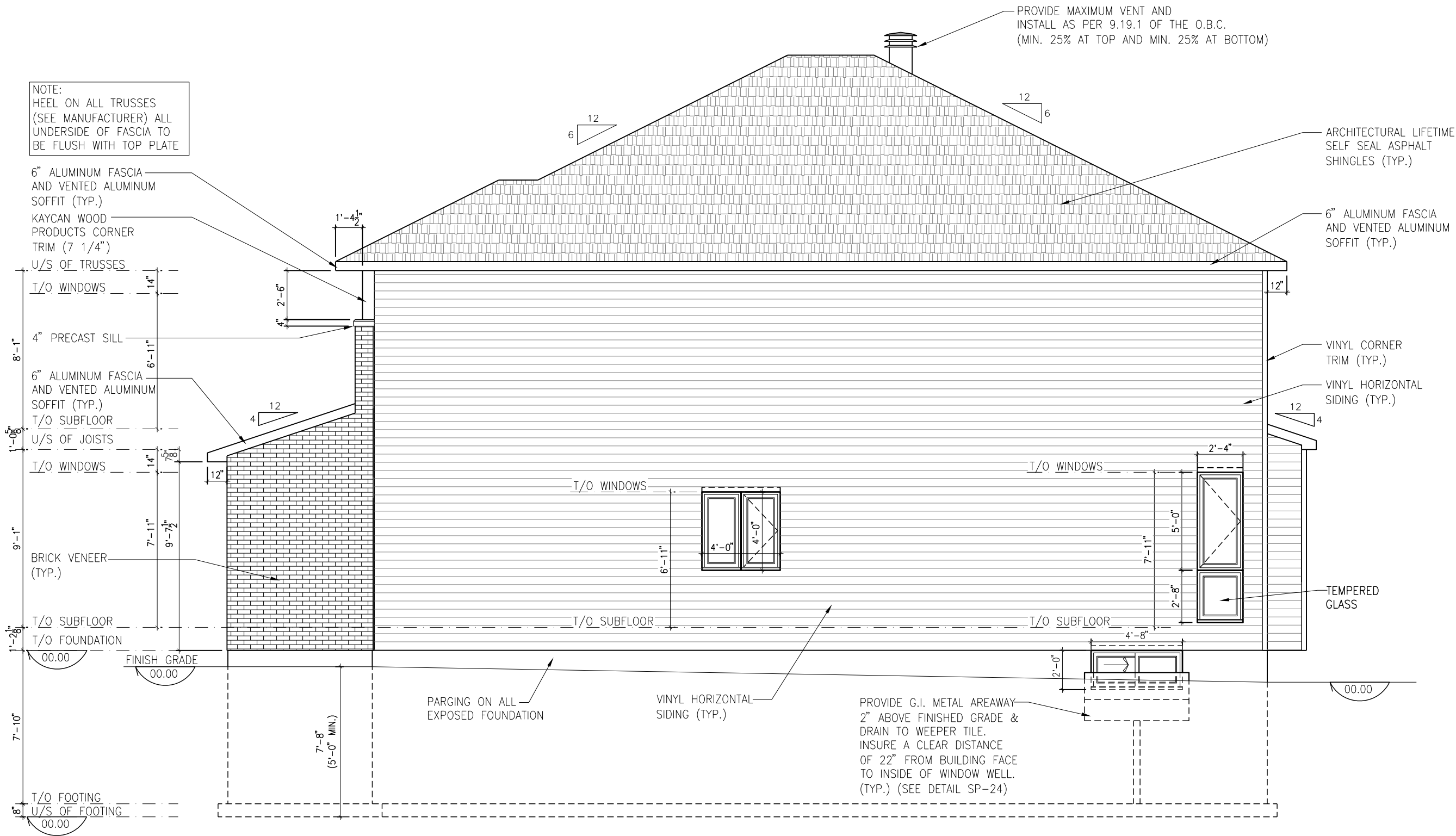
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NO.	DESCRIPTION	DATE	BY

DRAWING: RIGHT ELEVATION
3 BEDROOM - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2b



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 89.3 m. sq.
AREA OF UNPROTECTED OPENINGS - 0.74 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0.82 %

RIGHT ELEVATION - 4 BEDROOM - ELEVATION B
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

**RIGHT ELEVATION
4 BEDROOM - ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**826 - THE BRADLEY
2022 FOOTPRINT**
(STANDARD DRAWINGS)

A2b



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2012 G.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
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DRAWING: **LEFT ELEVATION**

ADDRESS: _____ SCALE: _____ DATE: _____

826 - THE BRADLEY SHEET.

(STANDARD DRAWINGS)



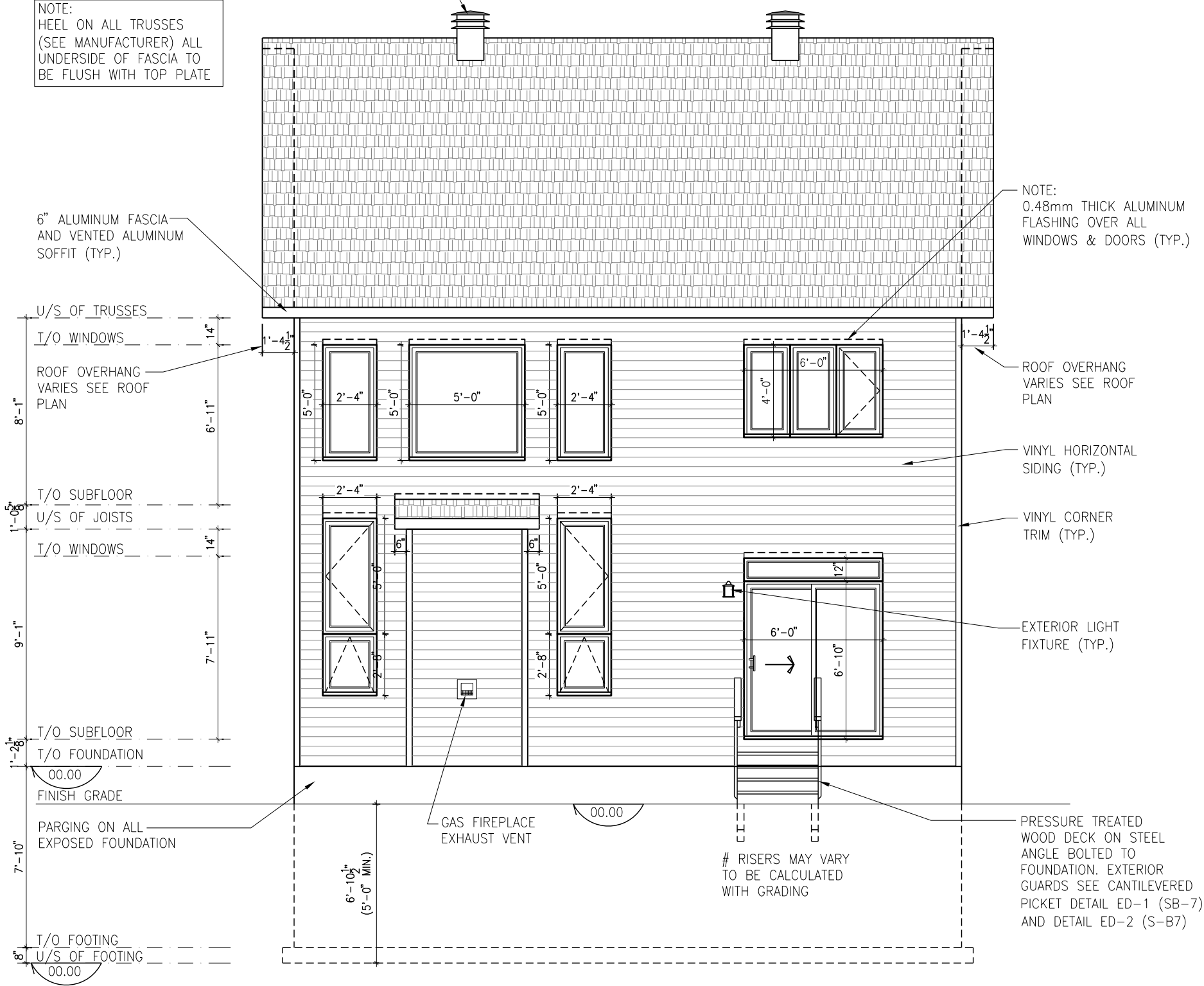
SCALE: 3/16" = 1'-0"

SHEET:

A3b

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



REAR ELEVATION - 3 BEDROOM - ELEVATION A
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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3 BEDROOM - ELEVATION A

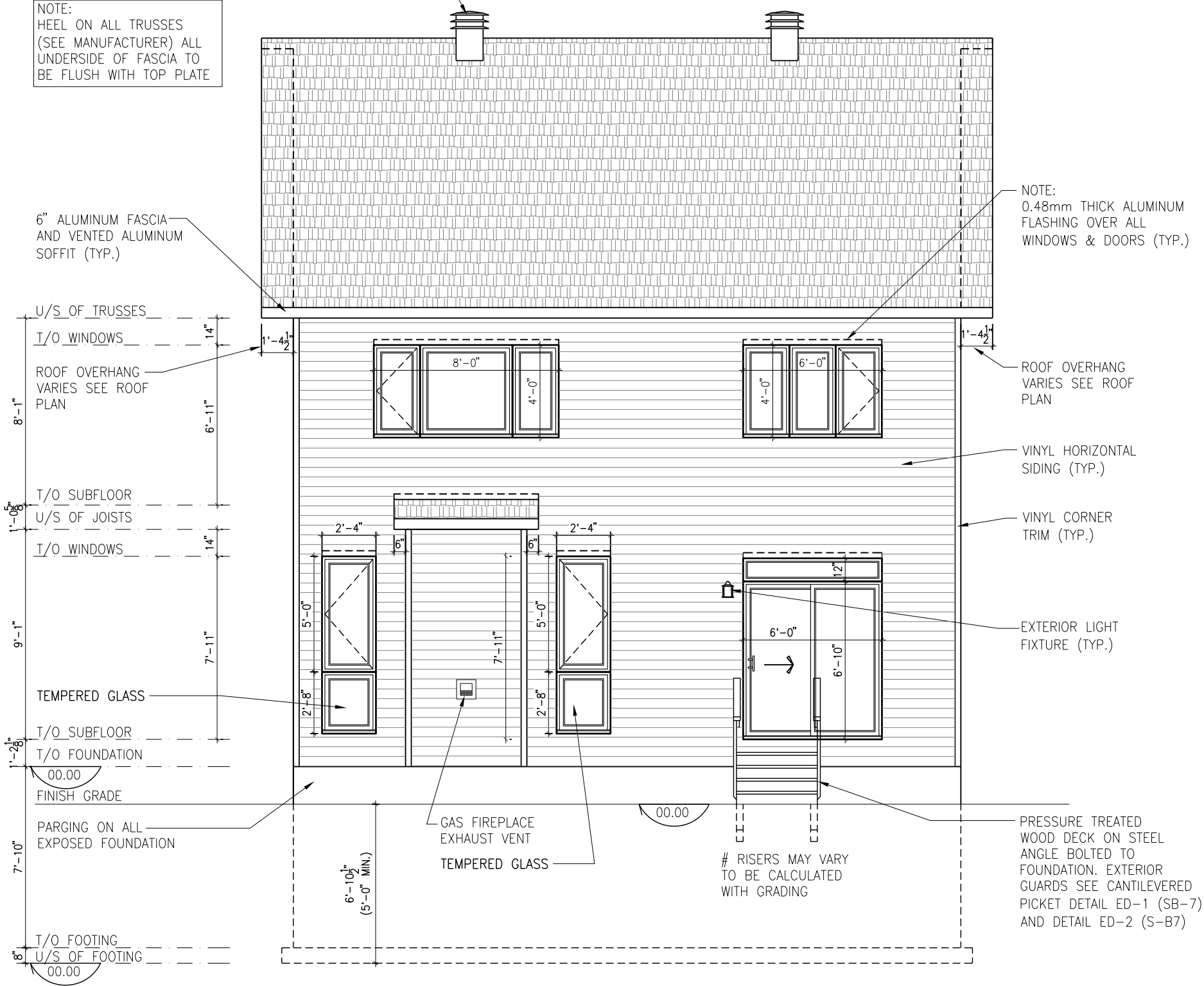
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4a

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
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LOT: XXXX
DATE: XX/XX/XXXX

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DRAWING: **REAR ELEVATION**
4 BEDROOM - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A4a

REAR ELEVATION - 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

— NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

6" ALUMINUM FASCIA—
AND VENTED ALUMINUM
SOFFIT (TYP.)

— ROOF OVERHANG
VARIES SEE ROOF
PLAN

— VINYL HORIZONTAL
SIDING (TYP.)

— VINYL CORNER
TRIM (TYP.)

—EXTERIOR LIGHT
FIXTURE (TYP.)

— PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

↳ GAS FIREPLACE
EXHAUST VENT

RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

U/S OF TRUSSES

T/O WINDOWS

ROOF OVERHANG -
VARIES SEE ROOF
PLAN

T/O SUBFL00R

U/S OF JOISTS

T/O WINDOWS

T/O SUBFLOOR

T/O FOUNDATION

00.00

FINISH GRADE

PARGING ON ALL ———
EXPOSED FOUNDATION

T/O FOOTING

U/S OF FOOTING

00.00

SCALE: 3/16" = 1'-0"



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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

[illegible]

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NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION**

3 BEDROOM - ELEVATION B

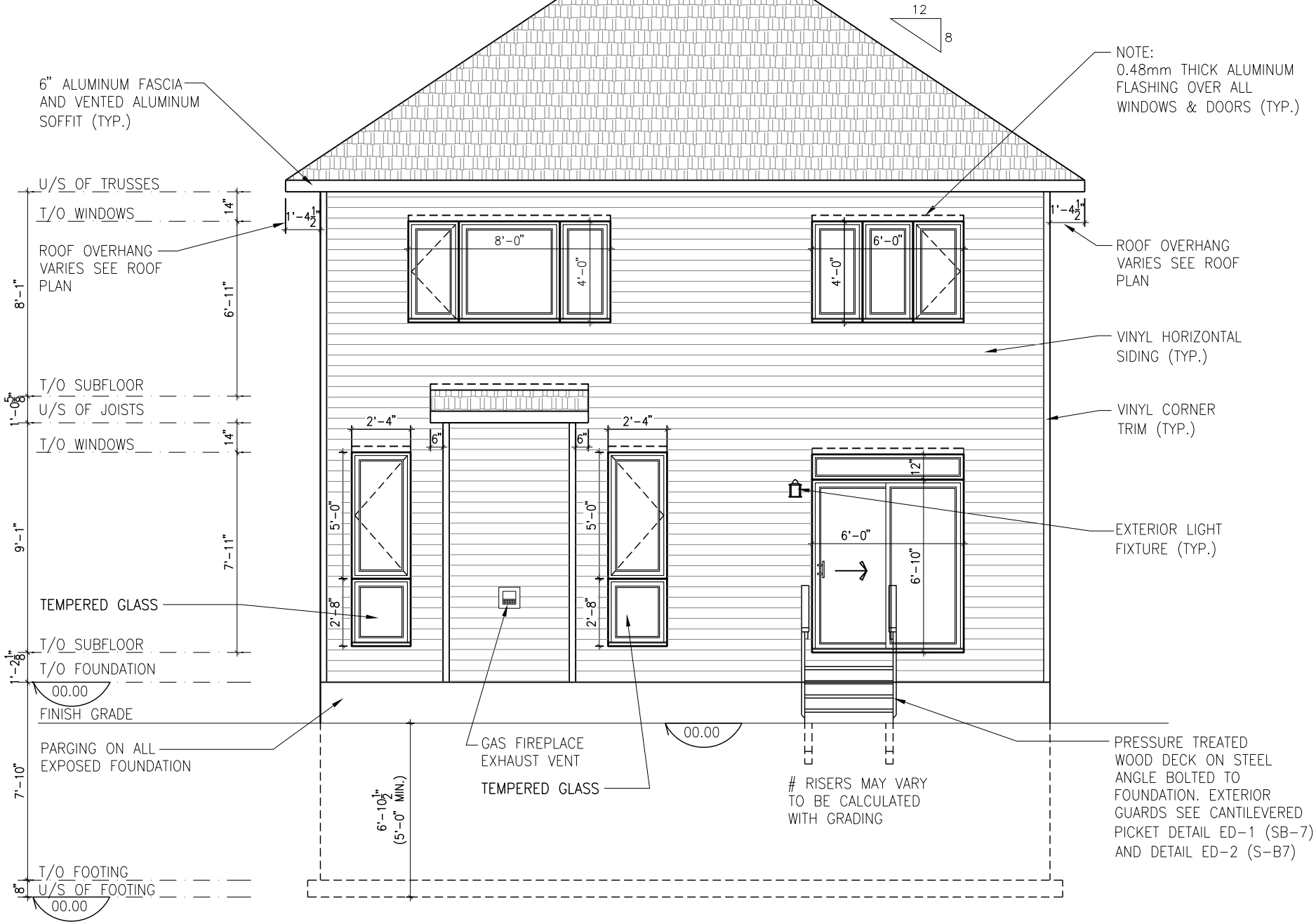
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826 - THE BRADLEY
2022 FOOTPRINT

SHEET:
A4b

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NOTE:
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NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION**
4 BEDROOM - ELEVATION B

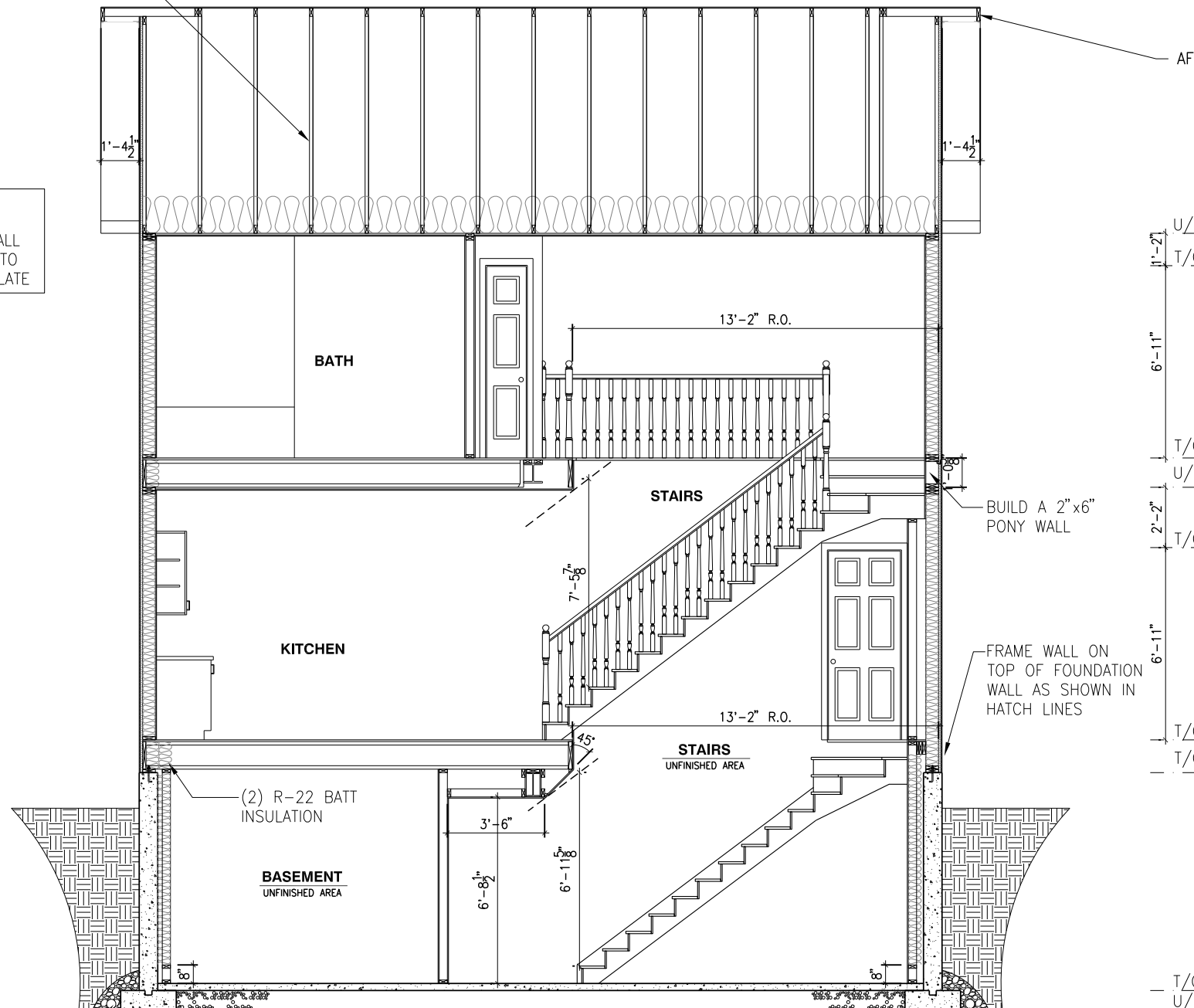
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx
BY

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4b

PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)
PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

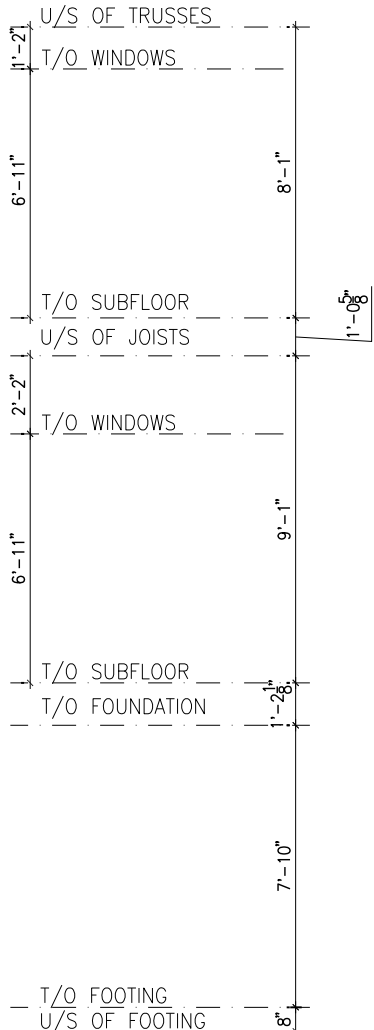
NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

AF



BUILD A 2"x6"
PONY WALL

FRAME WALL ON
TOP OF FOUNDATION
WALL AS SHOWN IN
HATCH LINES

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7/8" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION - 3 AND
4 BEDROOM - ELEVATION A-B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

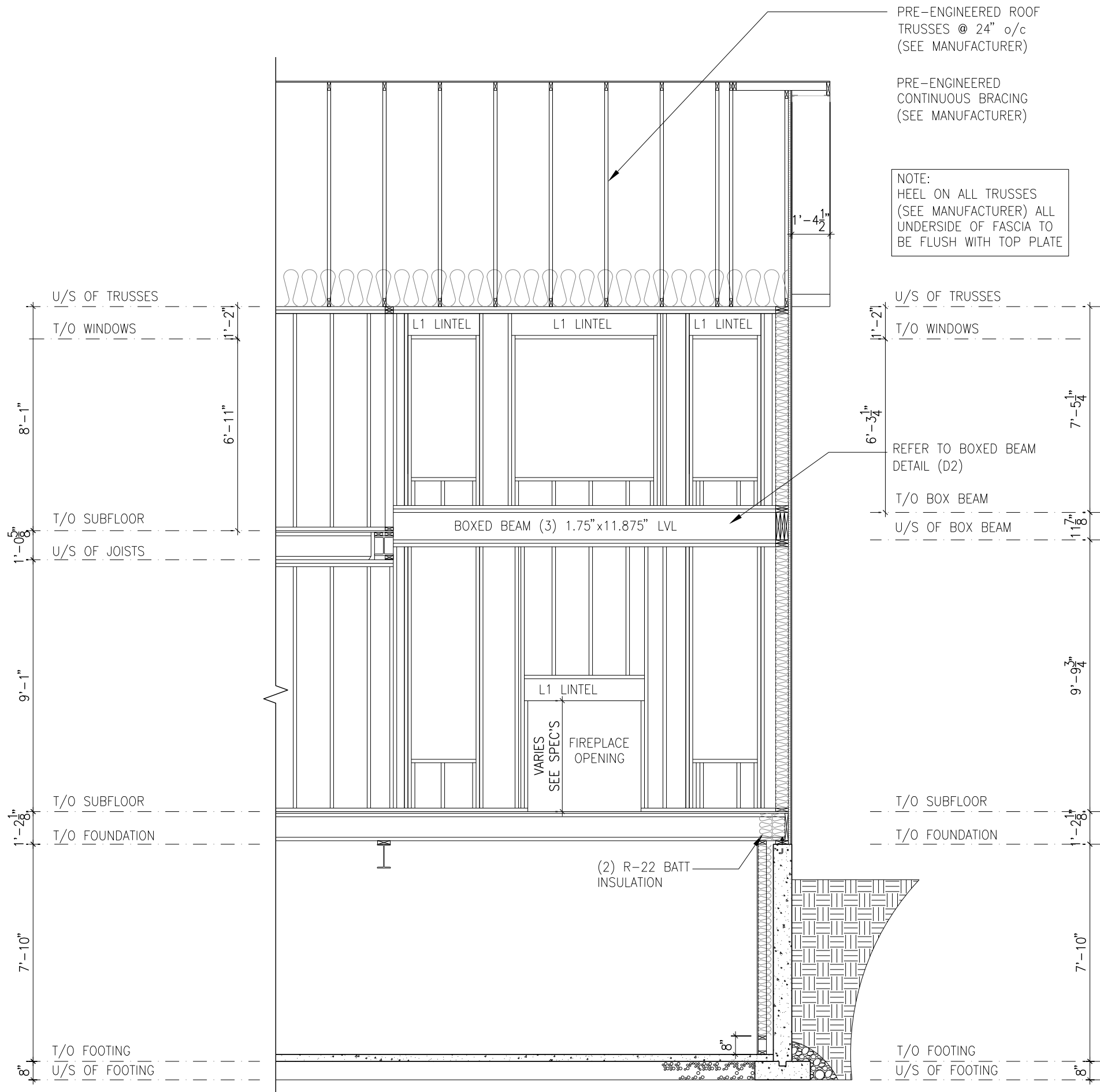
SHEET:
A5a

BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B

SCALE: 3/16" = 1'-0"

FRAMING DETAIL - REAR FULL HEIGHT WALL

SCALE: 1/4" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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 - B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
 - B3 - BRICK SLEEPER COURSE
 - B4 - STACK BOND (ACCENT)
 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK CORNING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - SV - SIDING (VERTICAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
 - AC - ALUMINUM CLADDING
 - AB - 48" ALUMINUM BAND
 - AS - ASPHALT SHINGLES
 - F - FLASHING
 - V - ROOF VENT (MAXIMUM)
 - P - PARGING
 - PC - PARGING
 - PCH10 - PRECAST HEADER 10"
 - PCH8 - PRECAST HEADER 8"
 - PCS - PRECAST SILL
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 - KC - KAYCAN WOOD SIDING - 7 1/2" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: REAR WALL DETAIL

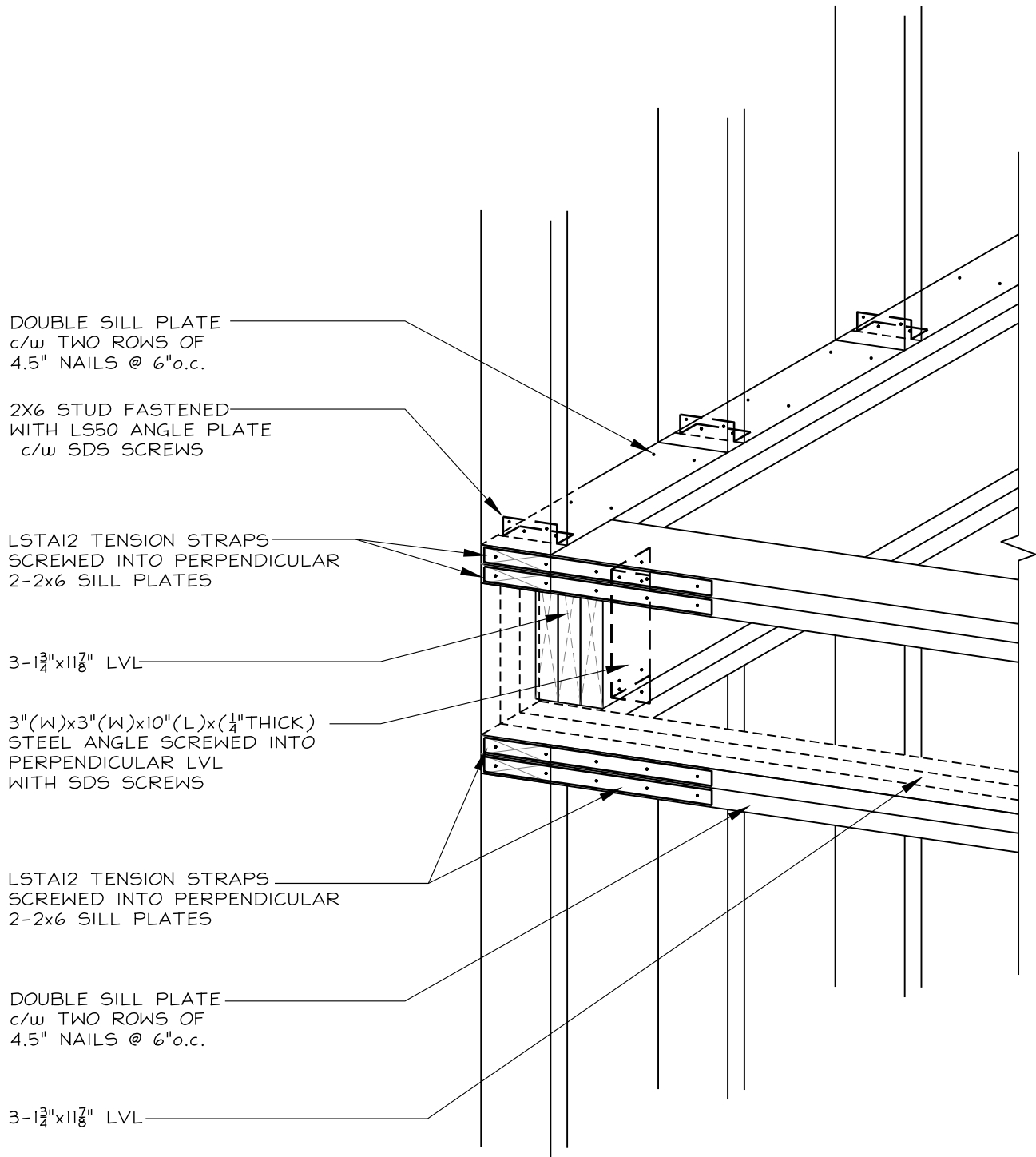
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: D1

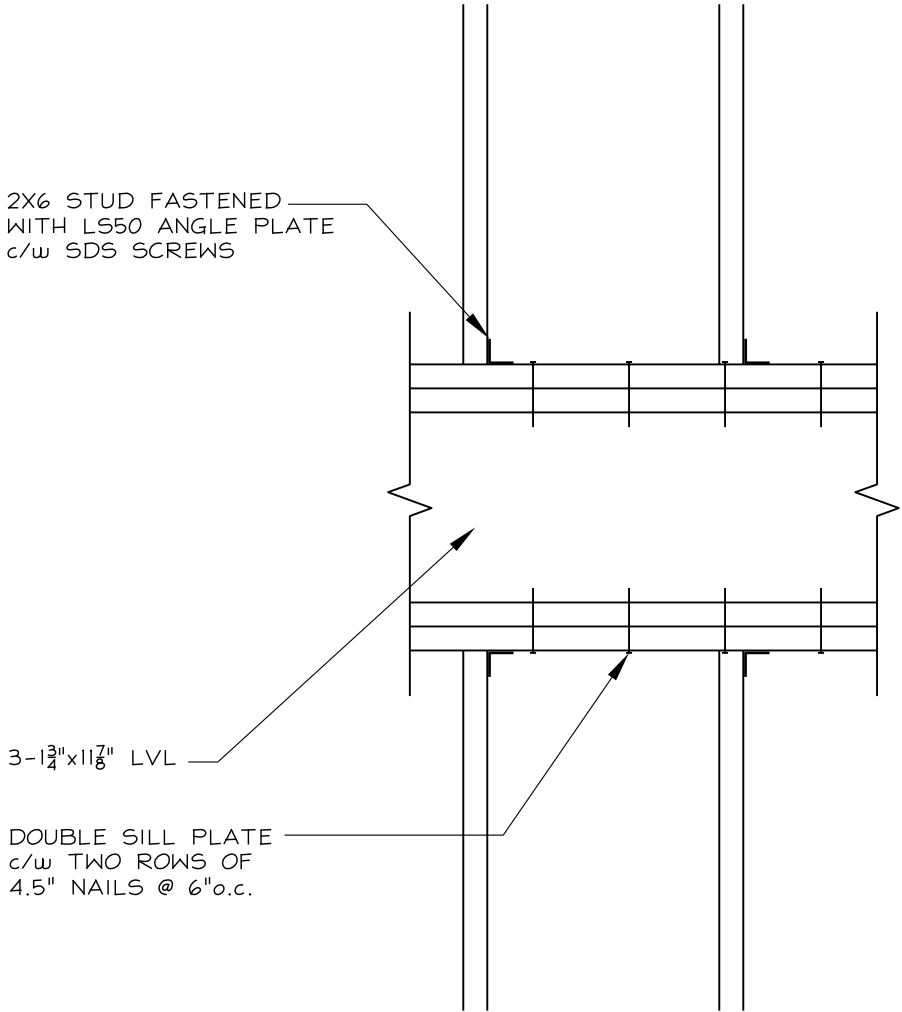
BOX BEAM FRAMING DETAIL - REAR FULL HEIGHT WALL

SCALE: 1/2" = 1'-0"



BOX BEAM AT CORNER

SCALE: 1/2" = 1'-0"



BOX BEAM PARTIAL ELEVATION

SCALE: 1/2" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
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- PC - PARGING
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- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

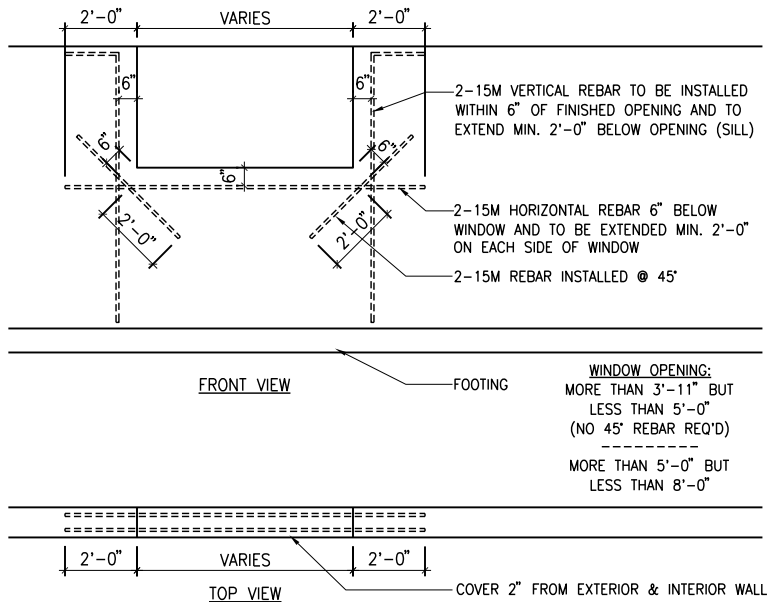
DRAWING: BOX BEAM FRAMING DETAIL

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

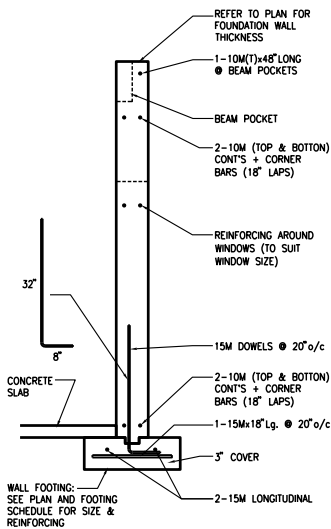
826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
D2

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30" x8" DP. 2-15M(B) LONG.	36" x8" DP. 15M(B)x32" Lg @ 20" o/c 3-15M(B) LONG.	40" x8" DP. 15M(B)x36" Lg @ 20" o/c 3-15M(B) LONG.	48" x8" DP. 15M(B)x42" Lg @ 16" o/c 3-15M(B) LONG.	72" x10" DP. 15M(B)x66" Lg @ 16" o/c 5-15M(B) LONG.
WF2	28" x8" DP. 2-15M(B) LONG.	34" x8" DP. 2-15M(B) LONG.	38" x8" DP. 15M(B)x34" Lg @ 20" o/c 3-15M(B) LONG.	46" x8" DP. 15M(B)x42" Lg @ 16" o/c 3-15M(B) LONG.	70" x10" DP. 15M(B)x64" Lg @ 16" o/c 5-15M(B) LONG.
WF3	26" x8" DP. 2-15M(B) LONG.	30" x8" DP. 2-15M(B) LONG.	34" x8" DP. 2-15M(B) LONG.	42" x8" DP. 15M(B)x38" Lg @ 20" o/c 3-15M(B) LONG.	64" x10" DP. 15M(B)x58" Lg @ 16" o/c 5-15M(B) LONG.
WF4	24" x8" DP. 2-15M(B) LONG.	28" x8" DP. 2-15M(B) LONG.	32" x8" DP. 2-15M(B) LONG.	38" x8" DP. 15M(B)x34" Lg @ 20" o/c 3-15M(B) LONG.	58" x10" DP. 15M(B)x52" Lg @ 16" o/c 4-15M(B) LONG.
WF5	24" x8" DP. 2-15M(B) LONG.	24" x8" DP. 2-15M(B) LONG.	26" x8" DP. 2-15M(B) LONG.	34" x8" DP. 2-15M(B) LONG.	52" x10" DP. 15M(B)x48" Lg @ 16" o/c 4-15M(B) LONG.
WF6	24" x8" DP. 2-15M(B) LONG.	24" x8" DP. 2-15M(B) LONG.	24" x8" DP. 2-15M(B) LONG.	30" x8" DP. 2-15M(B) LONG.	46" x10" DP. 15M(B)x42" Lg @ 16" o/c 3-15M(B) LONG.
WF7	20" x8" DP. 2-15M(B) LONG.	20" x8" DP. 2-15M(B) LONG.	20" x8" DP. 2-15M(B) LONG.	24" x8" DP. 2-15M(B) LONG.	36" x10" DP. 15M(B)x32" Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



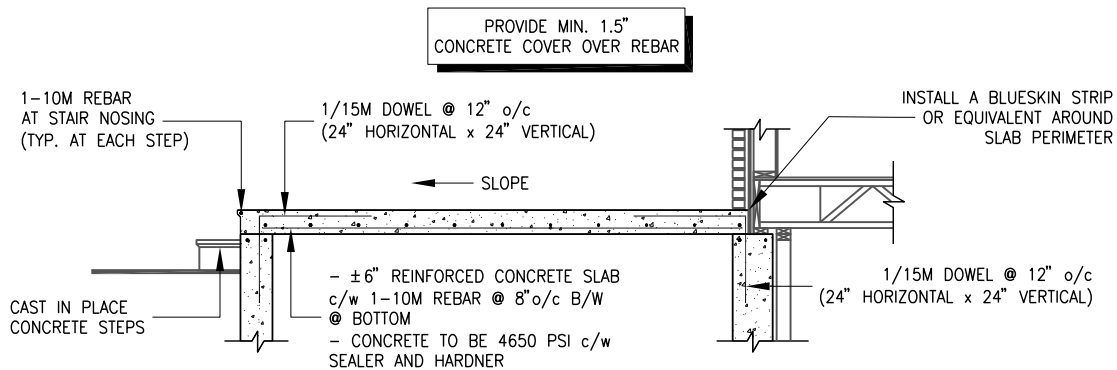
BASEMENT WINDOW REINFORCING



**CONCRETE WALL
REINFORCING**

2
A.6

SCALE: 1/4" = 1'-0"



3 A.6 CONCRETE PORCH REINFORCING

SHEET:
A6

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

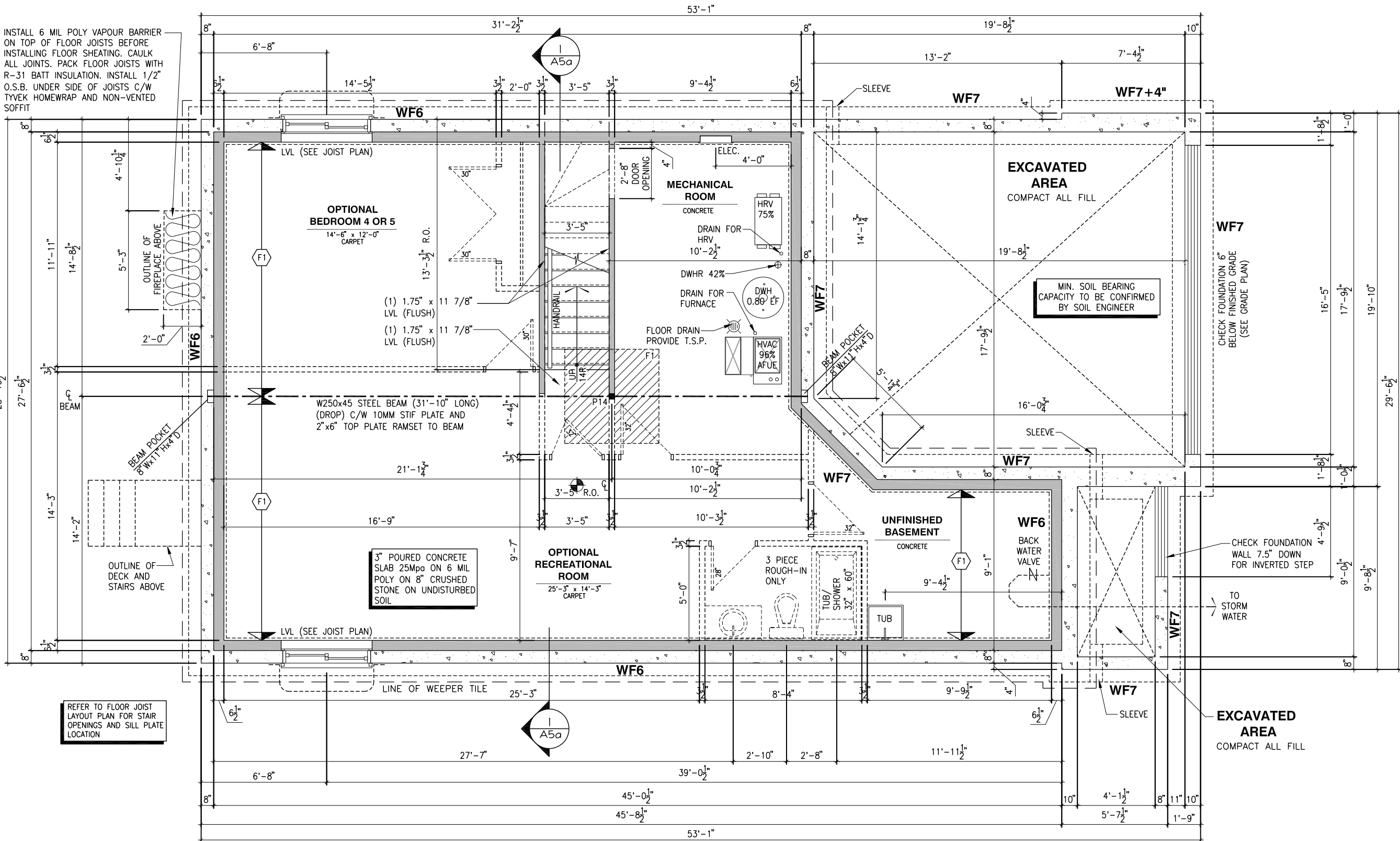
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

INSTALL 6 MIL POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS BEFORE INSTALLING FLOOR SHEATING. CAULK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" O.S.B. UNDER SIDE OF JOISTS C/W TYVEK HOMEWRAP AND NON-VENTED SOFFIT



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **BASEMENT FLOOR PLAN**
3 AND 4 BED. - ELEV. A, B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

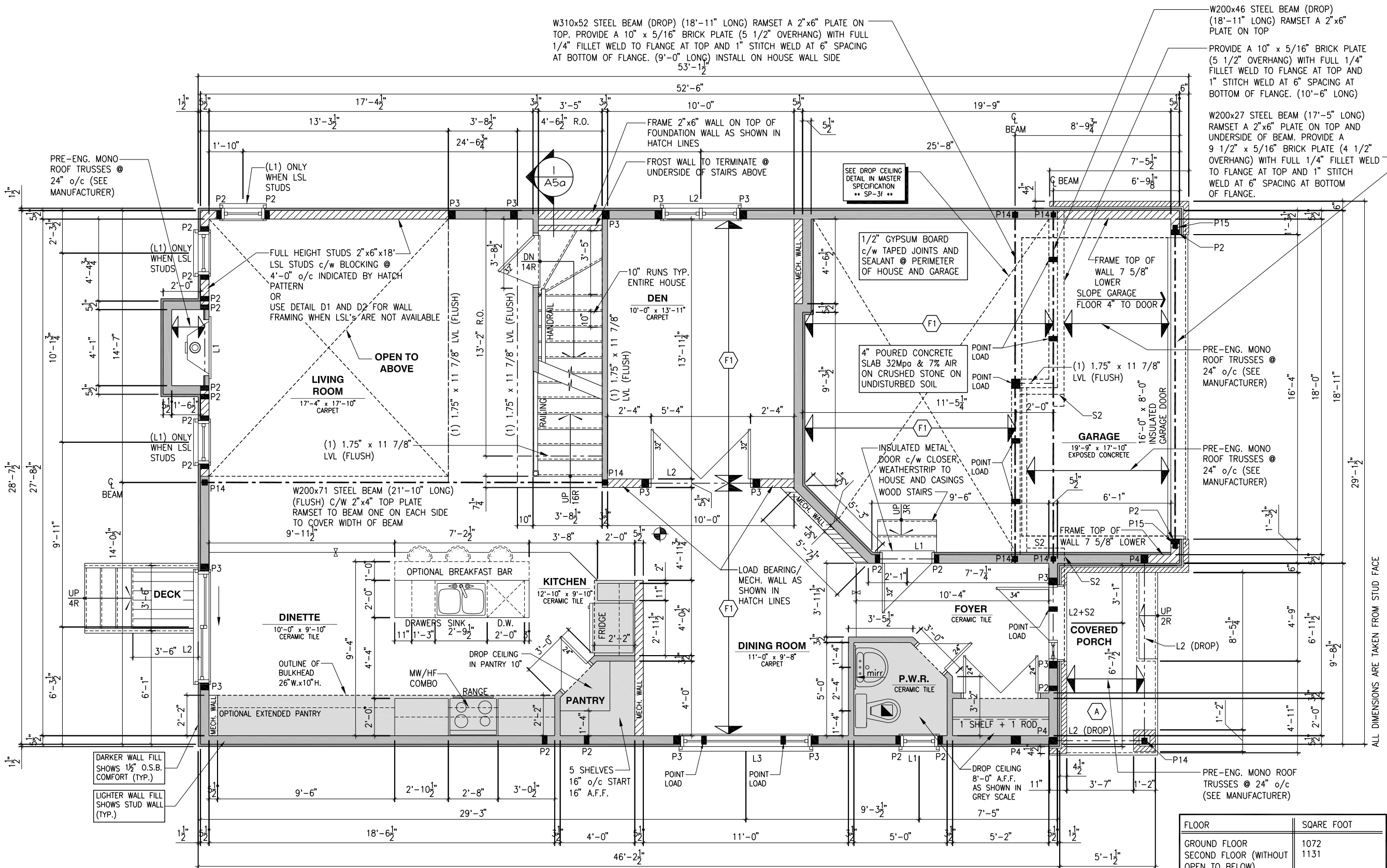
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A6a

BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.E.NG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

W310x52 STEEL BEAM (DROP) (18'-11" LONG) RAMSET A 2"x6" PLATE ON TOP. PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (9'-0" LONG) INSTALL ON HOUSE WALL SIDE

W200x46 STEEL BEAM (DROP) (18'-11" LONG) RAMSET A 2"x6" PLATE ON TOP

PROVIDE A 10" x 5/16" BRICK PLATE (5 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (10'-6" LONG)

W200x27 STEEL BEAM (17'-5" LONG) RAMSET A 2"x6" PLATE ON TOP AND UNDERSIDE OF BEAM. PROVIDE A 9 1/2" x 5/16" BRICK PLATE (4 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

DRAWING: GROUND FLOOR PLAN
3 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

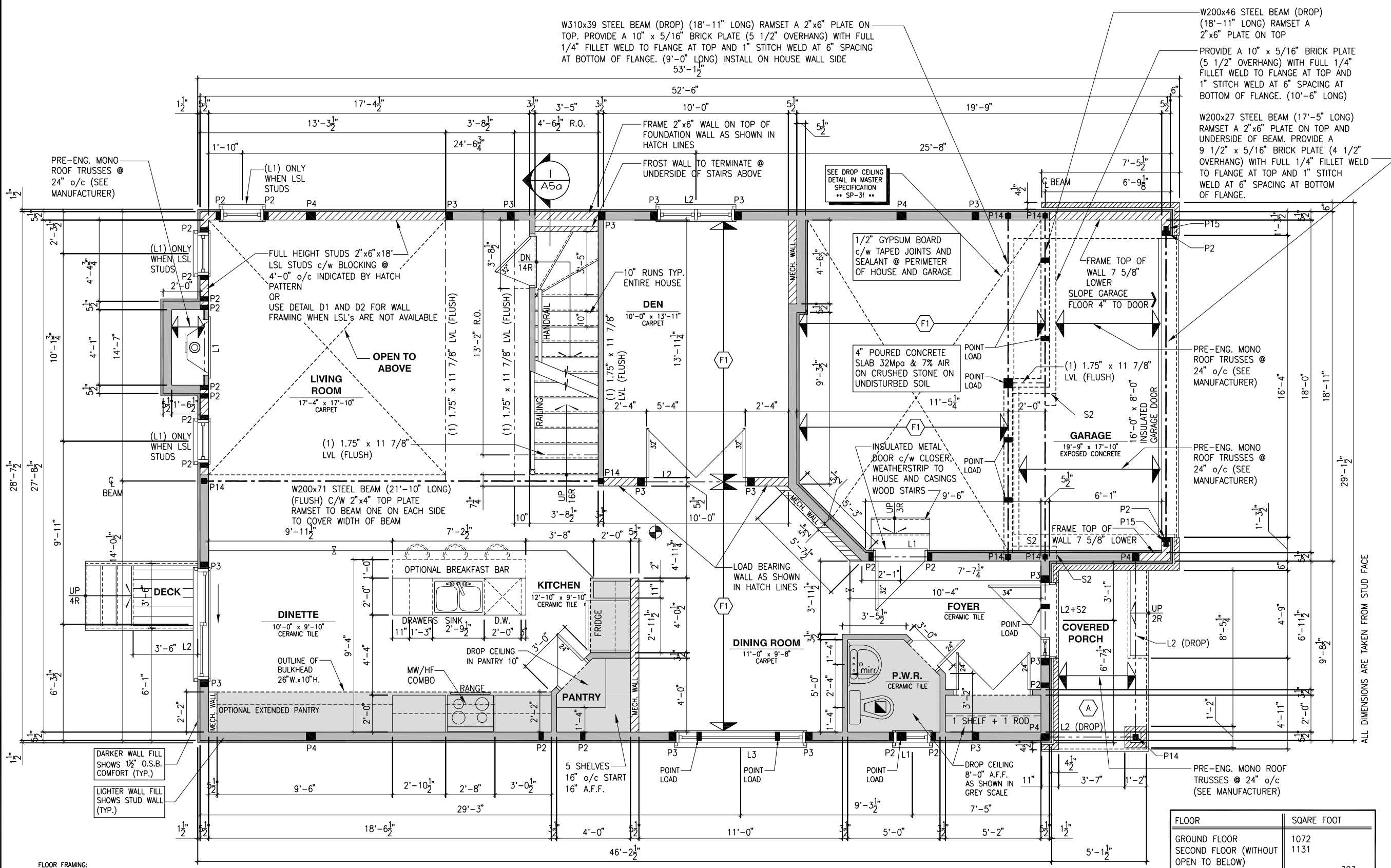
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7a

GROUND FLOOR PLAN - 3 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTES:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

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NOTES:

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

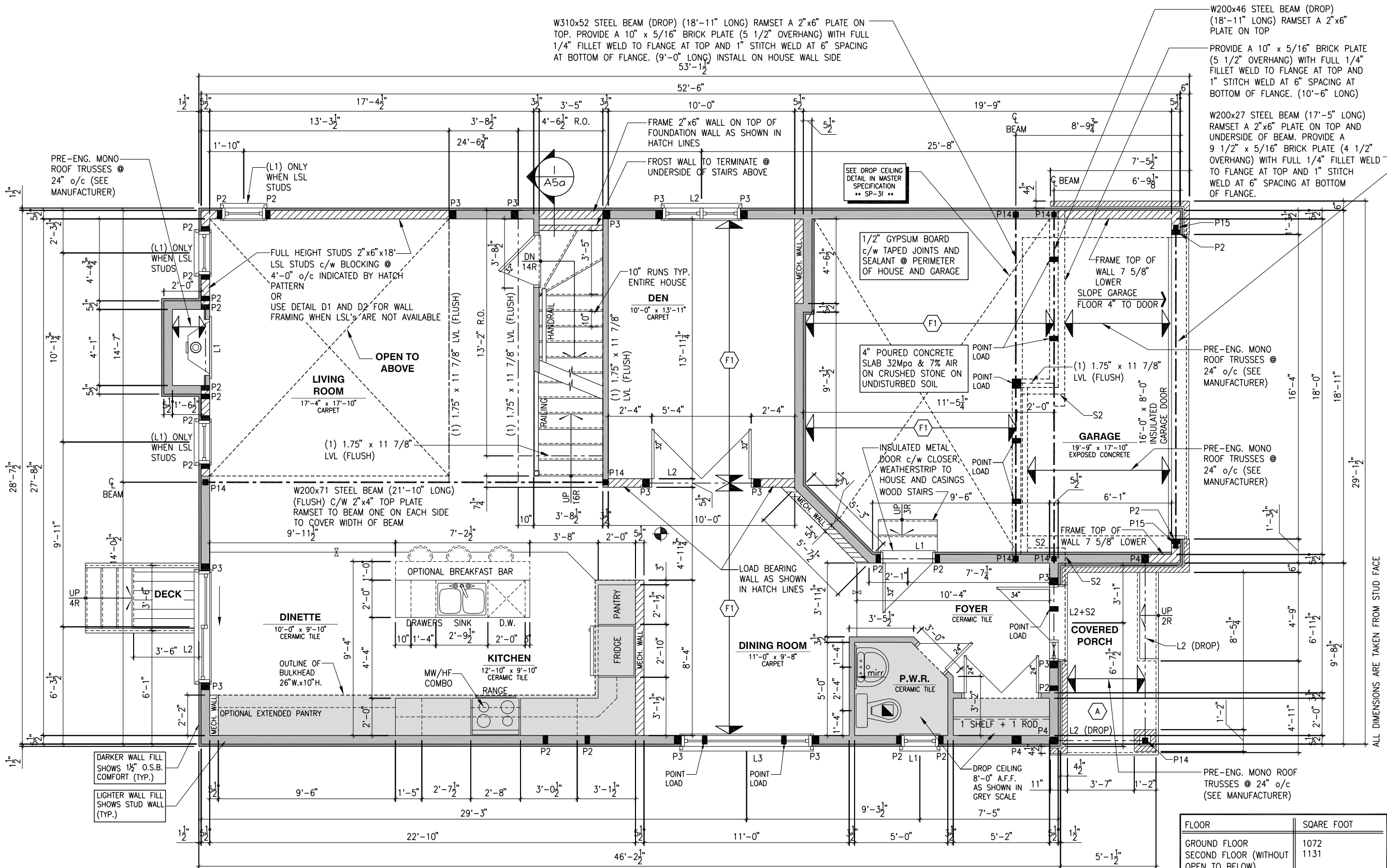
DRAWING: GROUND FLOOR PLAN 3 BEDROOM - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

A7b

SHEET:



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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W200x27 STEEL BEAM (17'-5" LONG) RAMSET A 2"x6" PLATE ON TOP AND UNDERSIDE OF BEAM. PROVIDE A 9 1/2" x 5/16" BRICK PLATE (4 1/2" OVERHANG) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

PRE-ENG. MONO ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)

PRE-ENG. MONO ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)

PRE-ENG. MONO ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

DRAWING: GROUND FLOOR PLAN
3 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

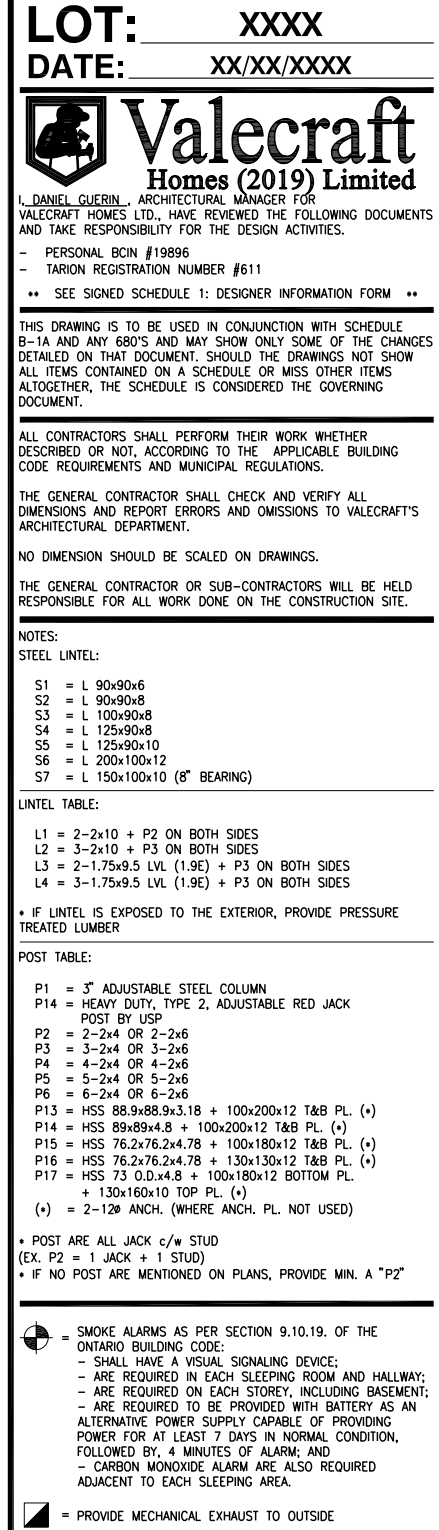
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7c

GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"



2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**

3 BEDROOM - ELEV. B

ADDRESS: XX	SCALE: $\frac{3}{16"} = 1"=0"$	DATE: XX/XX/XXXX
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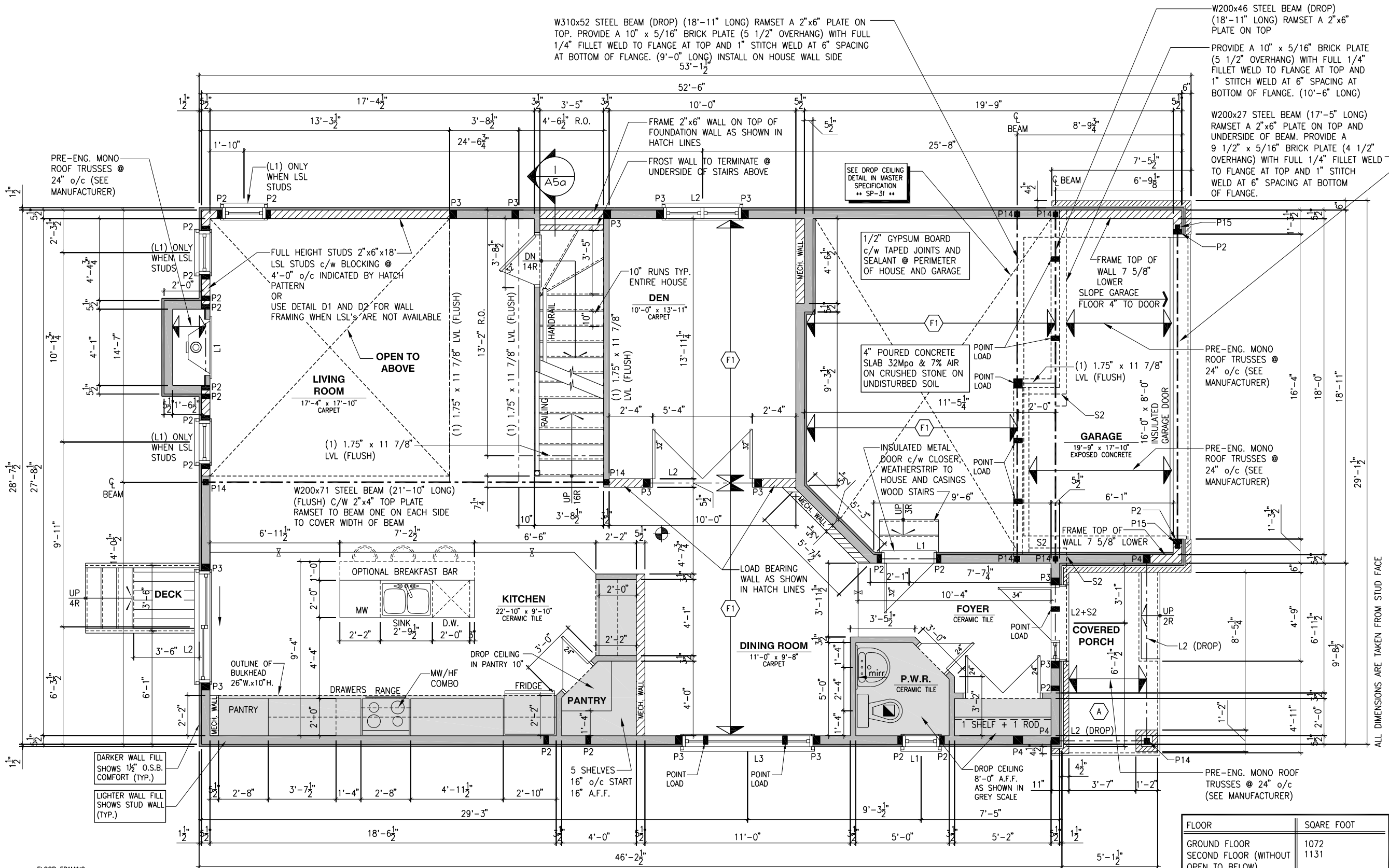
826 - THE BRADLEY

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b



GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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TABLE: FLOOR FRAMING

FLOOR	SQUARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203

LOT: XXXX

DATE: XX/XX/XXXX

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L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN

P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

(+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

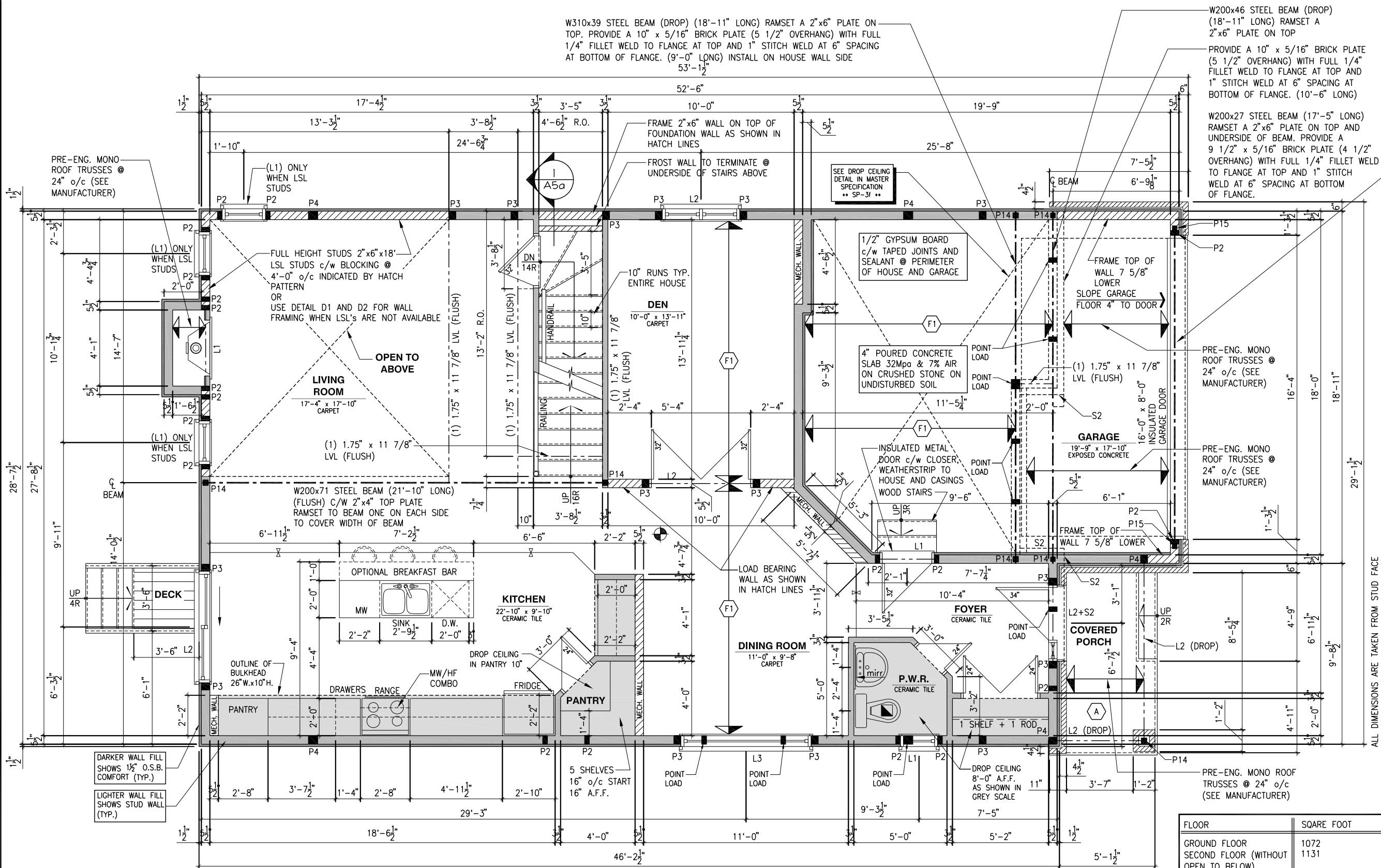
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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: GROUND FLOOR PLAN 3 BEDROOM - ELEV. A			
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
826 - THE BRADLEY 2022 FOOTPRINT		SHEET: A7e	
(STANDARD DRAWINGS)			



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

FLOOR	SOARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

NO. DESCRIPTION DATE BY

DRAWING: **GROUND FLOOR PLAN**
3 BEDROOM - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

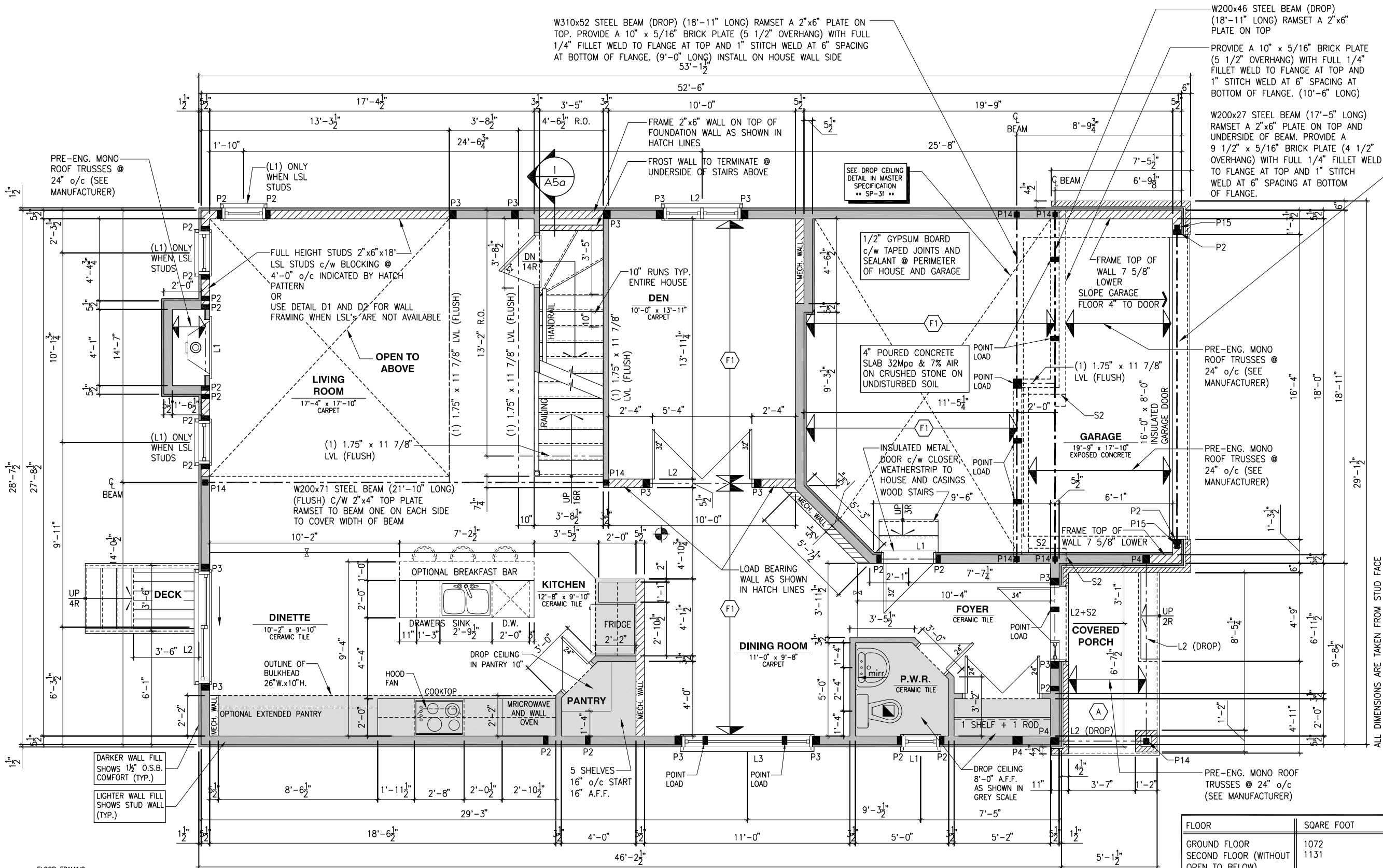
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

A7f

GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
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LINTEL TABLE:

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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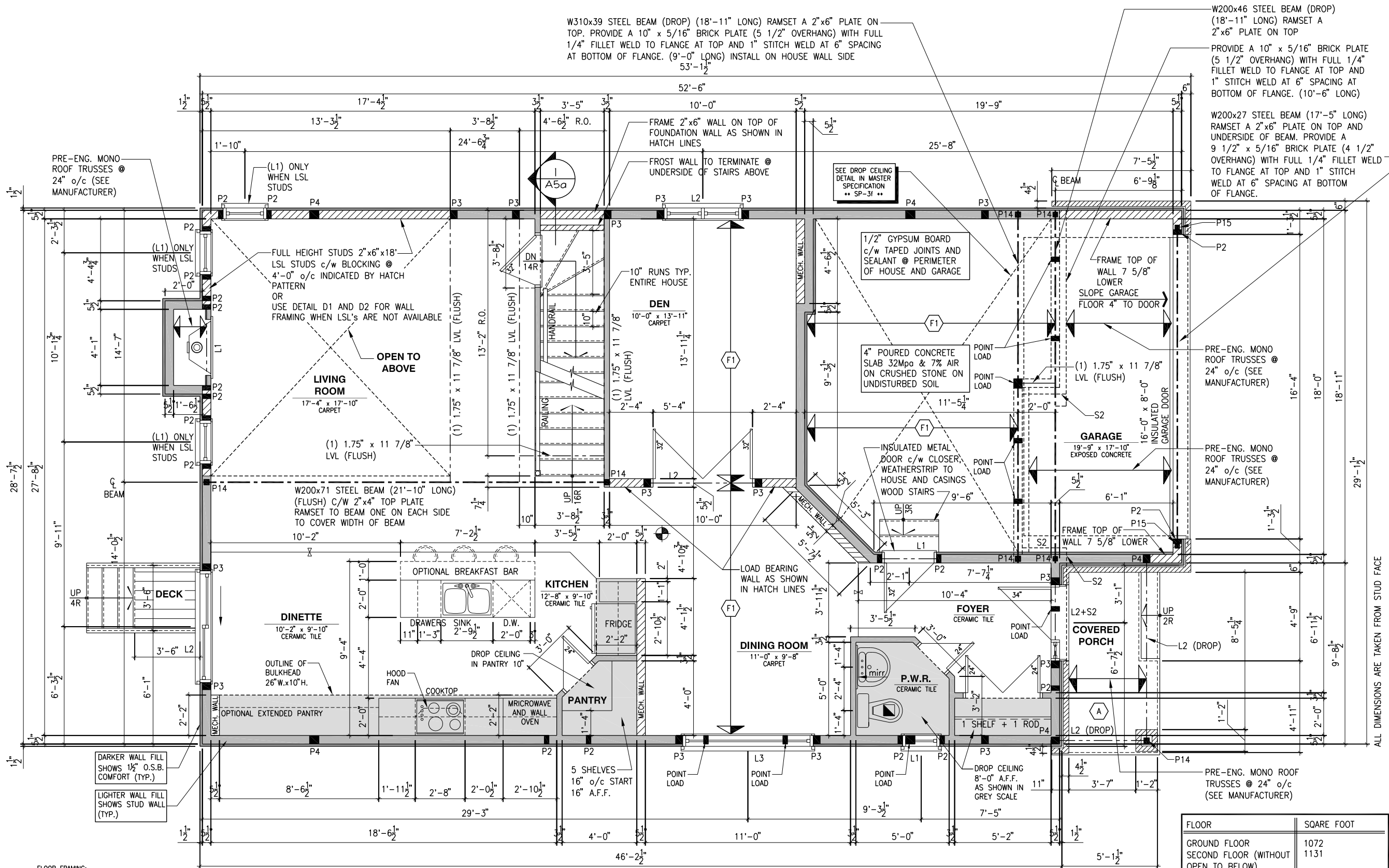
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: GROUND FLOOR PLAN 3 BEDROOM - ELEV. A			
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

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3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

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GROUND FLOOR PLAN - 3 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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LINTEL TABLE:

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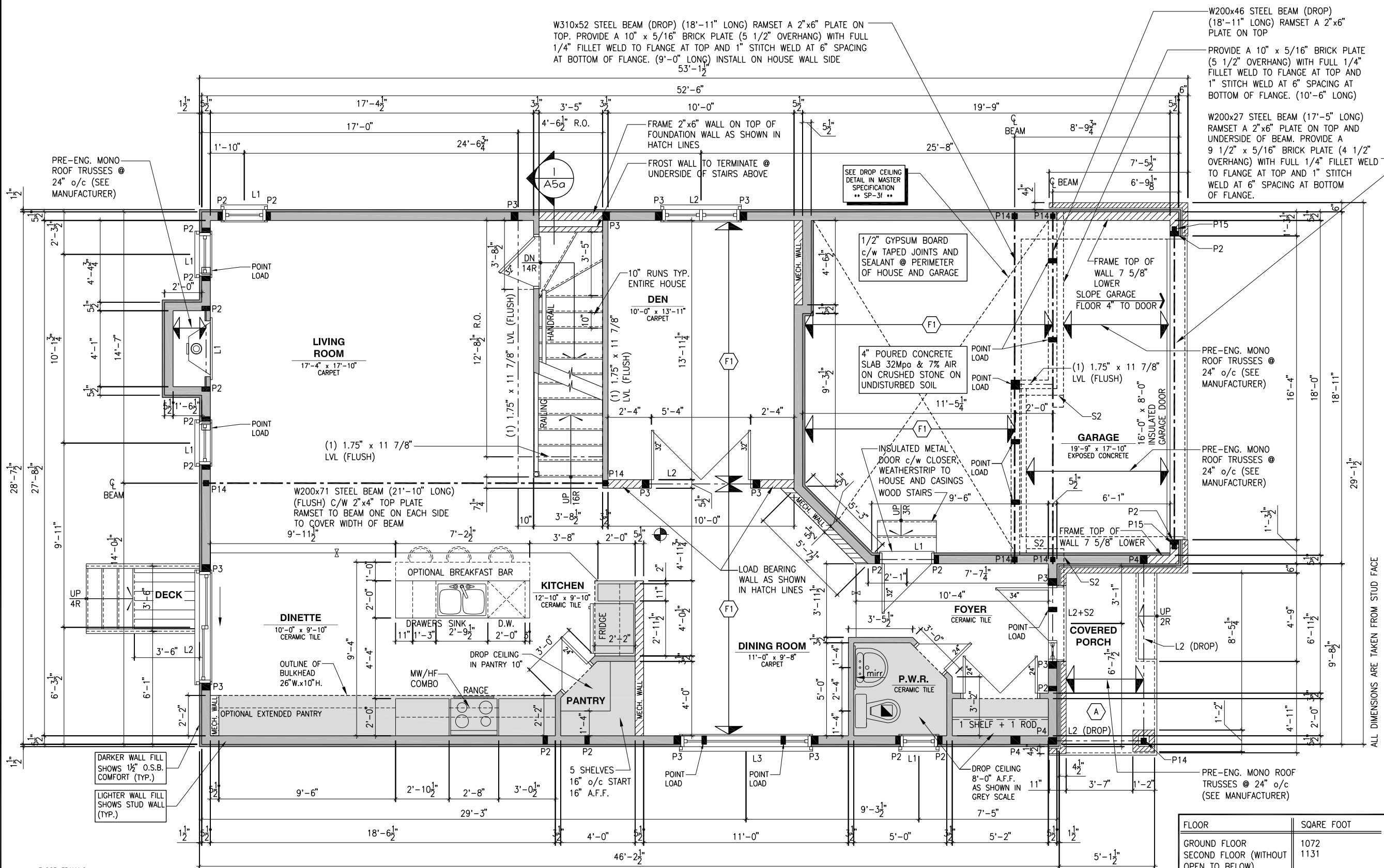
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: GROUND FLOOR PLAN 3 BEDROOM - ELEV. B			
ADDRESS: xx		SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A7h



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 MPa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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NOTE:

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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

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P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

MECH. WALL = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

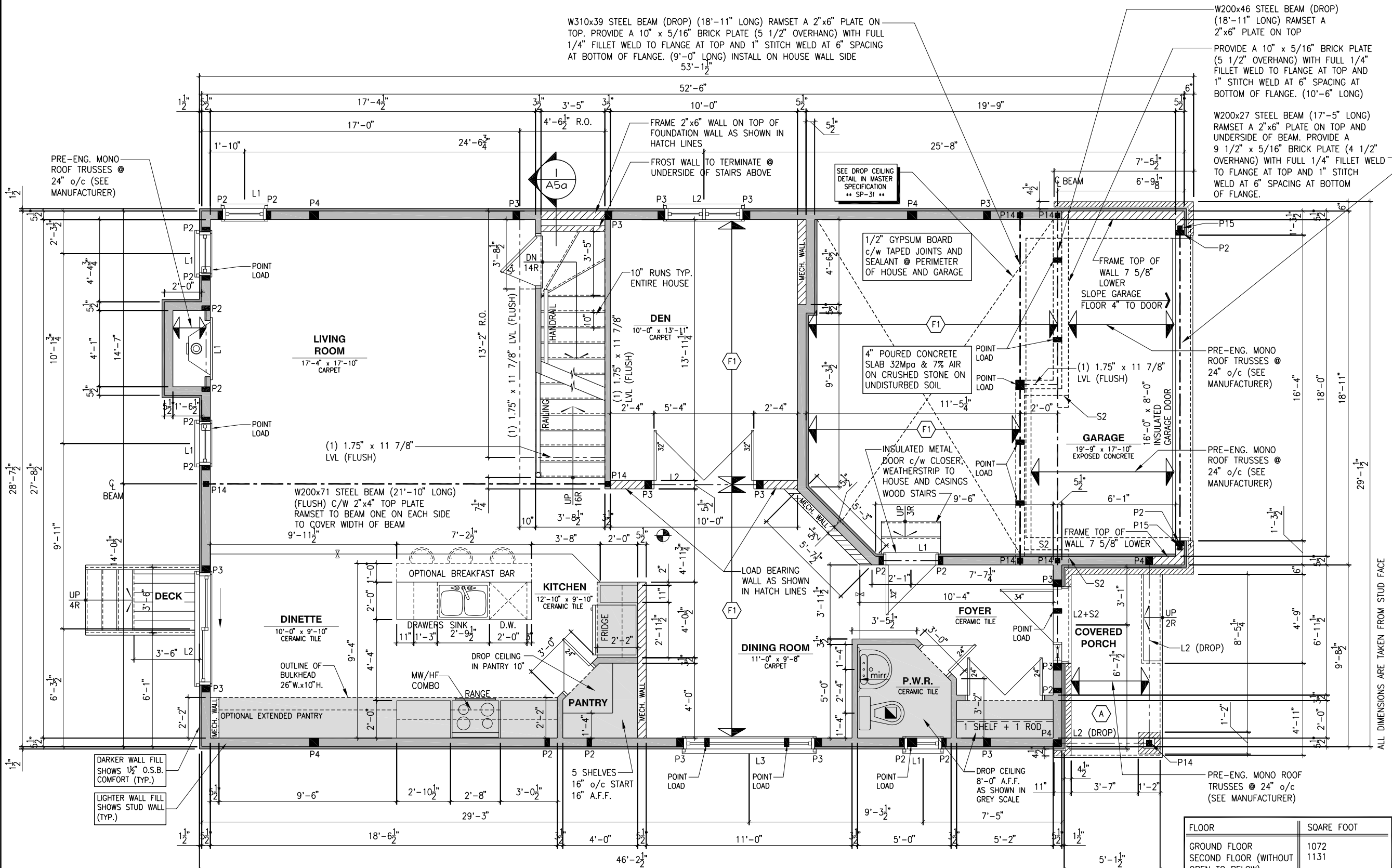
DRAWING: **GROUND FLOOR PLAN**
4 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

A7i



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

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LOT: XXXX

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

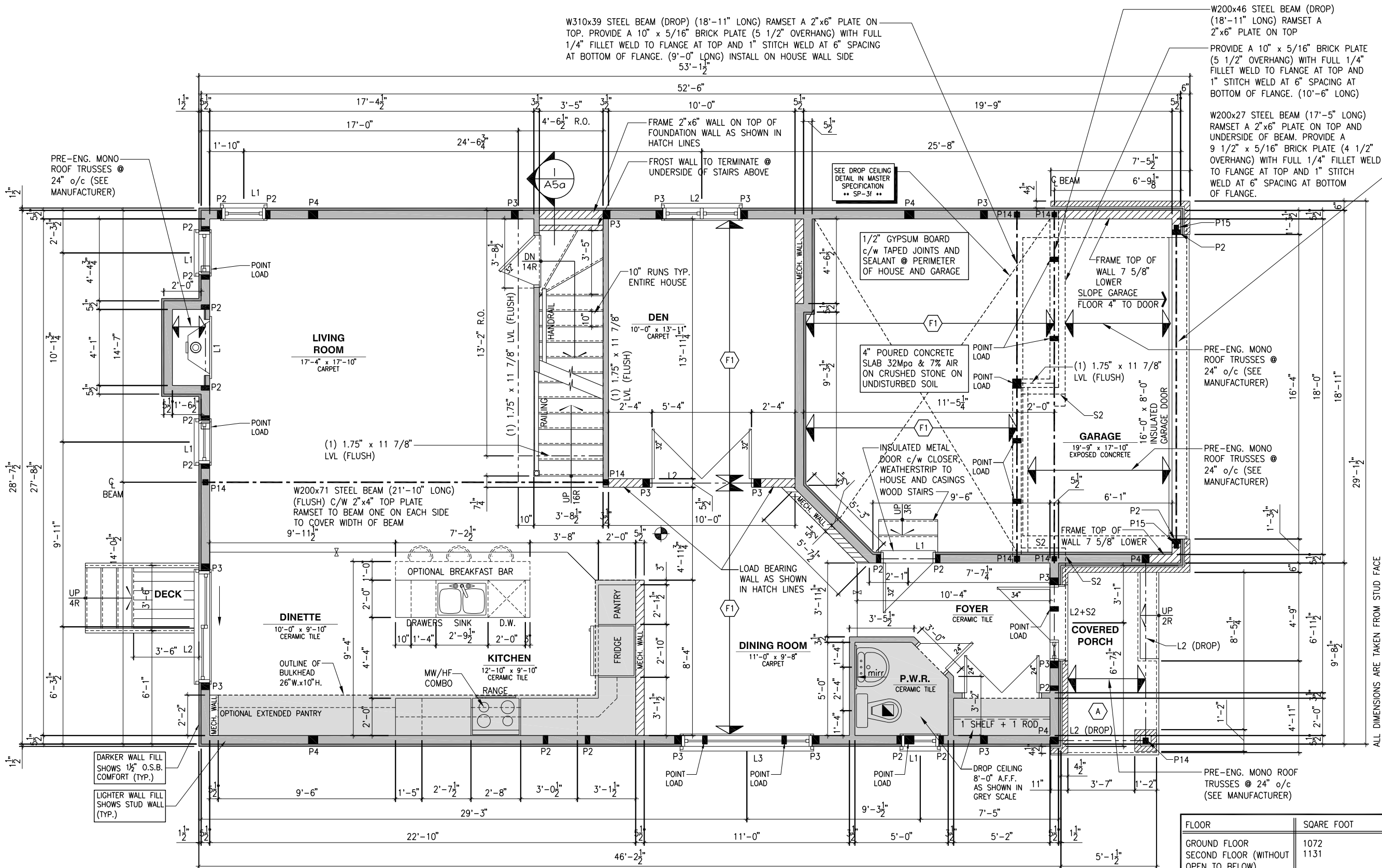
DRAWING: **GROUND FLOOR PLAN 4 BEDROOM - ELEV. B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A7j



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FLOOR	SQARE FOOT
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SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

DRAWING: GROUND FLOOR PLAN
4 BEDROOM - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

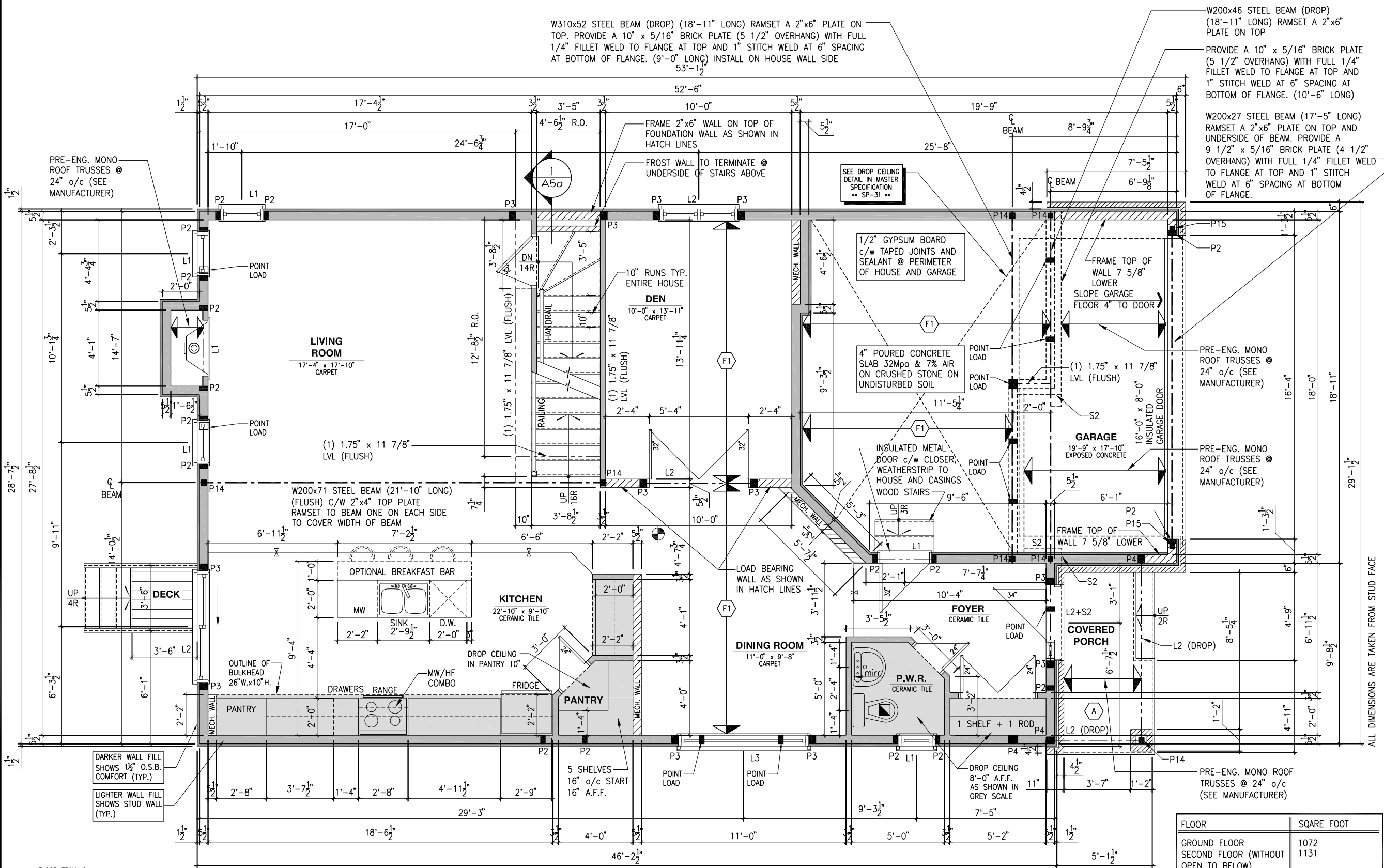
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A71

GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

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P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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(+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

MECH. EXHAUST = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN**
4 BEDROOM - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

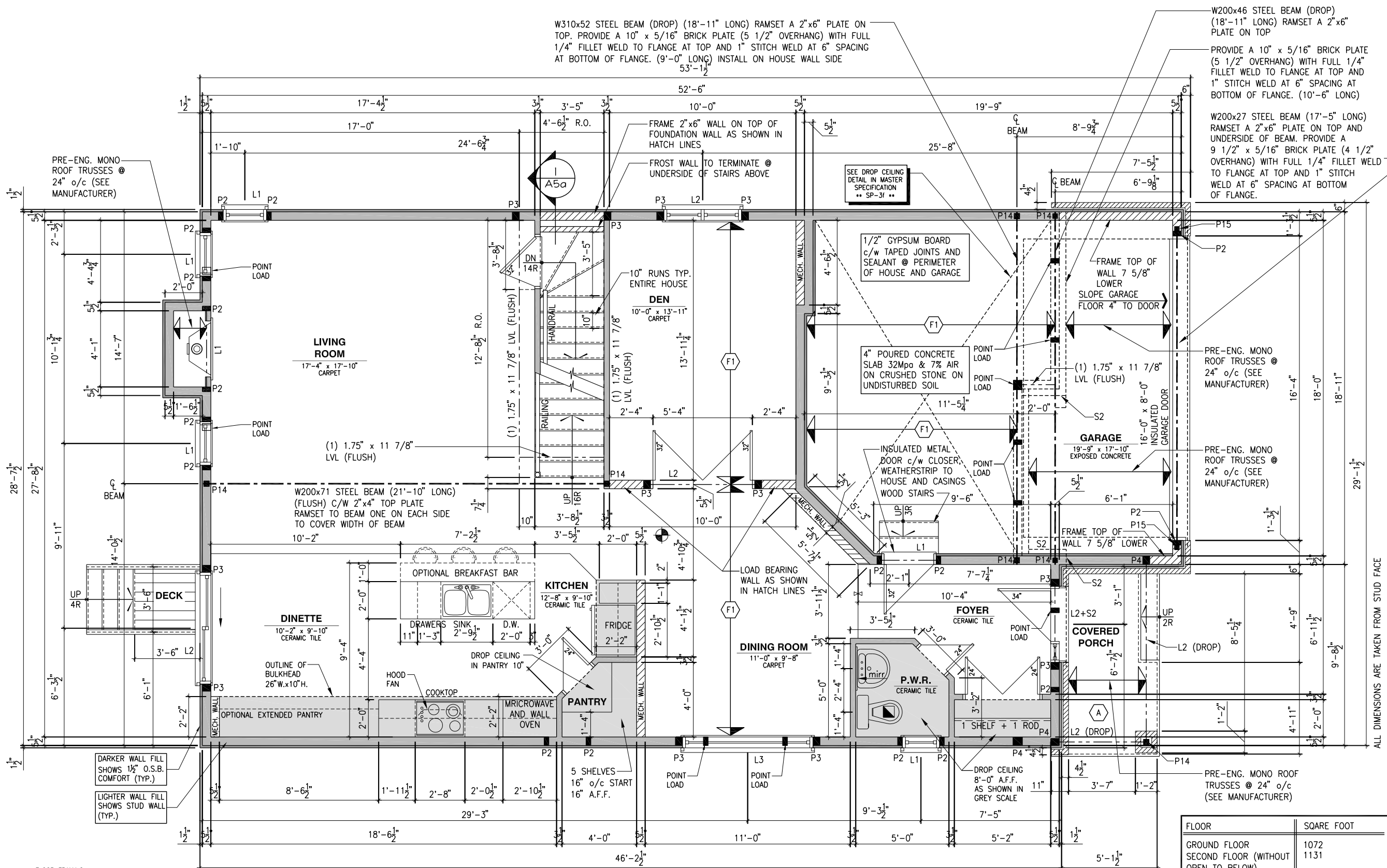
A7m

A7n



FLOOR	SQARE FOOT	
GROUND FLOOR	1072	
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131	
GARAGE		383
TOTAL	2203	383

SCALE: 3/16" = 1'-0"



GROUND FLOOR PLAN - 4 BEDROOM - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

TABLE:

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIOR REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR PLAN 4 BEDROOM - ELEV. A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A70

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

ROOF AND FLOOR LAYOUT NOTES:

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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
3 BEDROOM - ELEVATION A

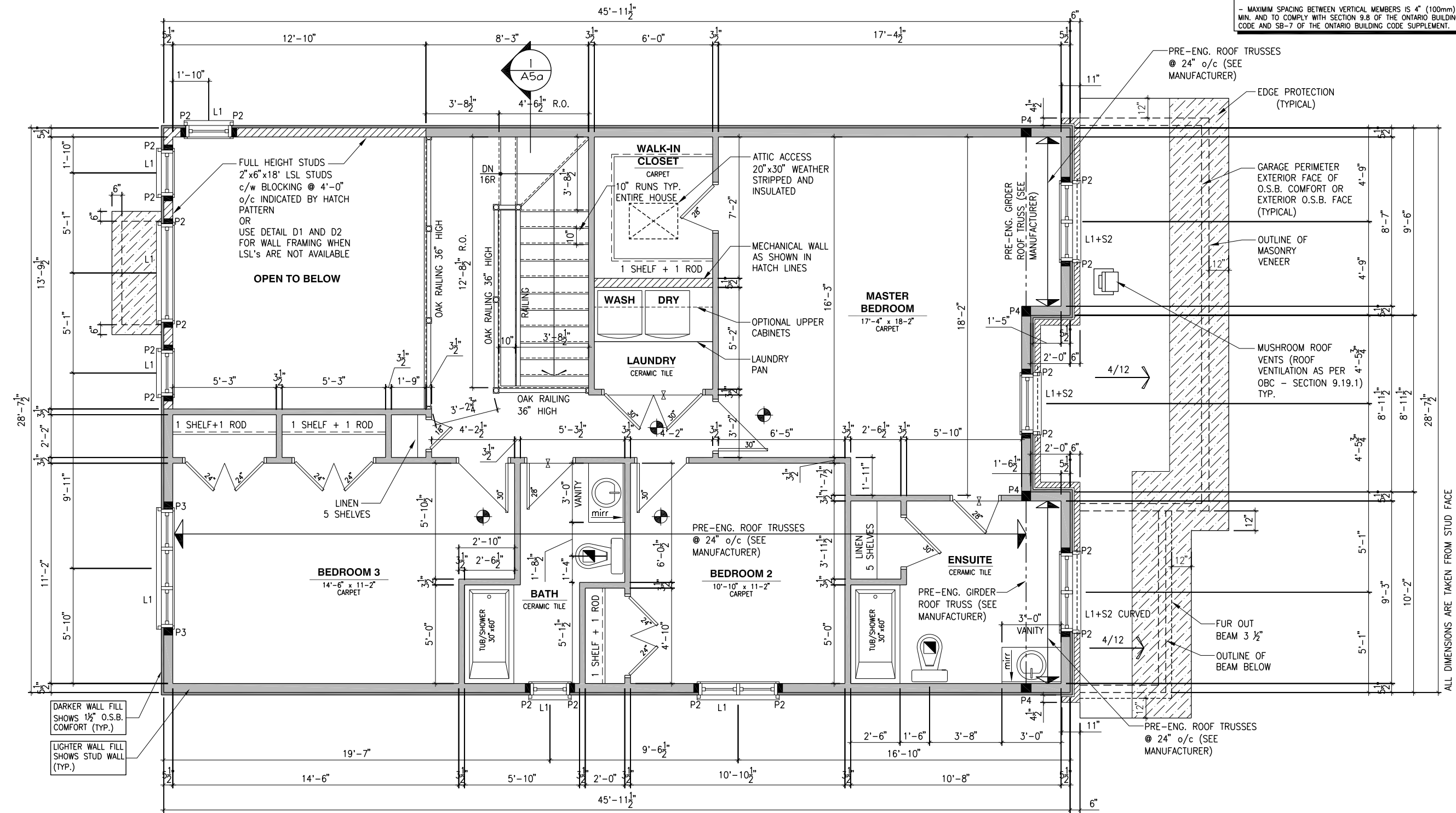
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

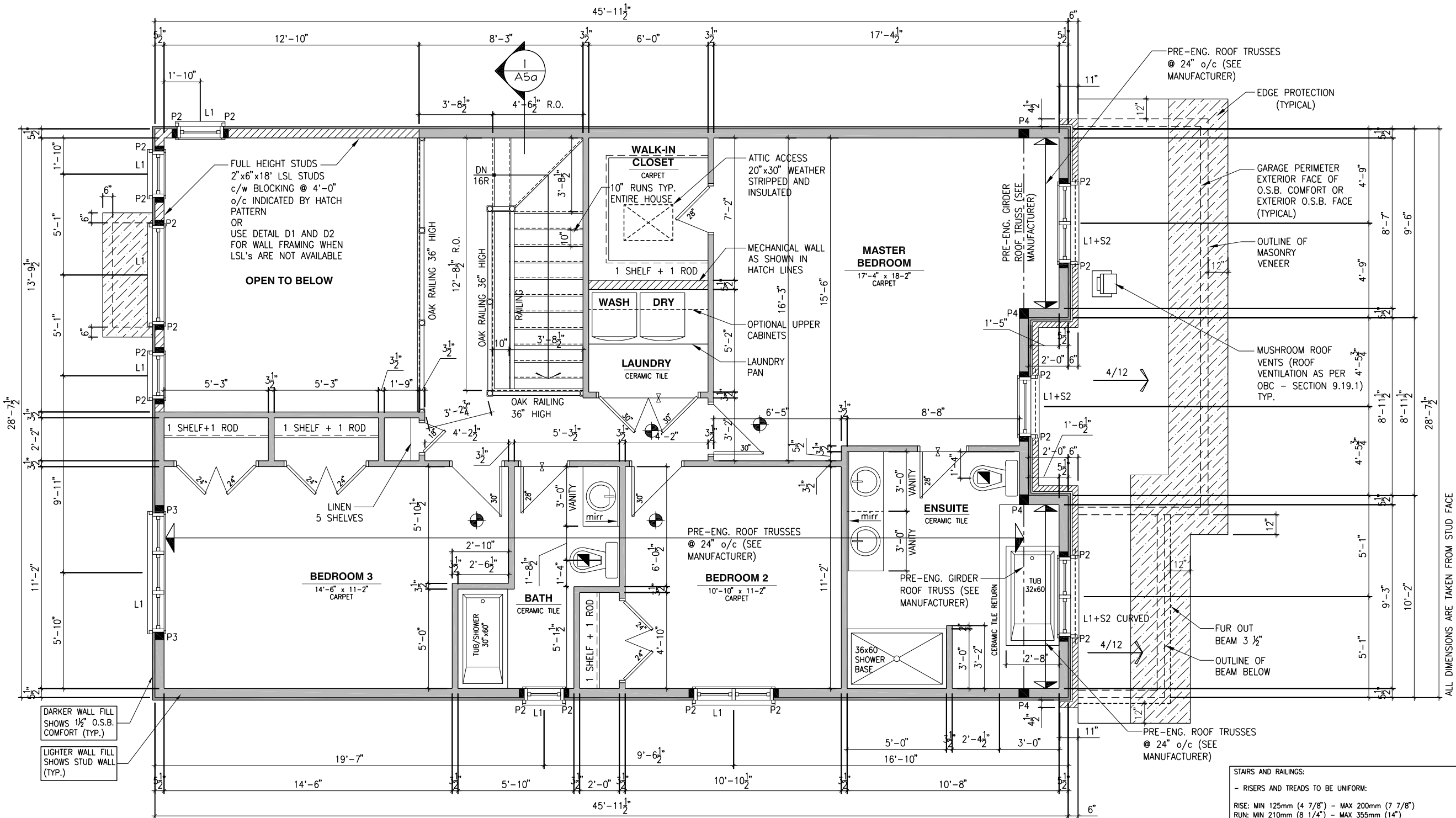
SHEET:

A8a



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
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LOT: XXXX
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2012 O.B.C. DRAWINGS

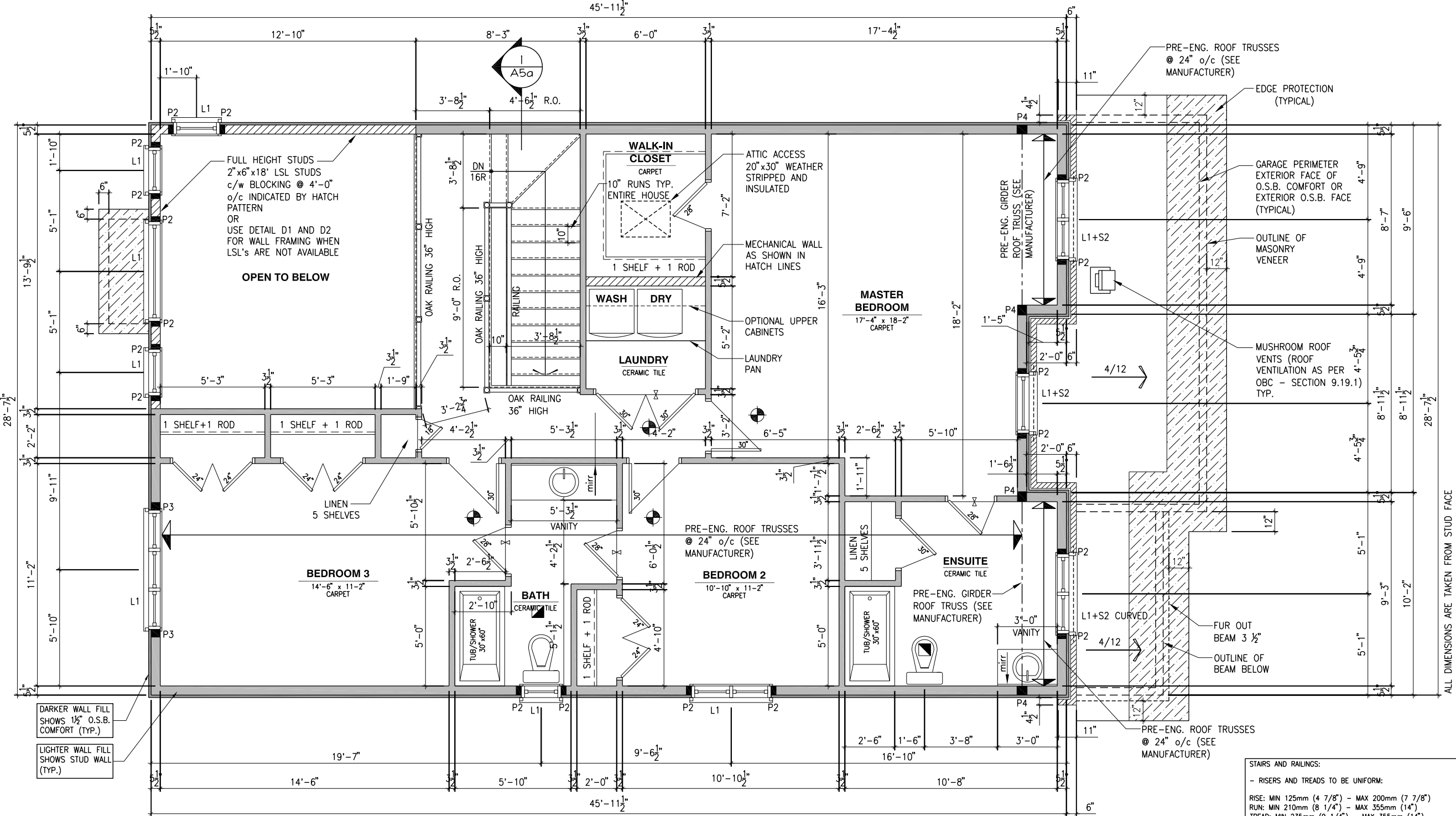
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. A (ENSUITE UPGRADE)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A8b



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (JACK & JILL)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED.
ELEV. A (JACK & JILL)**

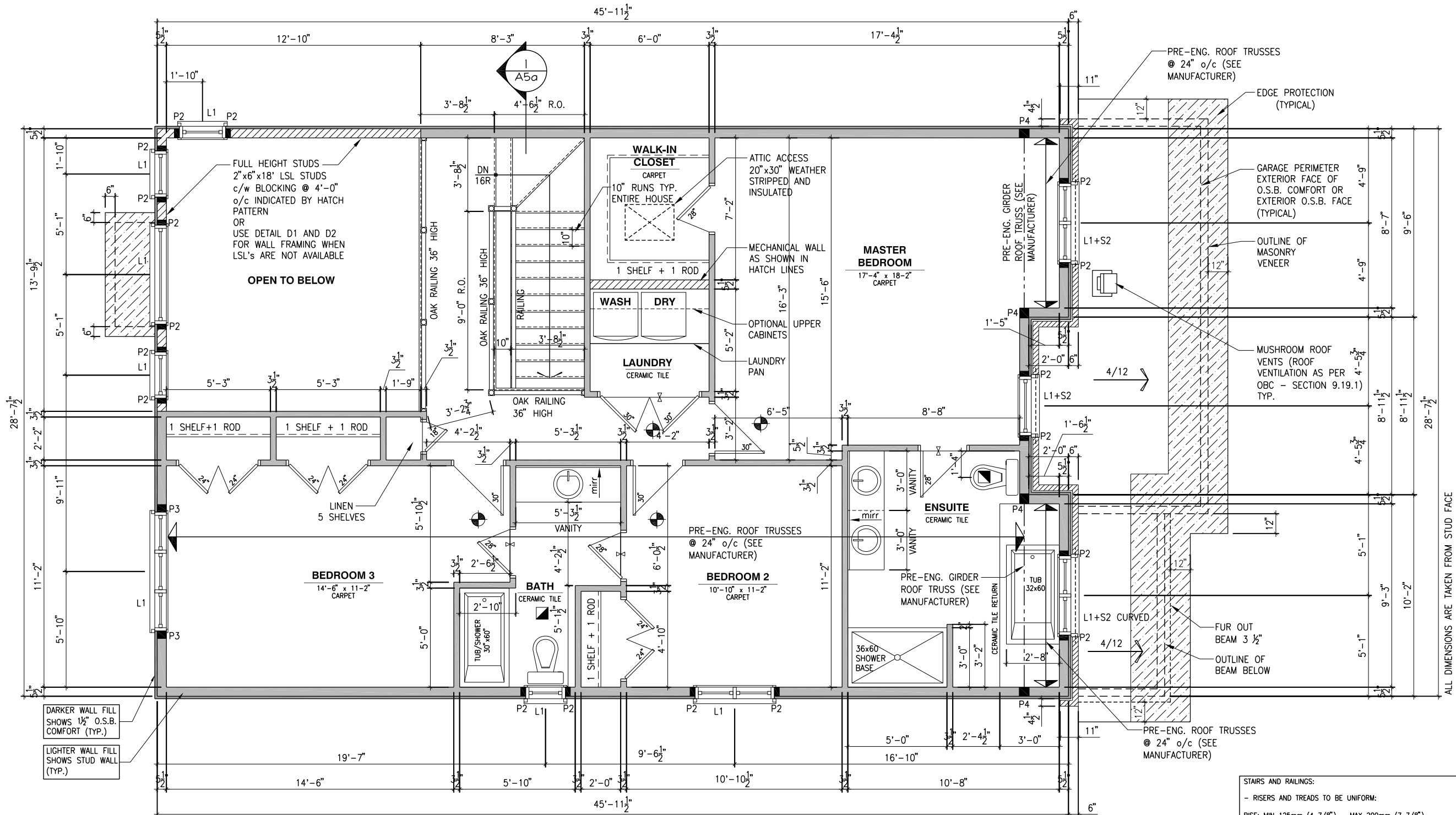
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8c



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
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DATE: XX/XX/XXXX

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- TARIION REGISTRATION NUMBER #611
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. A (JACK & JILL + ENS)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

A8d

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

NOTES:

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LOT: XXXX
DATE: XX/XX/XXXX

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(EX. P2 = 1 JACK + 1 STUD)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON
NO. DESCRIPTION DATE BY

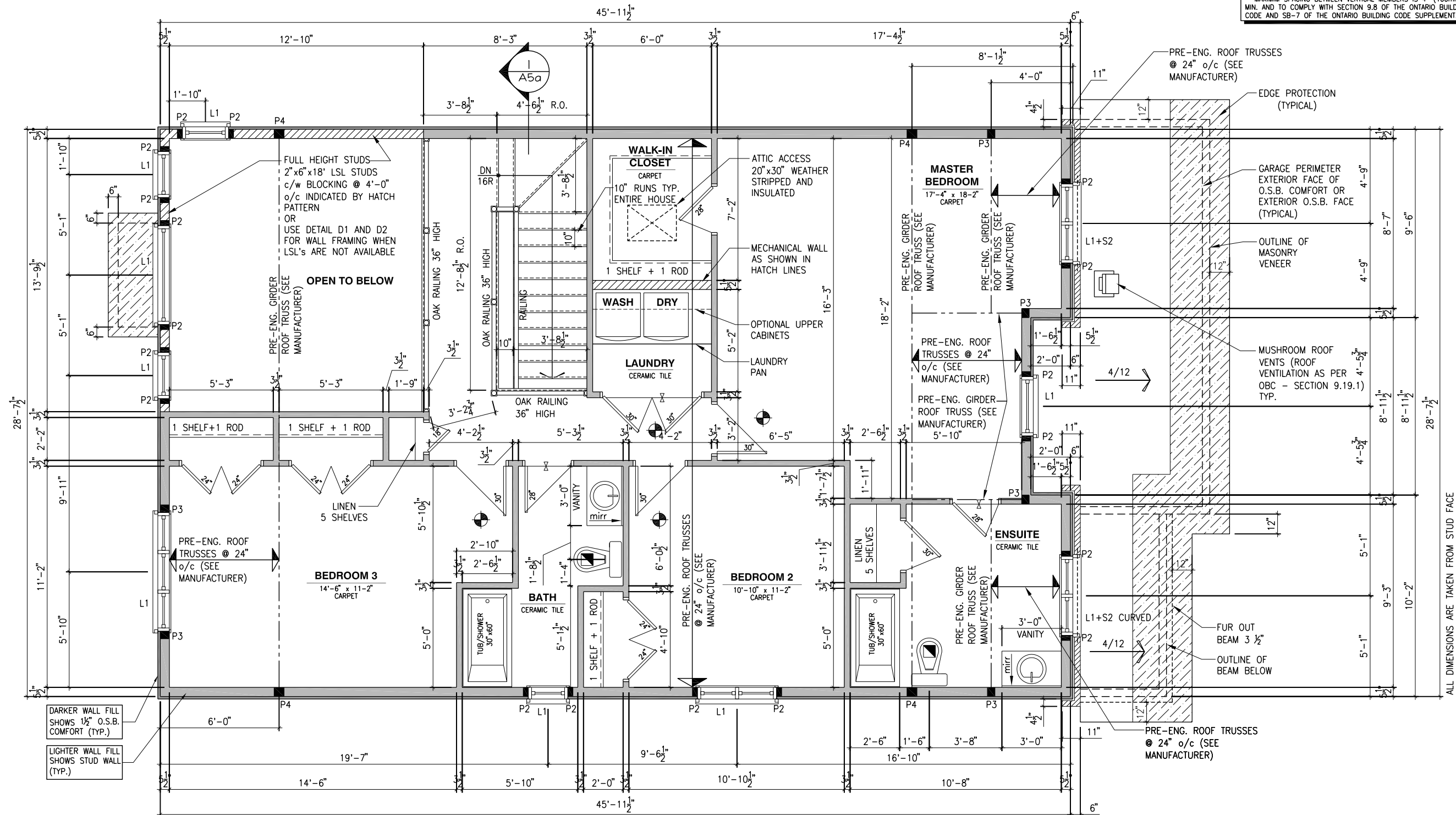
DRAWING: **SECOND FLOOR PLAN**
3 BEDROOM - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A8e

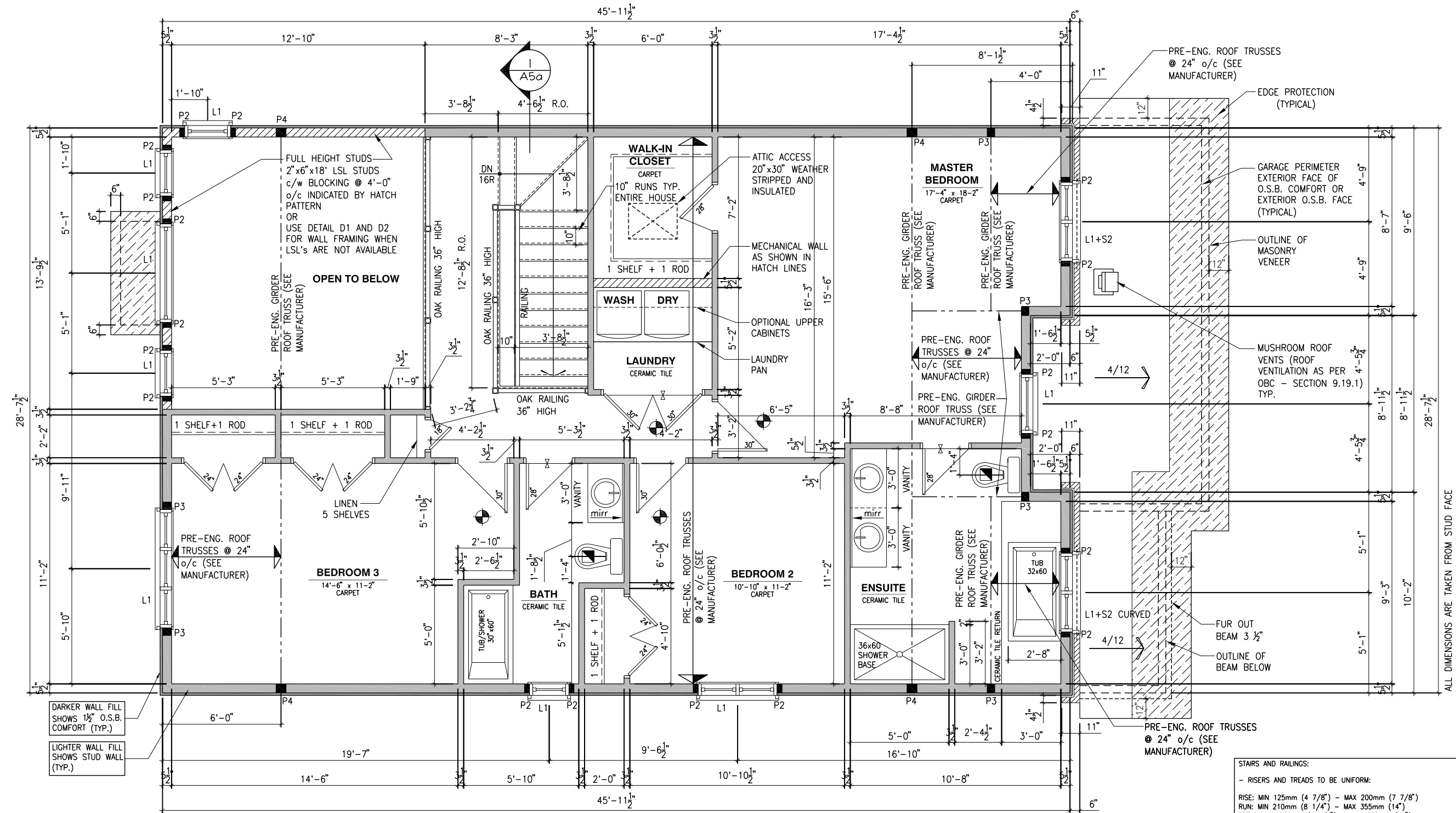


SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
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L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER
POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. B (ENSUITE UPGRADE)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

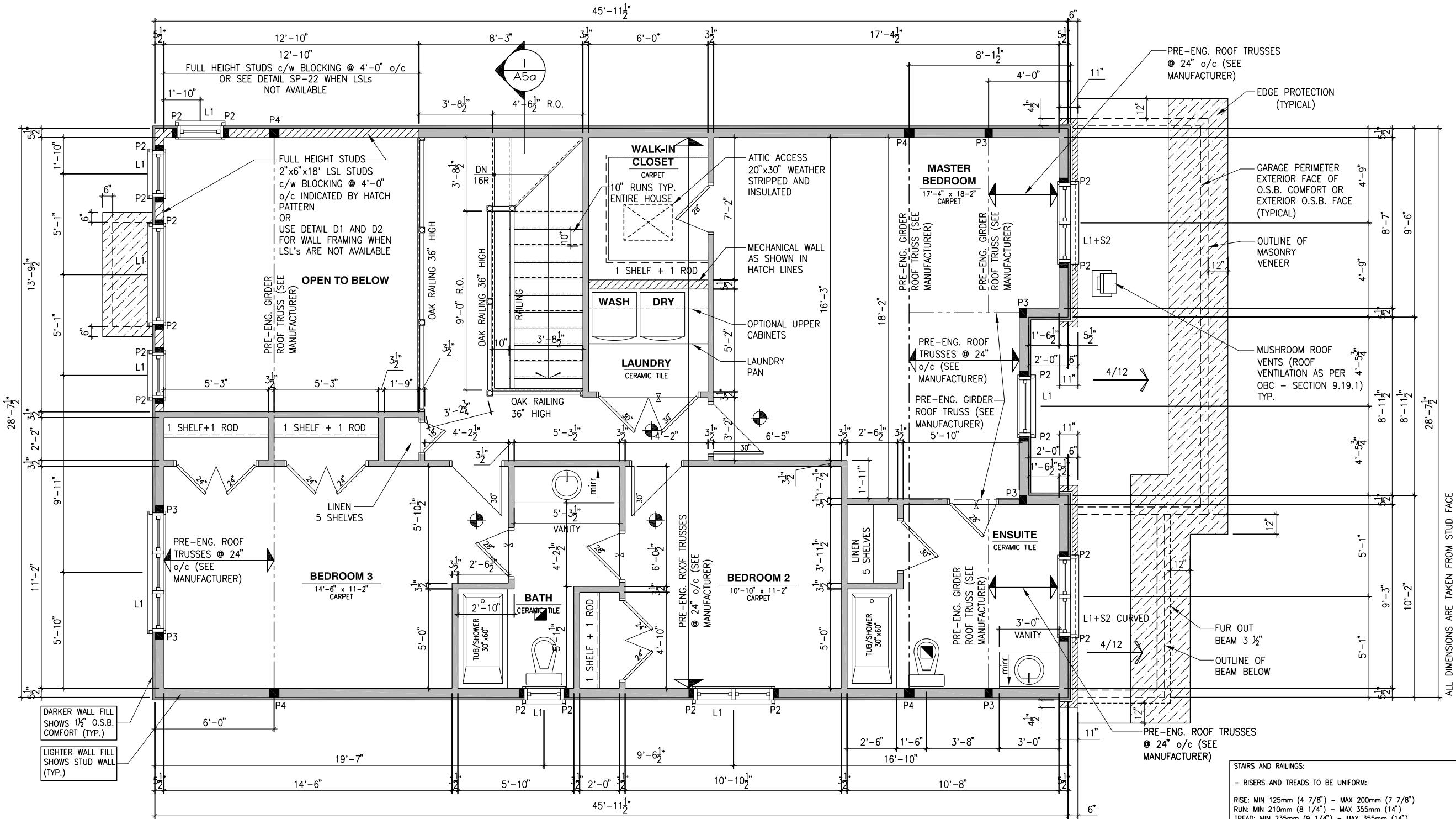
826 - THE BRADLEY 2022 FOOTPRINT

STANDARD DRAWINGS)

A8f

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.
NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 3 BED. ELEV. B (JACK AND JILL)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

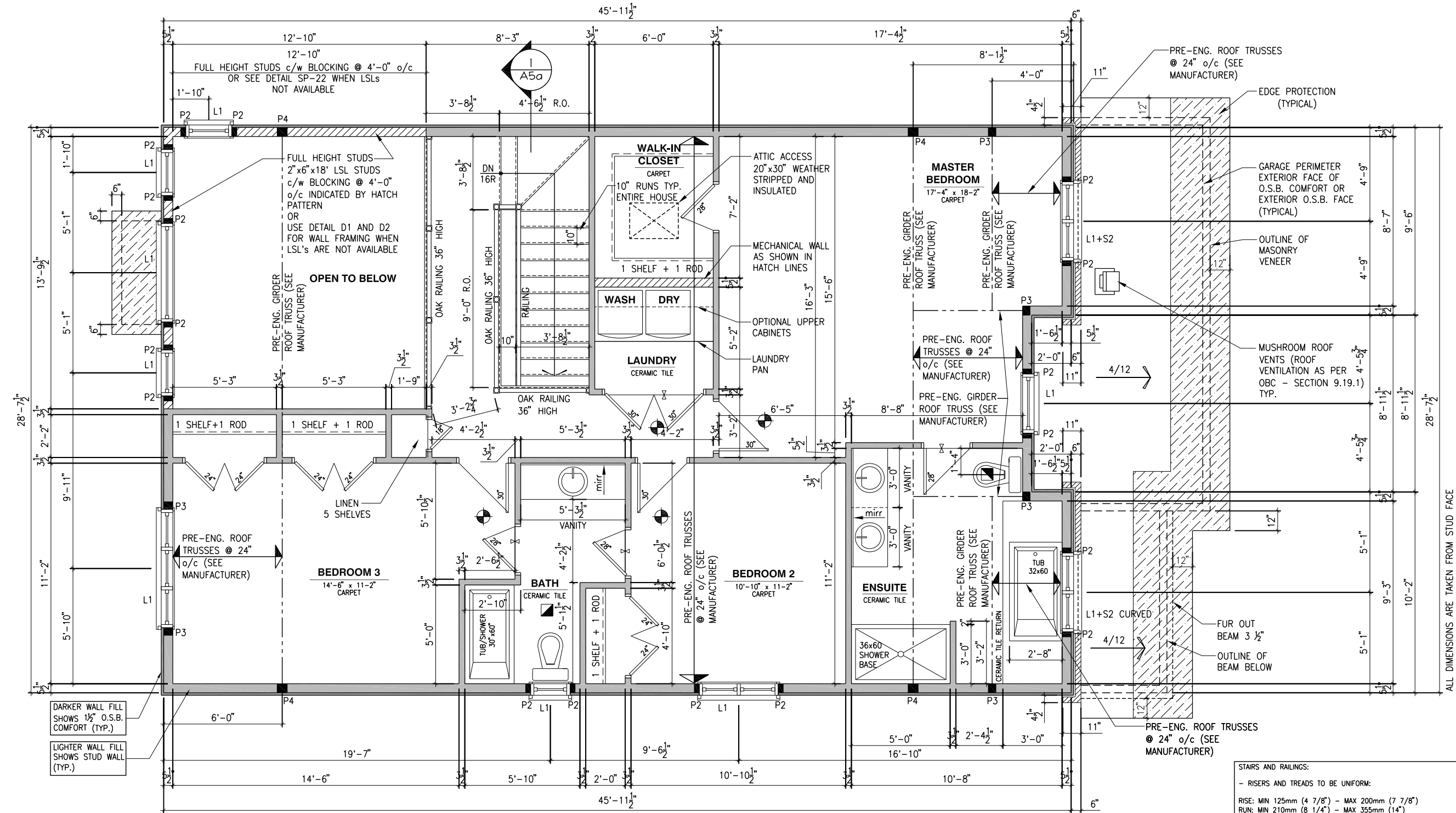
826 - THE BRADLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A8g

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
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TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
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- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
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- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:
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S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
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LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
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* PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - 3 BED. ELEV. B (JACK AND JILL & ENS)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT
(STANDARD DRAWINGS)

A8h

SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

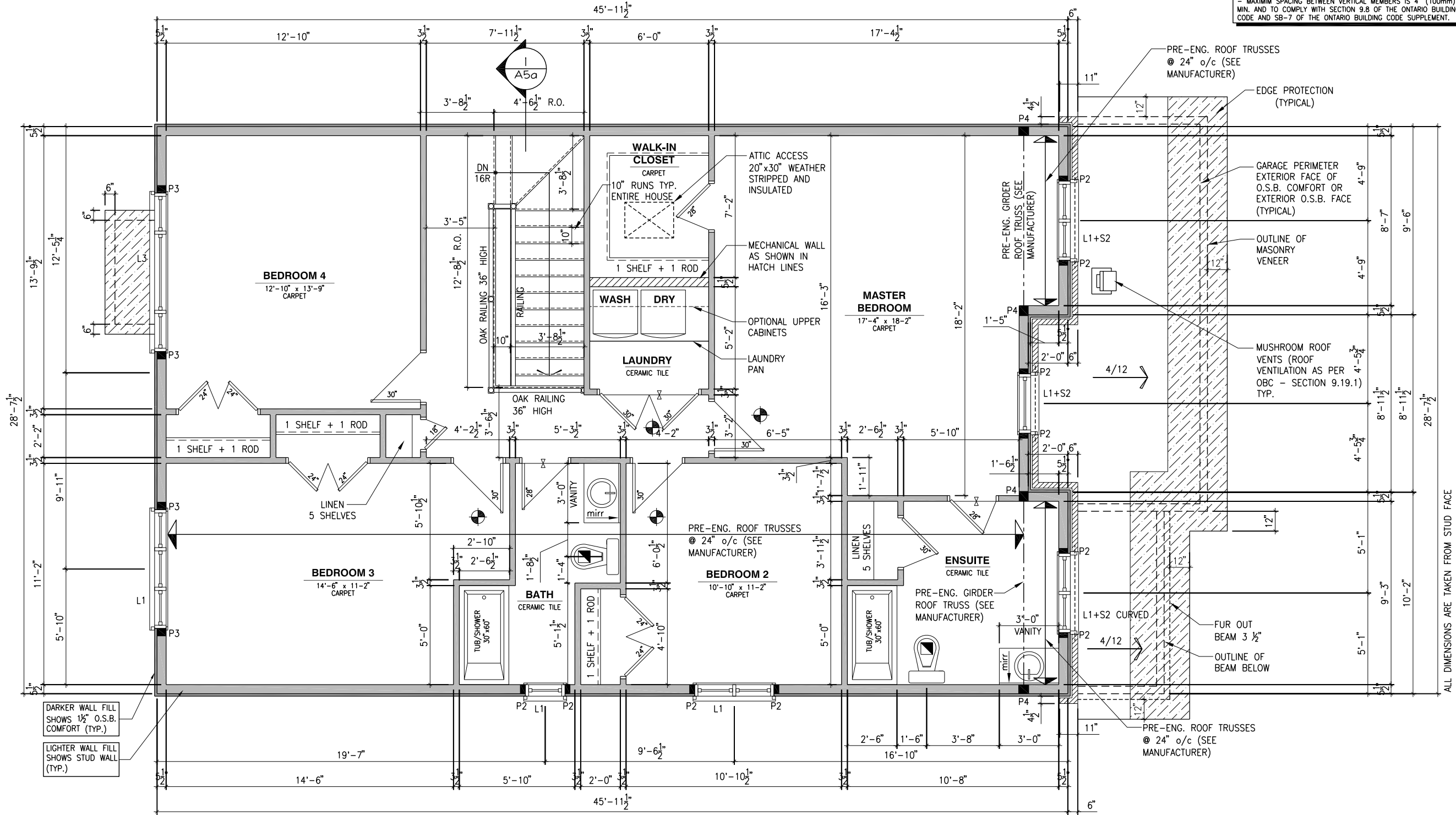
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
4 BEDROOM - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
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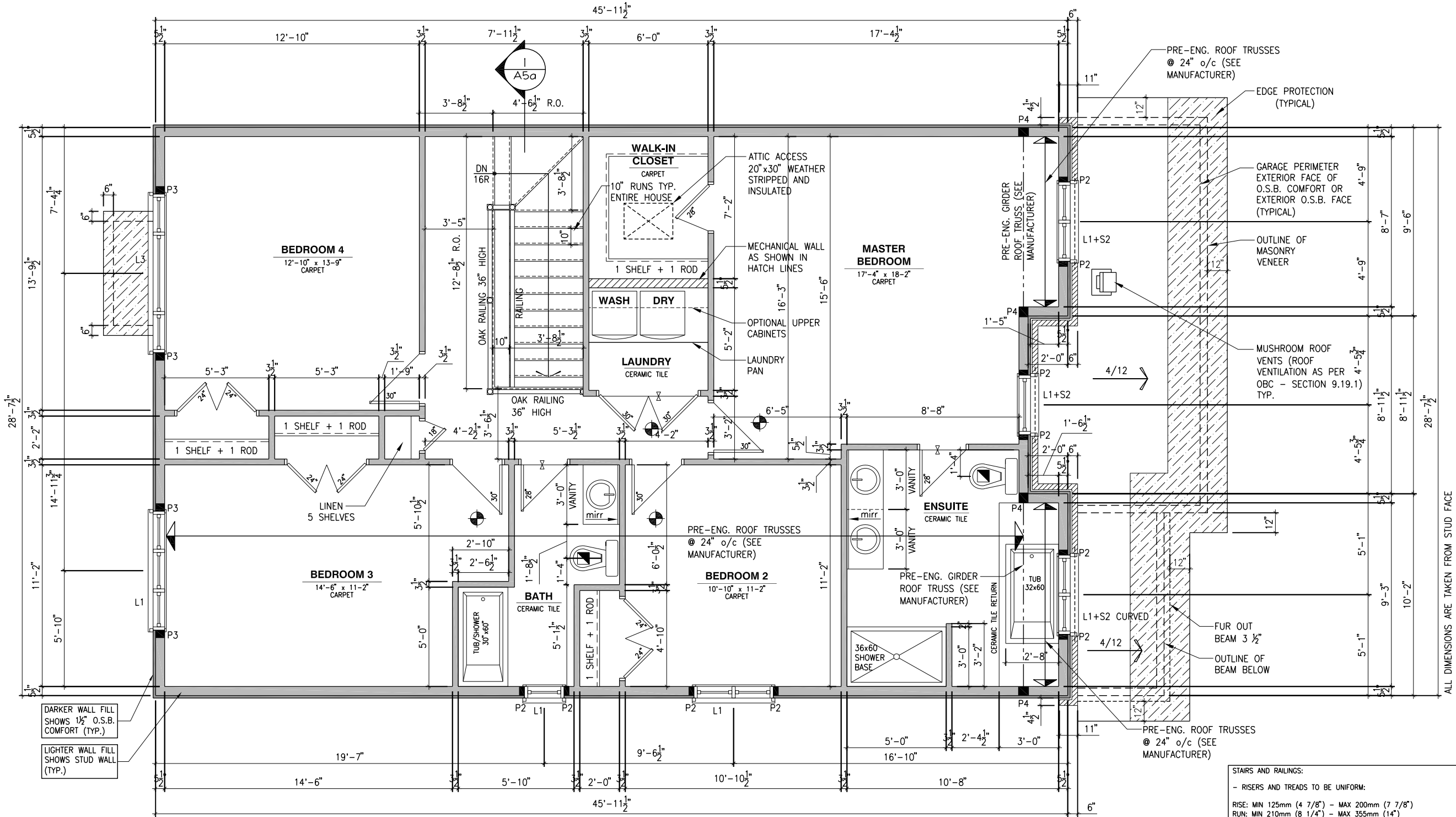


SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.
NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

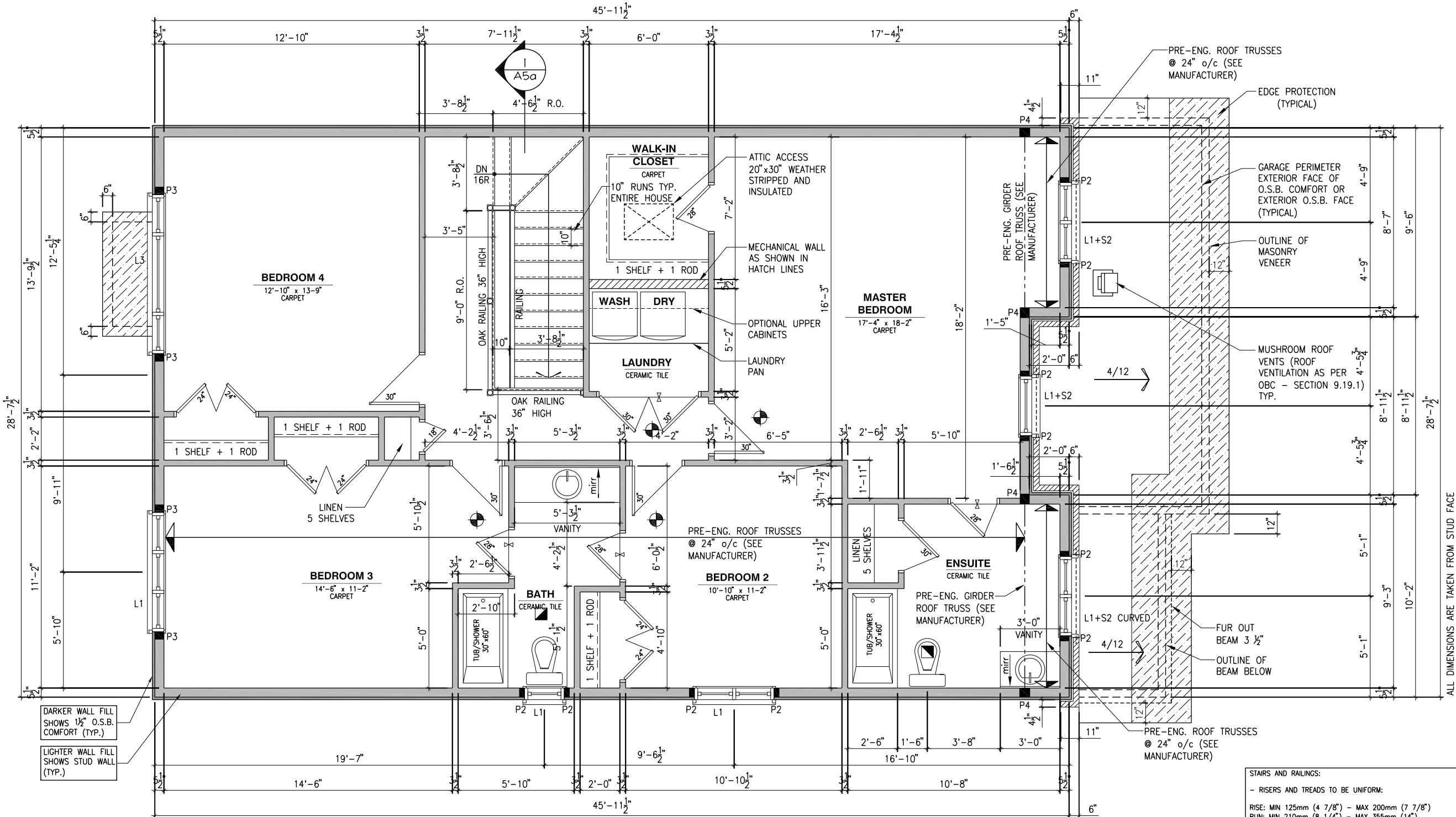
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - 4 BED. ELEV. A (ENSUITE UPGRADE)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT
(STANDARD DRAWINGS)

A8j



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (JACK & JILL)

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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- S7 = L 150x100x10 (8" BEARING)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

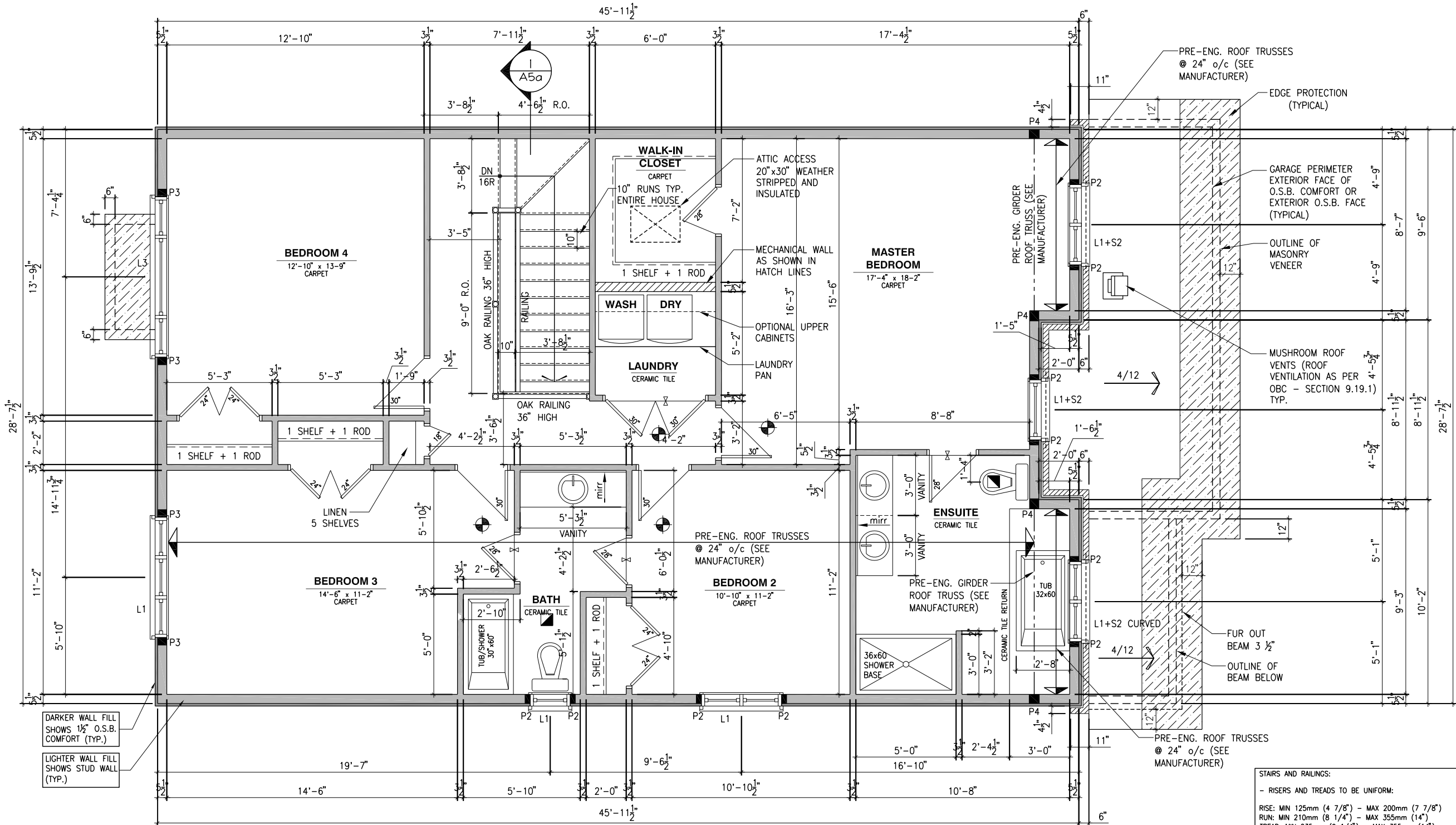
2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: SECOND FLOOR - 4 BED. ELEV. A (ENSUITE UPGRADE)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2022 FOOTPRINT (STANDARD DRAWINGS) A8k



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY
1	2012 O.B.C. DRAWINGS		
2			
3			
4			
5			
6			
7			
8			
9			
10			

DRAWING: **SECOND FLOOR - 4 BED. ELEV. A (ENSUITE UPGRADE)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A81

SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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NOTE:

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

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STAIRS AND RAILINGS:

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WIDTH: MIN 860mm (2'-10")
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LOT: XXXX
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Valecraft
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
4 BEDROOM - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

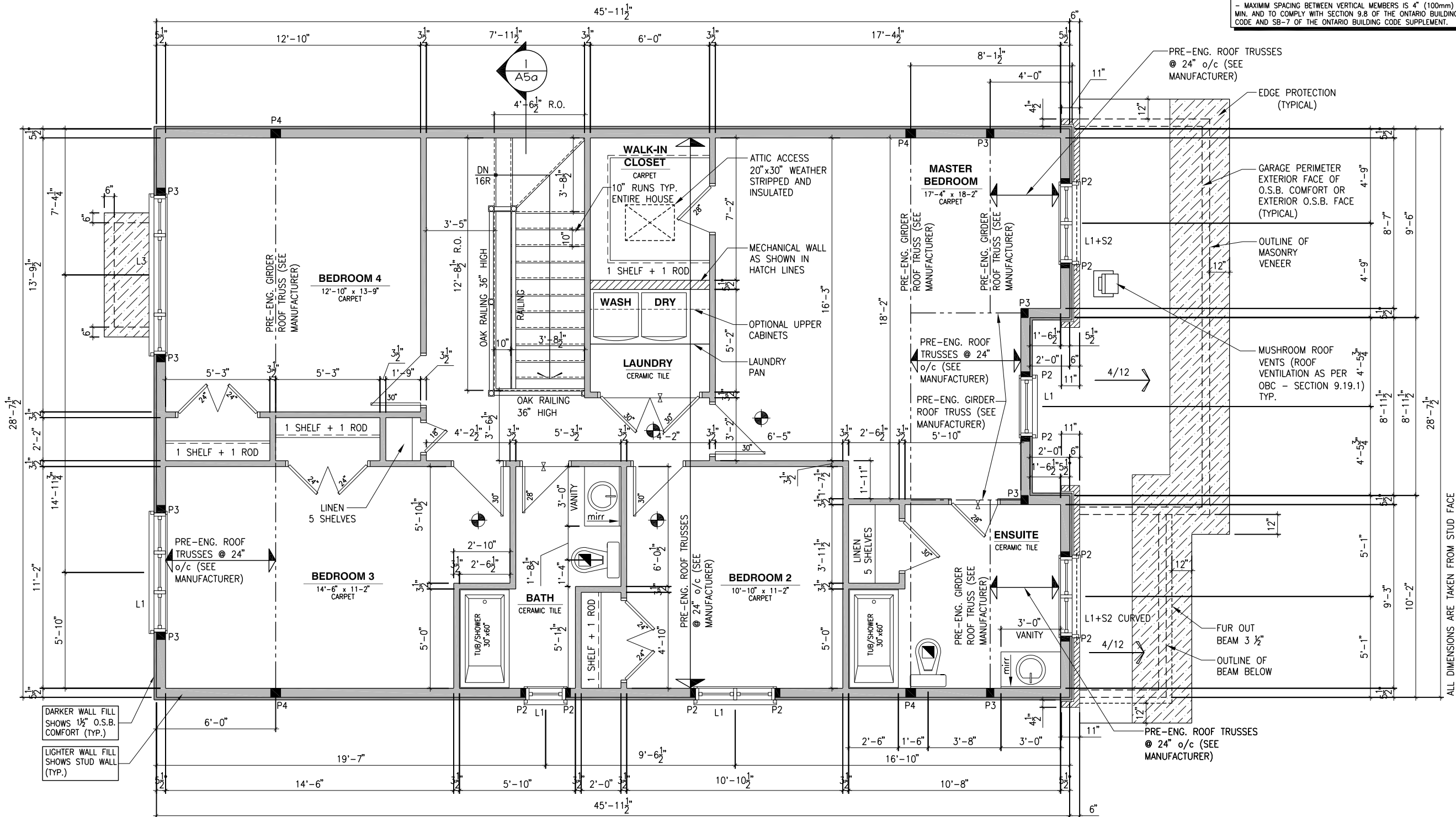
(STANDARD DRAWINGS)

SHEET:

A8m

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"



•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

SHEET:
A8n

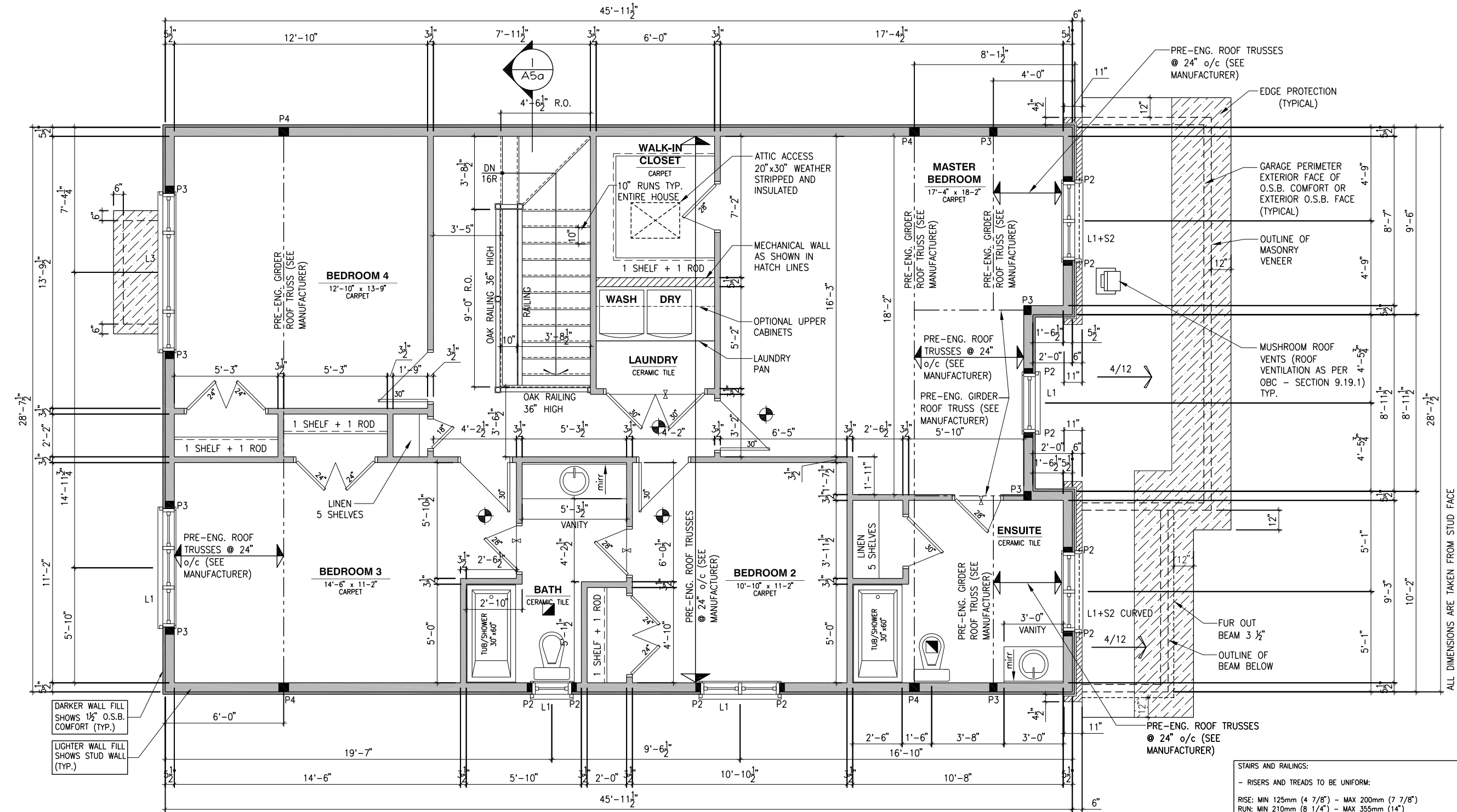


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SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (JACK & JILL)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
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RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

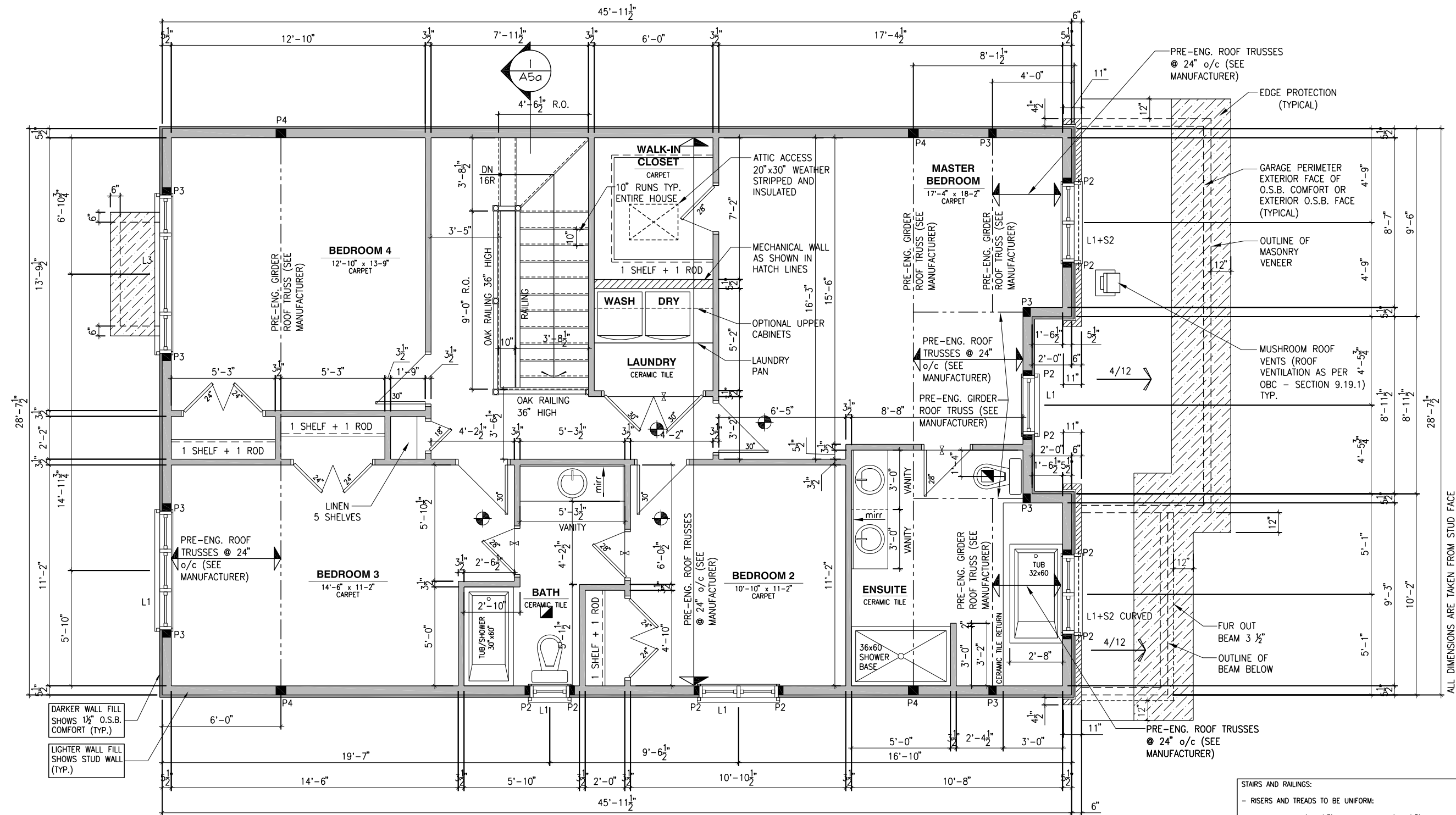
POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2 = 2-2x4 OR 2-2x6
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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"
☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON

DRAWING: **SECOND FLOOR - 4 BED. ELEV. B (JACK & JILL)**
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX
826 - THE BRADLEY 2022 FOOTPRINT SHEET: **A80**
(STANDARD DRAWINGS)



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

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STAIRS AND RAILINGS:

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RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
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- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
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- P5 = 5-2x4 OR 5-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR - 4 BED.
ELEV. B (JACK & JILL + ENS.)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

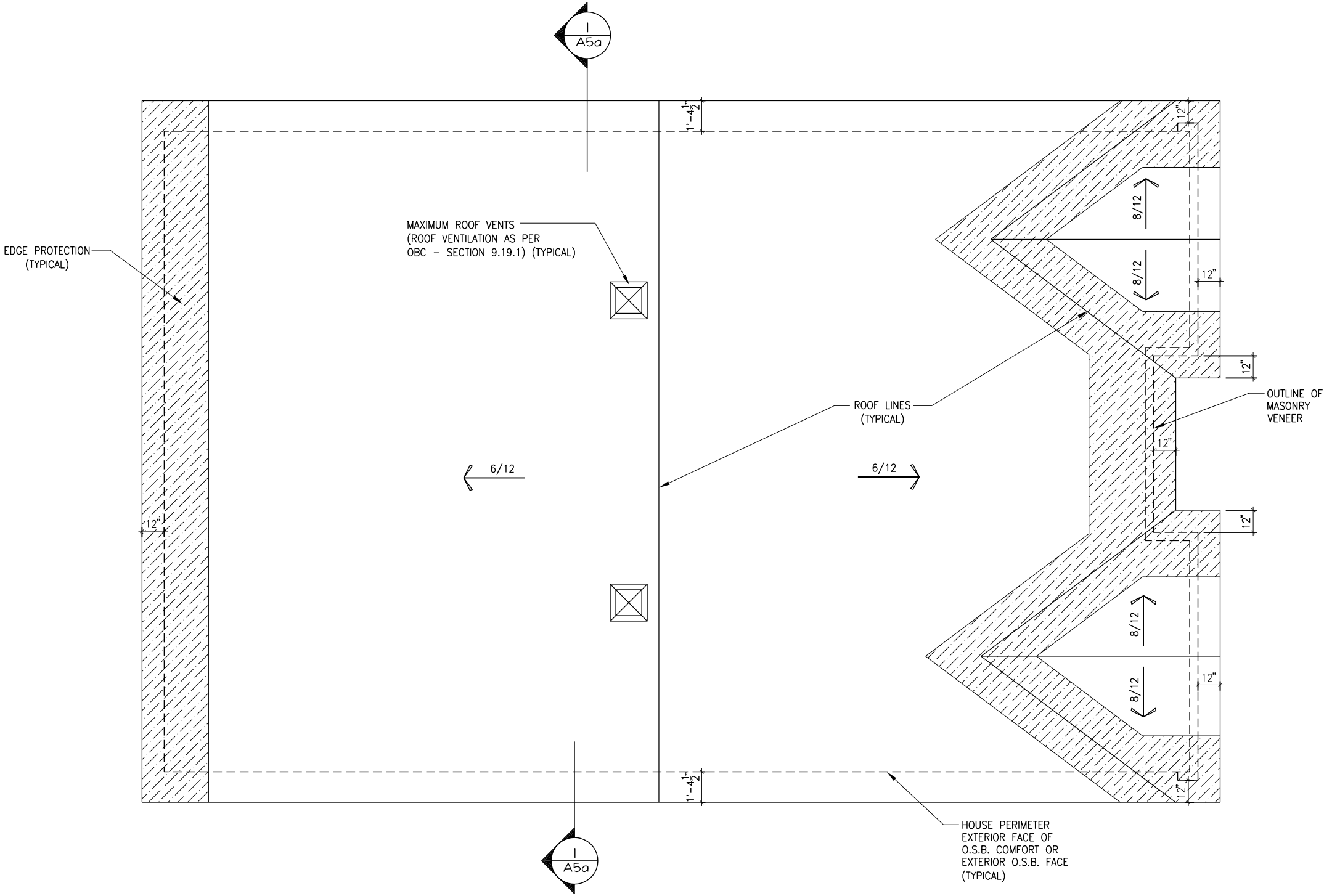
826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A8p

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - 3 AND 4 BEDROOM -ELEVATION A

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

ValecraftHomes (2019) Limited

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

01/12/2022

DOYON

NO.

DESCRIPTION

DATE

BY

DRAWING:ROOF PLAN

3 & 4 BEDROOM - ELEVATION A

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

826 - THE BRADLEY

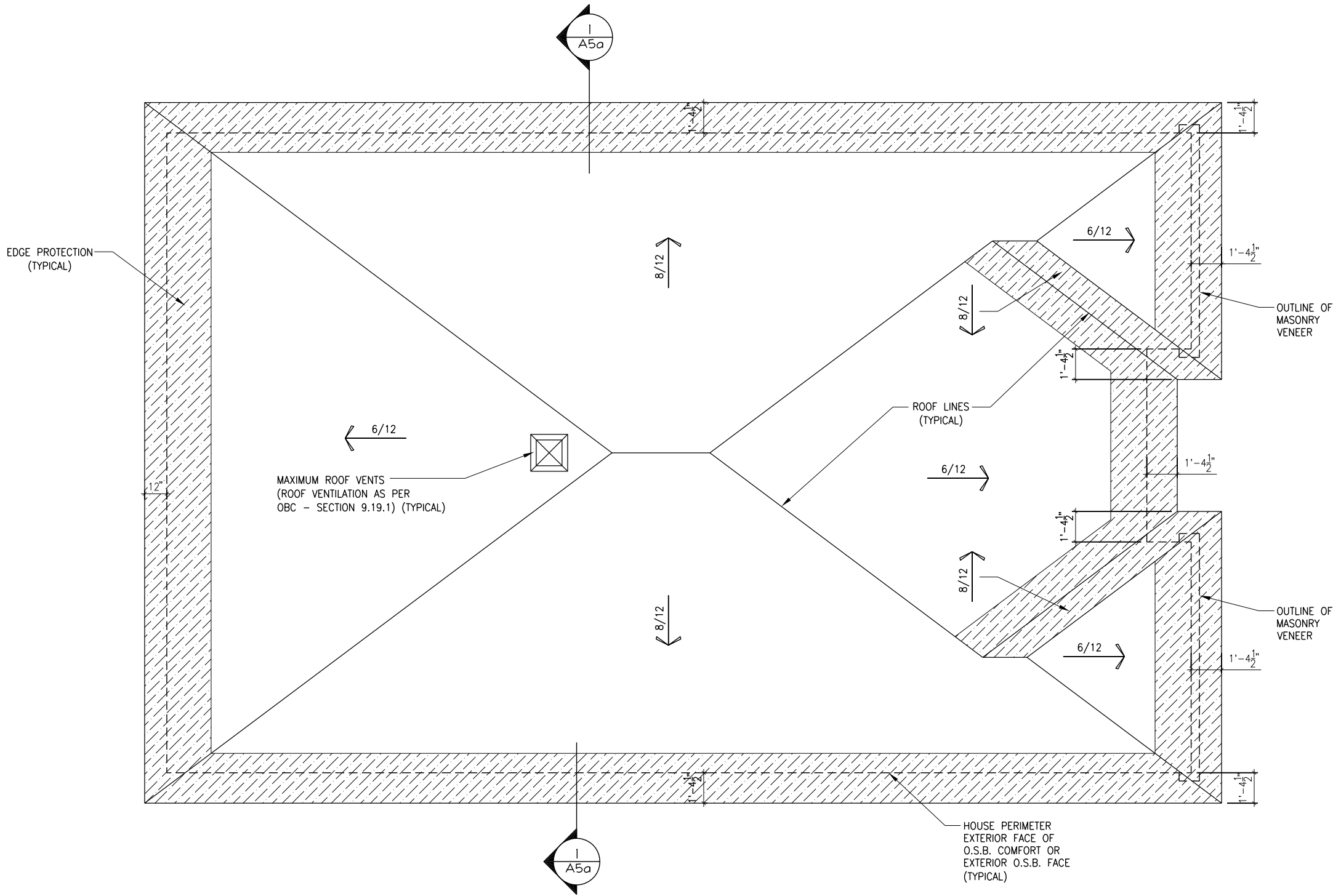
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:A9a

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ROOF PLAN - 4 BEDROOM -ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- POST TABLE:
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 - POST BY USP
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

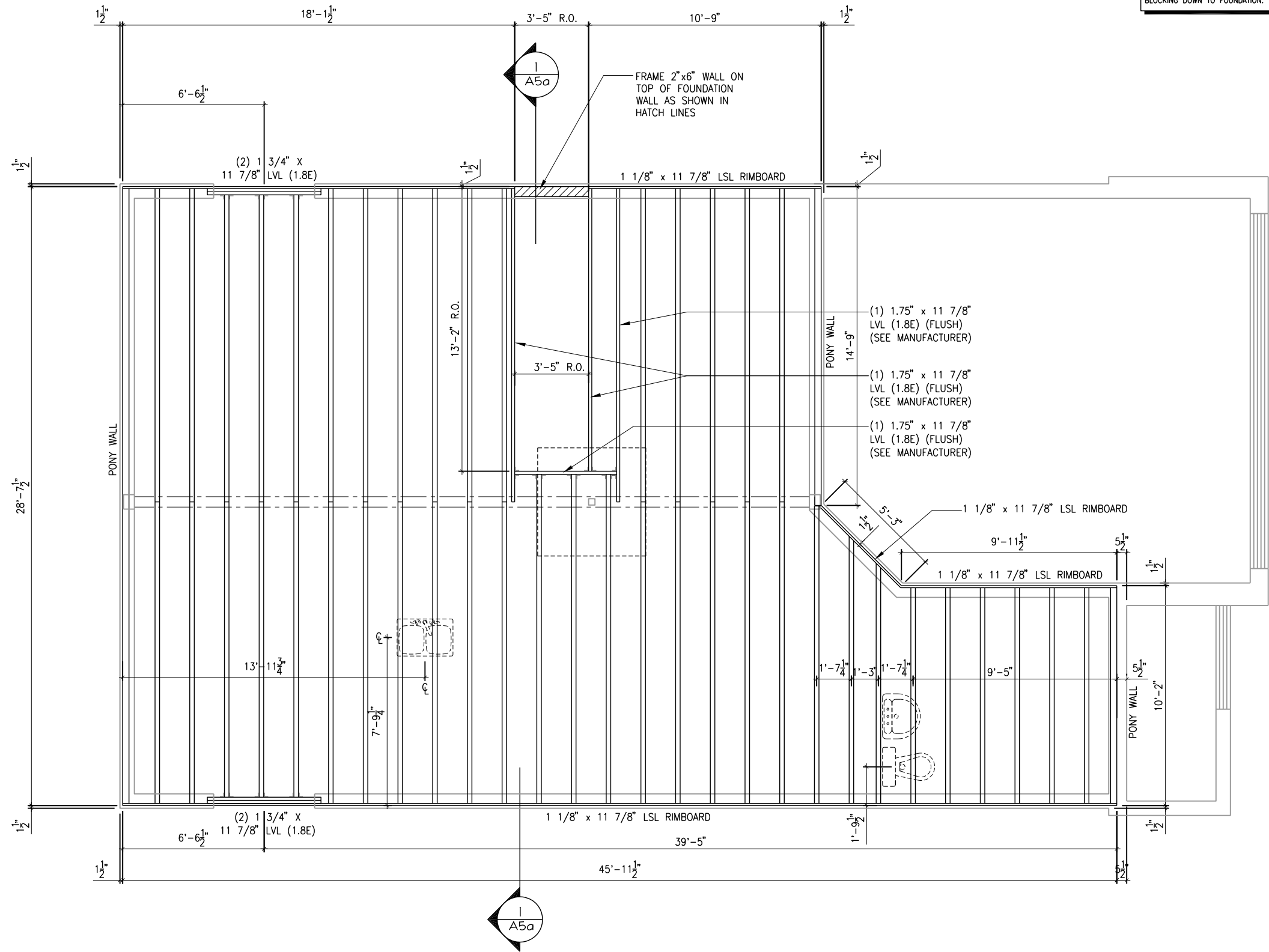
DRAWING: **ROOF PLAN**
3 & 4 BEDROOM - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A9b**



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DATE: XX/XX/XXXX

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Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT
3 AND 4 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

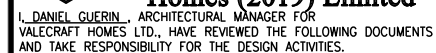
SHEET:

A10a

GROUND FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - STANDARD KITCHEN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

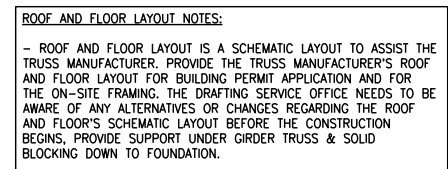
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SCALE: 3/16" = 1'-0"

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**
3 AND 4 BED. - ELEV. A AND B

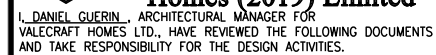
ADDRESS:	SCALE:	DATE:
XX	$\frac{3}{16}'' = 1'-0''$	XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:

A10b

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

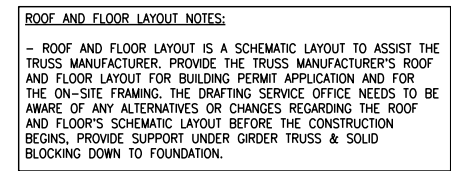
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GROUND FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - OPTIONAL KITCHEN #2 - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**
3 AND 4 BED. - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10c

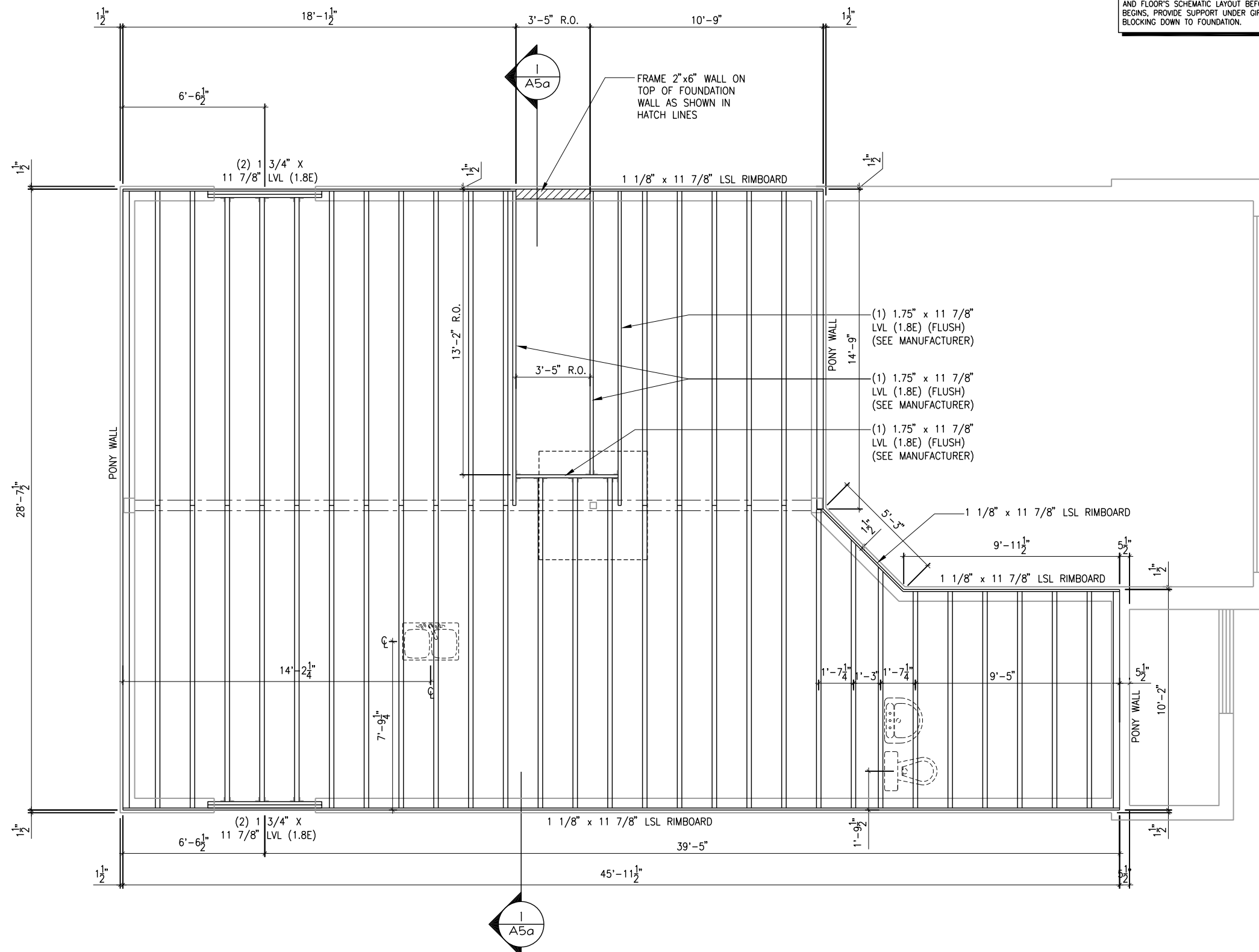


Valecraft
Homes (2019) Limited

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SCALE: 3/16" = 1'-0"

[illegible]

DRAWING: **GROUND - JOIST LAYOUT**
3 AND 4 BED. - ELEV. A AND B

(STANDARD DRAWINGS)

A10d



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FOR

FILED: 2020-09-23 10:00:00 AM

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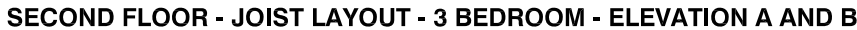
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SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022
NO.	DESCRIPTION	DATE

DRAWING: **2nd FLOOR-JOIST LAYO**
3 BED. - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	$\frac{3}{16}'' = 1'-0''$	XX/XX

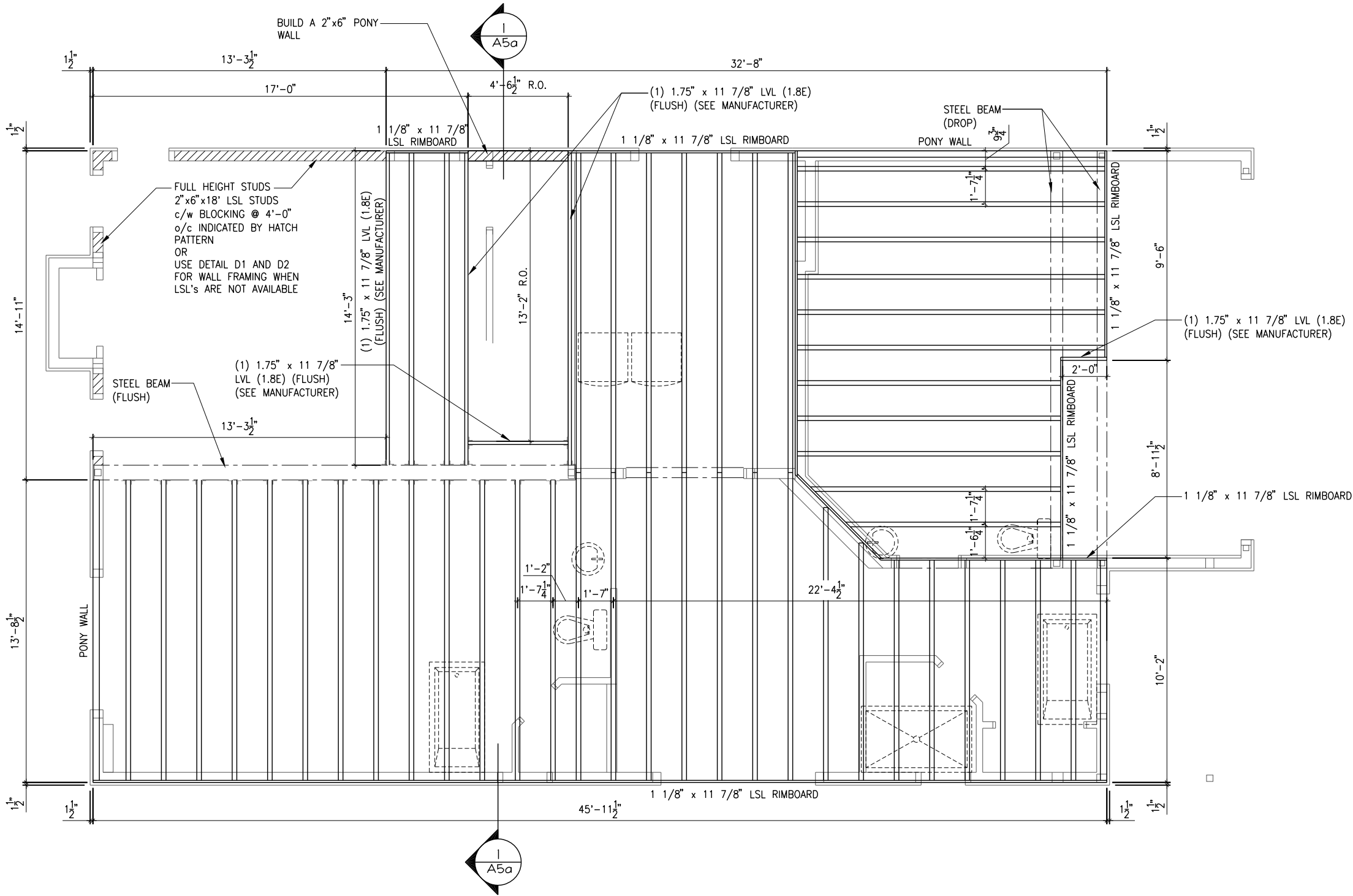
826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET

A

SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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NO.	DESCRIPTION	DATE	BY

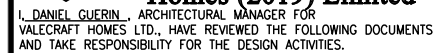
DRAWING: 2nd FLOOR-JOIST LAYOUT
3 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A11b

DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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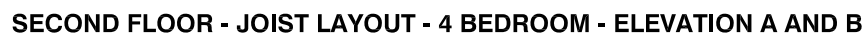
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SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT**
4 BED. - ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	$\frac{3}{16}'' = 1'-0''$	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

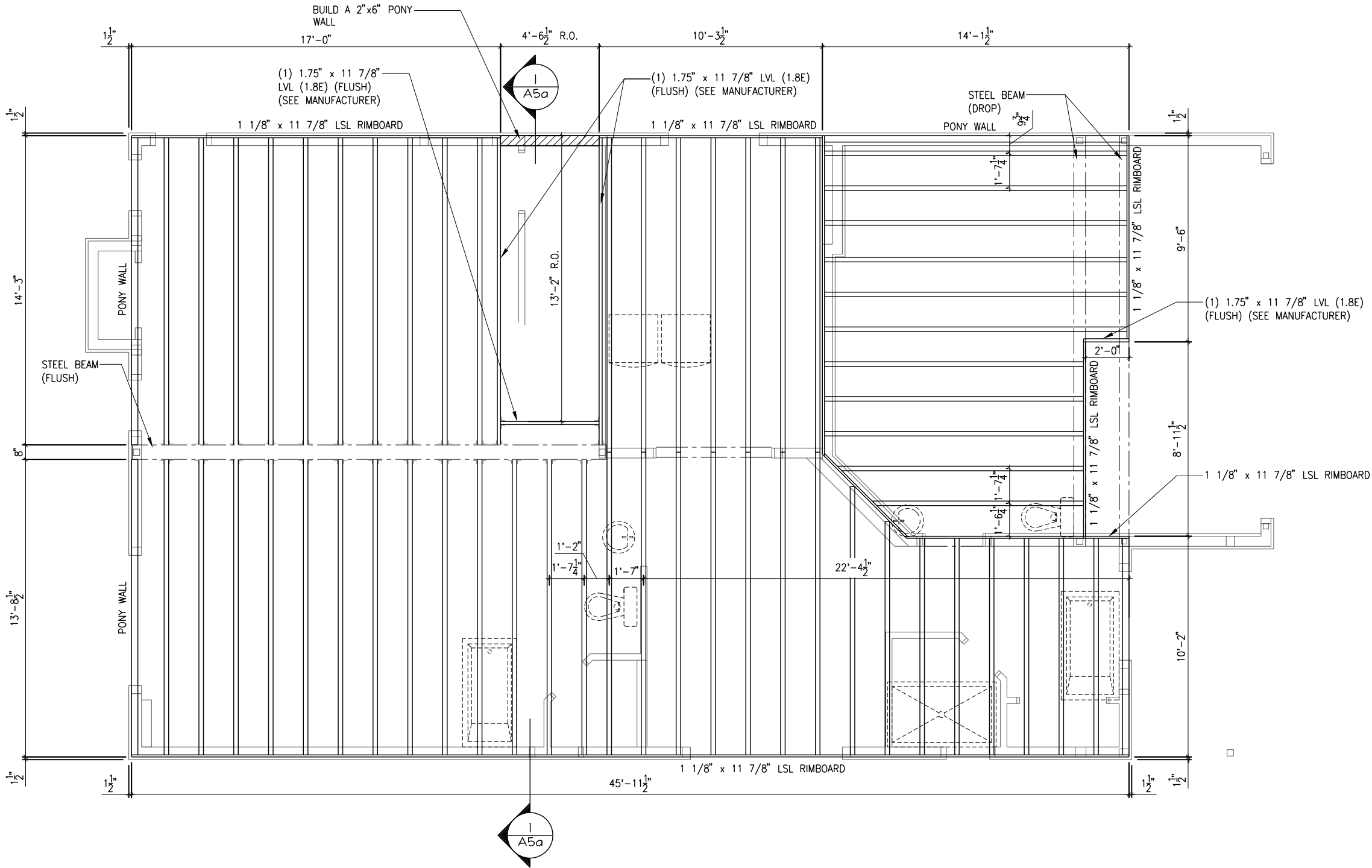
(STANDARD DRAWINGS)

SHEET:

A11c

SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
4 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

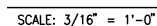
A11d



Valecraft
Homes (2019) Limited

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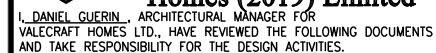
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(STANDARD DRAWINGS)

A11e

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SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOY
NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT**
3 BED. - ELEV. A AND B

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11f

LOT: XXXX
DATE: XX/XX/XXXX



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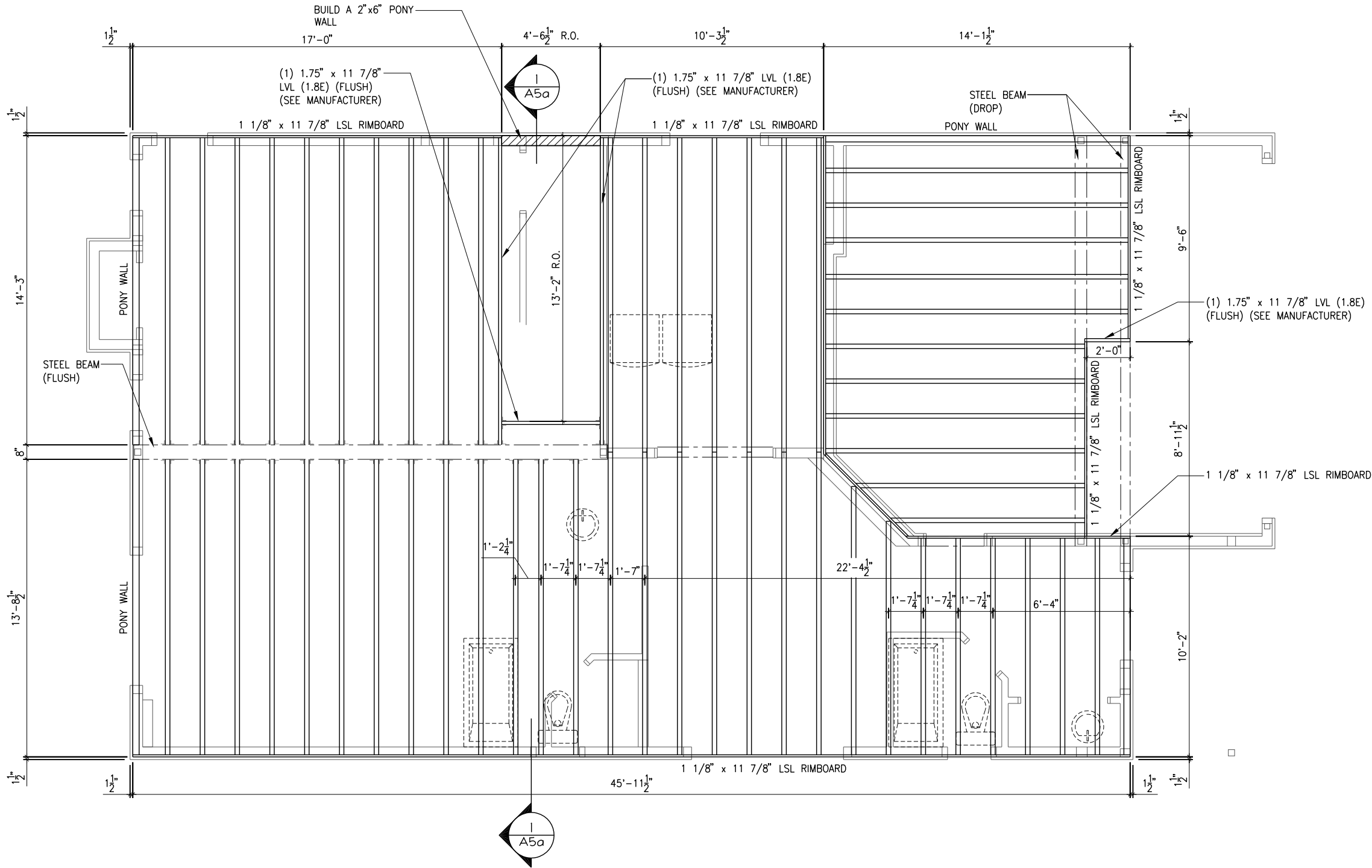
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SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (JACK & JILL)

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
4 BED. - ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT

(STANDARD DRAWINGS)

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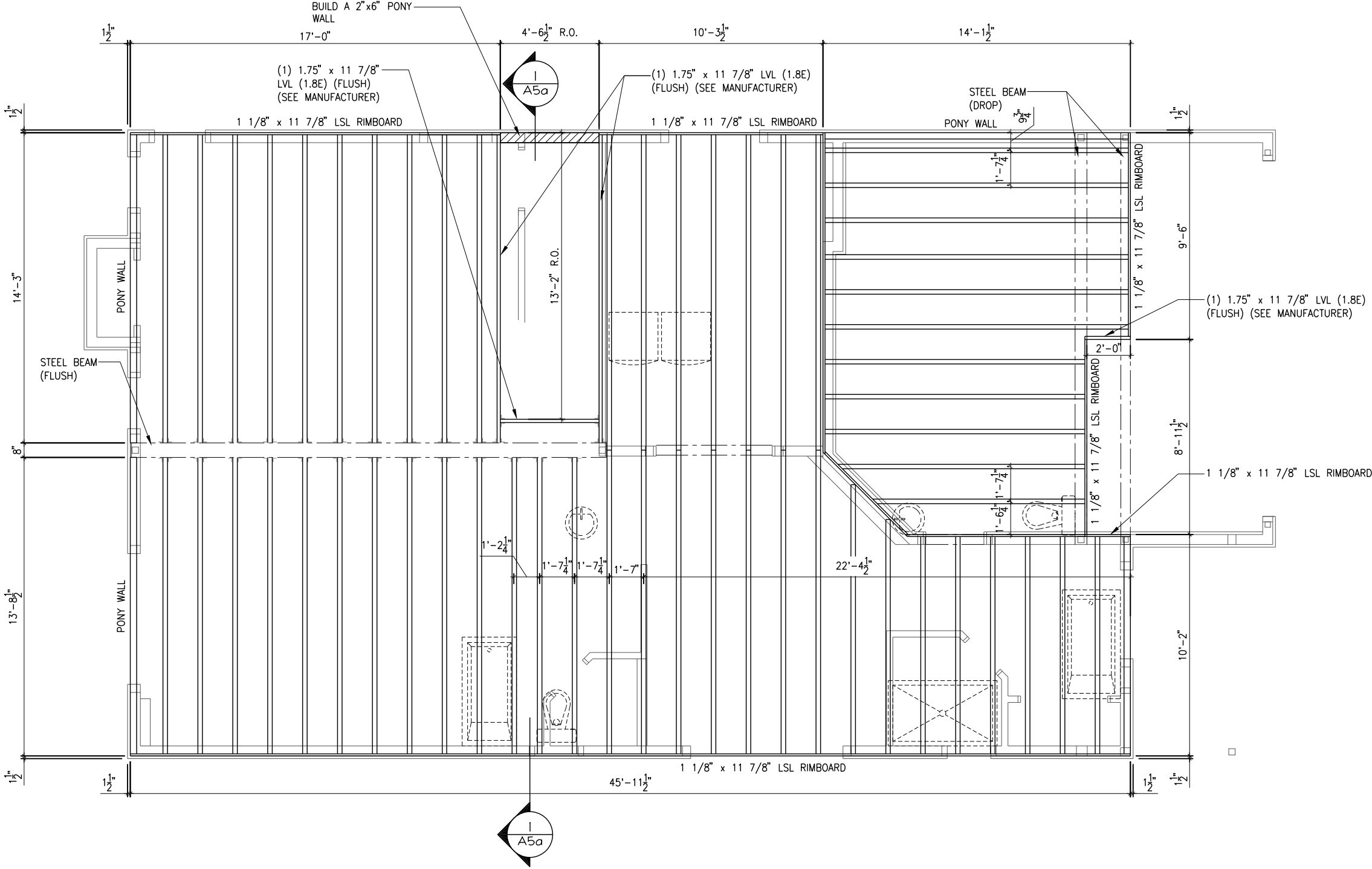
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SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (JACK & JILL ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

DRAWING: 2nd FLOOR-JOIST LAYOUT
4 BED. - ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT

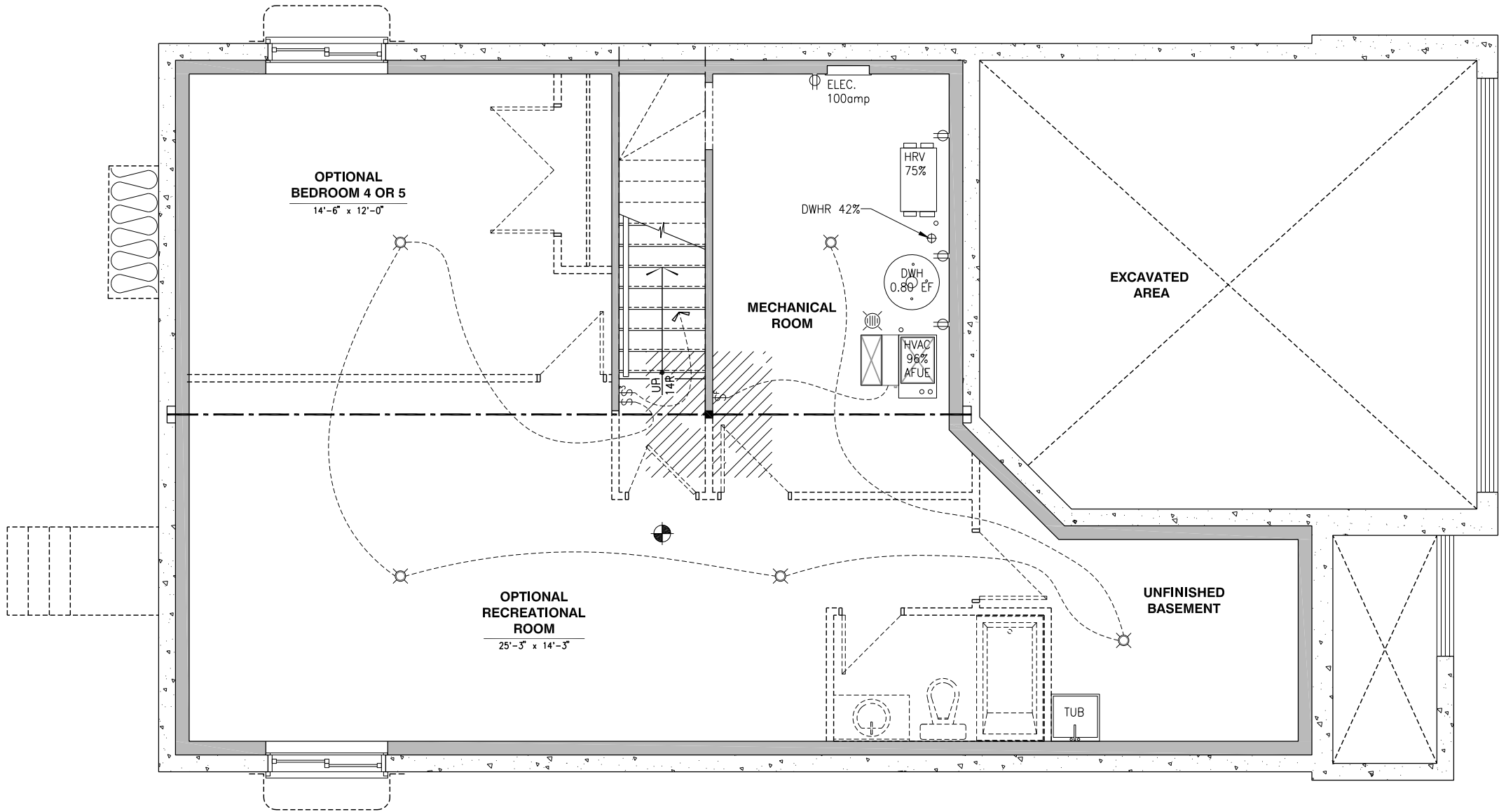
(STANDARD DRAWINGS)

SHEET:

A11h

ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:
ELECTRICAL PLAN - BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

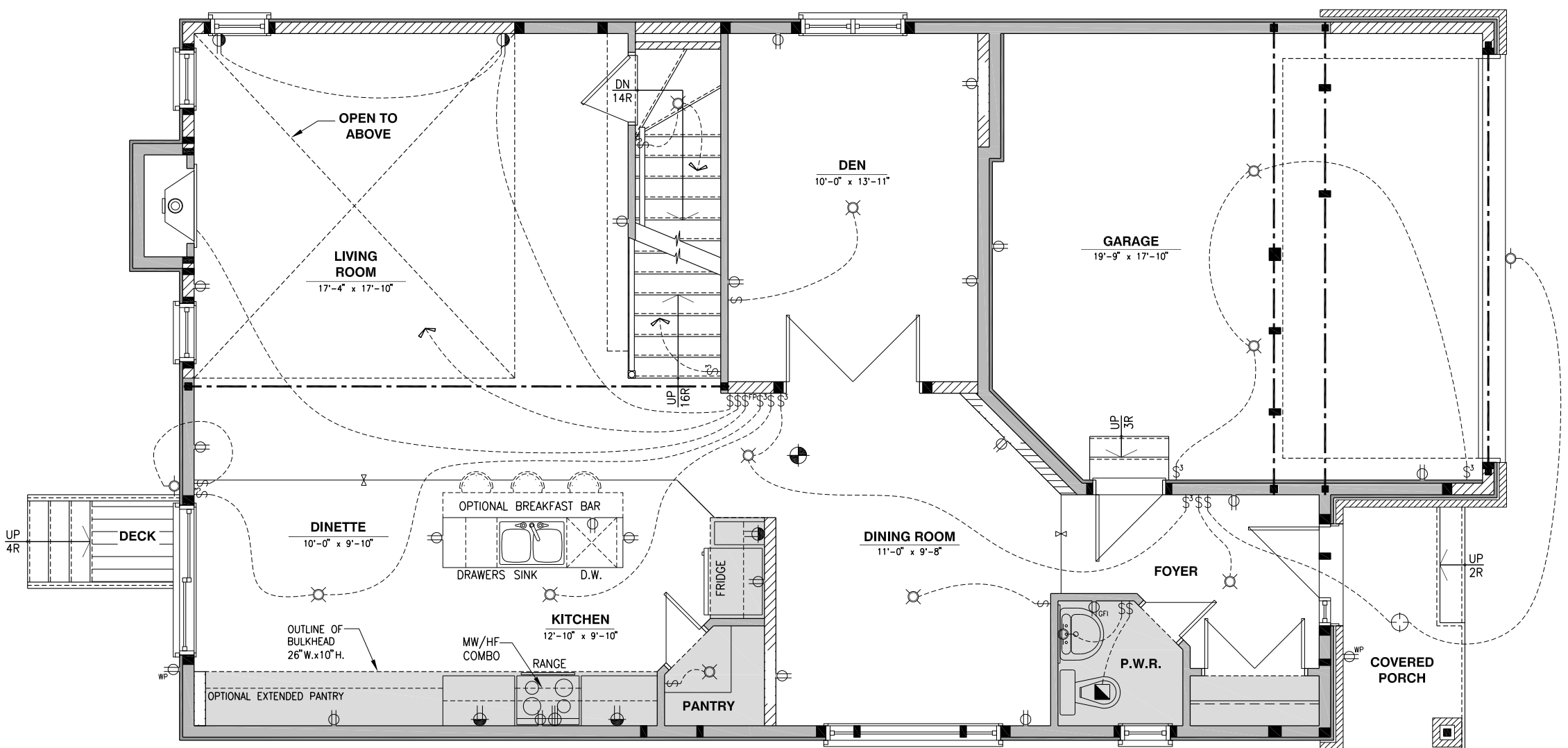
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2a



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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- \$S SPLIT OUTLET
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\$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

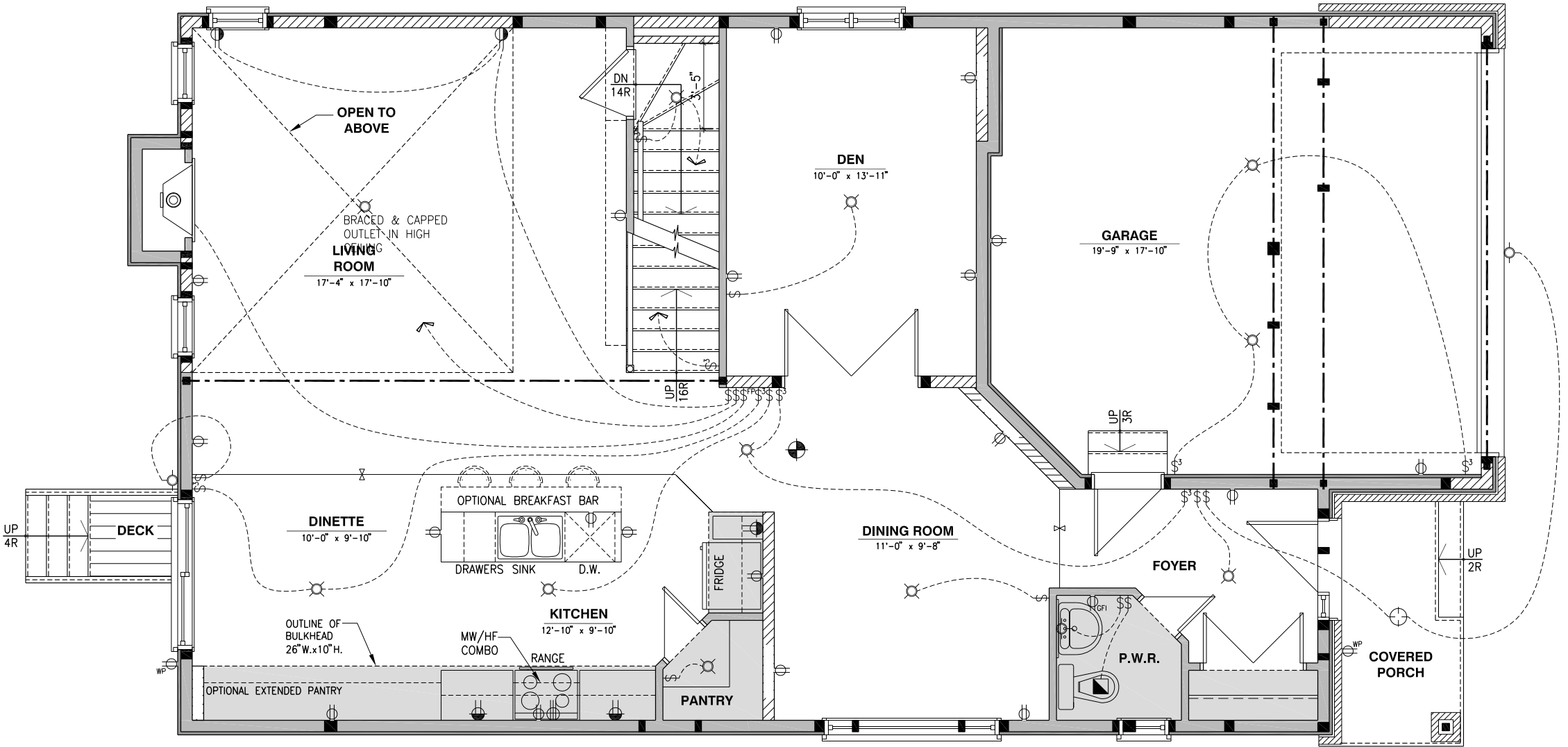
ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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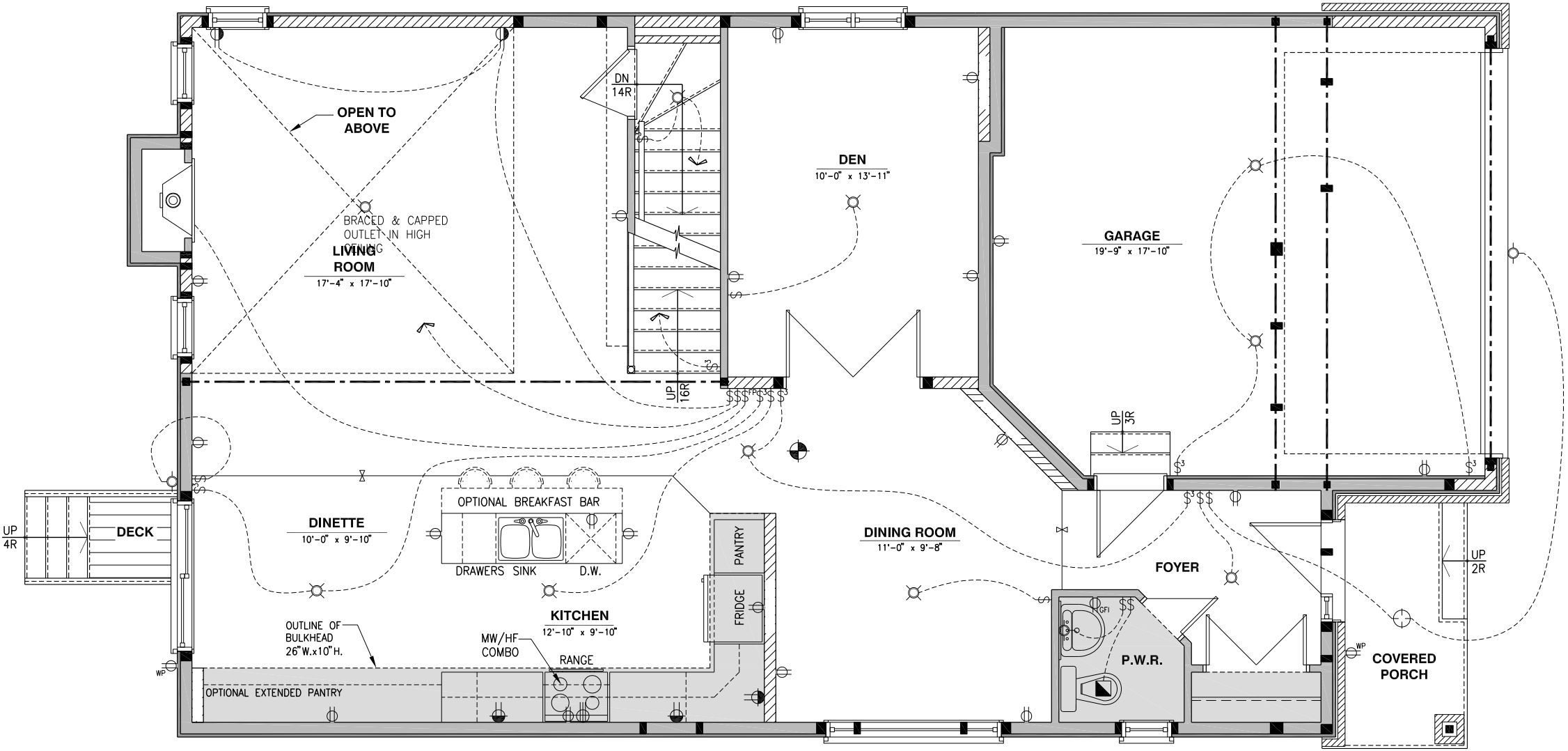
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2c

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #1- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

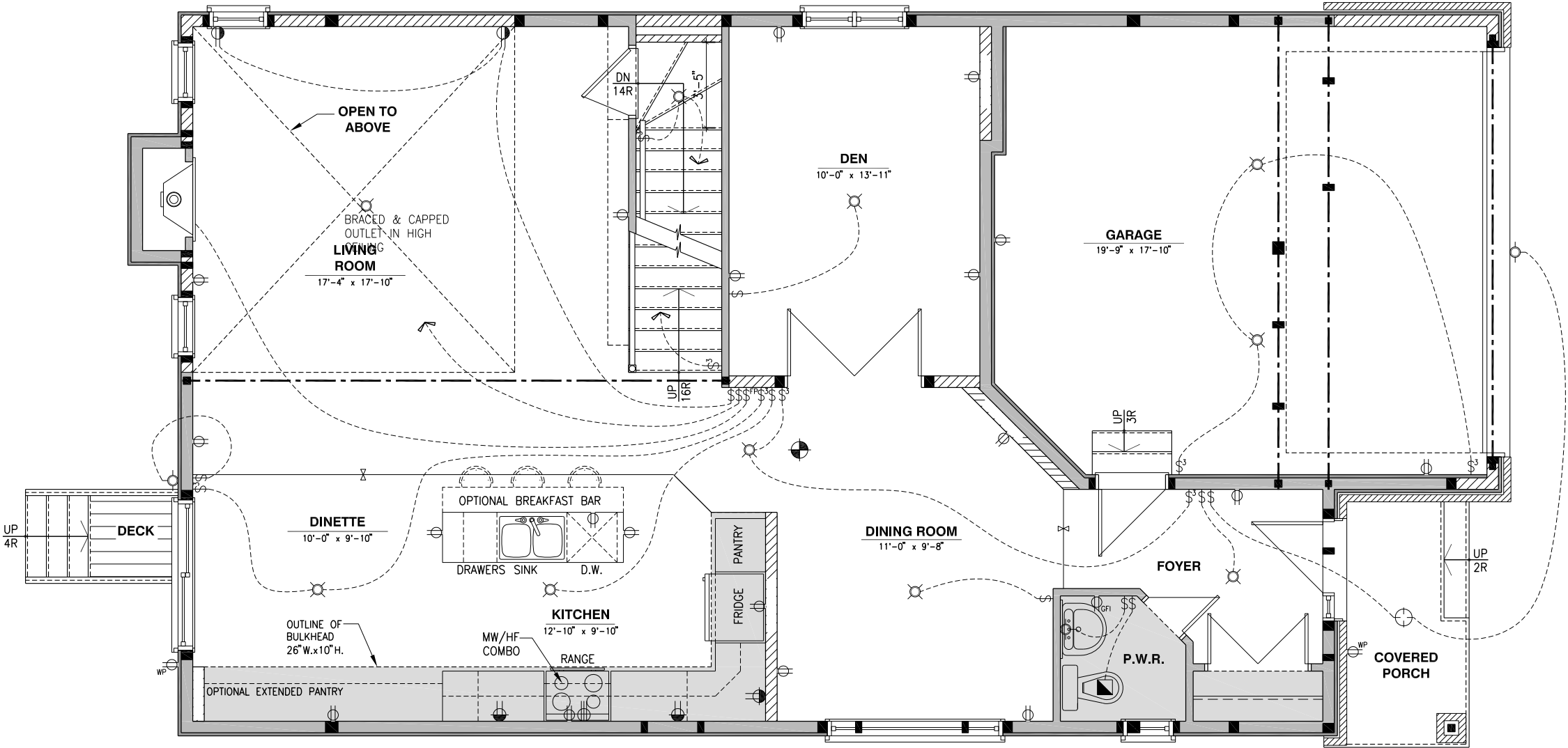
ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #1- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

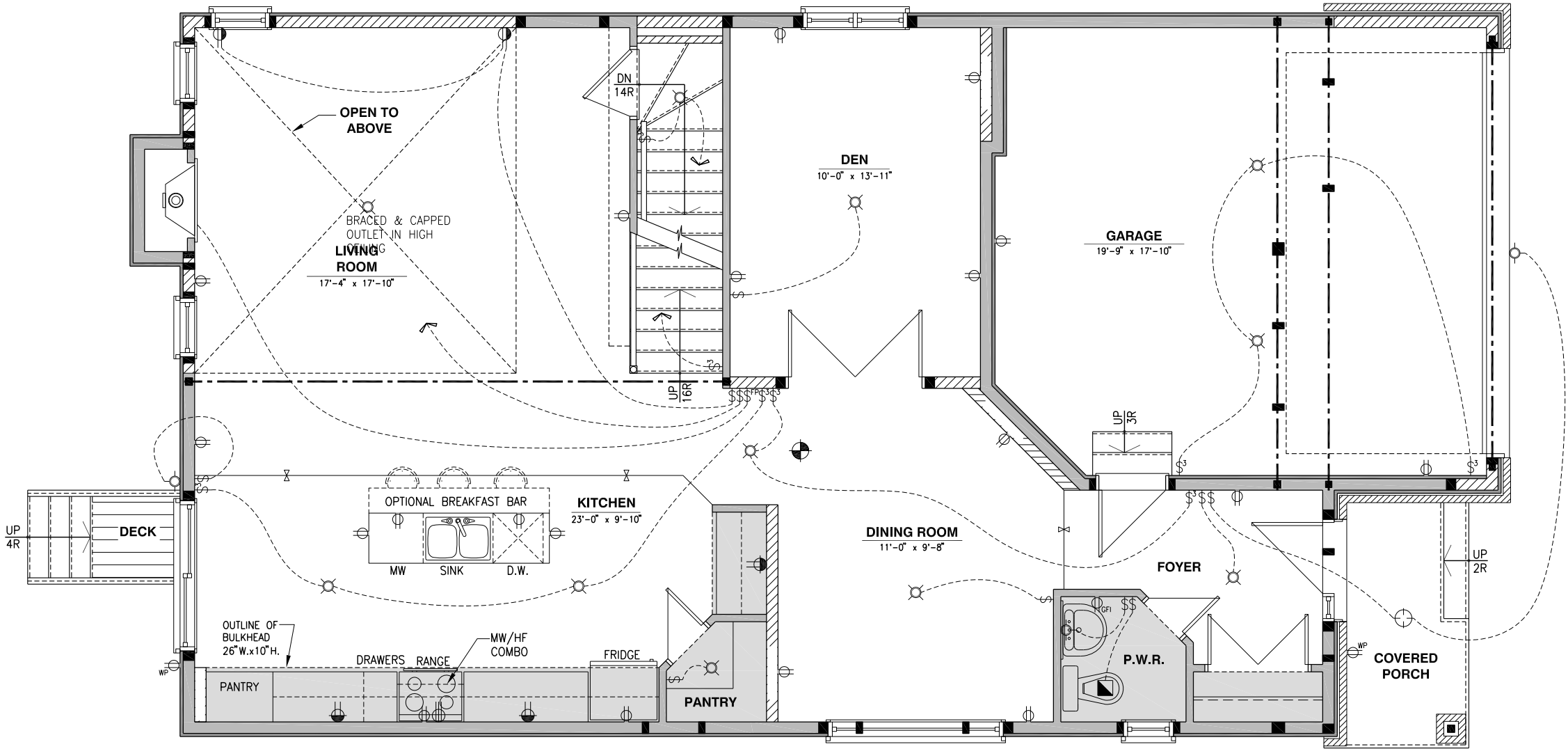
DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2e



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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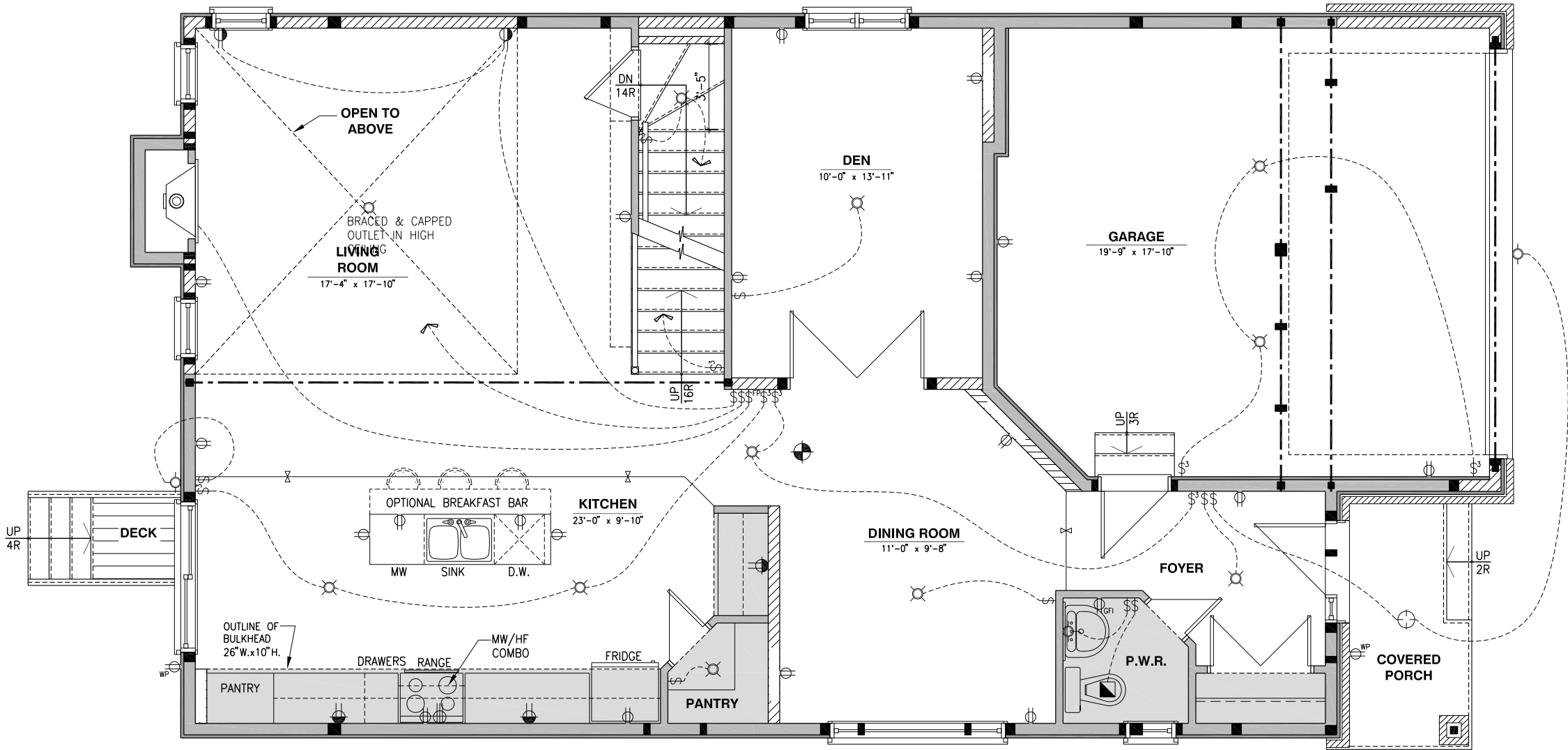
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2f

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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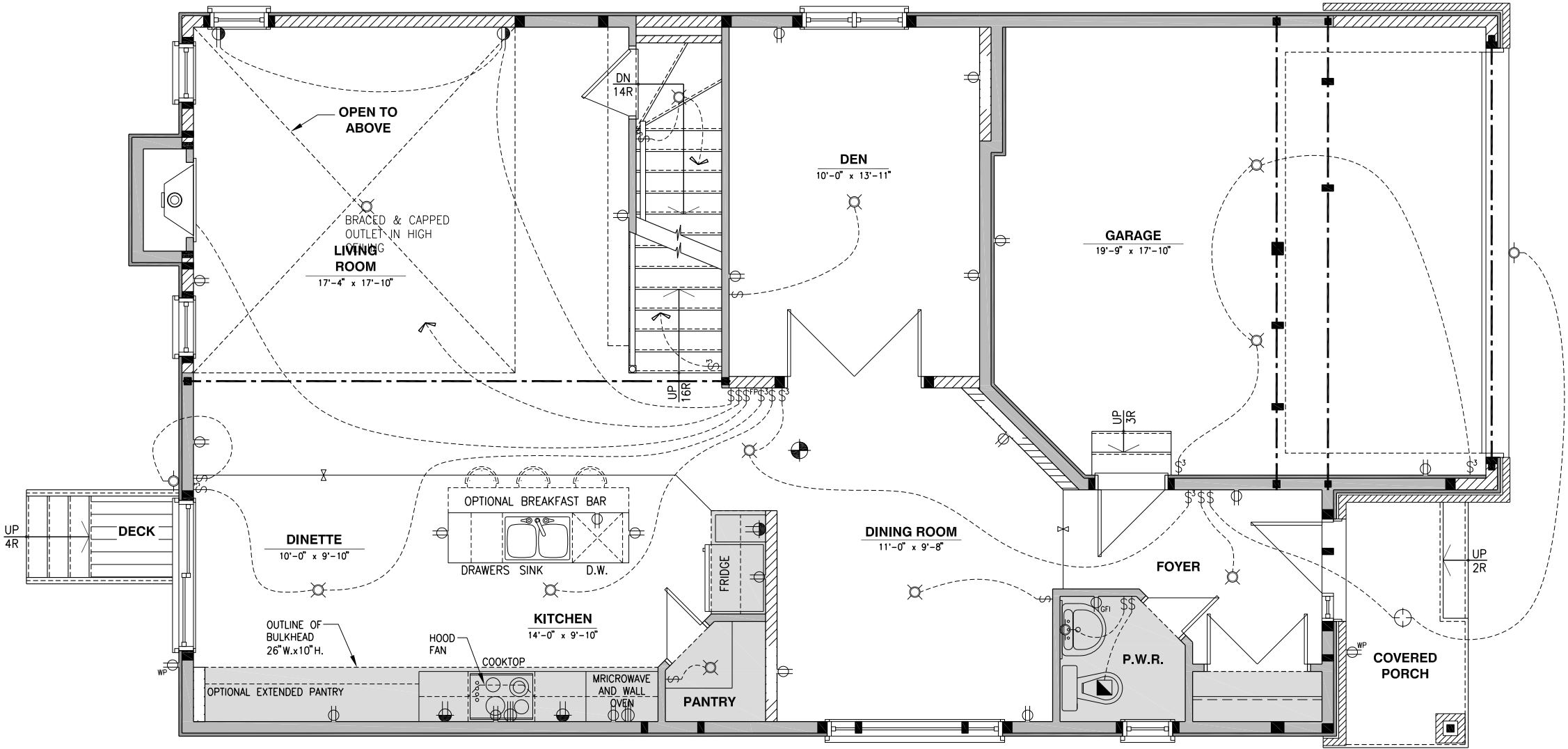
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2g



ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #3- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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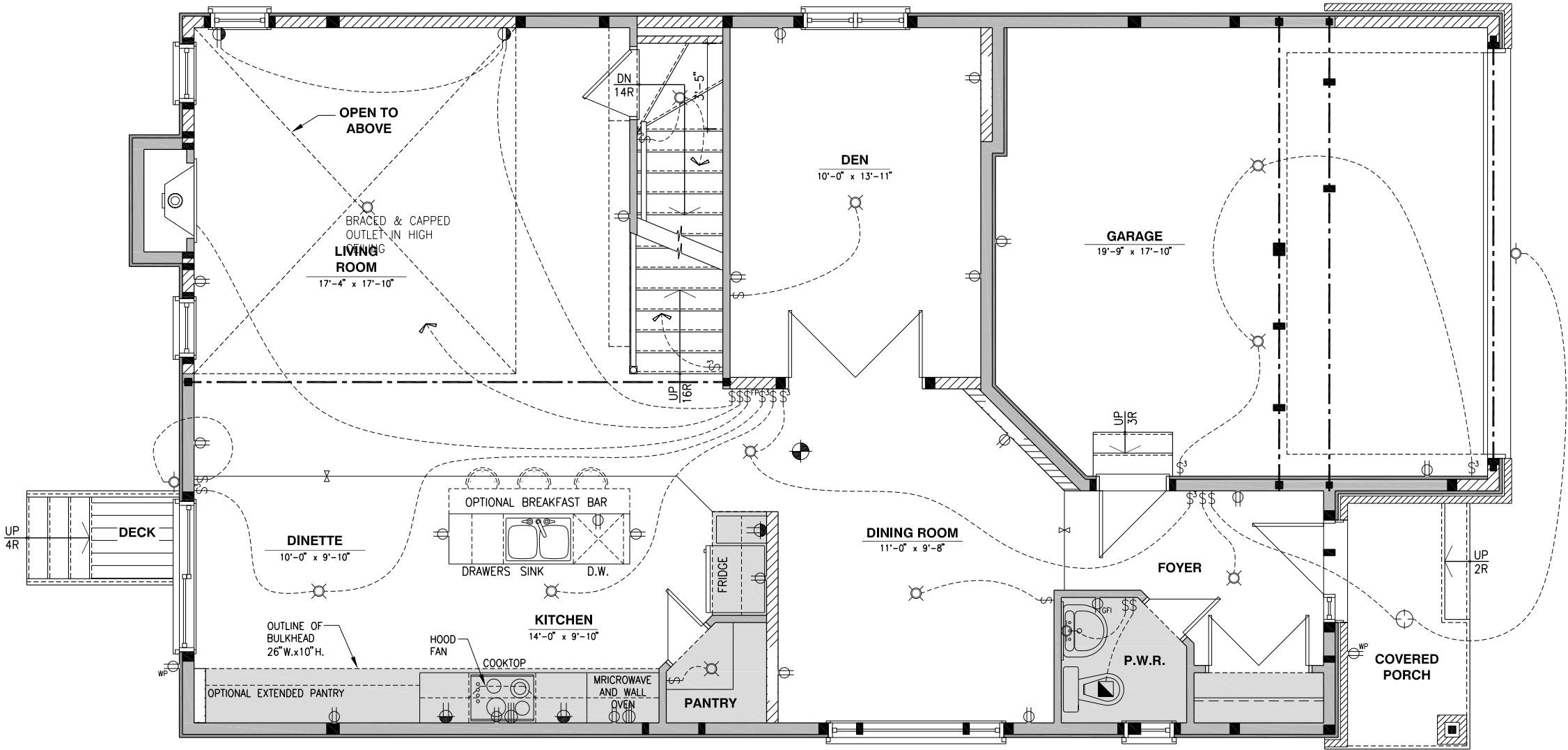
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2h

ELECTRICAL PLAN - GROUND FLOOR - 3 BEDROOM - OPTIONAL KITCHEN #3- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

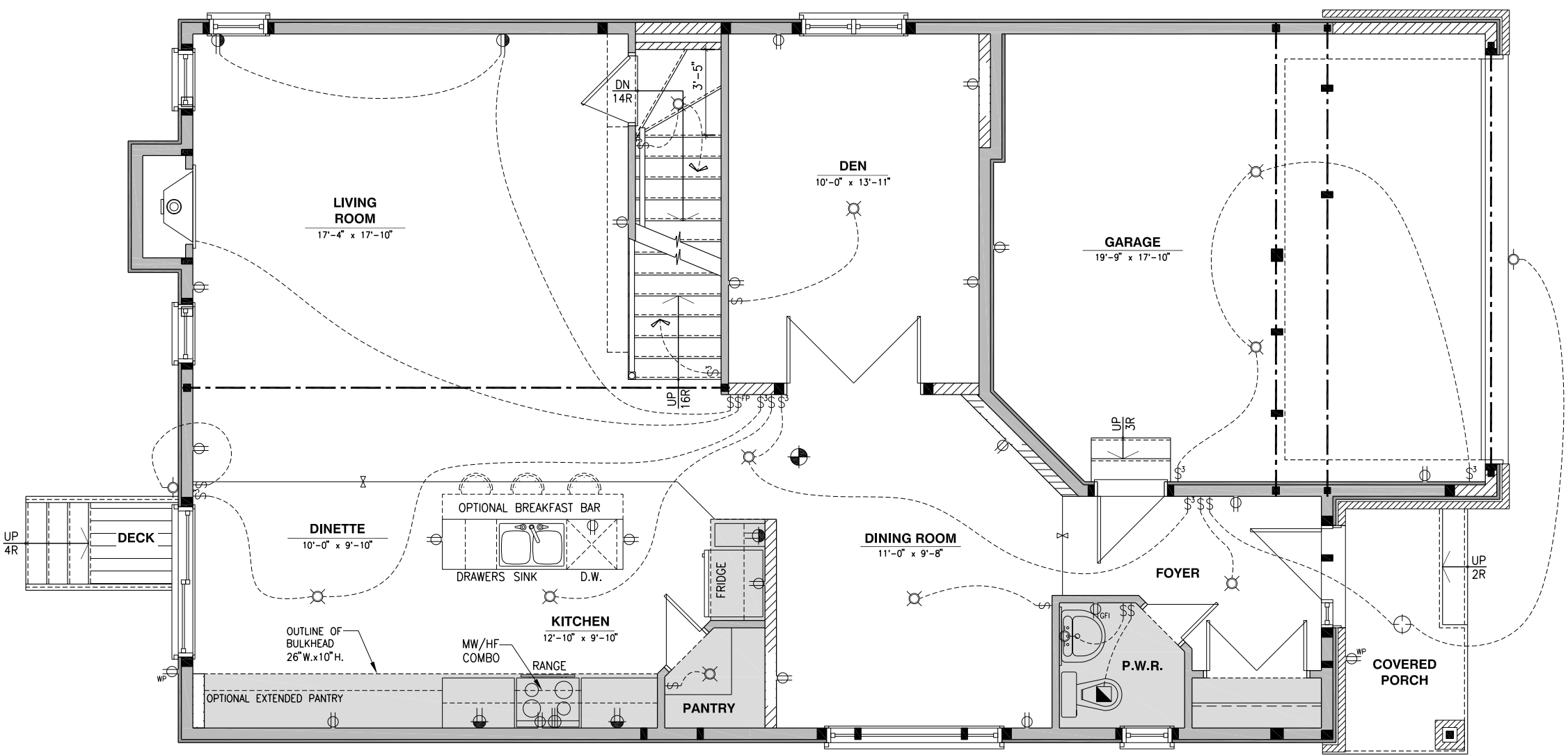
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2i



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WLM WALL MOUNTED LIGHT FIXTURE
- \$CMLF CEILING MOUNTED LIGHT FIXTURE
- \$PL POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

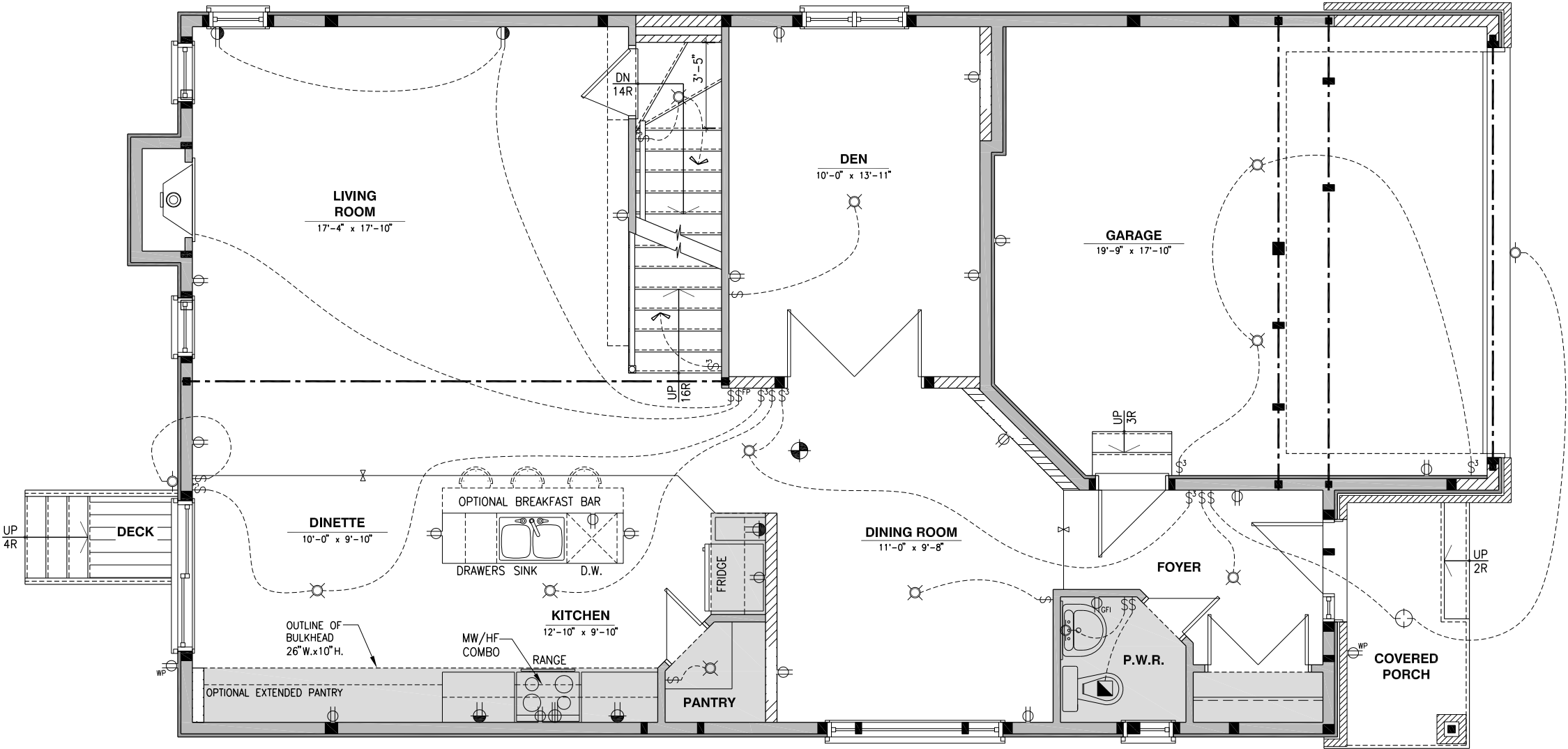
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2j



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

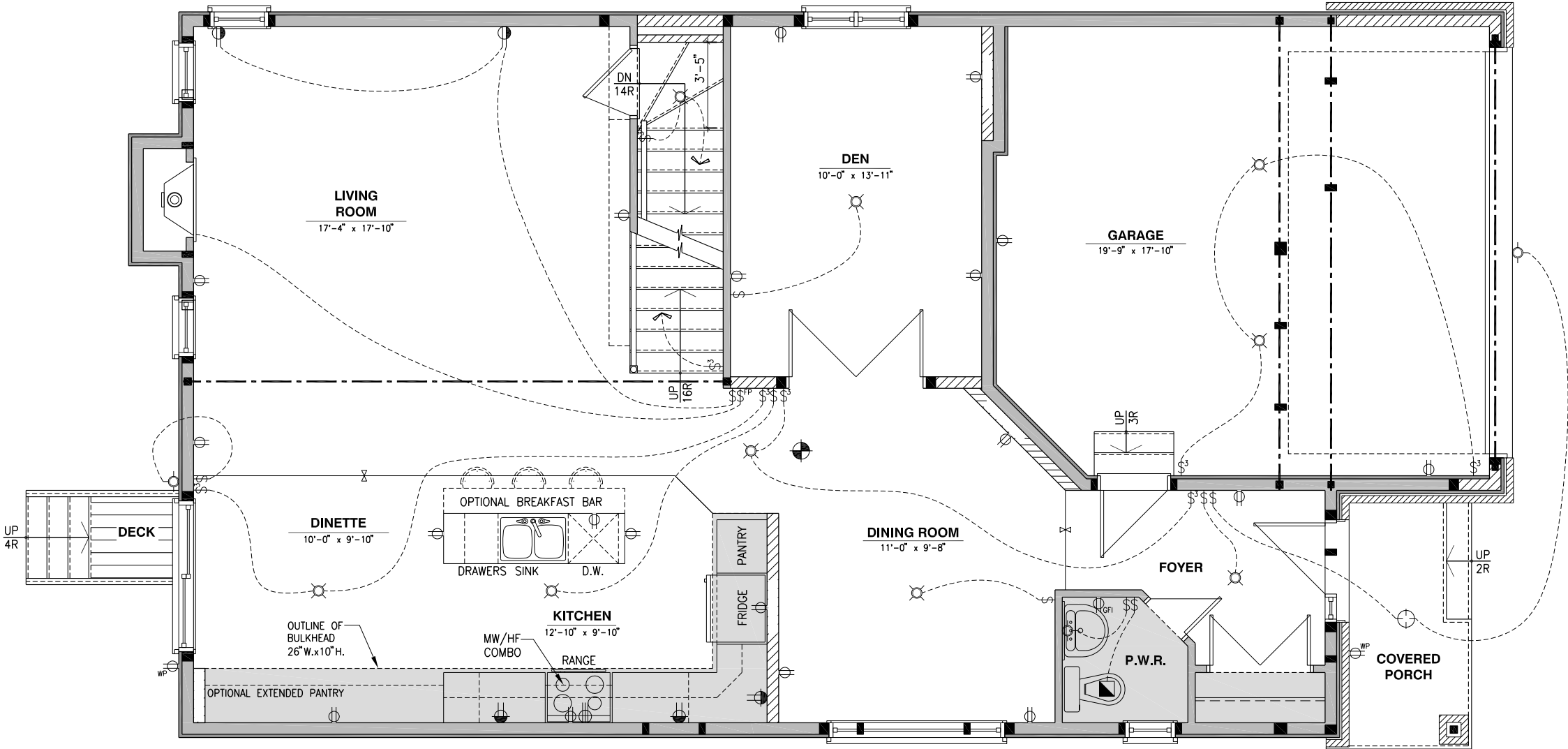
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2k



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #1- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

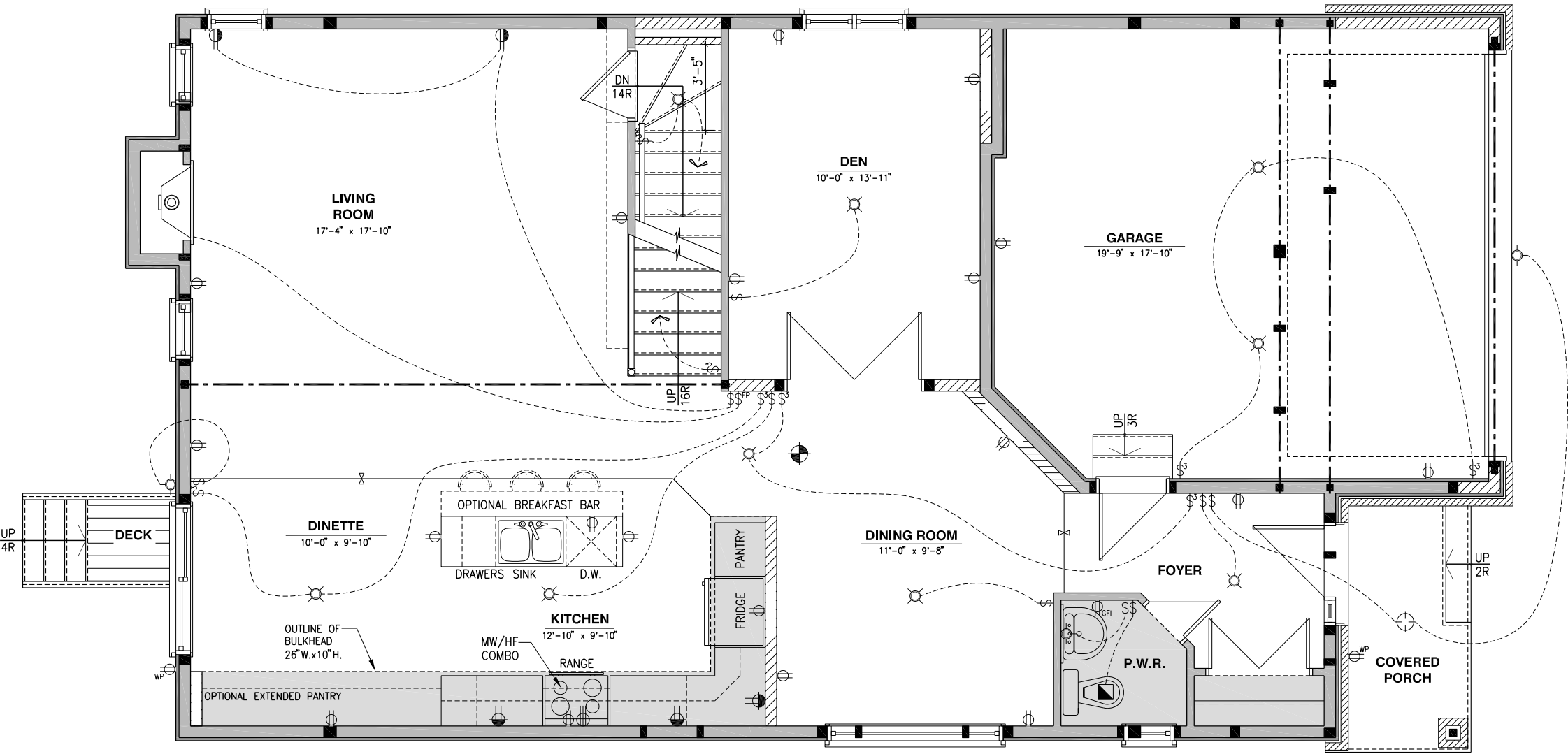
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E.21



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #1- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
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2012 O.B.C. DRAWINGS

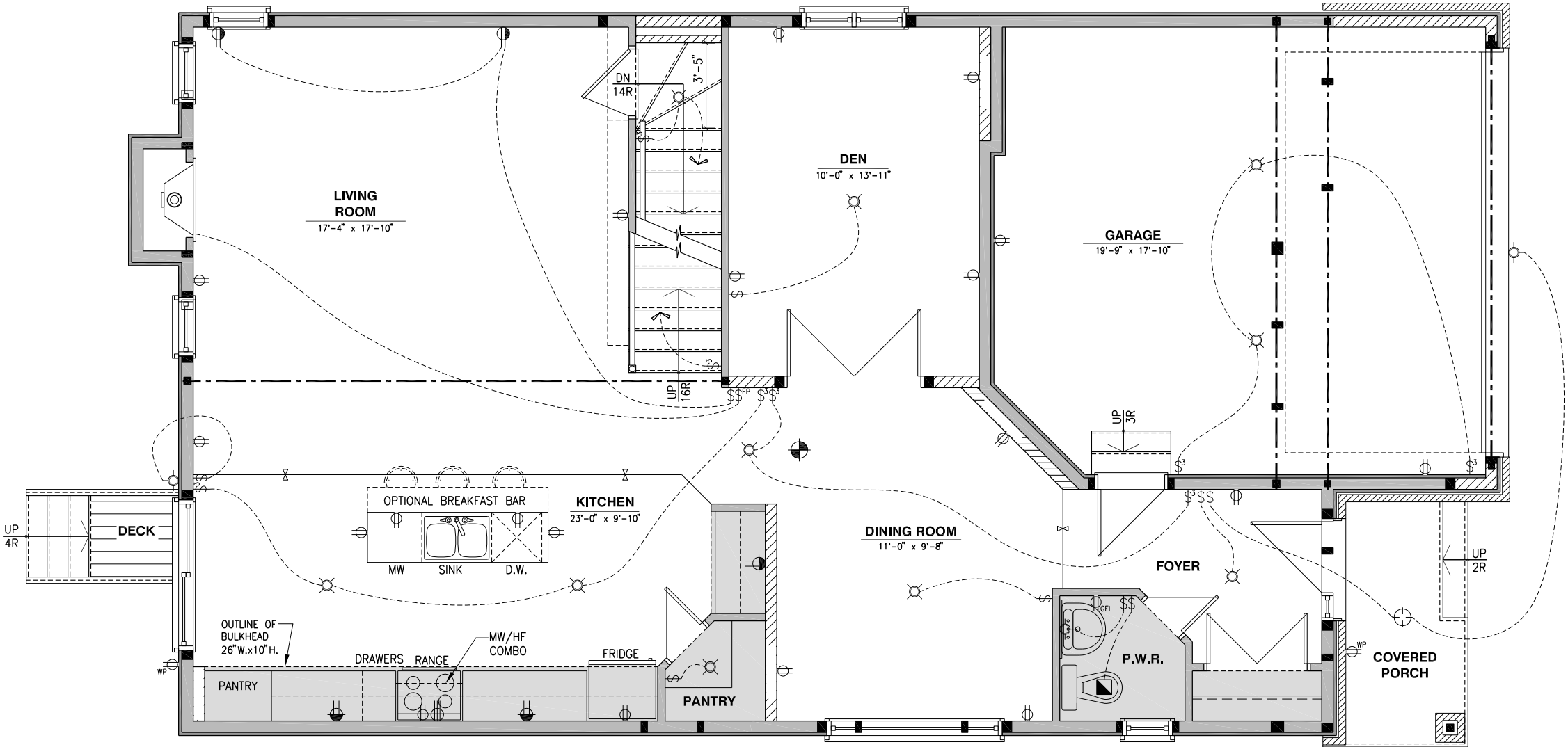
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2m



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

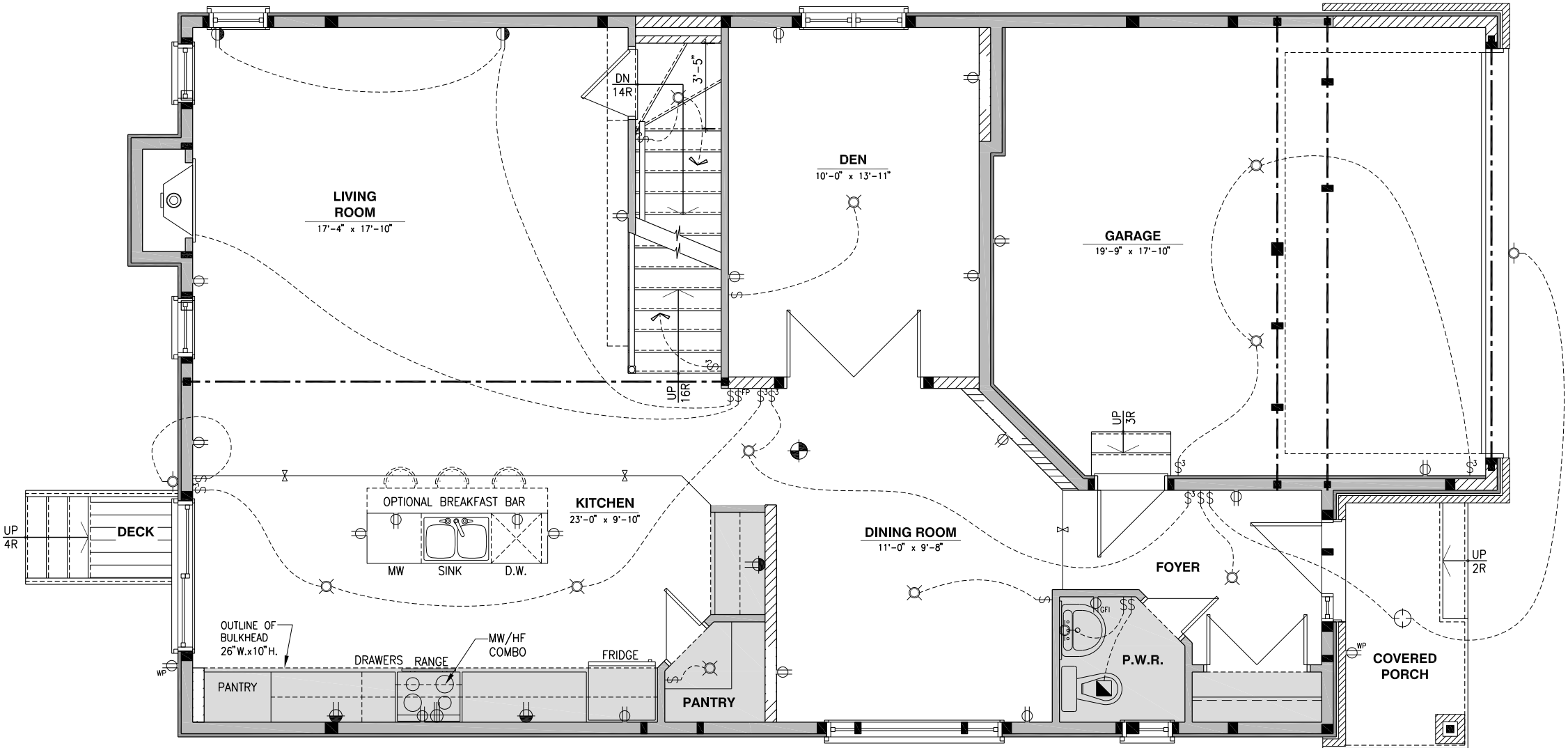
DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2n



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #2- ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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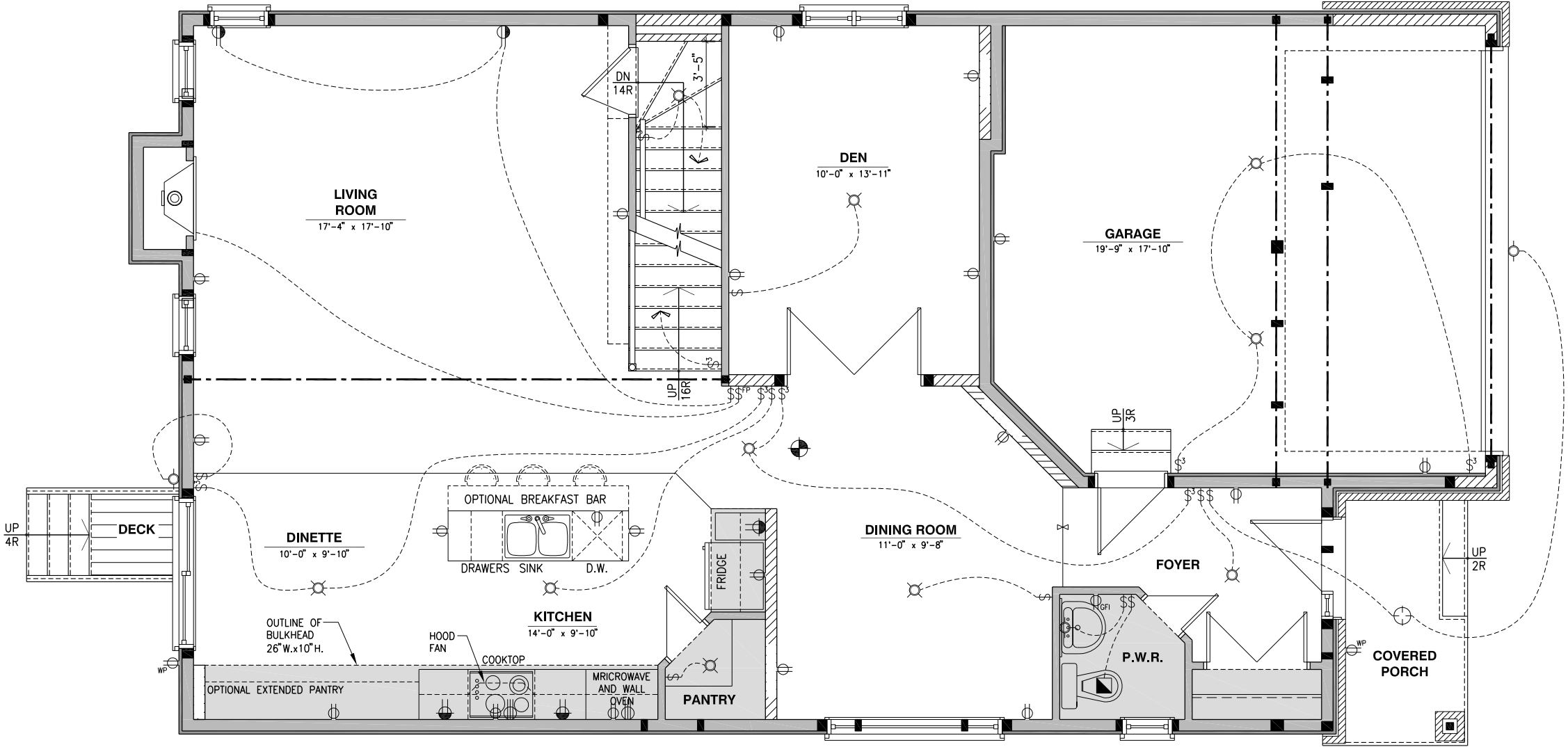
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2o



ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #3- ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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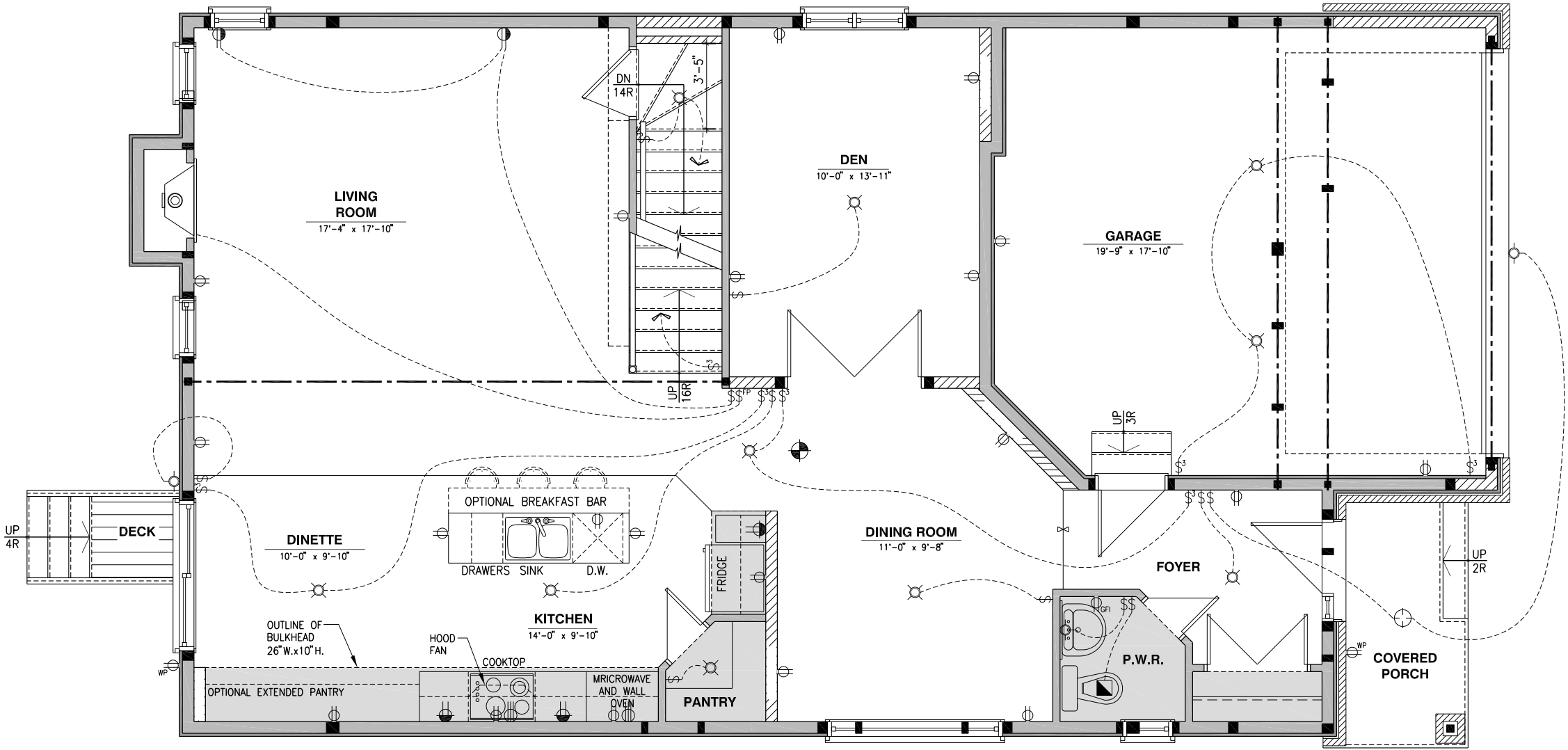
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2p

ELECTRICAL PLAN - GROUND FLOOR - 4 BEDROOM - OPTIONAL KITCHEN #3- ELEVATION B






SCALE: 3/16" = 1'-0"



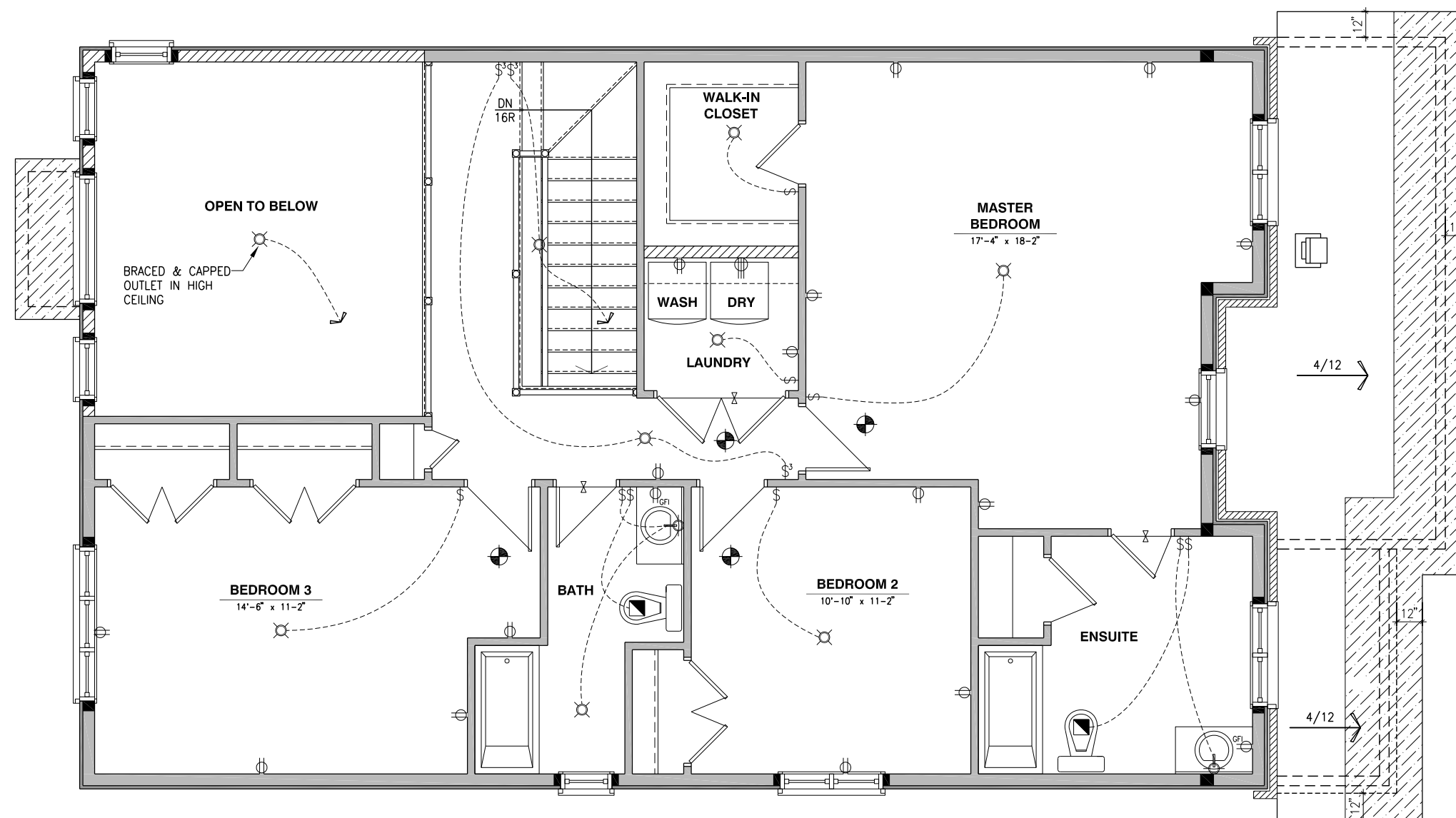
Valecraft
Homes (2019) Limited

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

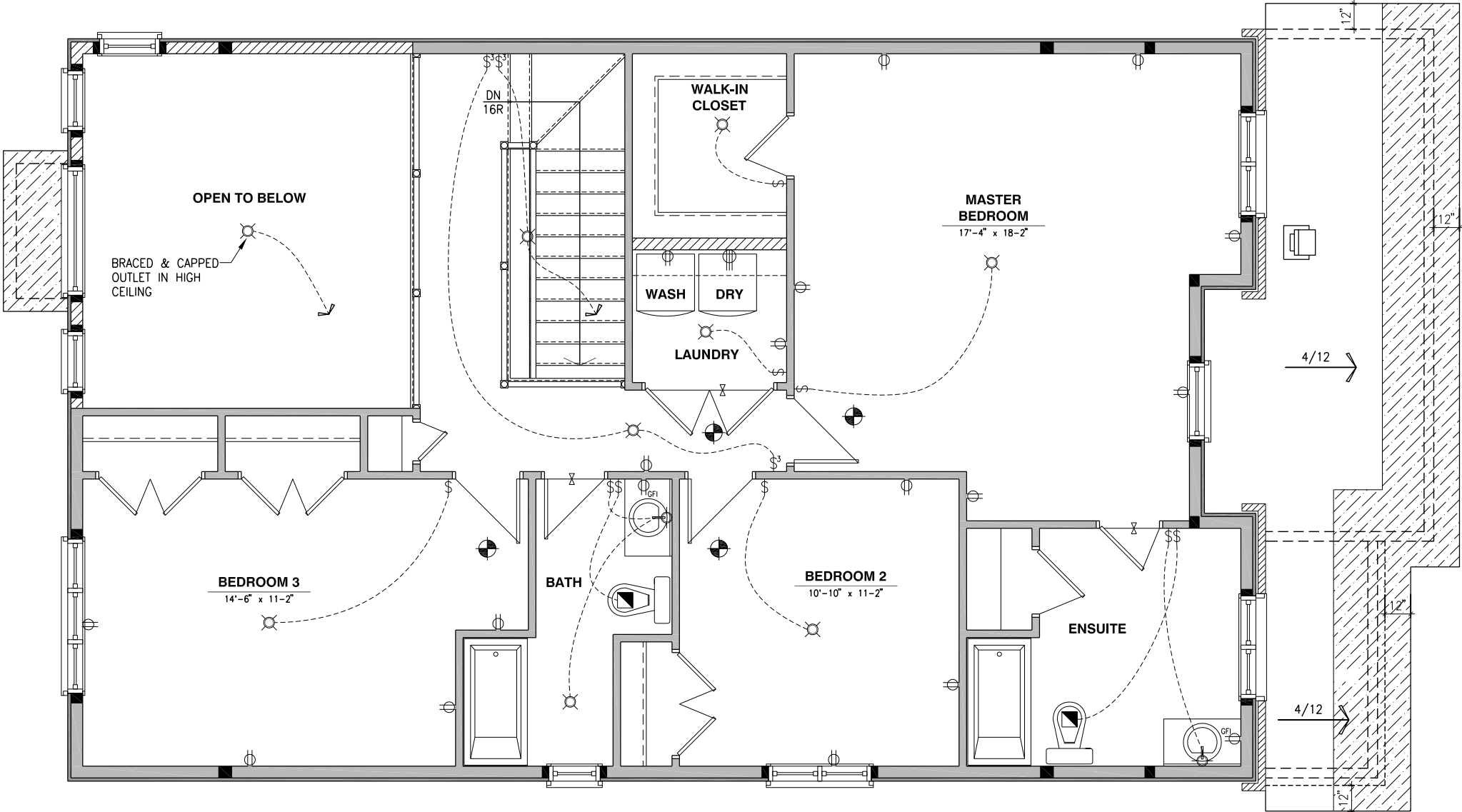
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-  SINGLE POLE SWITCH
 3 WAY SWITCH
 4 WAY SWITCH
 FURNACE SWITCH
 FIREPLACE SWITCH

SHEET:
E.3a



SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
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- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

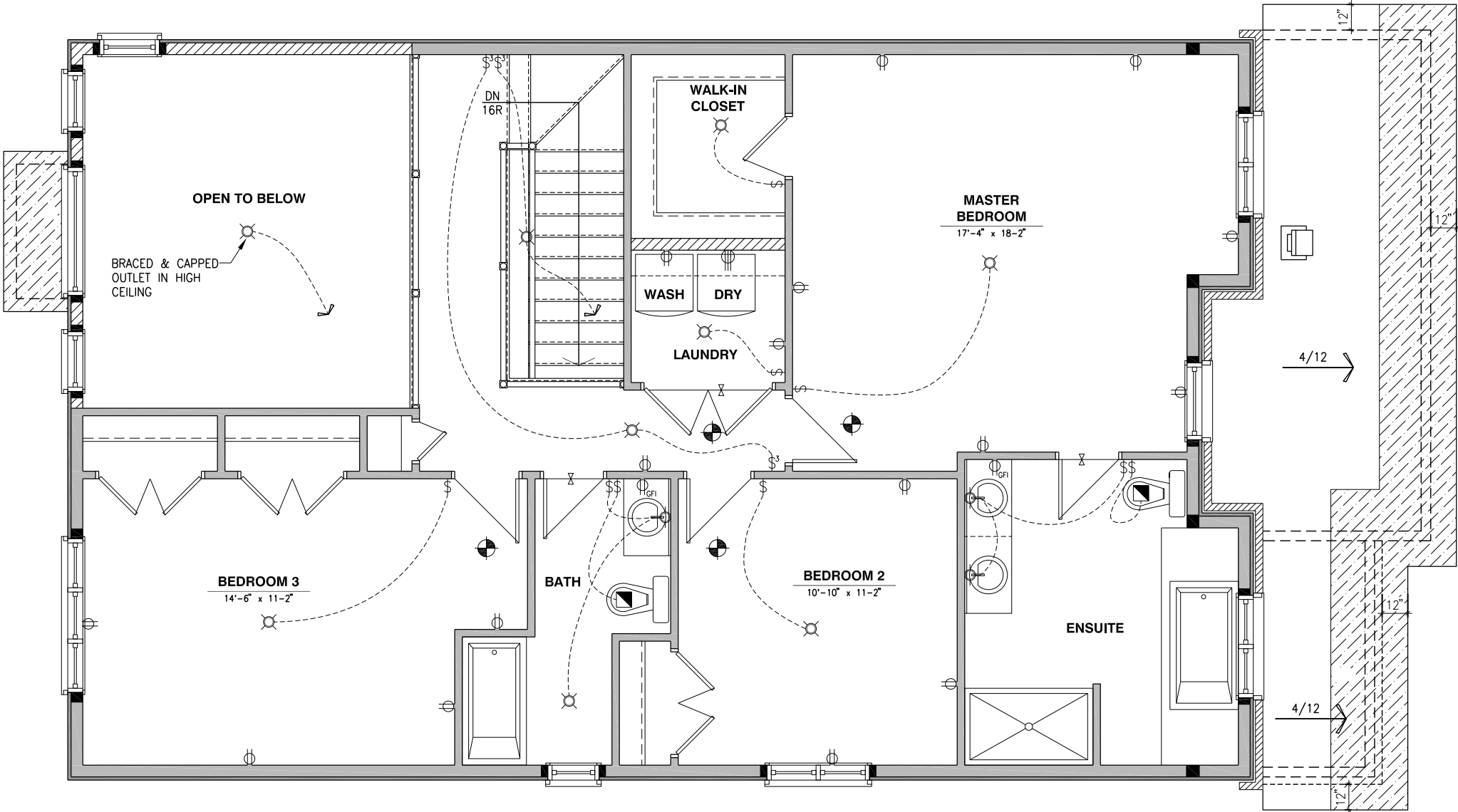
REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3b



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

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		DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3c

LOT: XXXX
DATE: XX/XX/XXXX



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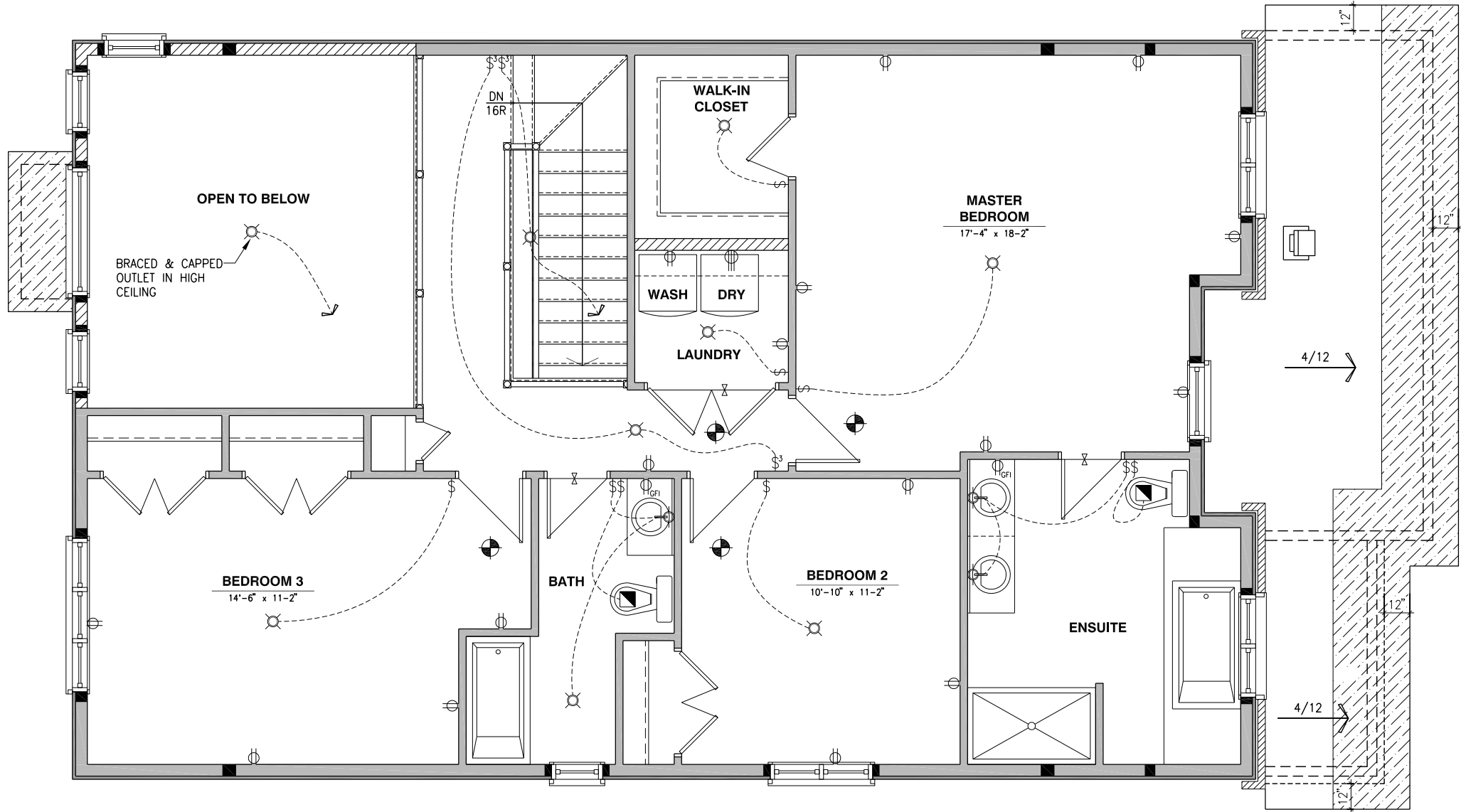
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- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WALL WALL MOUNTED LIGHT FIXTURE
- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

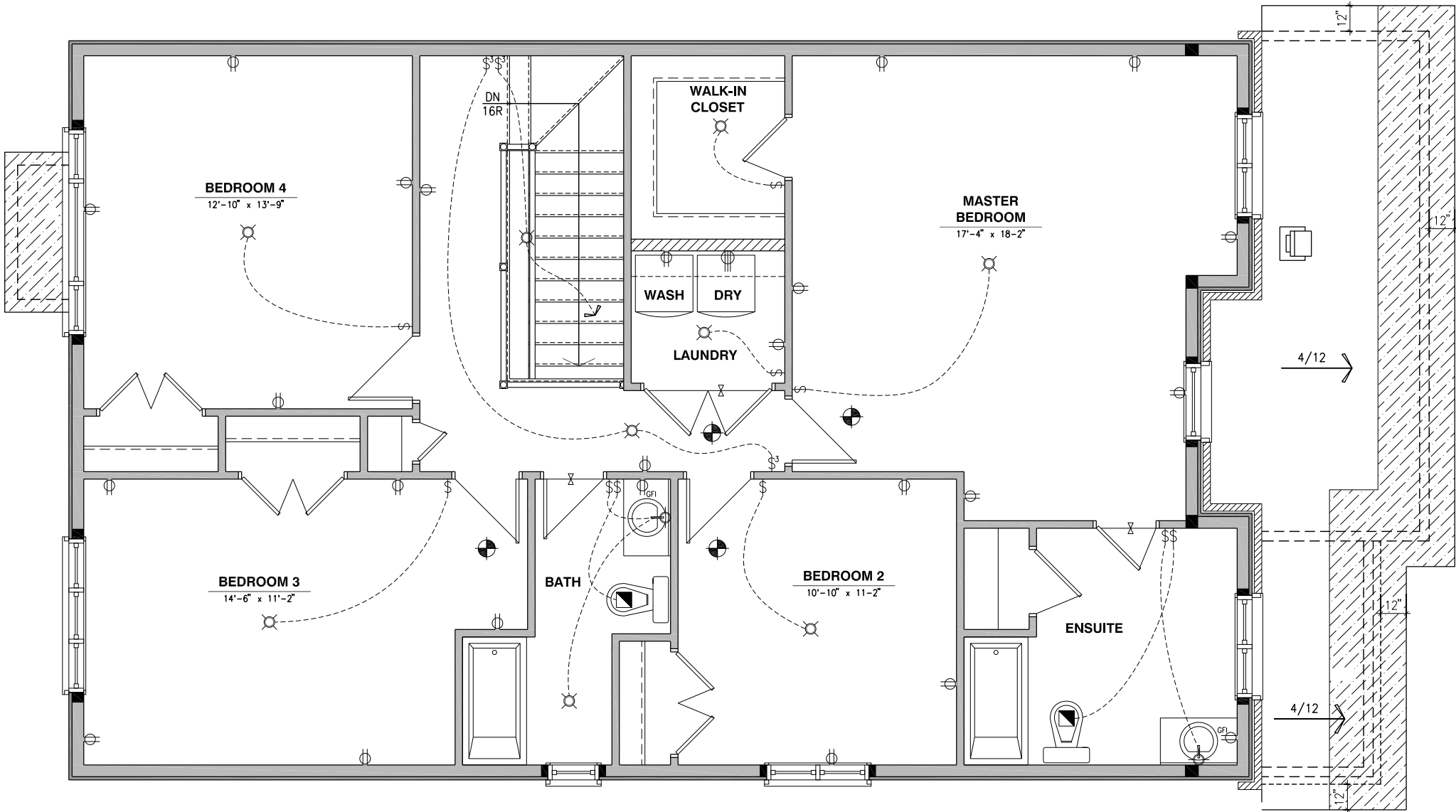
826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3d

ELECTRICAL PLAN - SECOND FLOOR - 3 BEDROOM - OPTIONAL ENSUITE - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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\$

SINGLE POLE SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

\$F

FURNACE SWITCH

\$FP

FIREPLACE SWITCH

\$

DUPLEX OUTLET (12" HIGH)

\$

DUPLEX OUTLET (UPPER HALF SWITCH)

\$GFI

GROUND FAULT INTERVOLT

\$WP

WEATHER PROOF DUPLEX OUTLET

\$

SPLIT OUTLET

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220 VOLT OUTLET

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WALL MOUNTED LIGHT FIXTURE

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POT LIGHT

\$

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

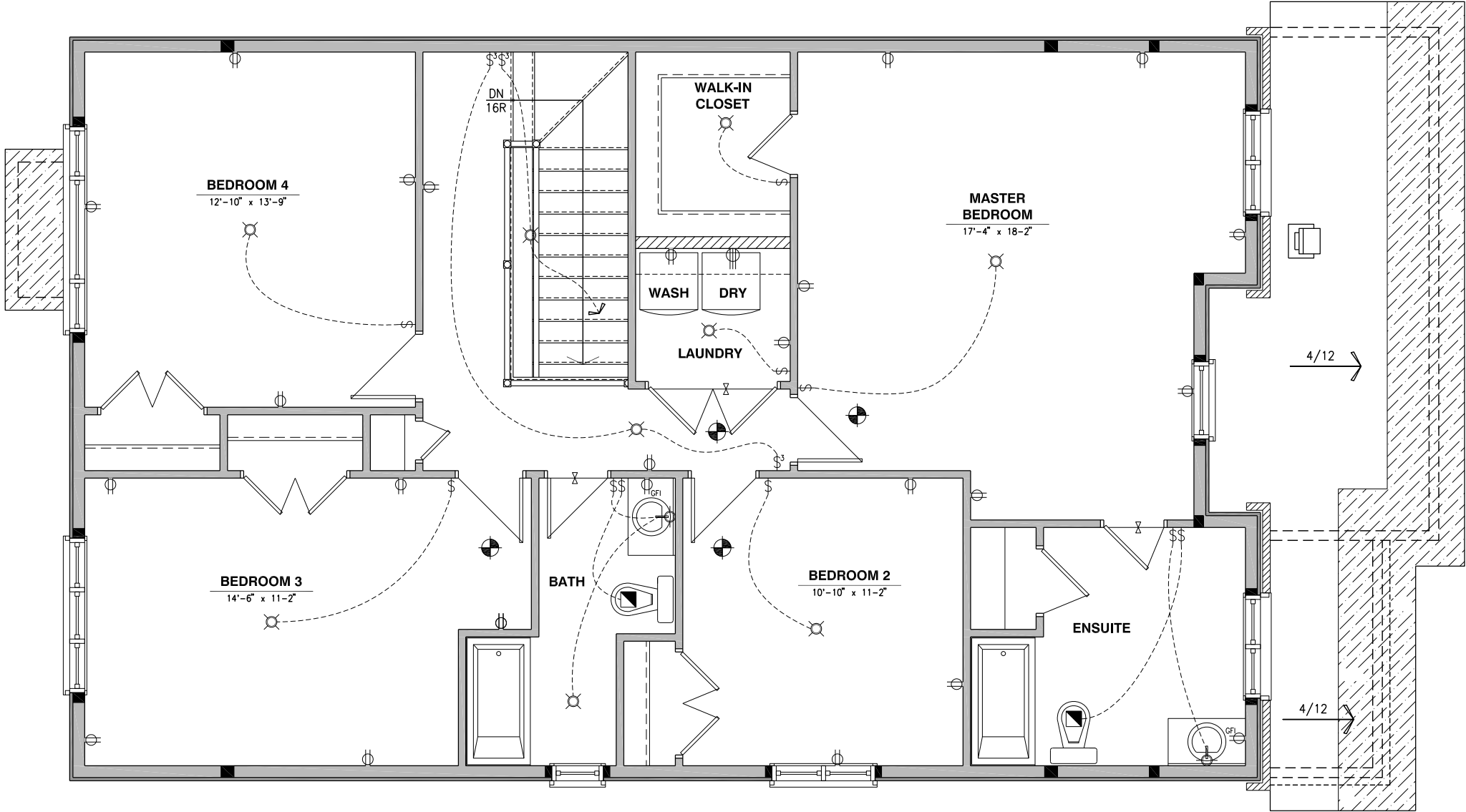
ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3e



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
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SHEET:
E.3f



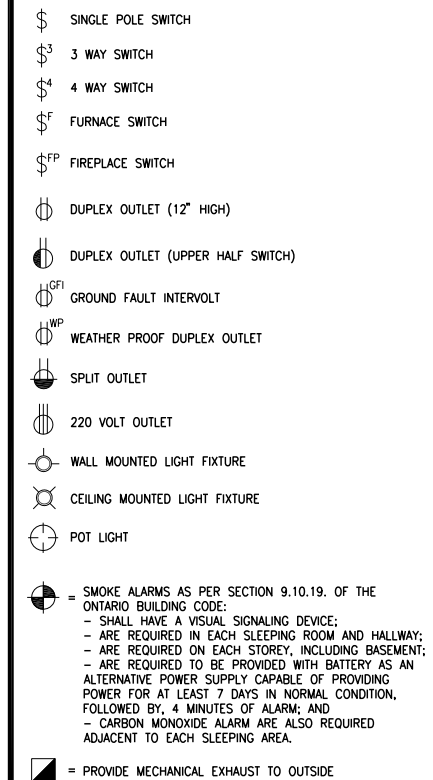
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[illegible]

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SECOND FLOOR - ELEV. A

826 - THE BRADLEY
2022 FOOTPRINT
 (STANDARD DRAWINGS)

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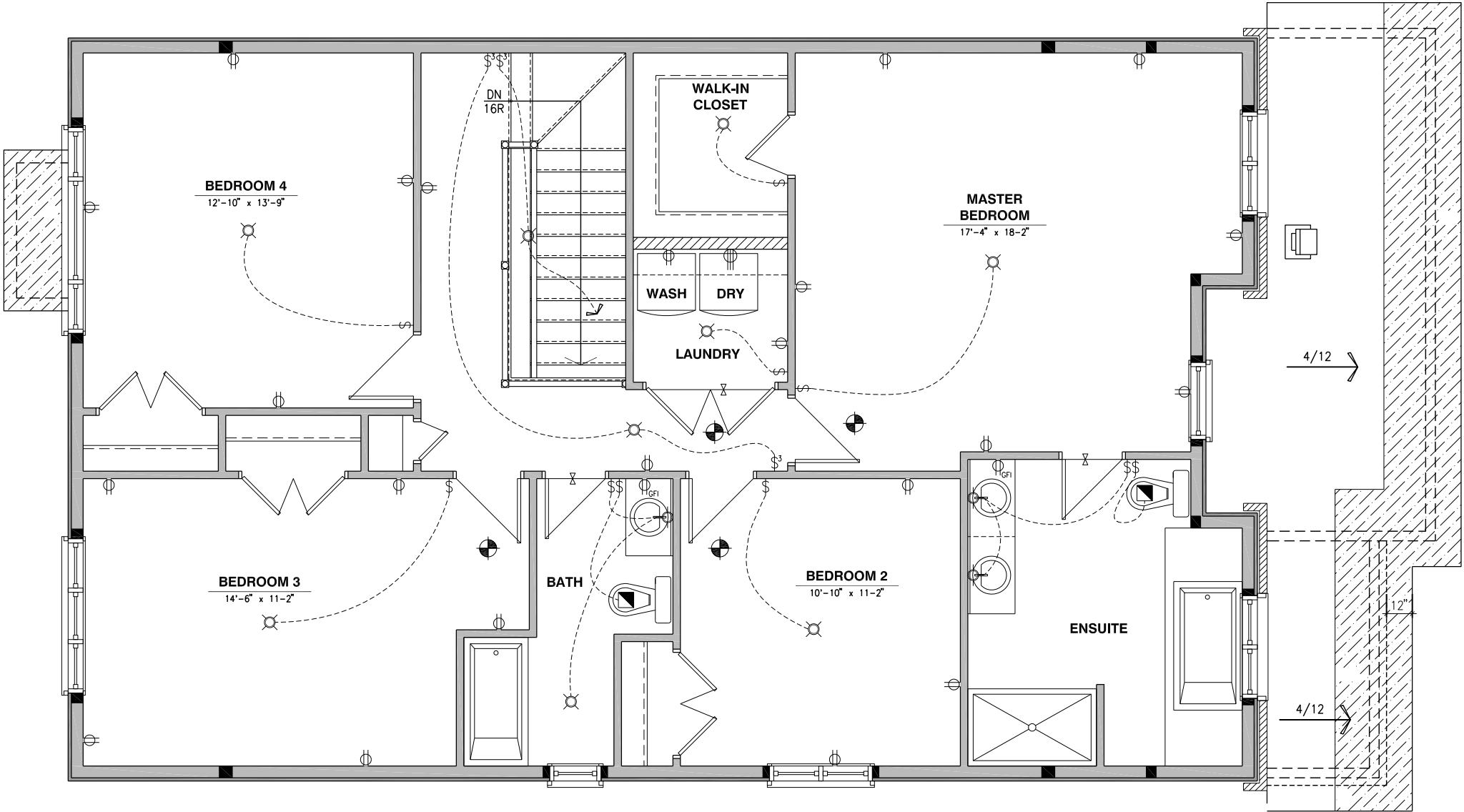
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GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3h

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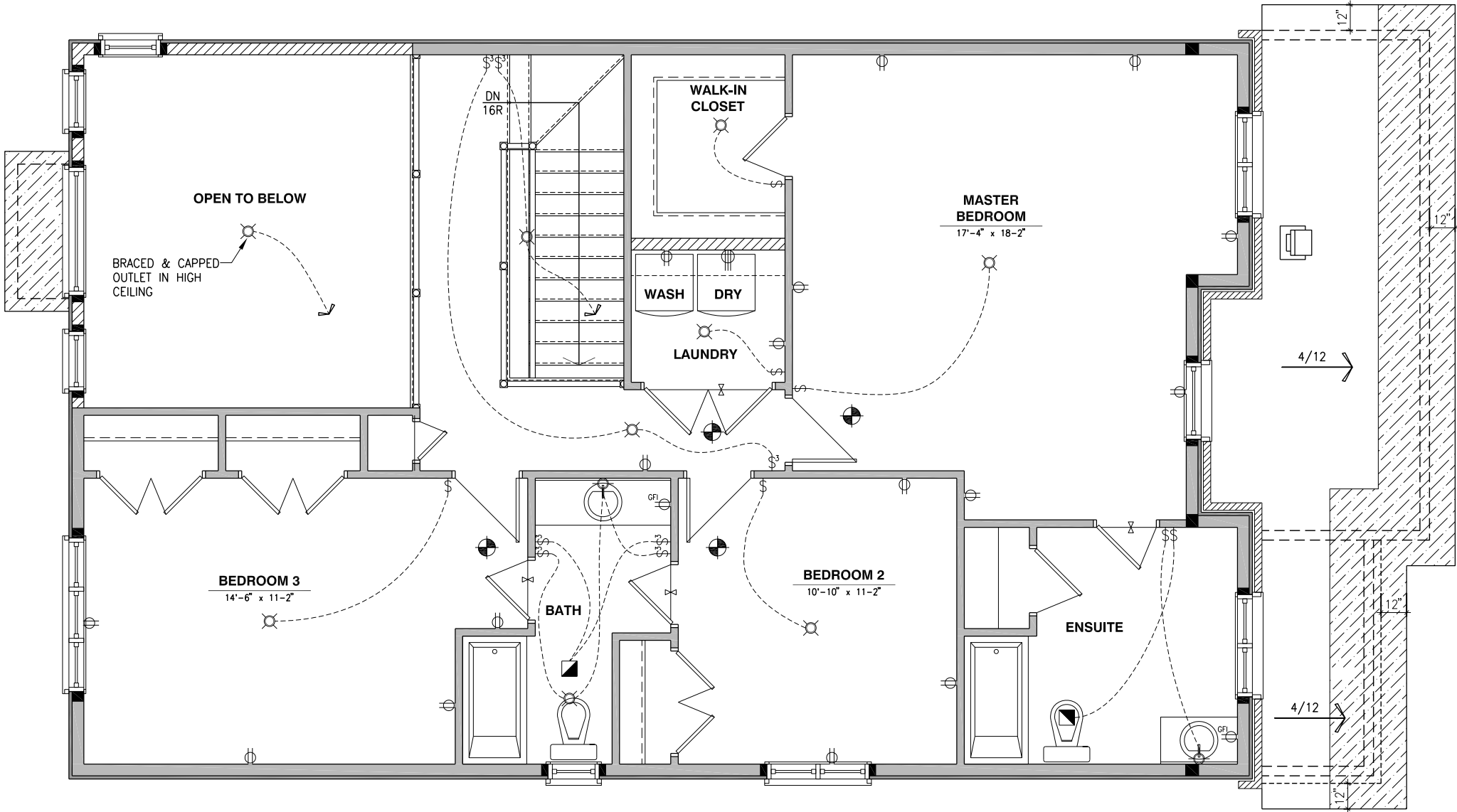
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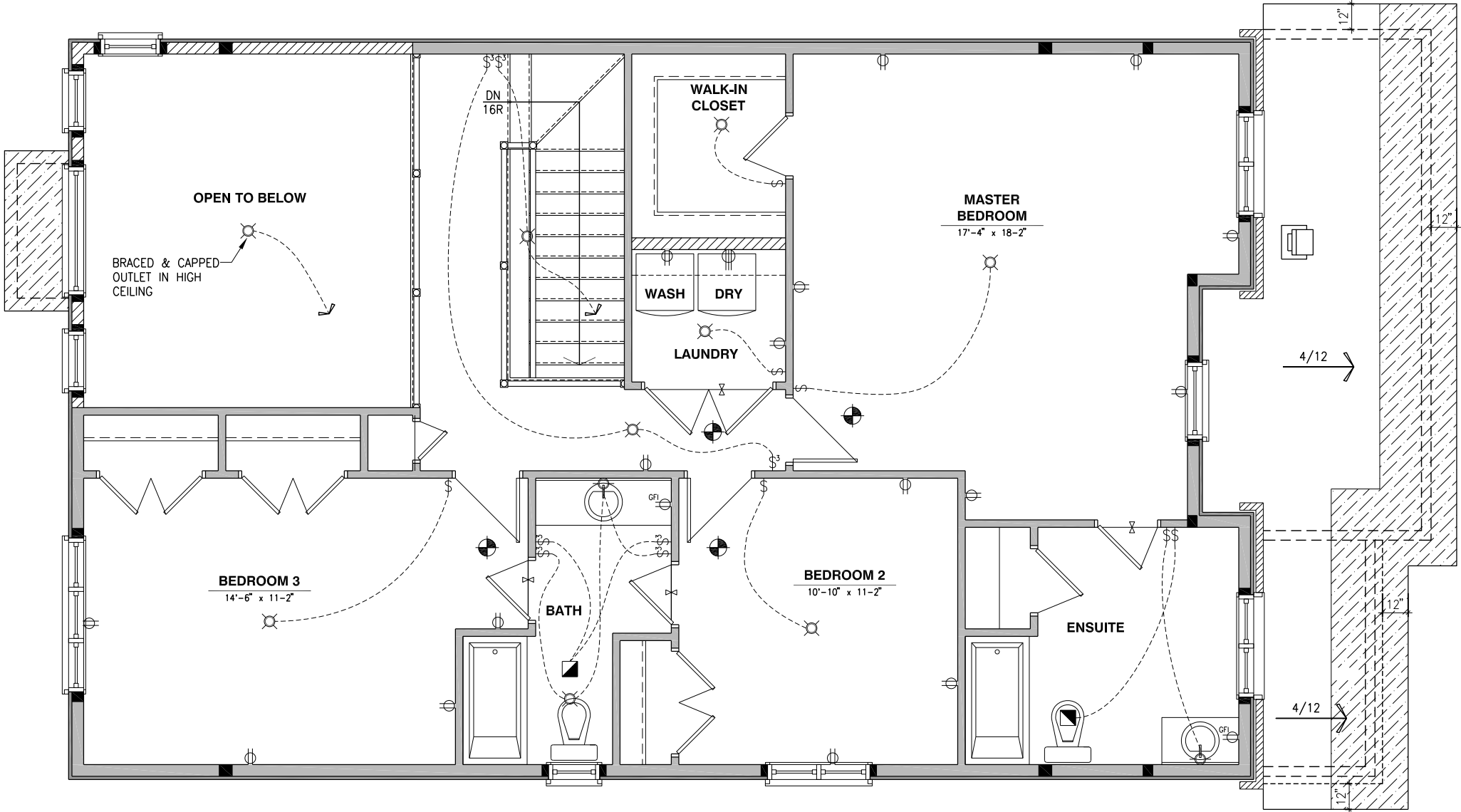
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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3i



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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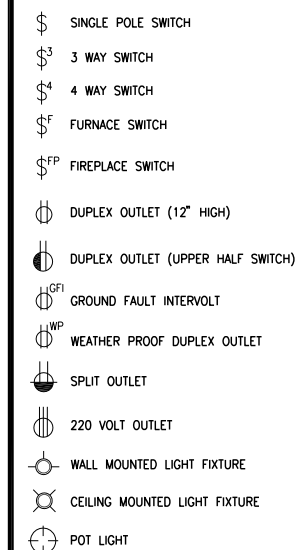
SHEET:
E.3j



Valecraft
Homes (2019) Limited

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

[illegible]

DRAWING: **ELECTRICAL PLAN**
SECOND FLOOR - ELEV. A

SHEET:
E.3k

SCALE: 3/16" = 1'-0"

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- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

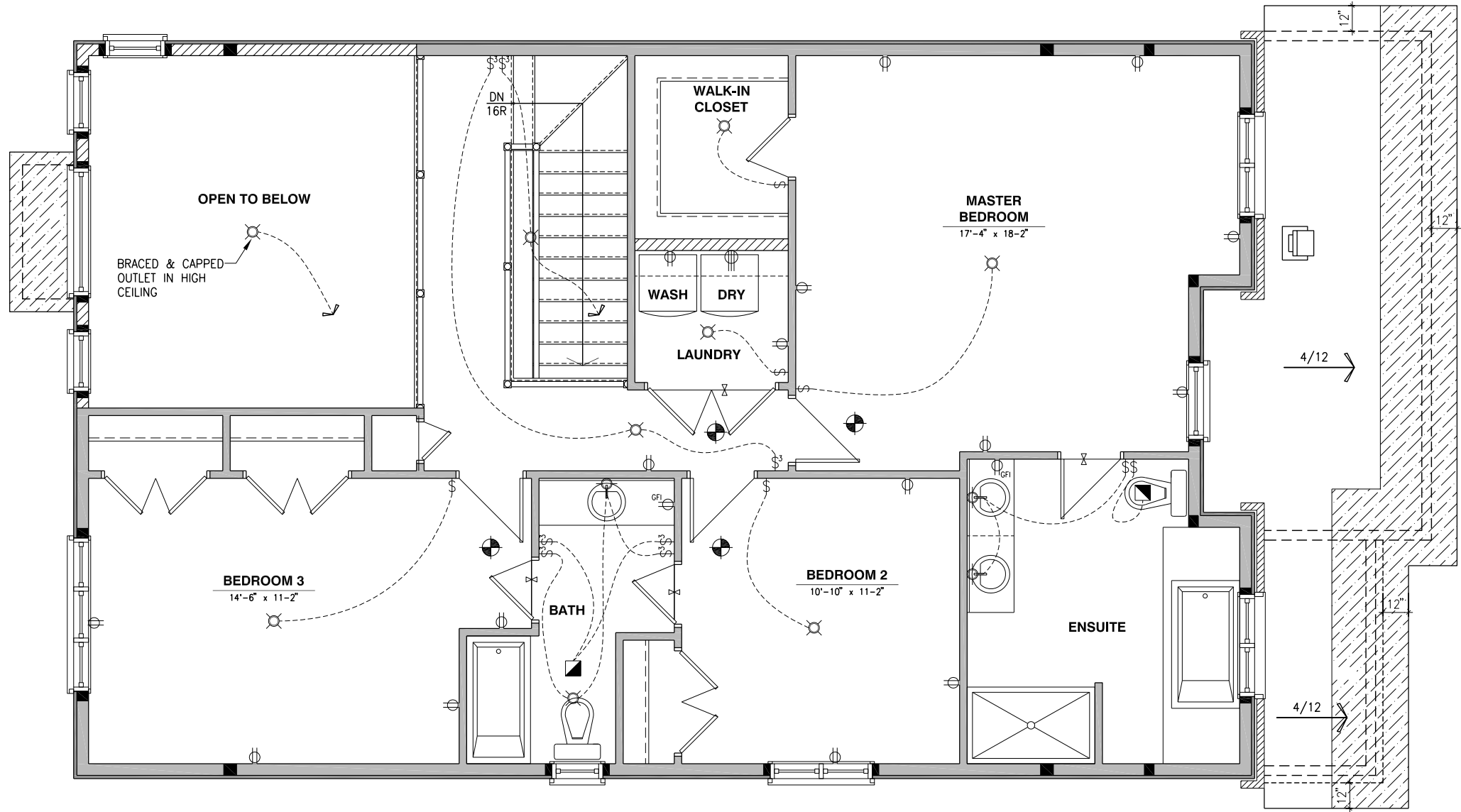
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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GF1 GROUND FAULT INTERVOLT
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- ⊕ 220 VOLT OUTLET
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/12/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.31

LOT: XXXX
DATE: XX/XX/XXXX



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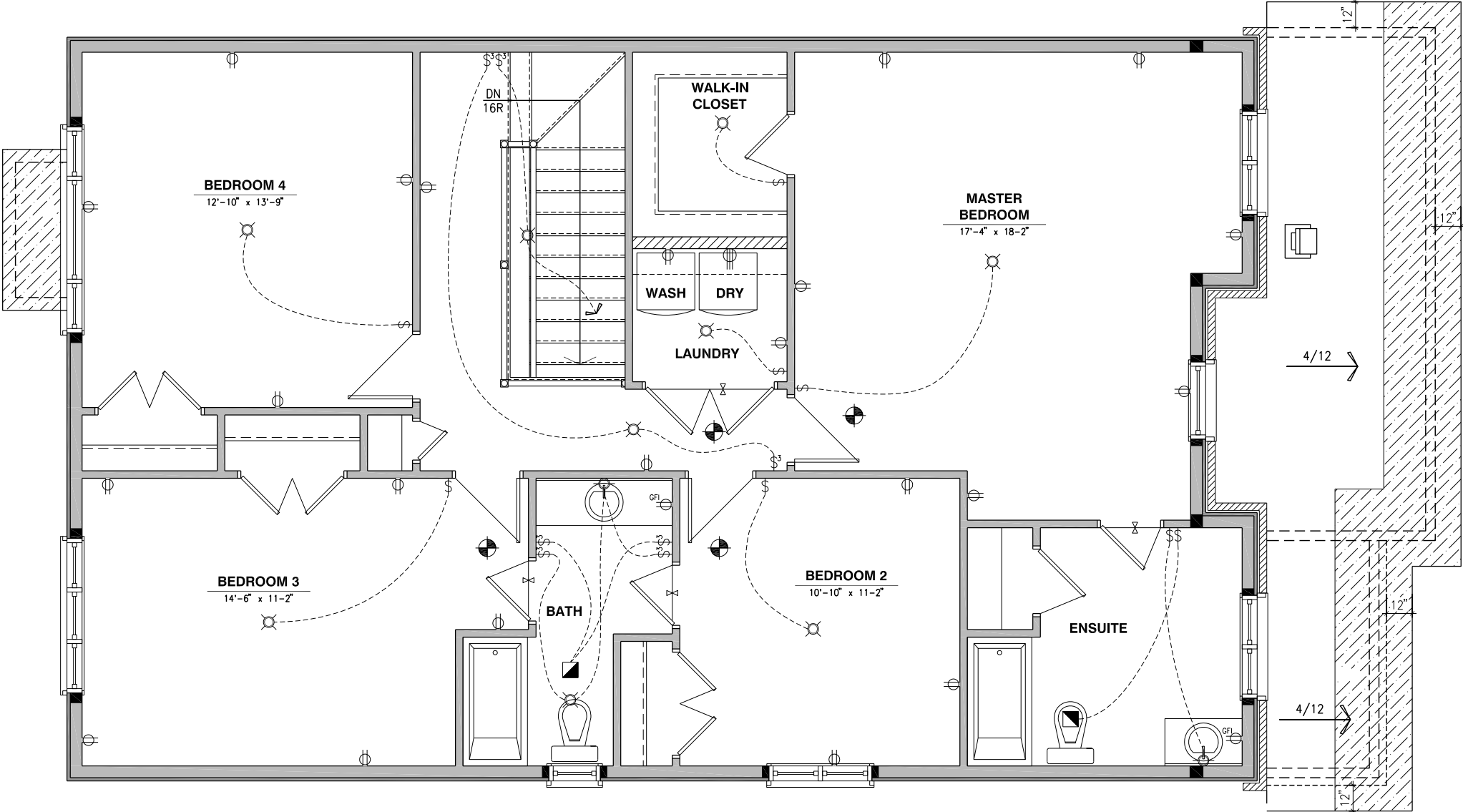
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

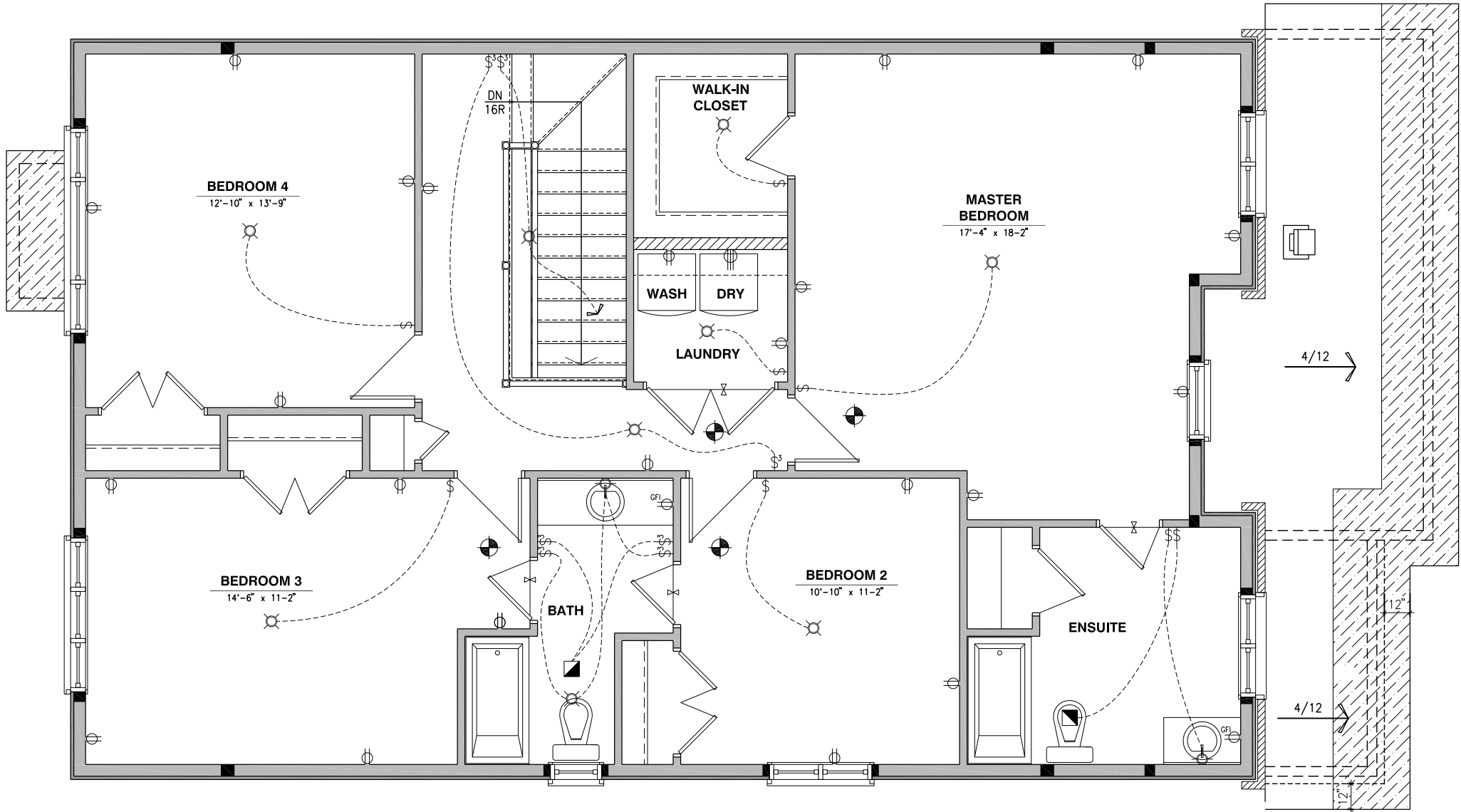
DRAWING: ELECTRICAL PLAN
SECOND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3m

ELECTRICAL PLAN - SECOND FLOOR - 4 BEDROOM - JACK AND JILL - ELEVATION A
SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
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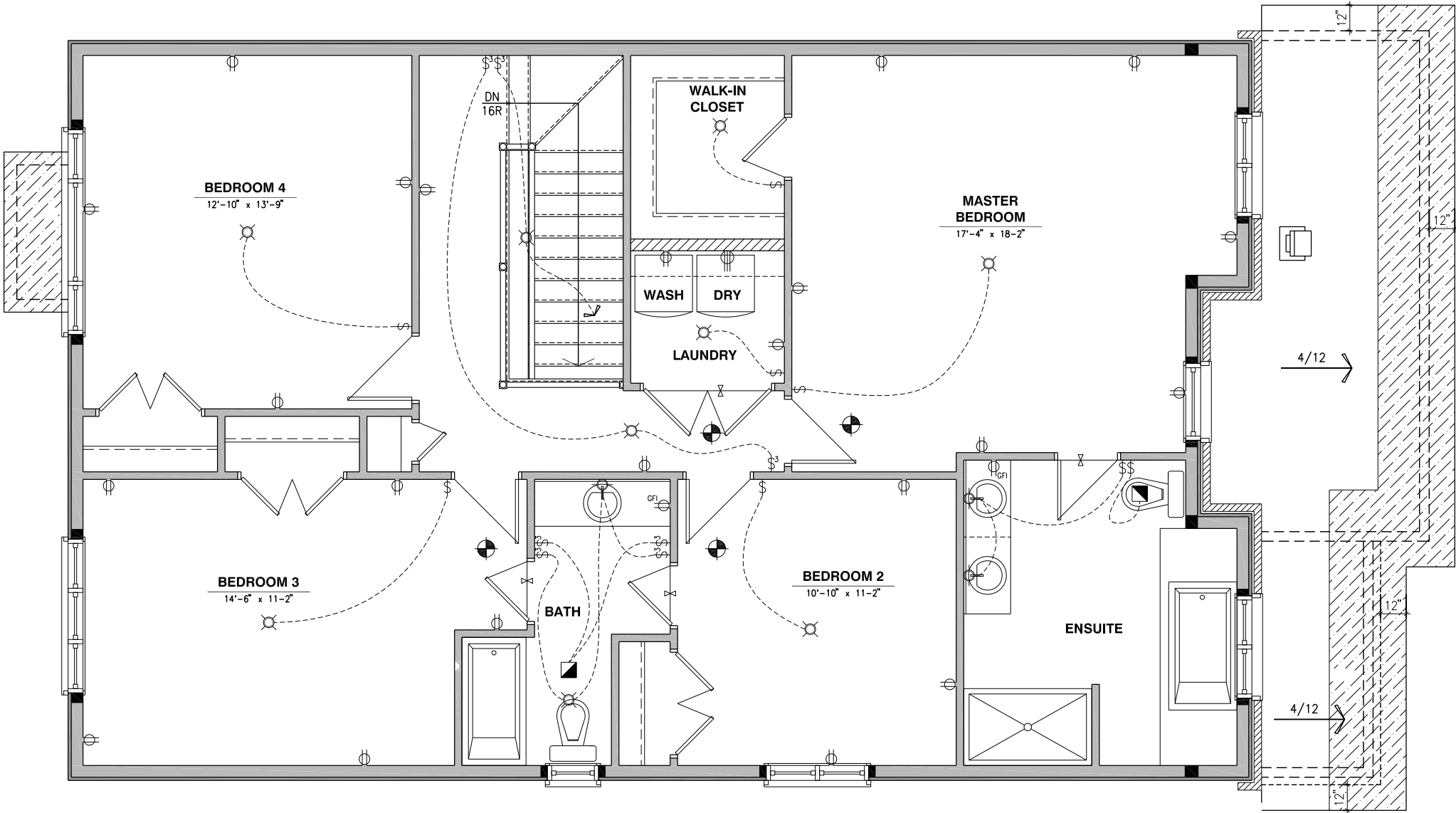
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NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3n



LOT: XXXX
DATE: XX/XX/XXXX



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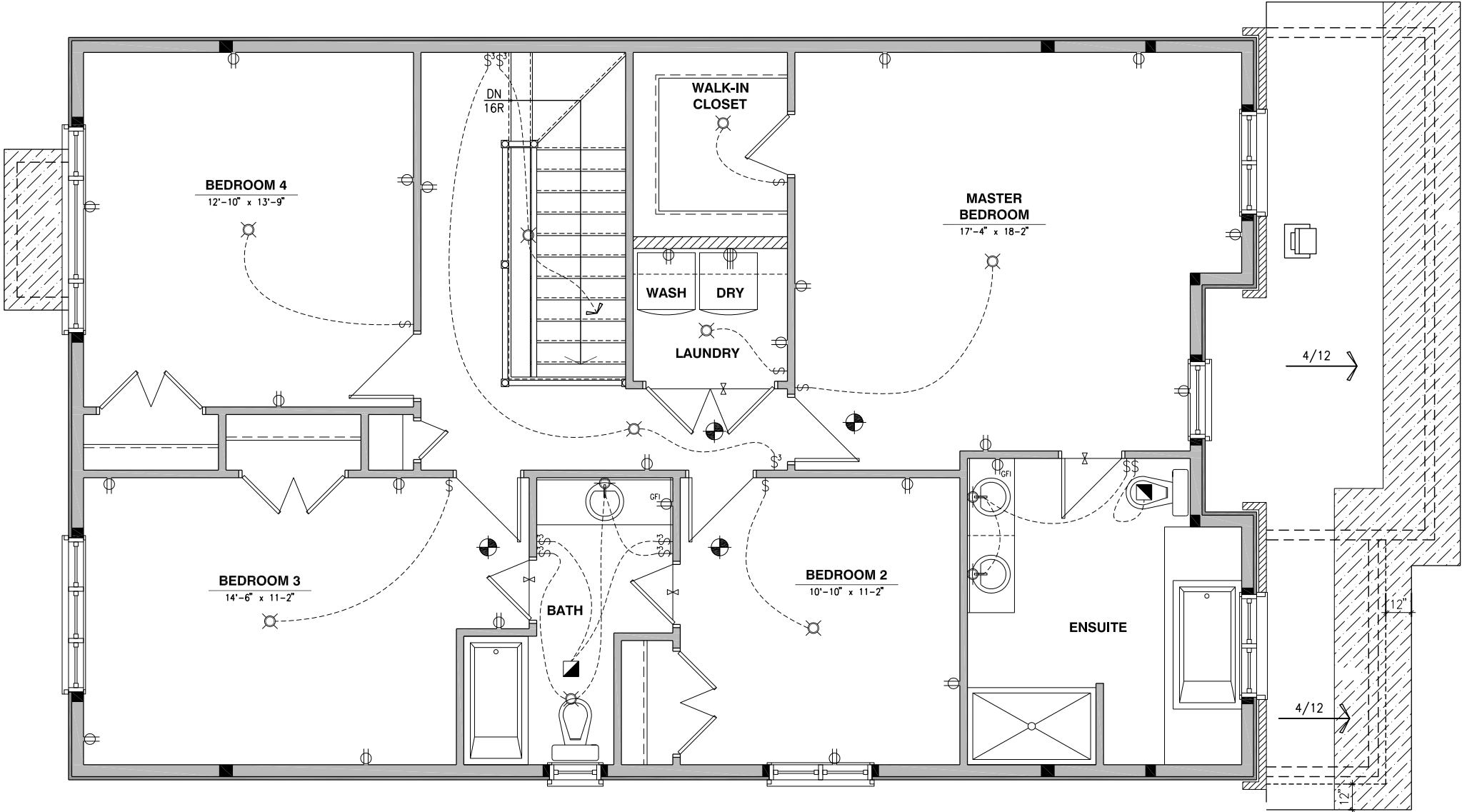
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SECOND FLOOR - ELEV. A

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826 - THE BRADLEY
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.30



LOT: XXXX
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