



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE

PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

PERCENT GLASS TO WALL AREA = 11.3%

\_\_\_\_\_

— 6" FOUNDATION CHECK  
SEE GRADE PLAN  
(TYP.)

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

**FRONT ELEVATION A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.1a**

**FRONT ELEVATION A**

SCALE: 3/16" = 1'-0"



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Homes (2019) Limited

.. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ..

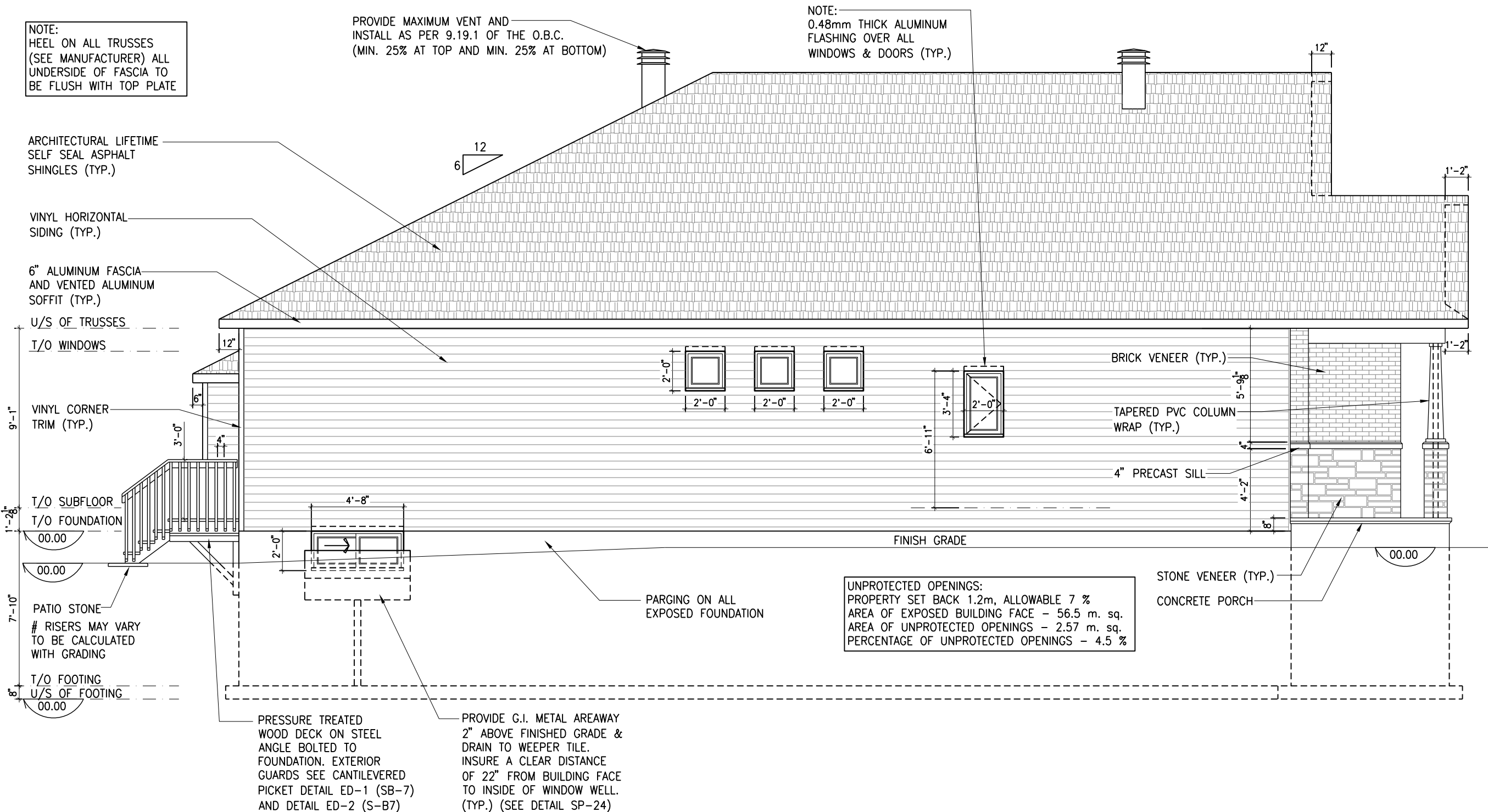
PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL



REV-1	NEW STANDARD DRWG. MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

**1015 - THE MURRY**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.2a**



**LEFT ELEVATION A**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 56.5 m. sq.  
AREA OF UNPROTECTED OPENINGS - 2.57 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 4.5 %

**2012 O.B.C. DRAWINGS**

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **LEFT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.3a**



**Valecraft**  
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL



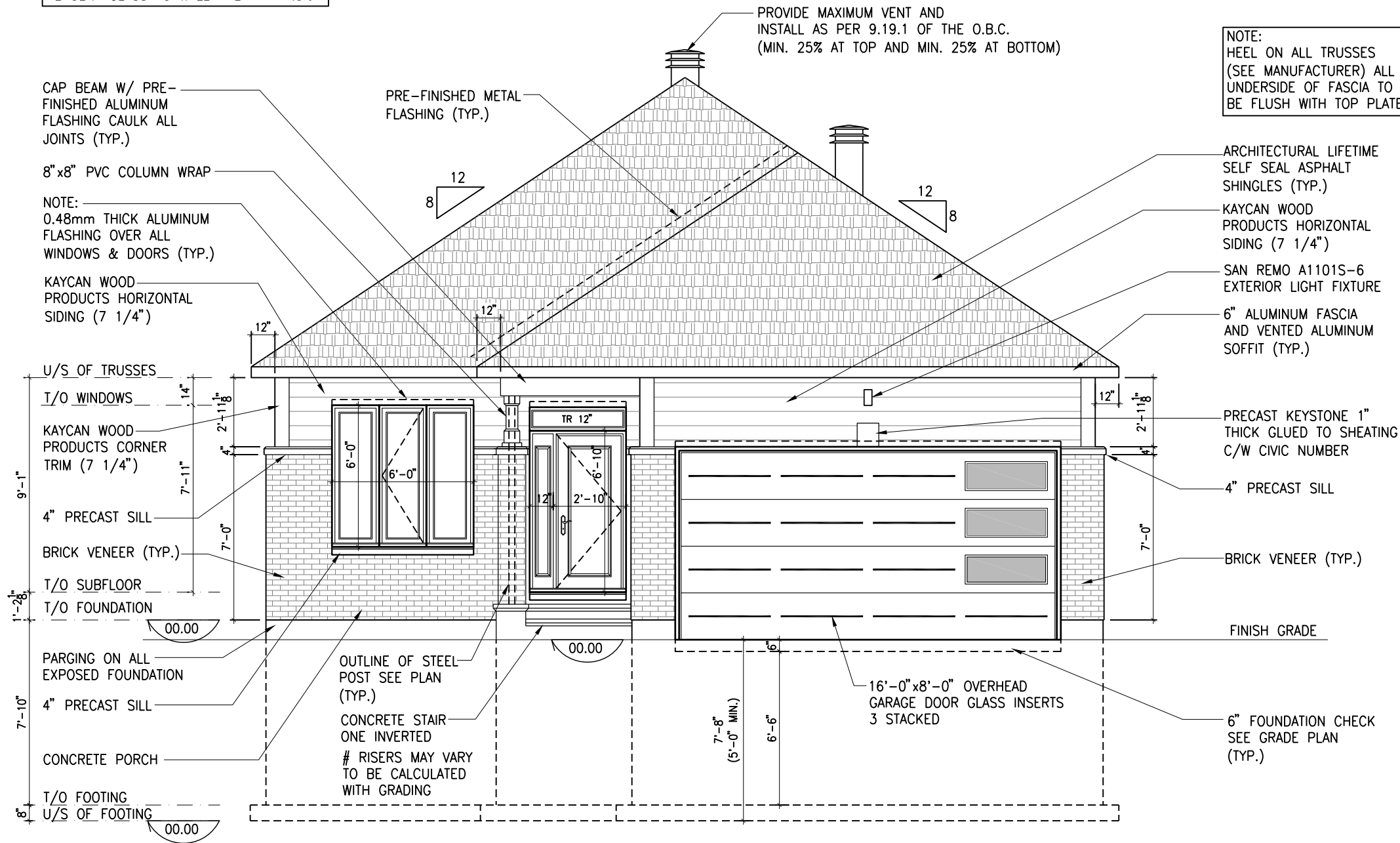
SHEET:  
**A.4a**

STANDARD PLAN:

GROSS INSULATED = 190.7 M. SQ.  
WALL AREA

GROSS WINDOW = 21.6 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 11.3%



FRONT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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PC - PRECAST KEYSTONE  
PCL10 - 10" PRECAST LINTEL

- ARCHITECTURAL LIFETIME SELF SEAL ASPHALT SHINGLES (TYP.)
- KAYCAN WOOD PRODUCTS HORIZONTAL SIDING (7 1/4")
- SAN REMO A1101S-6 EXTERIOR LIGHT FIXTURE
- 6" ALUMINUM FASCIA AND VENTED ALUMINUM SOFFIT (TYP.)

- PRECAST KEYSTONE 1" THICK GLUED TO SHEATING C/W CIVIC NUMBER
- 4" PRECAST SILL

BRICK VENEER (TYP.)

FINISH GRADE

- 16'-0"x8'-0" OVERHEAD GARAGE DOOR GLASS INSERTS 3 STACKED
- 6" FOUNDATION CHECK SEE GRADE PLAN (TYP.)

2012 O.B.C. DRAWINGS


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DRAWING: FRONT ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A.1b**

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

NOTE:  
0.48mm THICK ALUMINUM  
FLASHING OVER ALL  
WINDOWS & DOORS (TYP.)

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

ARCHITECTURAL LIFETIME  
SELF SEAL ASPHALT  
SHINGLES (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

6" ALUMINUM FASCIA  
AND VENTED ALUMINUM  
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

KAYCAN WOOD  
PRODUCTS CORNER  
TRIM (7 1/4")

4" PRECAST SILL

BRICK VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

FINISH GRADE

UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 61.5 m. sq.  
AREA OF UNPROTECTED OPENINGS - 2.5 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 4 %

PARGING ON ALL  
EXPOSED FOUNDATION

VINYL HORIZONTAL  
SIDING (TYP.)  
VINYL CORNER  
TRIM (TYP.)

RIGHT ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


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DRAWING:

RIGHT ELEVATION B

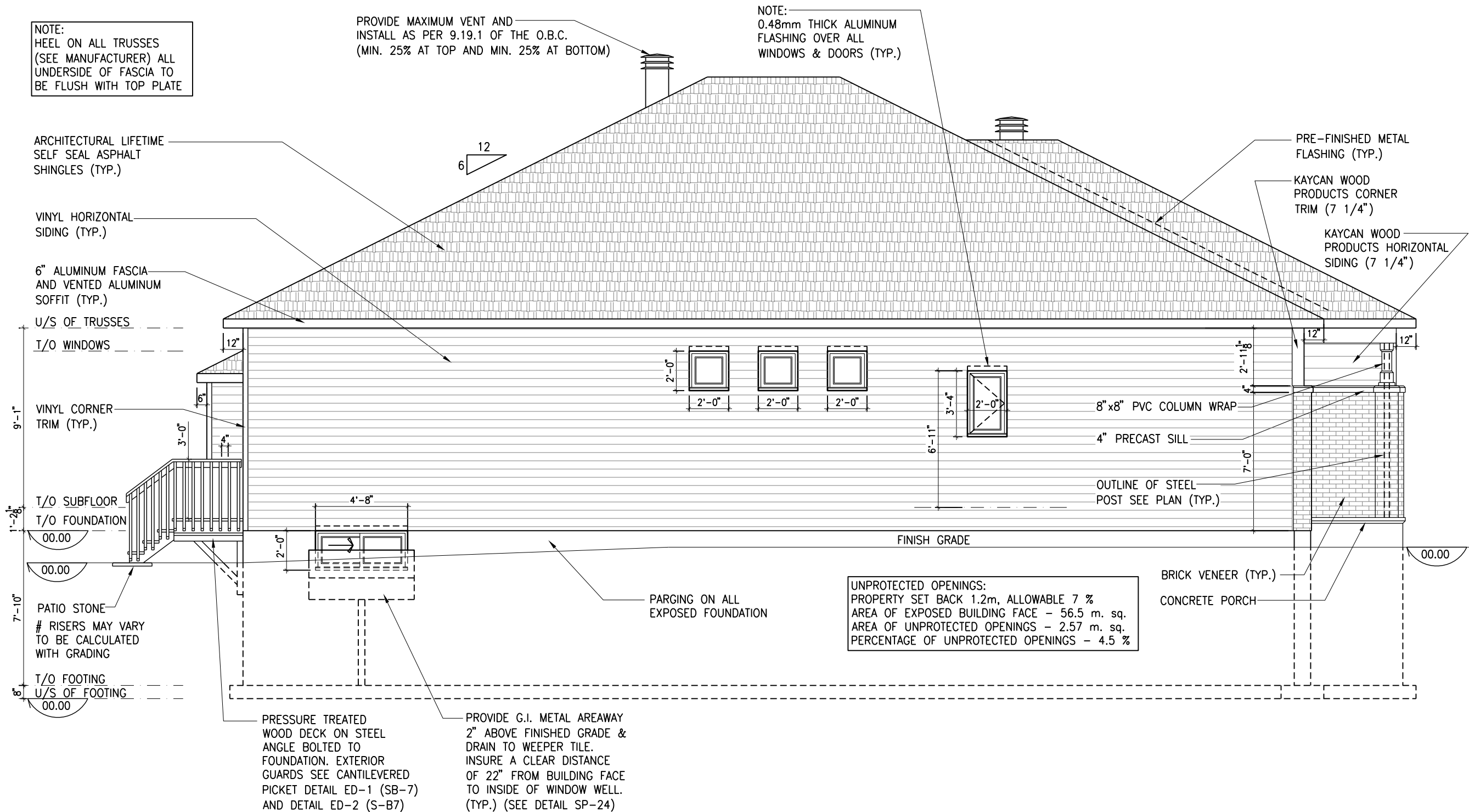
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1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)


SHEET:

A.2b



LEFT ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



Valecraft

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS


REV-1  
NO.

NEW STANDARD DRWG  
DESCRIPTION

MODIFICATION  
DATE

01/01/2022  
DOYON  
BY

DRAWING: LEFT ELEVATION B

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

A.3b



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PCL10 - 10" PRECAST LINTEL



REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION B**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1015 - THE MURRY**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A.4b**





**Valecraft**  
Homes (2019) Limited

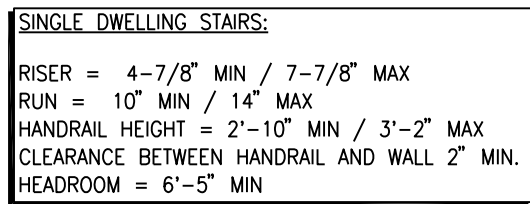
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SCALE: 3/16" = 1'-0"

[illegible]

DRAWING: **BUILDING SECTION  
ELEVATION B**

1015 - THE MURRY  
2022 FOOTPRINT

SHEET:  
**A.5**

FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.

PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	40"x40"x10" W/ 3-15M 34" LG. E/W	44"x44"x10" W/ 3-15M 38" LG E/W	48"x48"x10" W/ 4-15M 42" LG E/W	50"x50"x10" W/ 4-15M 44" LG E/W
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 10"H.

LOT: XXXX

DATE: XX/XX/XXXX



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- TARION REGISTRATION NUMBER #611

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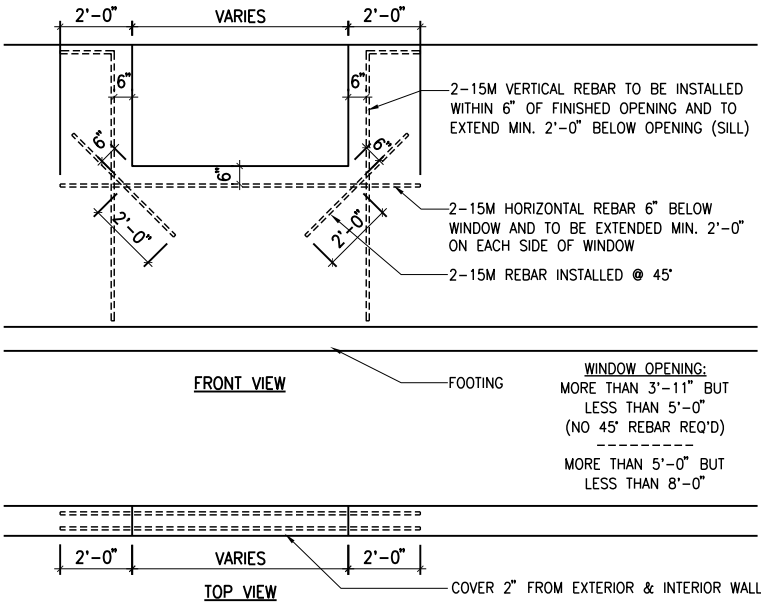
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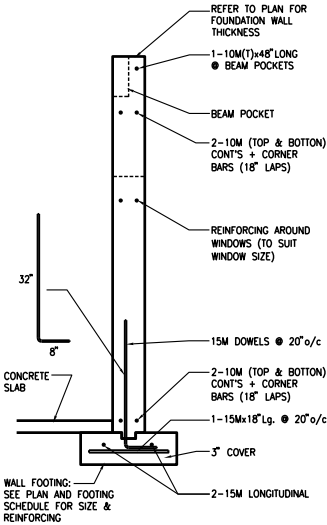
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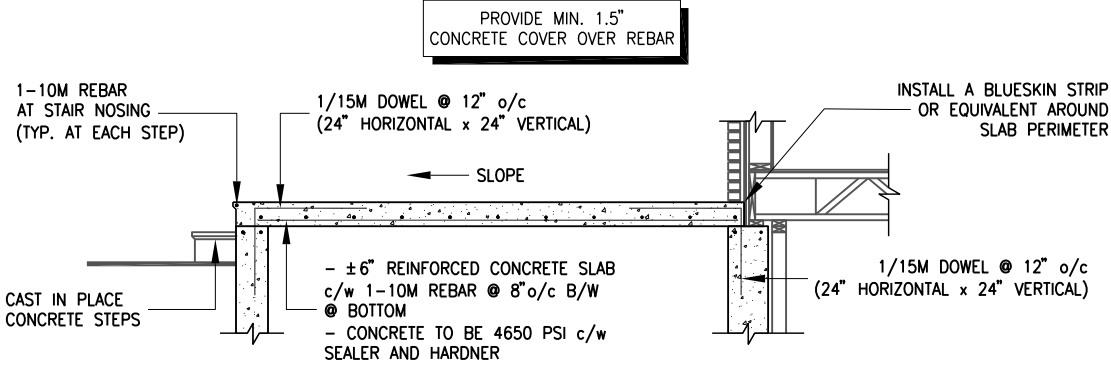
1  
A.6

**BASEMENT WINDOW REINFORCING**  
SCALE: 3/16" = 1'-0"



2  
A.6

**CONCRETE WALL REINFORCING**  
SCALE: 1/4" = 1'-0"



3  
A.6

**CONCRETE PORCH REINFORCING**  
SCALE: 1/4" = 1'-0"

2012 O.B.C. DRAWINGS


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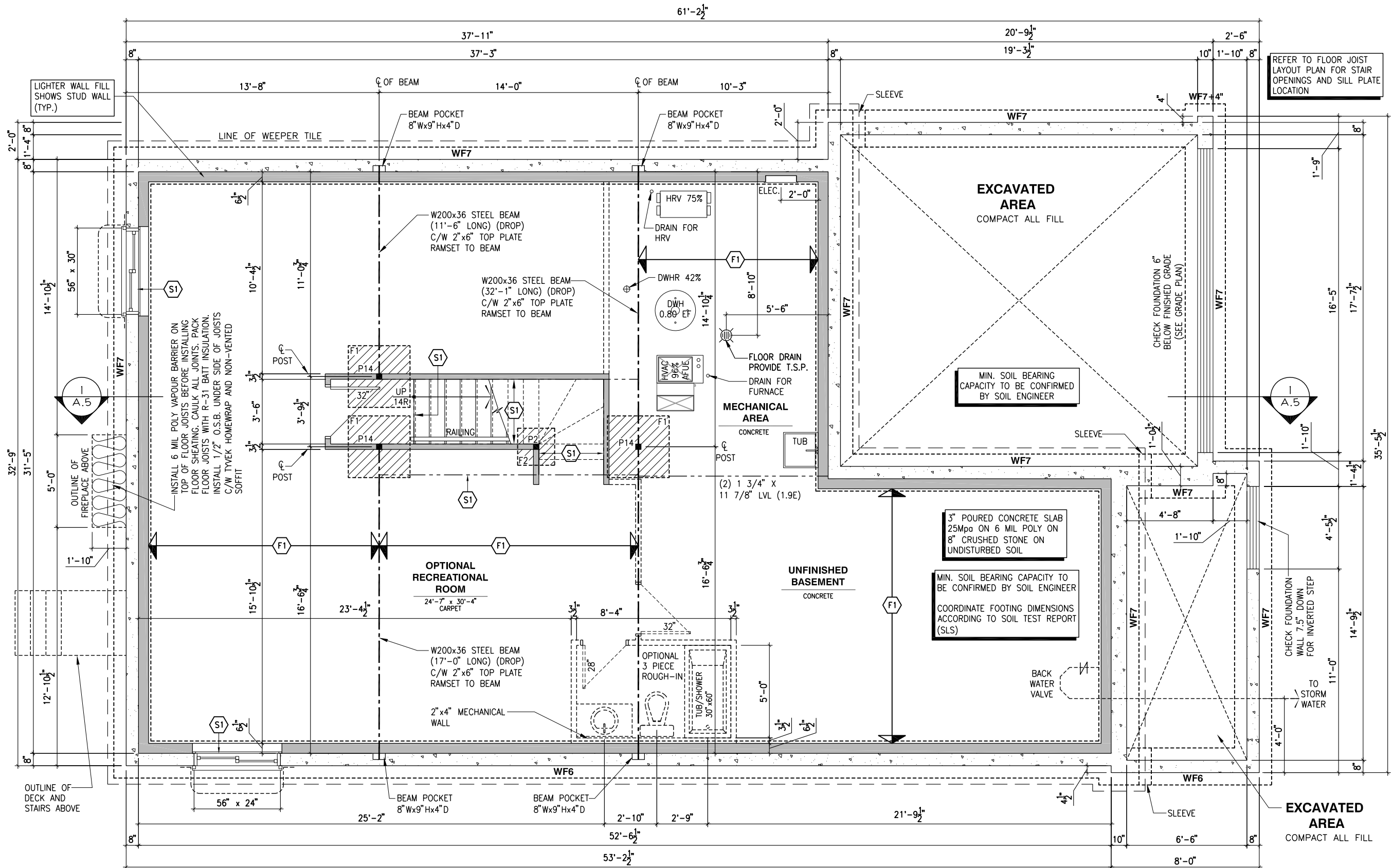
DRAWING: **FOOTING SCHEDULE AND CONCRETE DETAILS**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A6**

SEE A6F FOR FOOTING TABLE



BASEMENT FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX

DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

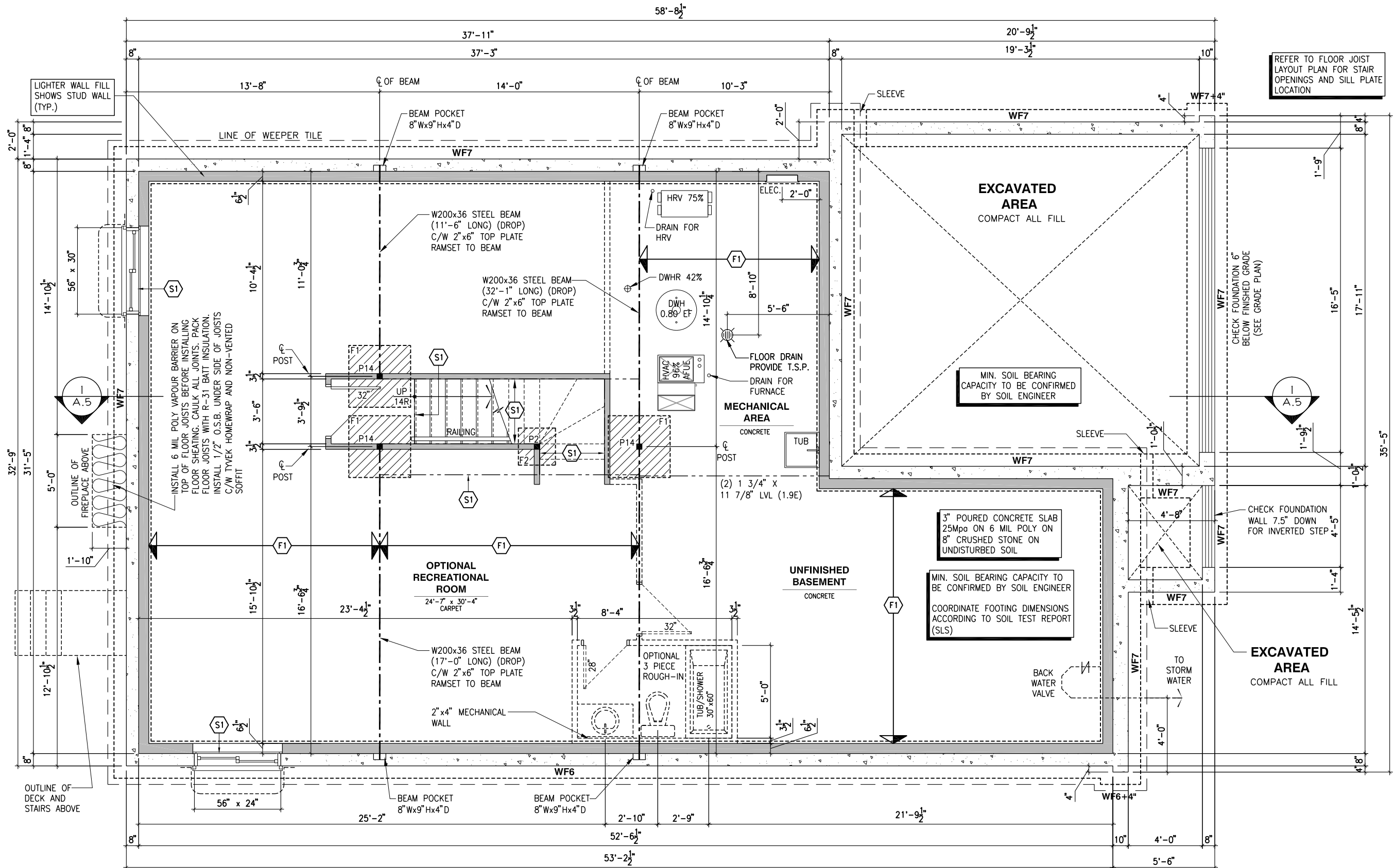
1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6a

SEE A6F FOR FOOTING TABLE



BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORME @ 19.2" o/c  
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX

DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

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STEEL LINTEL:

- S1 = L 90x90x6
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- S4 = L 125x90x8
- S5 = L 125x90x10
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- (+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT FLOOR - ELEV. B

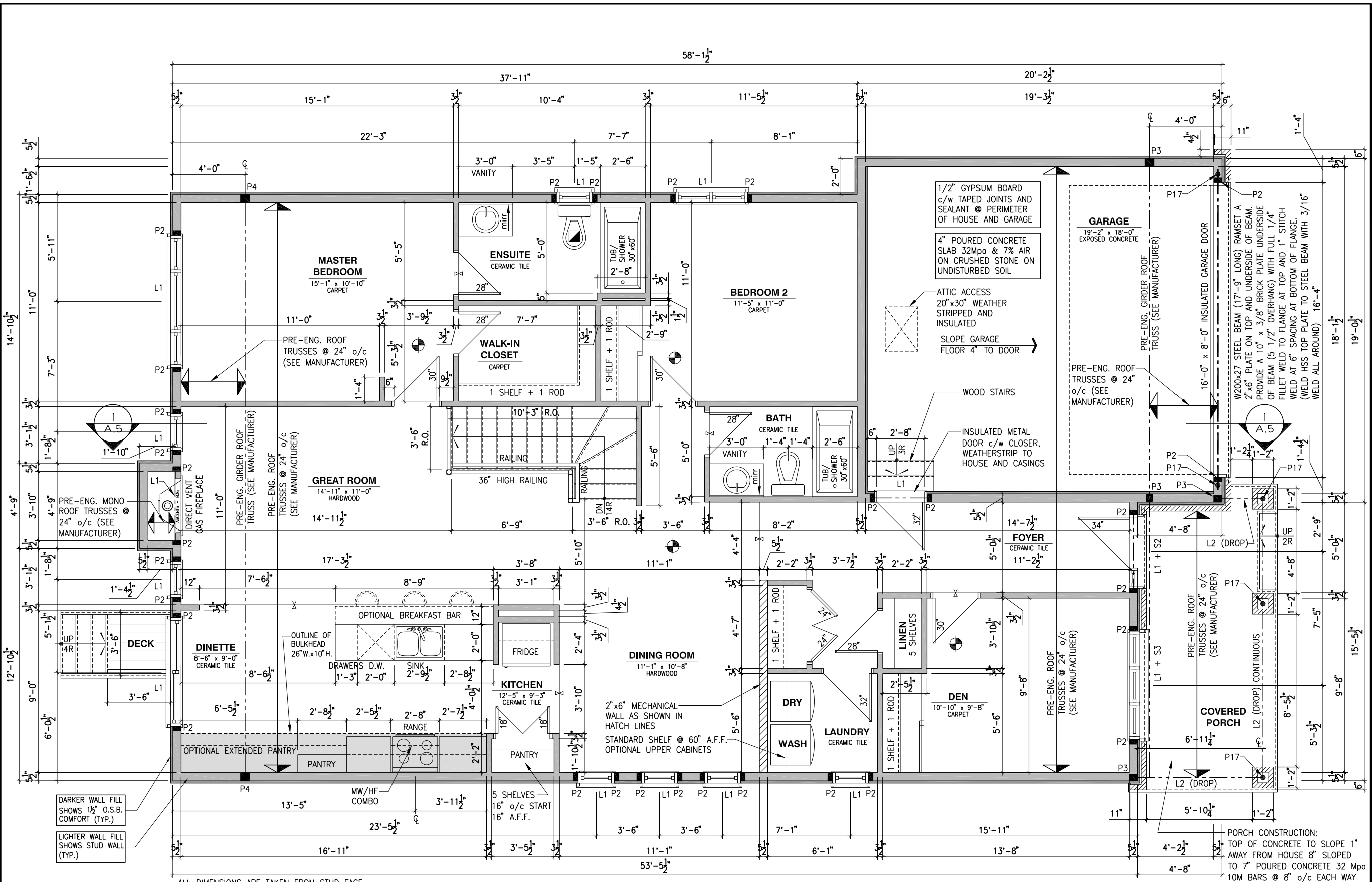
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6b



LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO.

DESCRIPTION

DATE

BY

DRAWING:

GROUND FLOOR - ELEVATION A

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

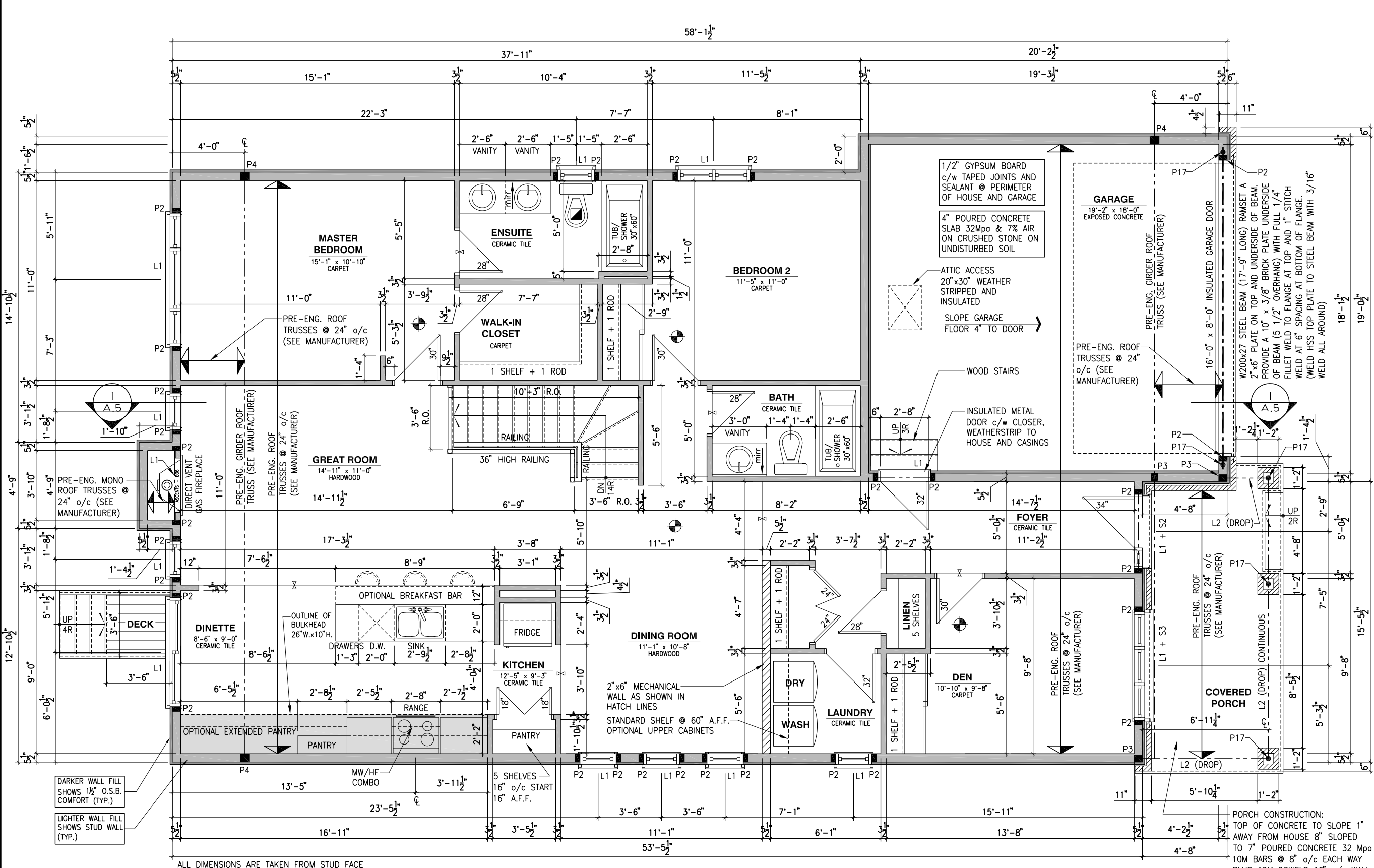
A7a

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:  
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER  
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING  
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



**GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

**SINGLE DWELLING STAIRS:**

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

**GENERAL NOTES:**

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2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**2012 O.B.C. DRAWINGS**

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR - ELEVATION A**

ADDRESS: xx      SCALE: 3/16" = 1'-0"      DATE: xx/xx/xxxx

**1015 - THE MURRY 2022 FOOTPRINT**

(STANDARD DRAWINGS)

**LOT: XXXX**  
**DATE: XX/XX/XXXX**

**Valecraft Homes (2019) Limited**

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**NOTES:**

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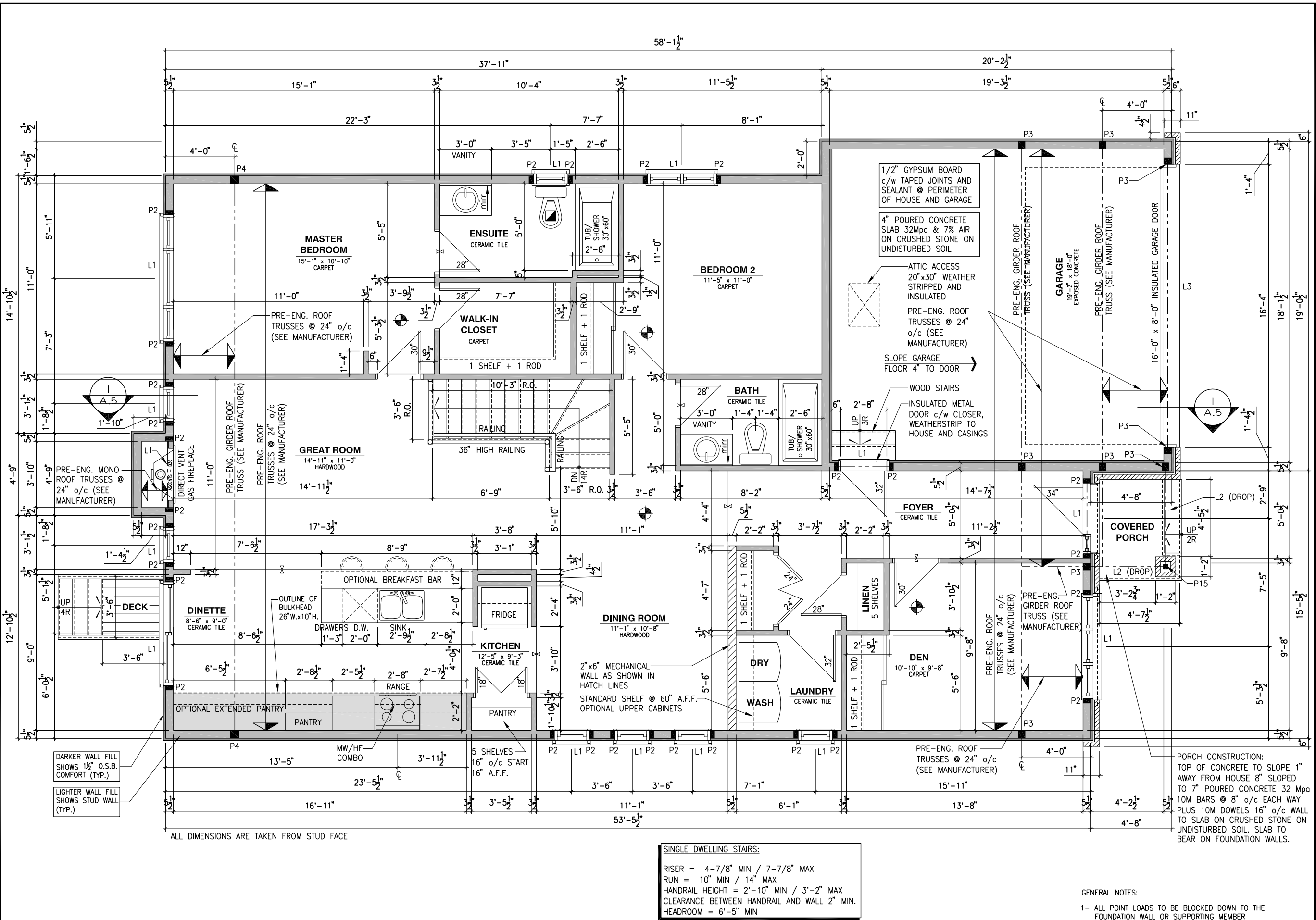
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE


**PORCH CONSTRUCTION:**  
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

**A7b**



LOT:XXXX

DATE:XX/XX/XXXX



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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:GROUND FLOOR - ELEVATION B

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7c

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

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SINGLE DWELLING STAIRS:

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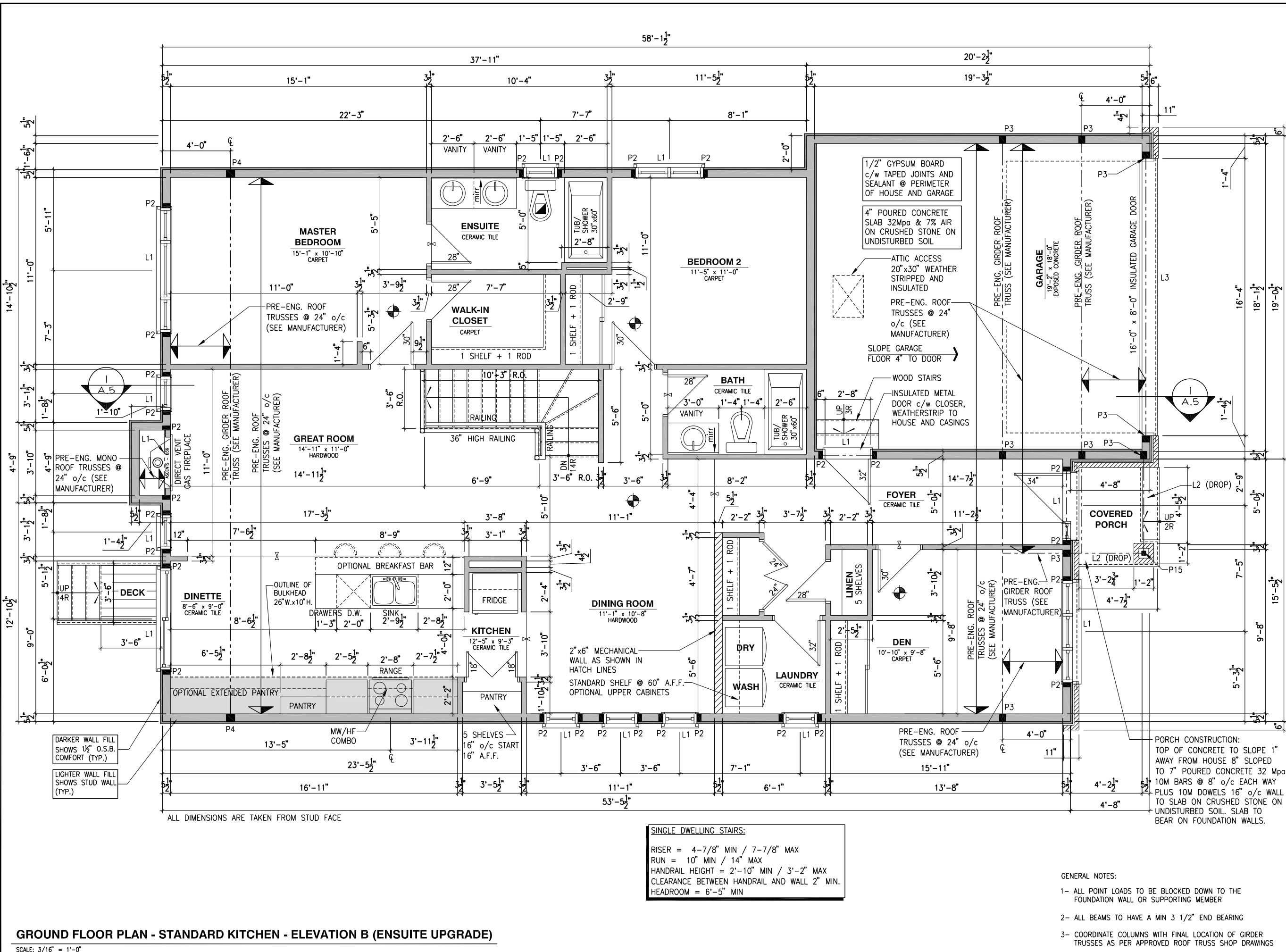
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CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.


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LOT:XXXX

DATE:XX/XX/XXXX



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Homes (2019) Limited

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1NEW STANDARD DRWG MODIFICATION01/01/2022DOYON

NO. DESCRIPTION DATE BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

1015 - THE MURRY2022 FOOTPRINT(SHED STANDARD DRAWINGS)

SHEET:A7d

GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B (ENSUITE UPGRADE)

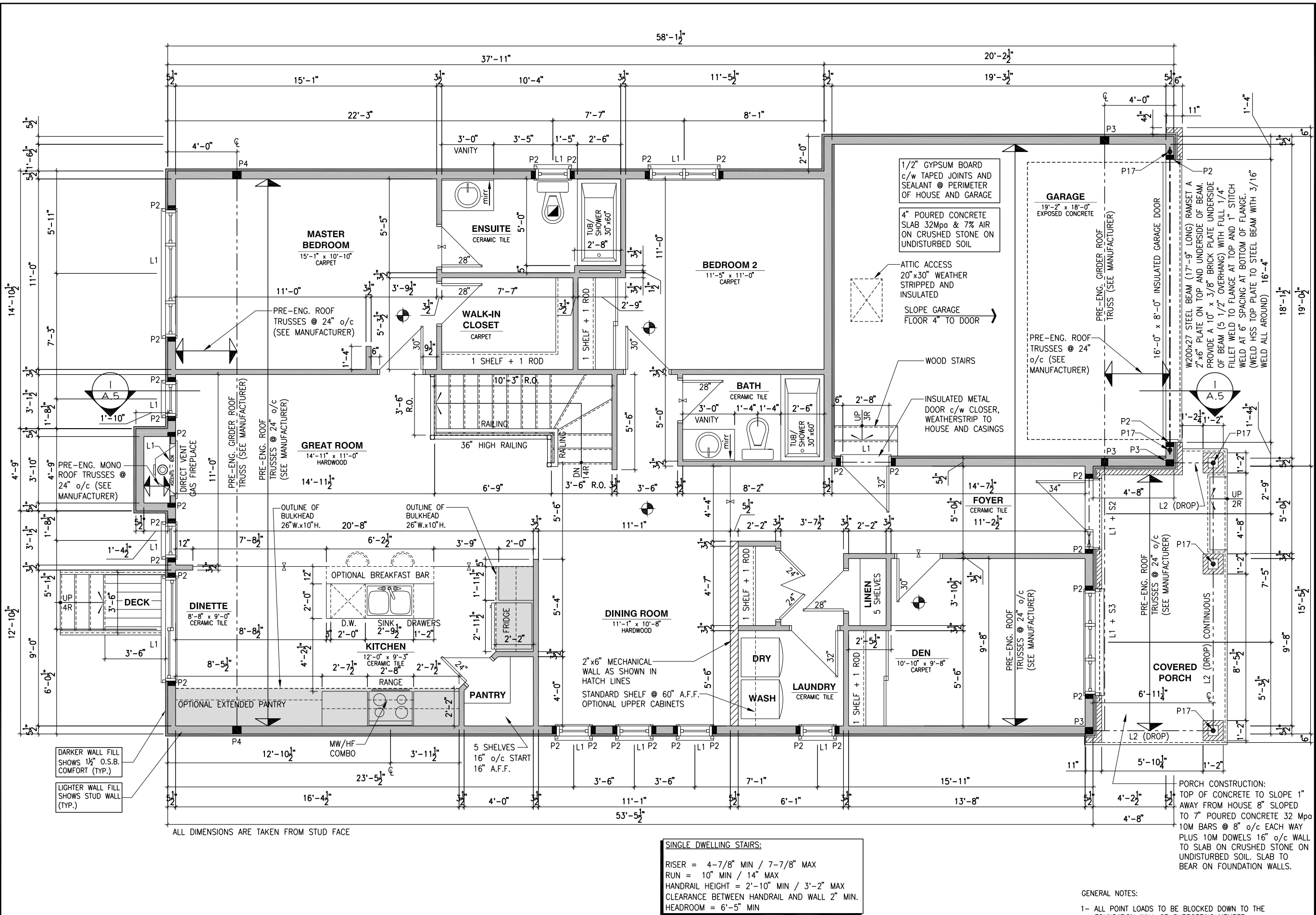
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RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS





LOT:XXXX  
DATE:XX/XX/XXXX

DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555

- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:  
STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER  
POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)  
2-12x ANCH. (WHERE ANCH. PL. NOT USED)  
POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"  
SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
SHALL HAVE A VISUAL SIGNALING DEVICE;  
ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1NEW STANDARD DRWG MODIFICATION01/01/2022DOYON

NO. DESCRIPTIONDATEBY

DRAWING:  
GROUND FLOOR - ELEVATION A

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:  
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8' SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL  
P17 = HSS 73.0Dx4.8 + 100x180x12 BOTTOM PL  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12" ANCH. WHERE ANCH. PL. NOT USED

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 72 HOURS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF BLOWN GLASS.
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

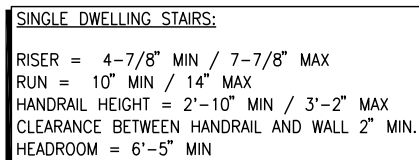

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	DATE	BY

DRAWING:

### GROUND FLOOR - ELEVATION A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)



GENERAL NOTES:

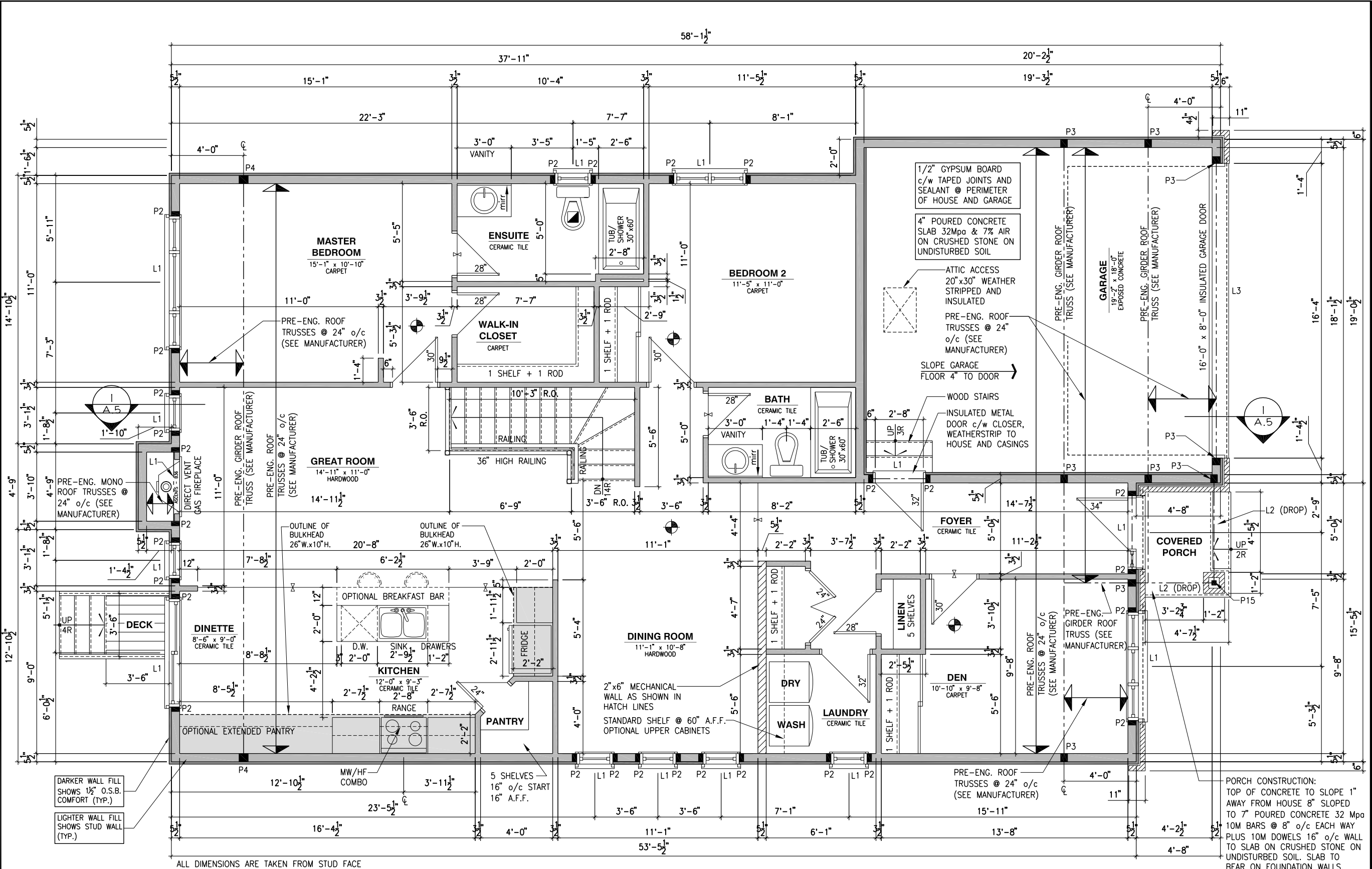
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

**SINGLE DWELLING STAIRS:**  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
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**GENERAL NOTES:**  
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3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT:XXXX

DATE:XX/XX/XXXX

ValecraftHomes (2019) Limited

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- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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- NOTES:**  
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S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)


- LINTEL TABLE:**  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
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- POST TABLE:**  
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P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (•)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (•)  
P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL. (•)  
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

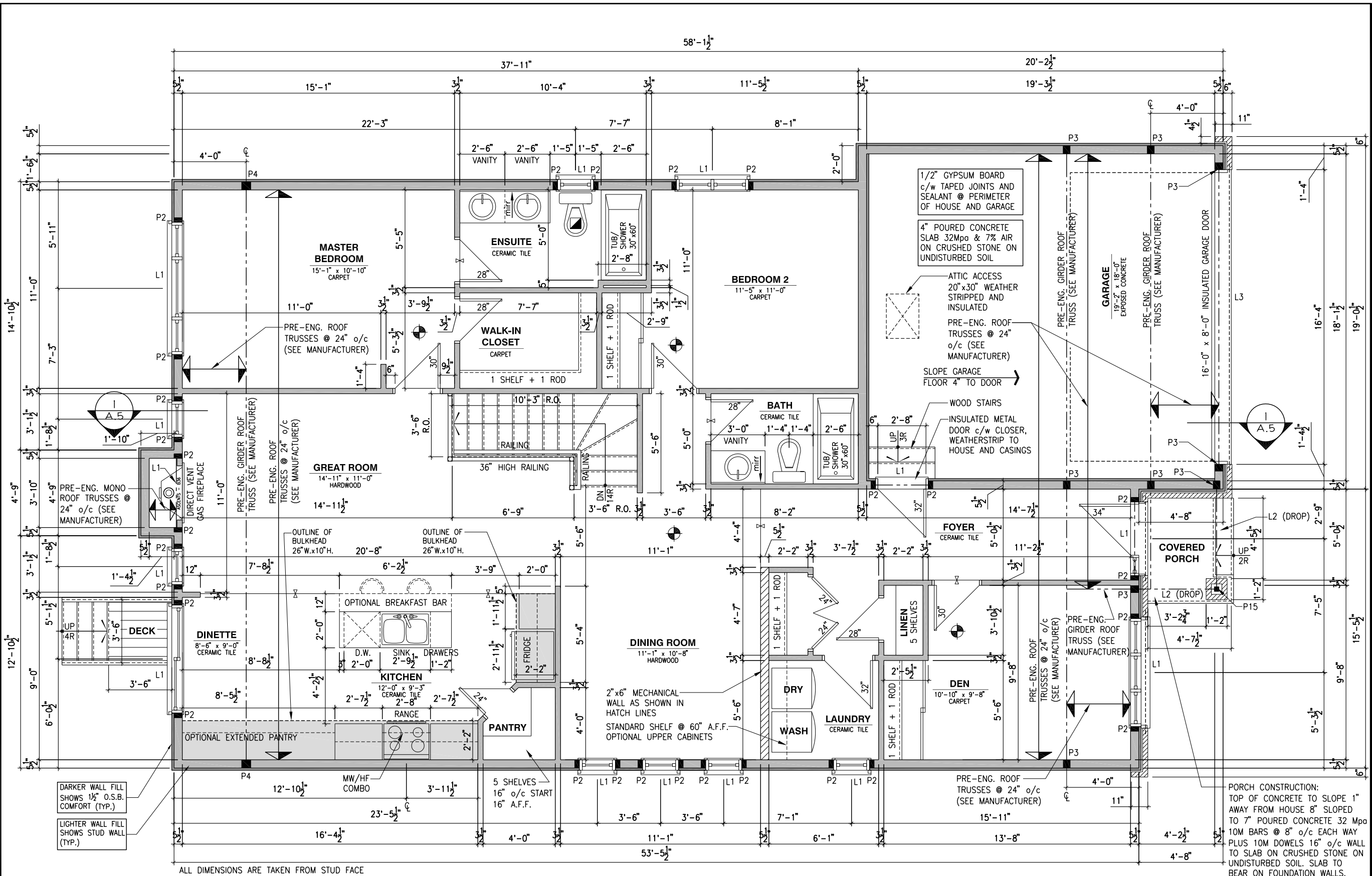
ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

1015 - THE MURRY2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7g



LOT:XXXX

DATE:XX/XX/XXXX

Valecraft  
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

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S4 = L 125x90x8

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LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A7h

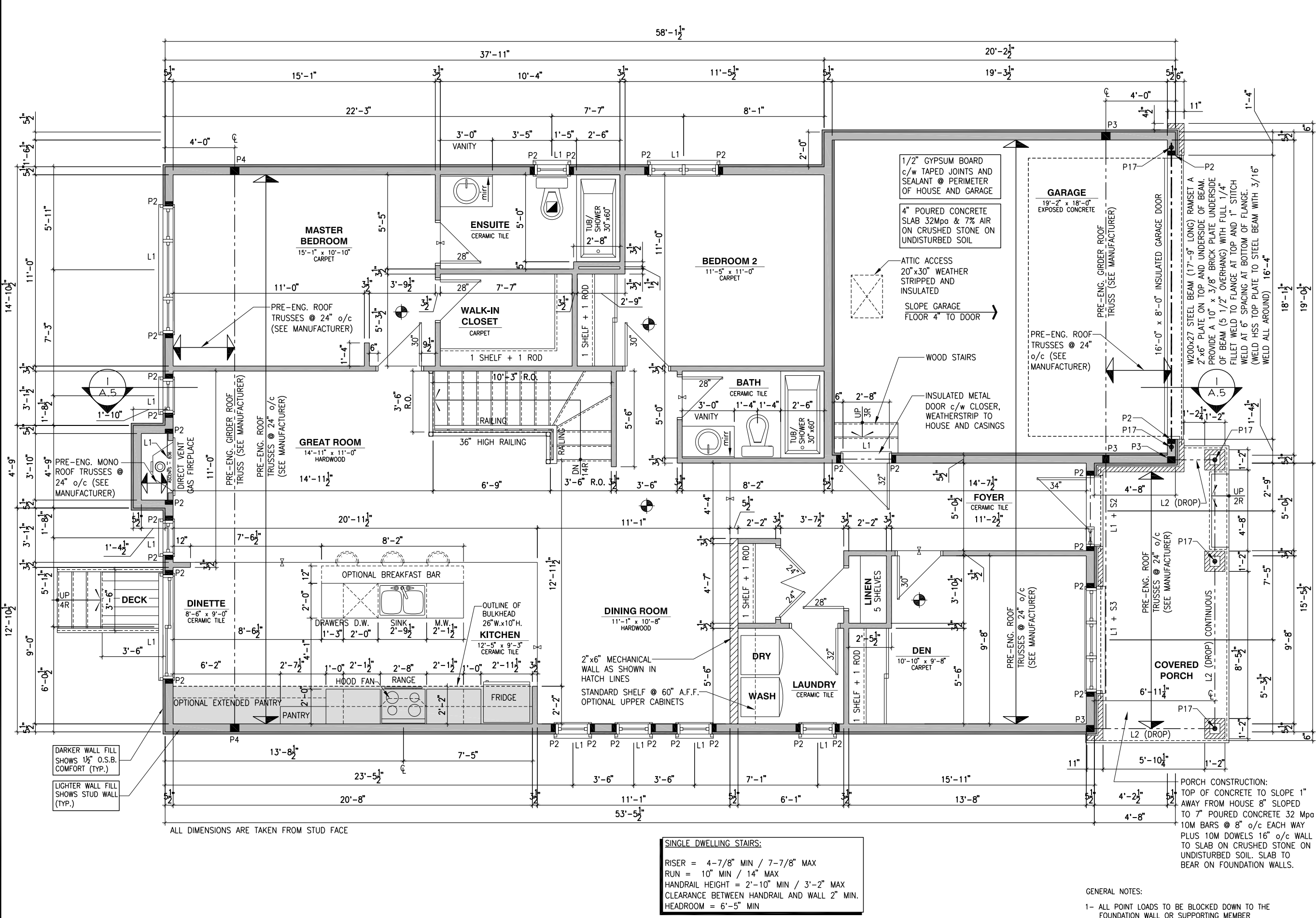
GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
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RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

 **Valecraft**  
Homes (2019) Limited

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- LINTEL TABLE:
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- POST TABLE:
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  - P2 = 2-2x4 OR 2-2x6
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  - P4 = 4-2x4 OR 4-2x6
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  - P6 = 6-2x4 OR 6-2x6
  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
  - P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL. (+)
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	NEW STANDARD DRWG MODIFICATION	DATE	DOYON

GROUND FLOOR - ELEVATION A

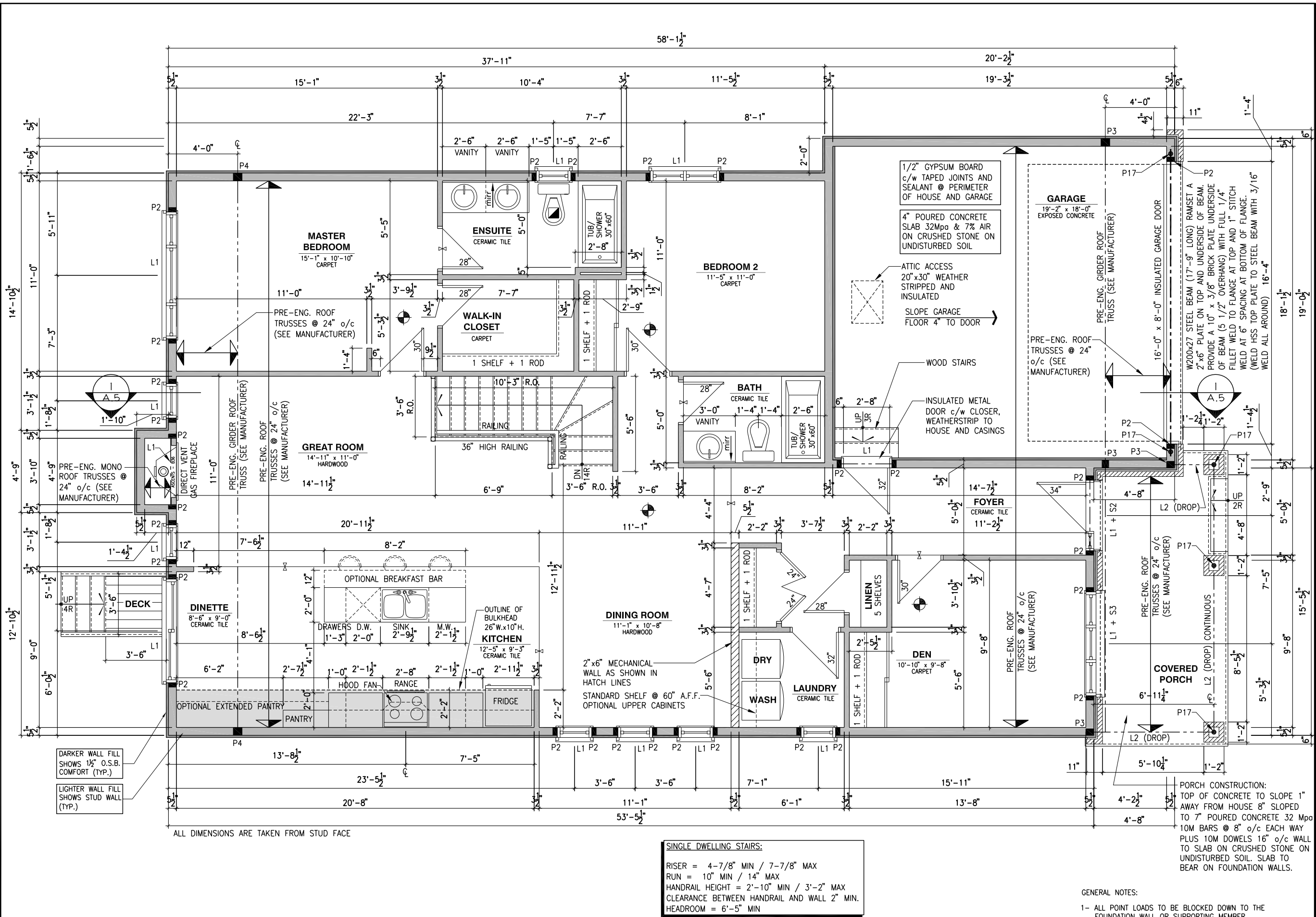
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

STANDARD DRAWINGS

A7i


- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
  - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
  - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT:XXXX  
DATE:XX/XX/XXXX



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Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING:

GROUND FLOOR - ELEVATION A

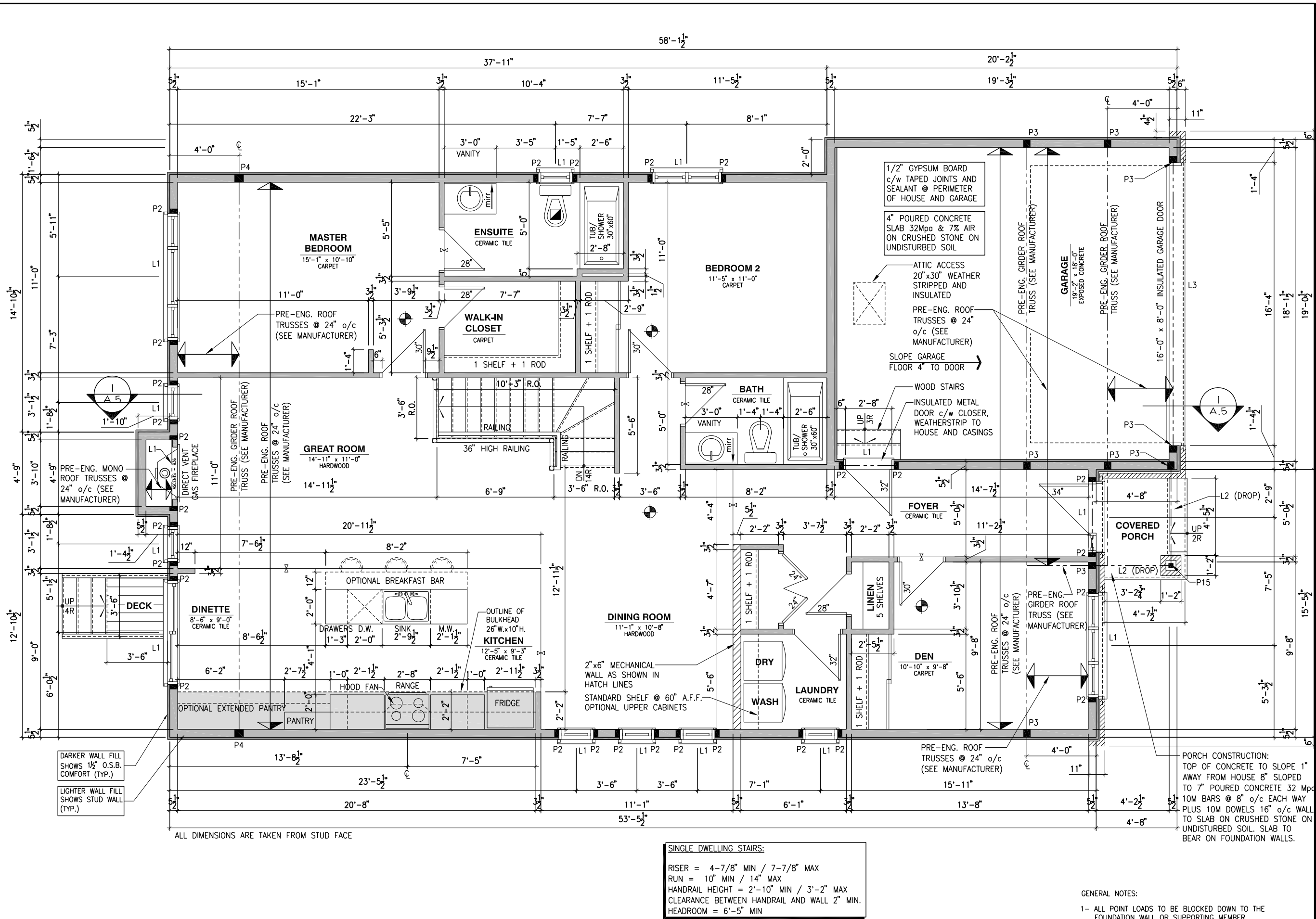
ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A7j





LOT:XXXX

DATE:XX/XX/XXXX

Valecraft  
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555

- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P10 = 3" ADJUSTABLE STEEL COLUMN

P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6

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P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - ELEVATION B

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A7k

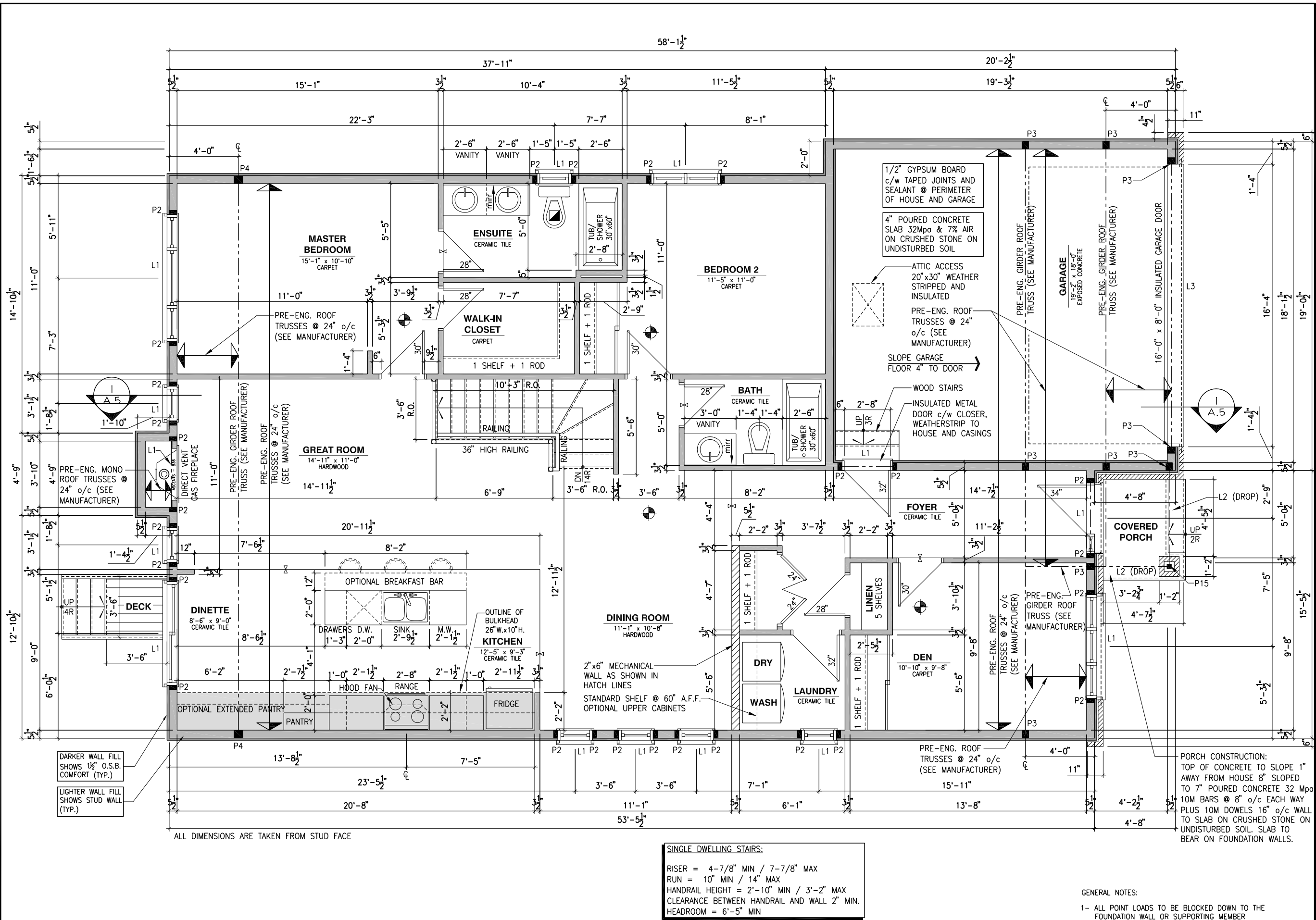
GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

GENERAL NOTES:

- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
  - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
  - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
  - L2 = 3-2x10 + P3 ON BOTH SIDES
  - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
  - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
  - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
  - P2 = 2-2x4 OR 2-2x6
  - P3 = 3-2x4 OR 3-2x6
  - P4 = 4-2x4 OR 4-2x6
  - P5 = 5-2x4 OR 5-2x6
  - P6 = 6-2x4 OR 6-2x6
  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
  - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
  - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
  - (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A71**



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NOTES:

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L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP


P2	=	2-2x4	OR	2-2x6
P3	=	3-2x4	OR	3-2x6
P4	=	4-2x4	OR	4-2x6
P5	=	5-2x4	OR	5-2x6
P6	=	6-2x4	OR	6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)

(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A 1/2"

 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	DATE	BY

DRAWING:

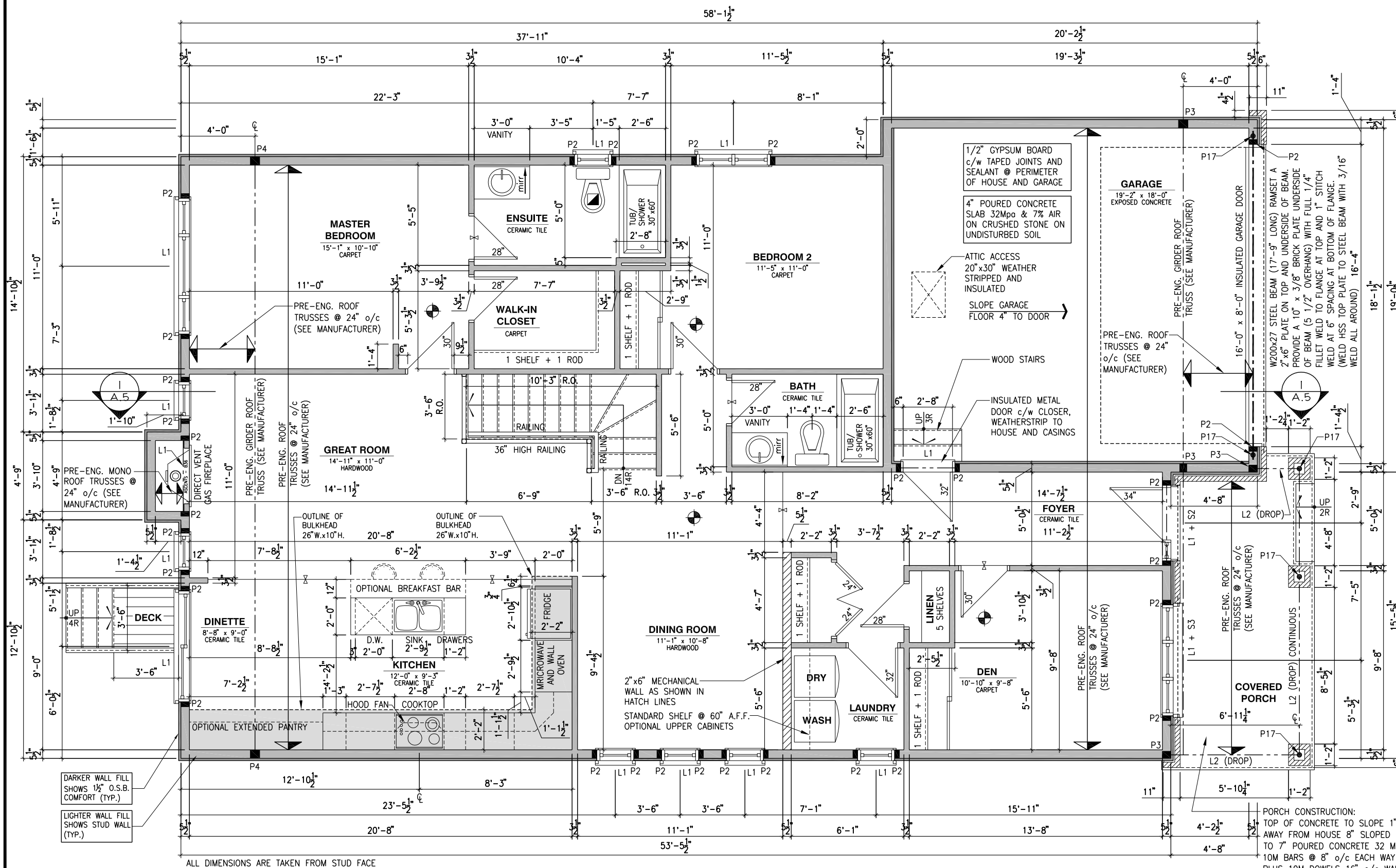
### GROUND FLOOR - ELEVATION A

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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**1015 - THE MURRY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:  
**A7m**



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

### SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX  
 RUN = 10" MIN / 14" MAX  
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
 HEADROOM = 6'-5" MIN

GENERAL NOTES:

1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:  
TOP OF CONCRETE TO SLOPE 1"  
AWAY FROM HOUSE 8" SLOPED  
TO 7" POURED CONCRETE 32 Mpc  
10M BARS @ 8" o/c EACH WAY  
PLUS 10M DOWELS 16" o/c WALL  
TO SLAB ON CRUSHED STONE ON  
UNDISTURBED SOIL. SLAB TO  
BEAR ON FOUNDATION WALLS.

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A**

SCALE: 3/16" = 1'-0"

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NOTES:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

POST TABLE:

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
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P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD  
(EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN  
 ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING  
 POWER FOR AT LEAST 72 HOURS IN NORMAL CONDITION,  
 FOLLOWED BY 4 MINUTES OF LOW
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED  
 ADJACENT TO EACH SLEEPING AREA.

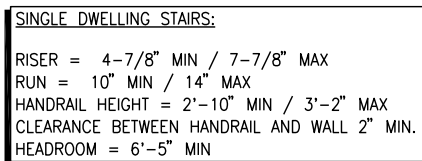
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE


DRAWING:

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:  
**A7n**



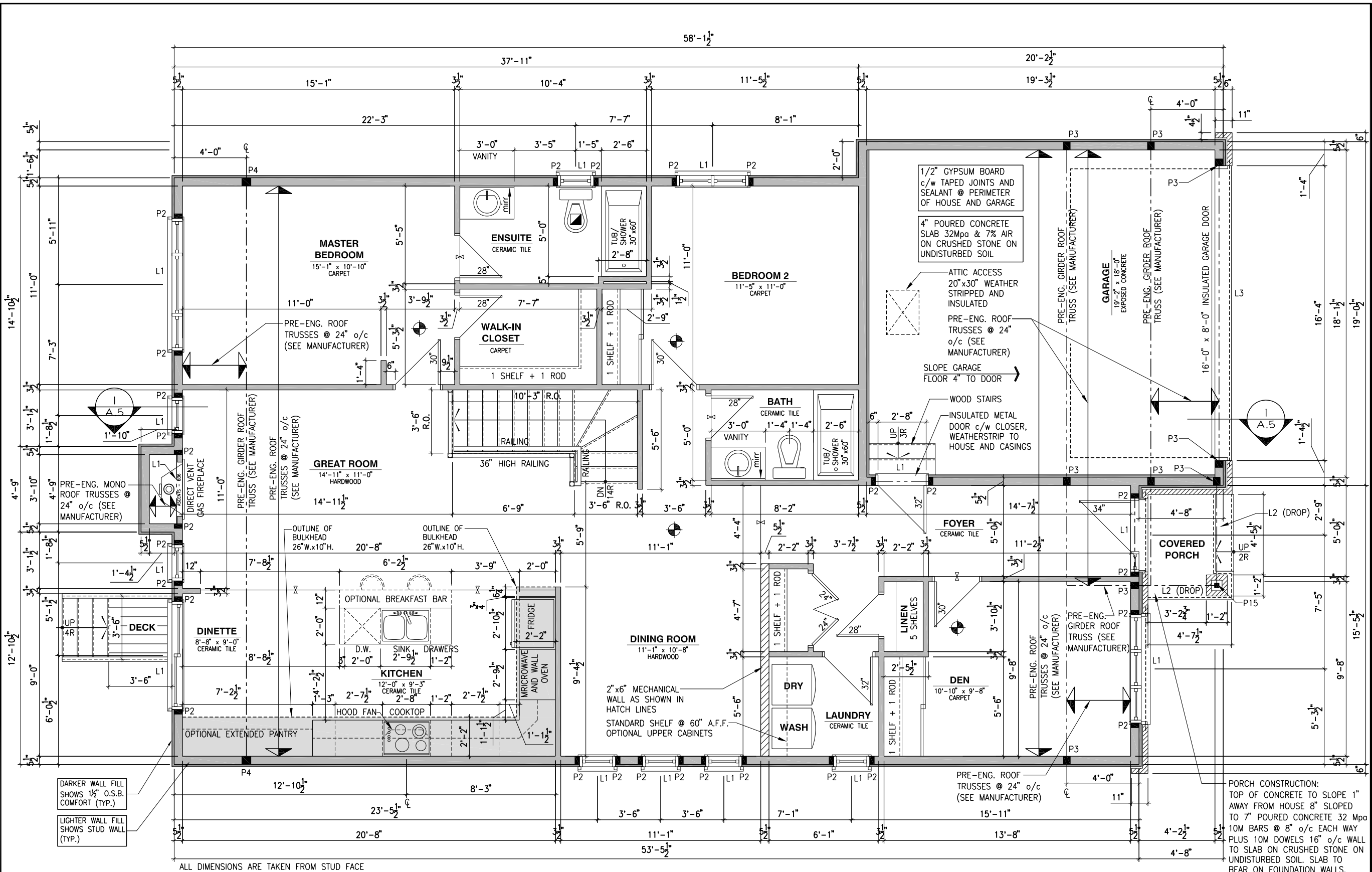
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SCALE: 3/16" = 1'-0"

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

**SINGLE DWELLING STAIRS:**

RISER = 4-7/8" MIN / 7-7/8" MAX  
RUN = 10" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.  
HEADROOM = 6'-5" MIN

**GENERAL NOTES:**

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

**LOT: XXXX**

**DATE: XX/XX/XXXX**



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**NOTES:**

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

**LINTEL TABLE:**

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

**POST TABLE:**

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL. (+)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. (+)

+ 130x160x10 TOP PL. (+)

(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**


REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION DATE BY

DRAWING:

**GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY 2022 FOOTPRINT

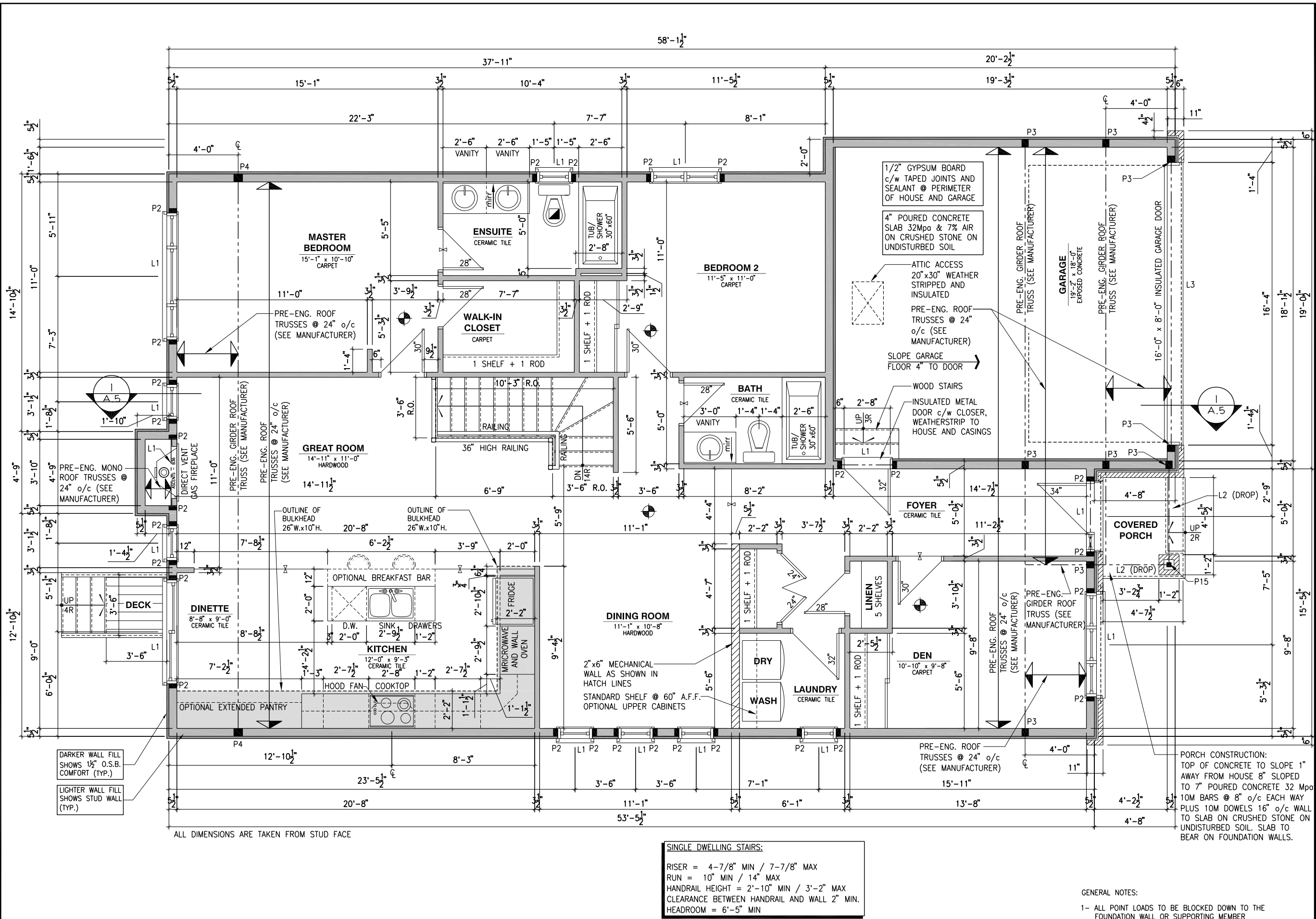
(STANDARD DRAWINGS)

SHEET:

A70

**GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B**

SCALE: 3/16" = 1'-0"



GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

.. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ..

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)  
+ 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

• POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING:  
**GROUND FLOOR - ELEVATION B**

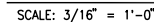
ADDRESS: xx    SCALE: 3/16" = 1'-0"    DATE: xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT

STANDARD DRAWINGS)

SHEET:  
**A7p**

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

(STANDARD DRAWINGS)

**A8a**

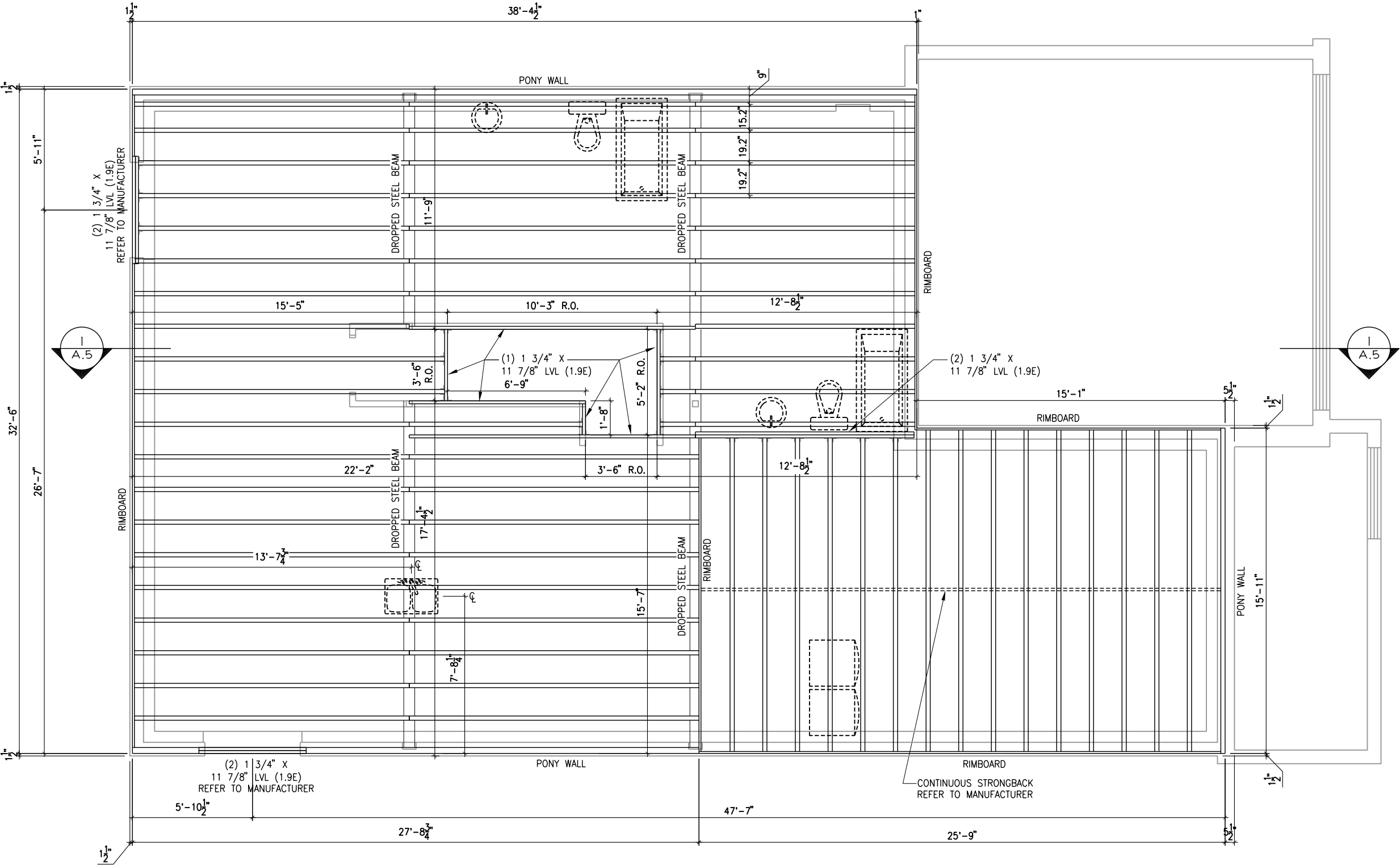
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SCALE:  $3/16" = 1'-0"$

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ROOF AND FLOOR LAYOUT NOTES:  
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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION A

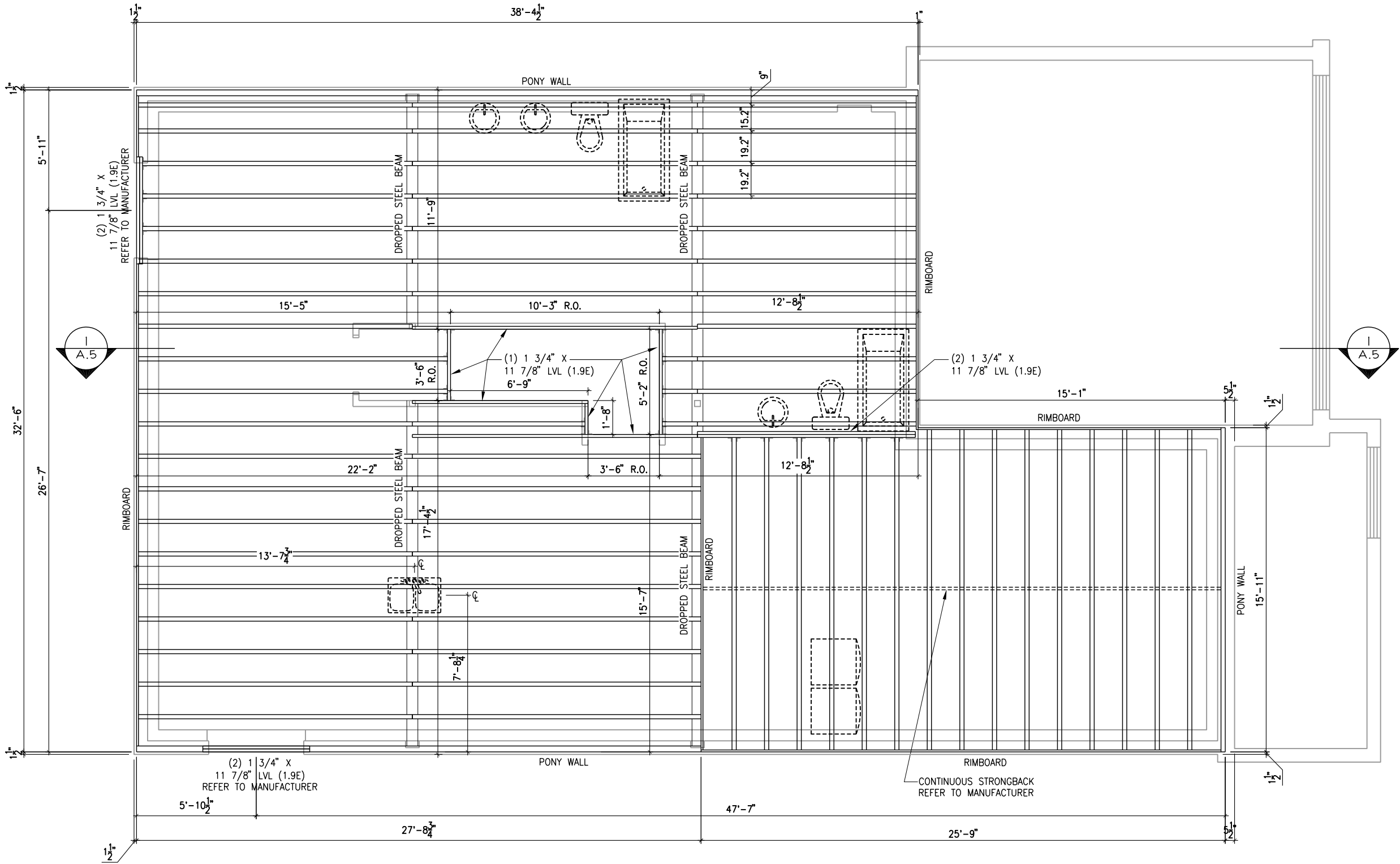
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9a

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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A9b



ROOF AND FLOOR LAYOUT NOTES:  
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LOT: XXXX

DATE: XX/XX/XXXX



Valecraft  
Homes (2019) Limited

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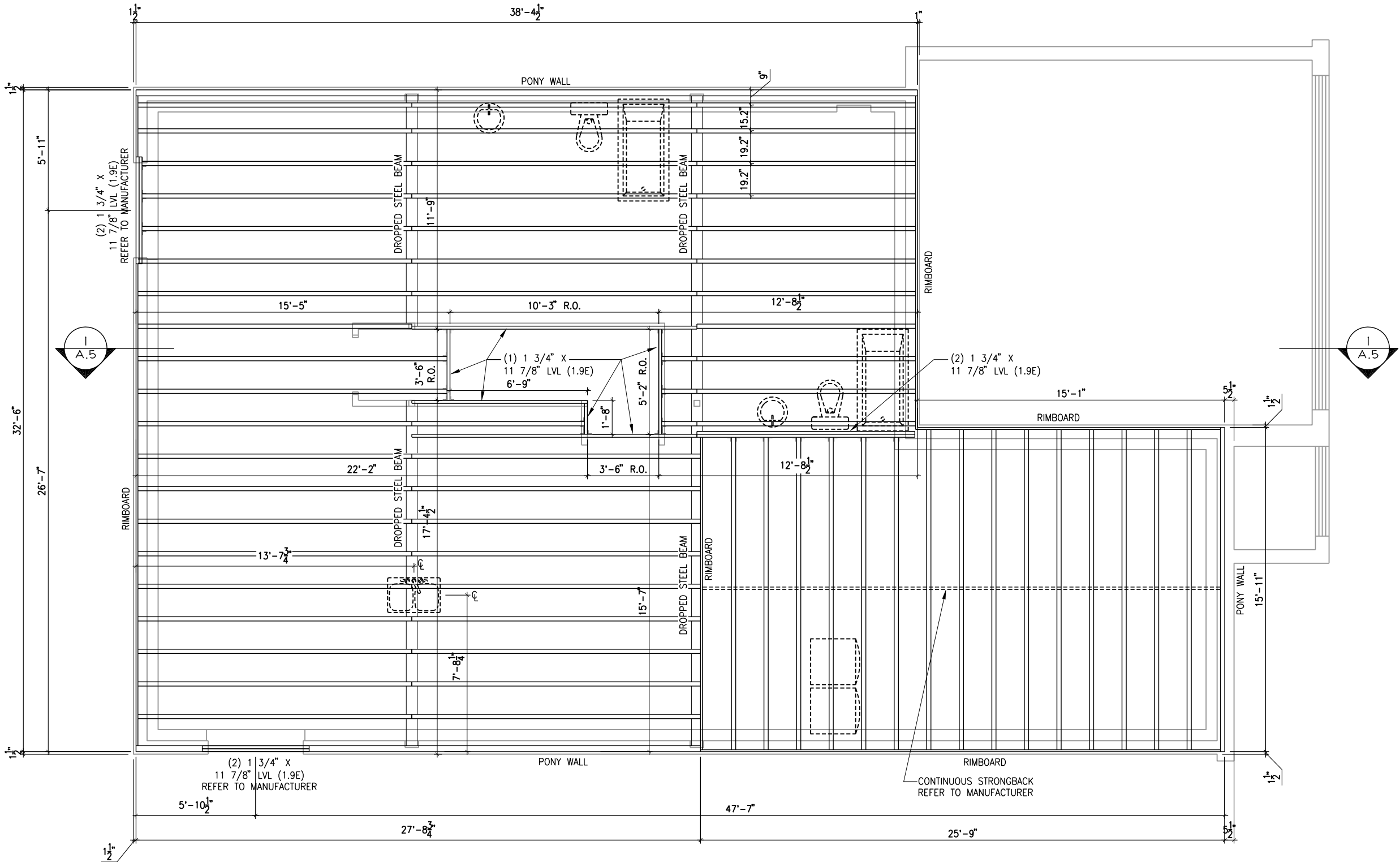
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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION B

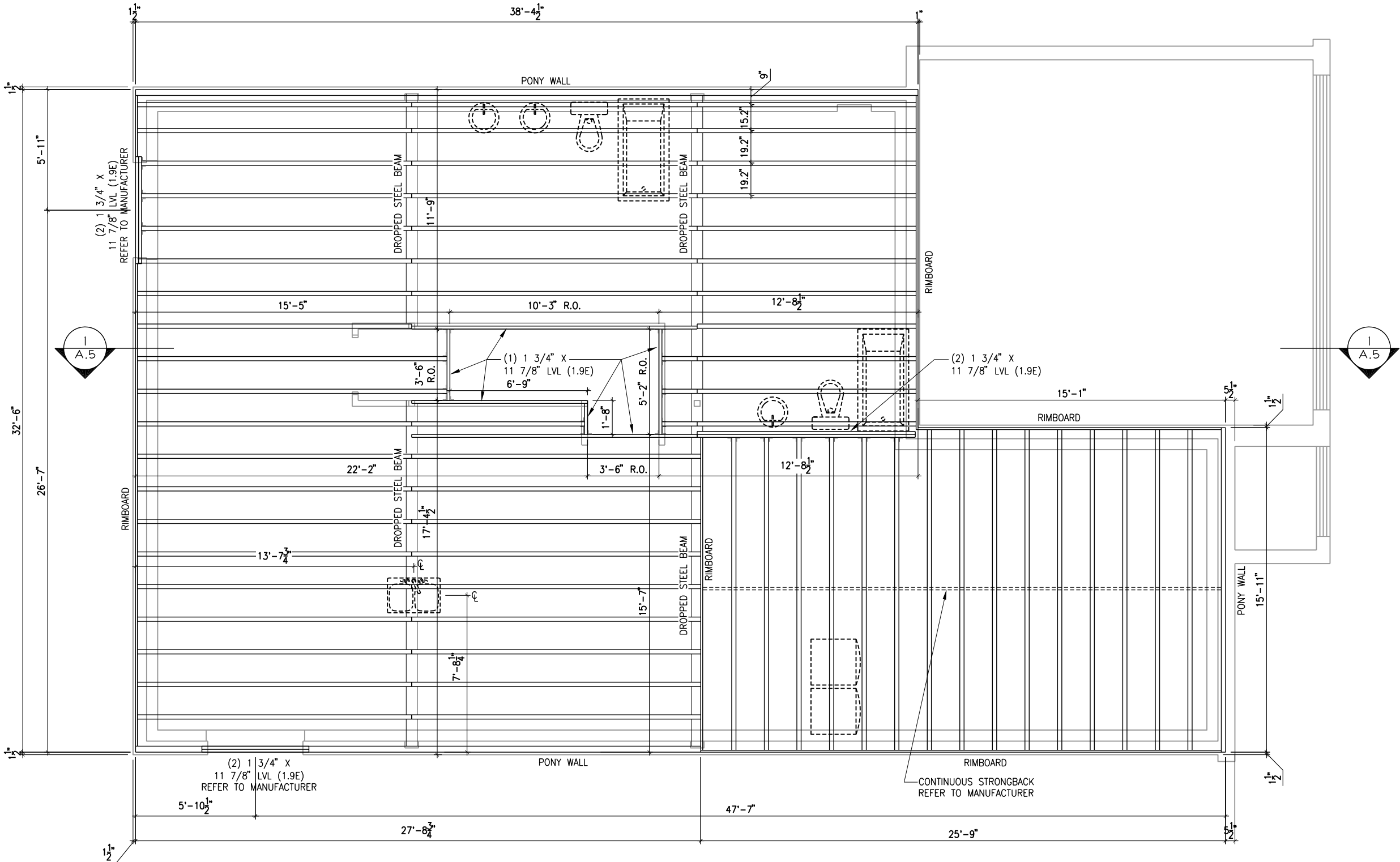
ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

A9c

ROOF AND FLOOR LAYOUT NOTES:  
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GROUND FLOOR PLAN  
FLOOR JOIST FRAMING PLAN - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

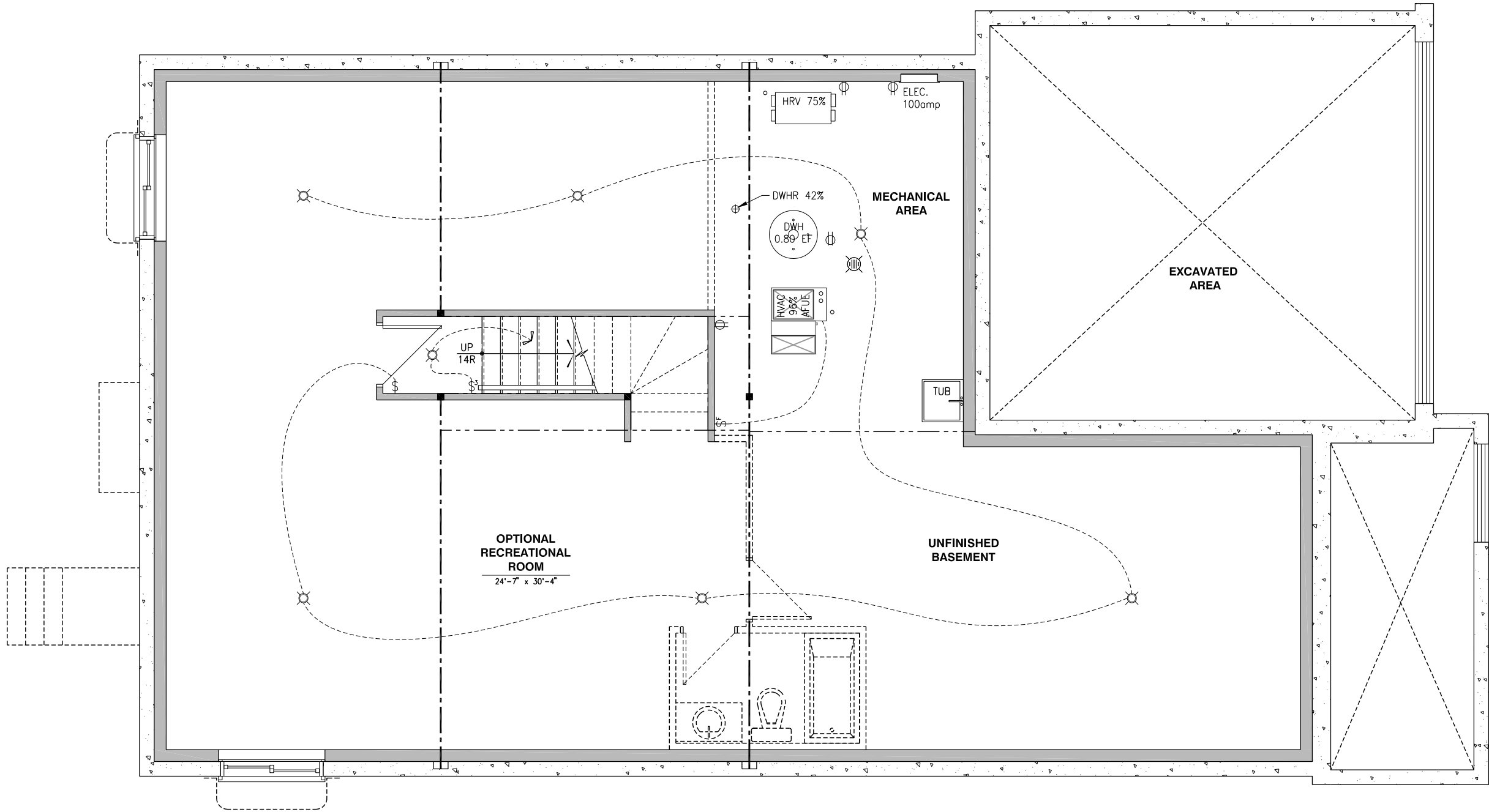
DRAWING: 01FL - FLOOR JOIST  
FRAMING PLAN - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A9b



ELECTRICAL PLAN - BASEMENT - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

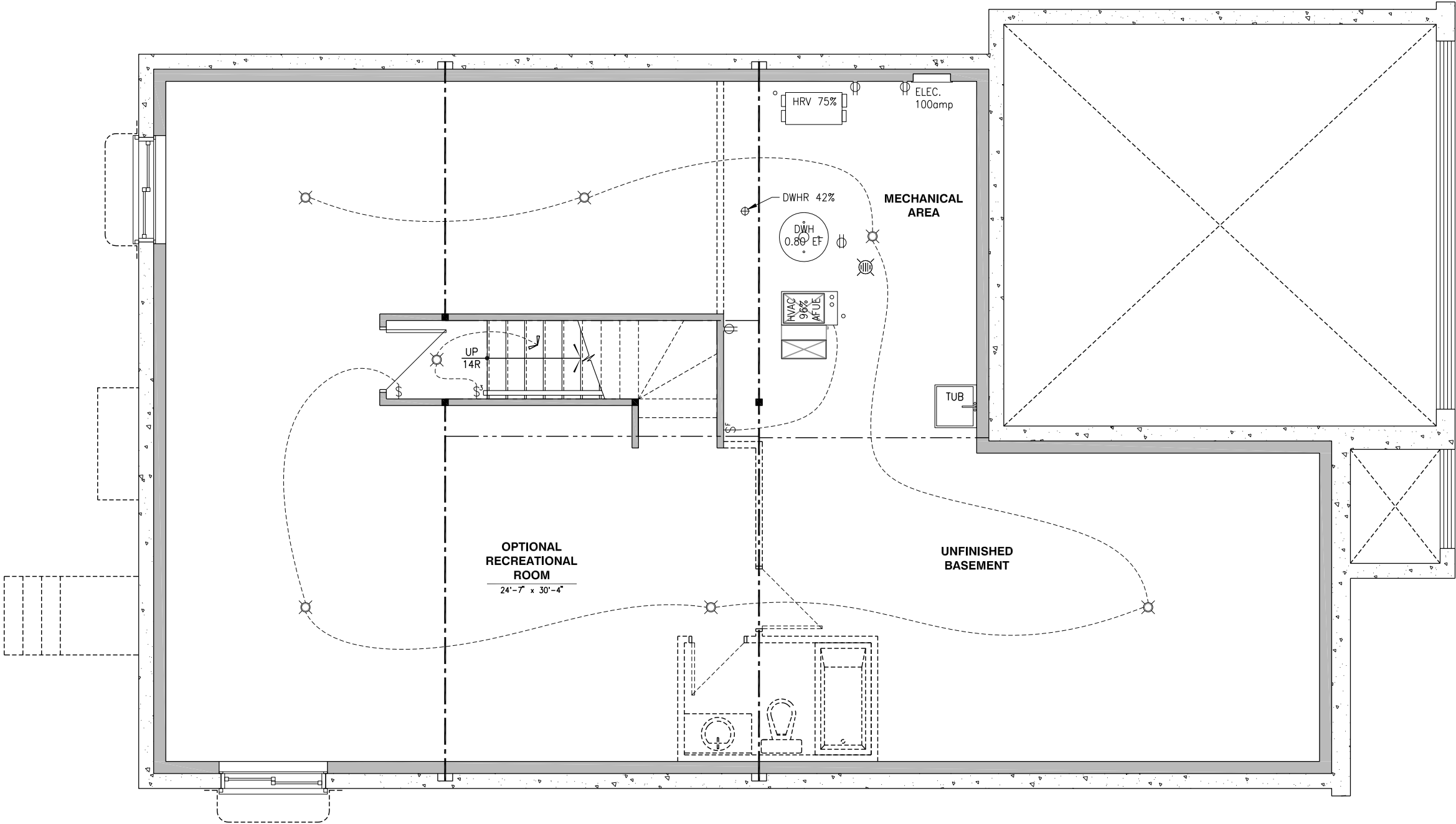

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
BASEMENT - ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.1



LOT: XXXX  
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
BASEMENT - ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.2

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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$

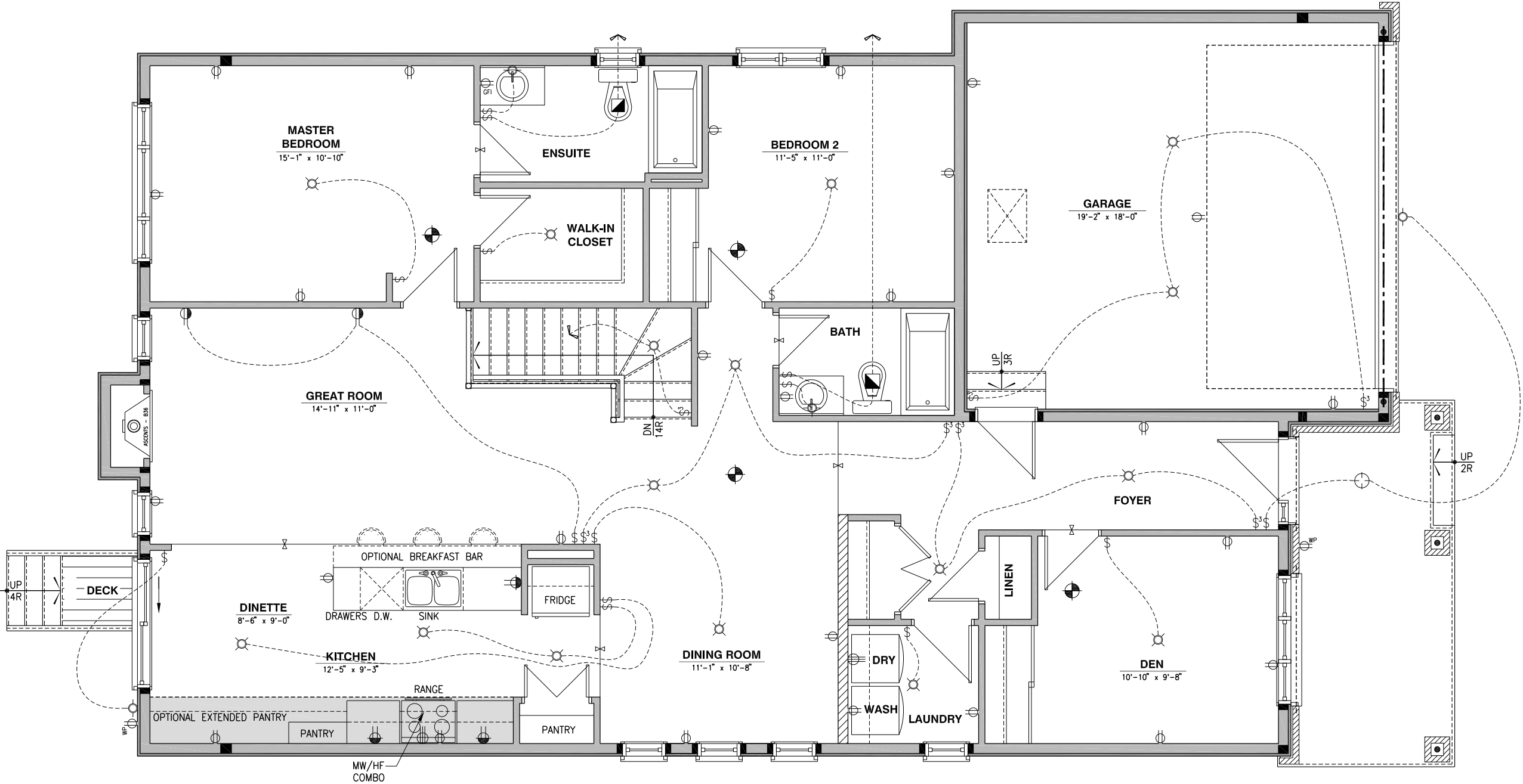
PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

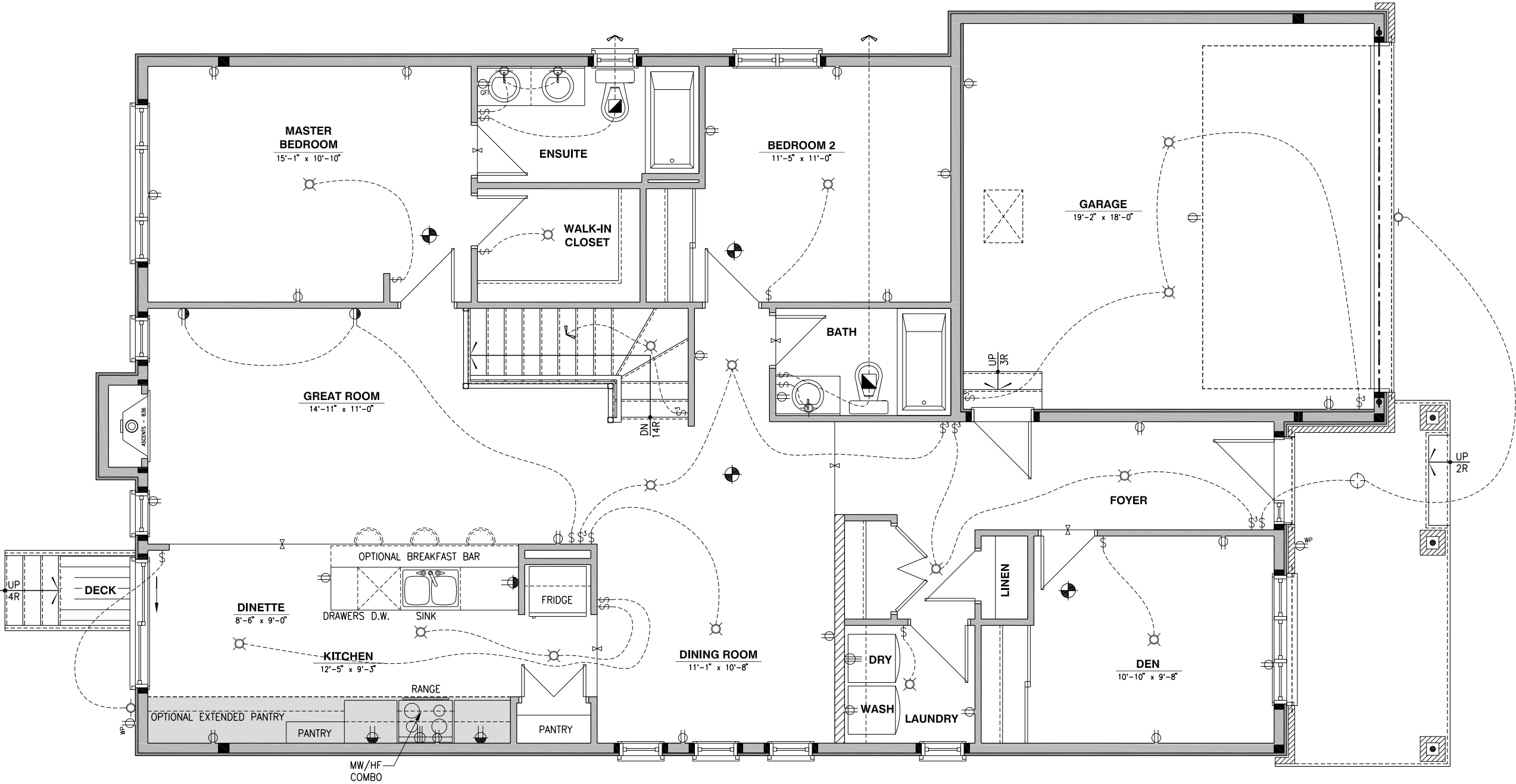
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.4



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

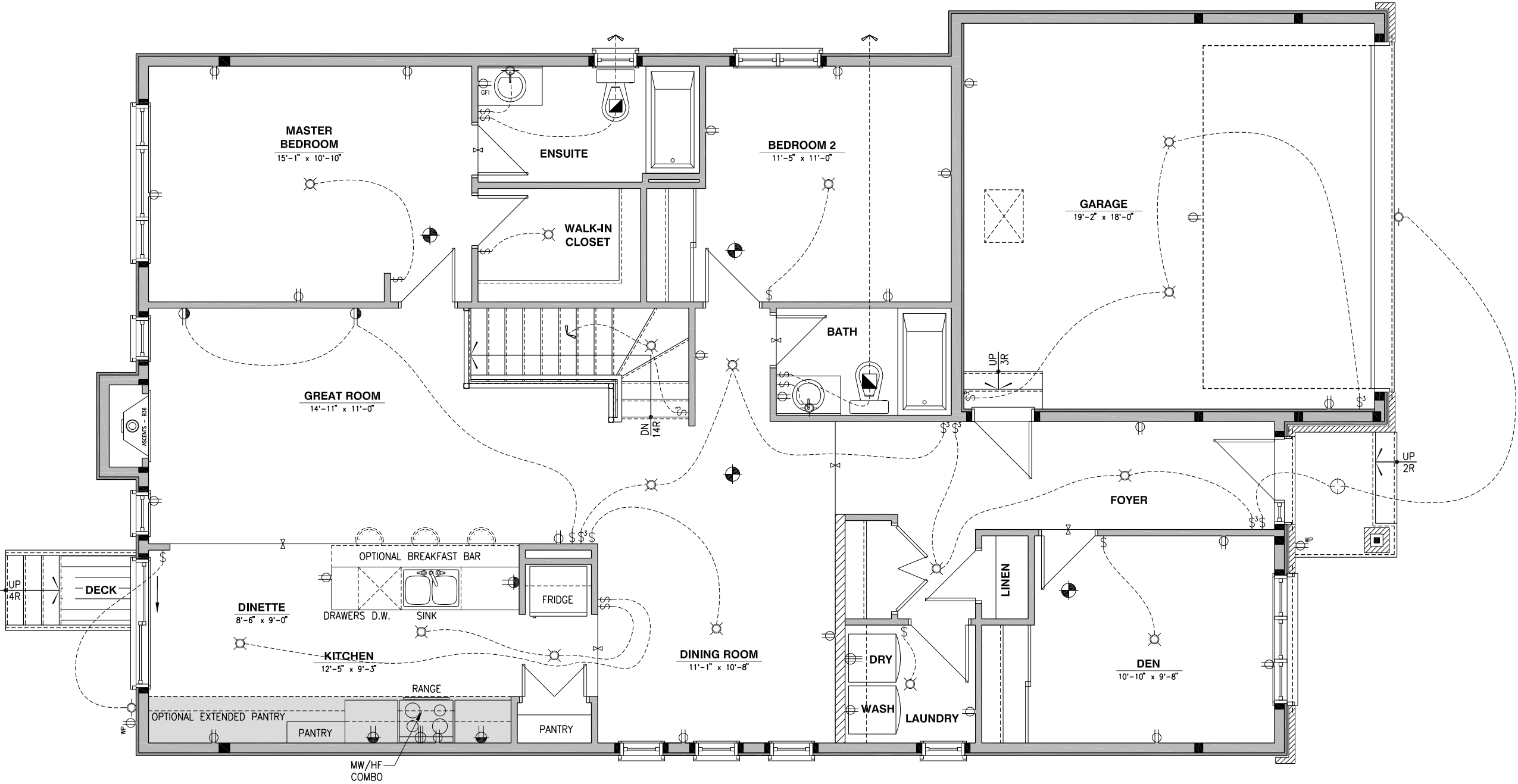
ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.5



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 1/4" = 1'-0"

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- DO

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- SO

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WL

WALL MOUNTED LIGHT FIXTURE
- CL

CEILING MOUNTED LIGHT FIXTURE
- PL

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ME

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

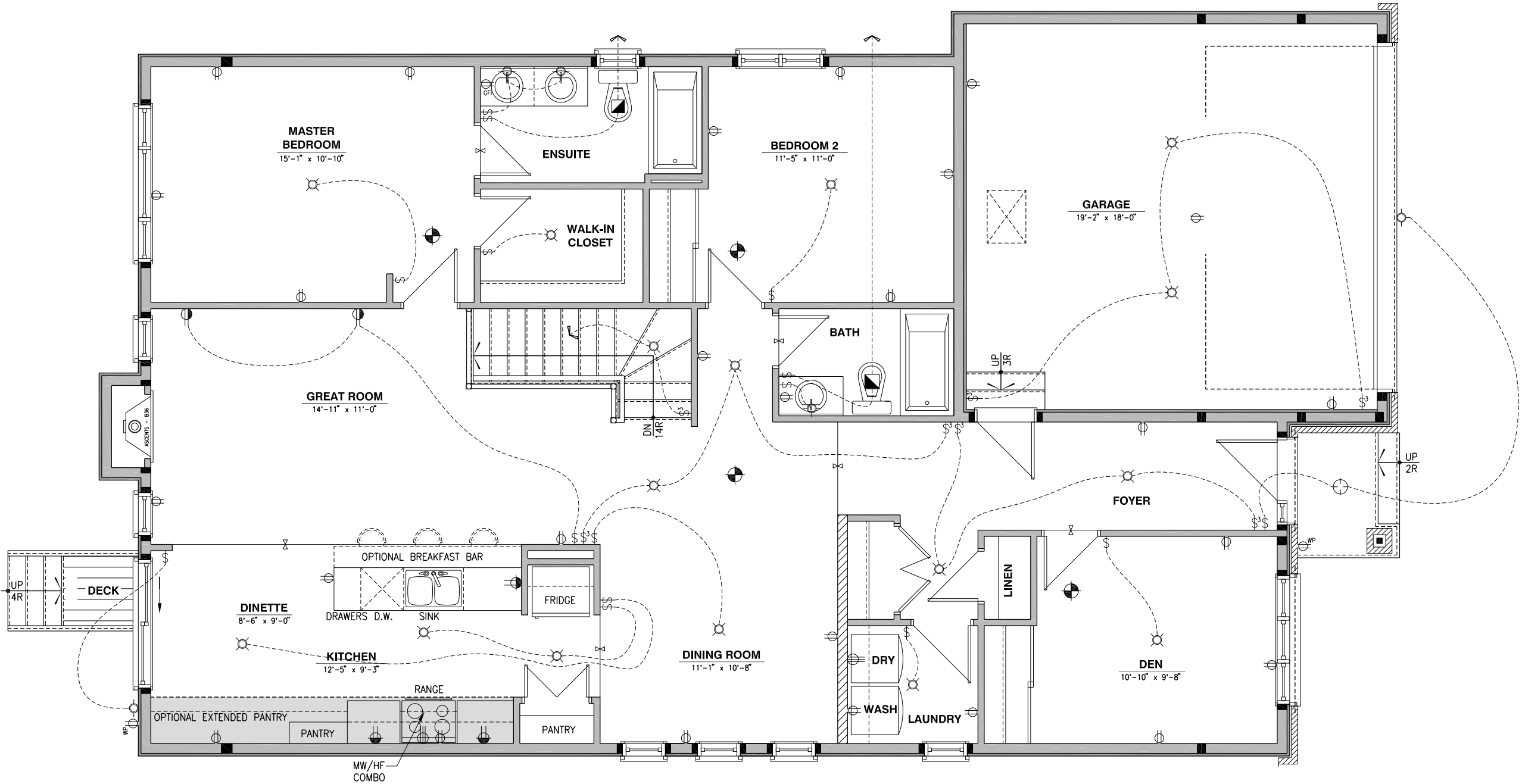
ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E.6



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- DO

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- SO

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WM

WALL MOUNTED LIGHT FIXTURE
- CM

CEILING MOUNTED LIGHT FIXTURE
- POT

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

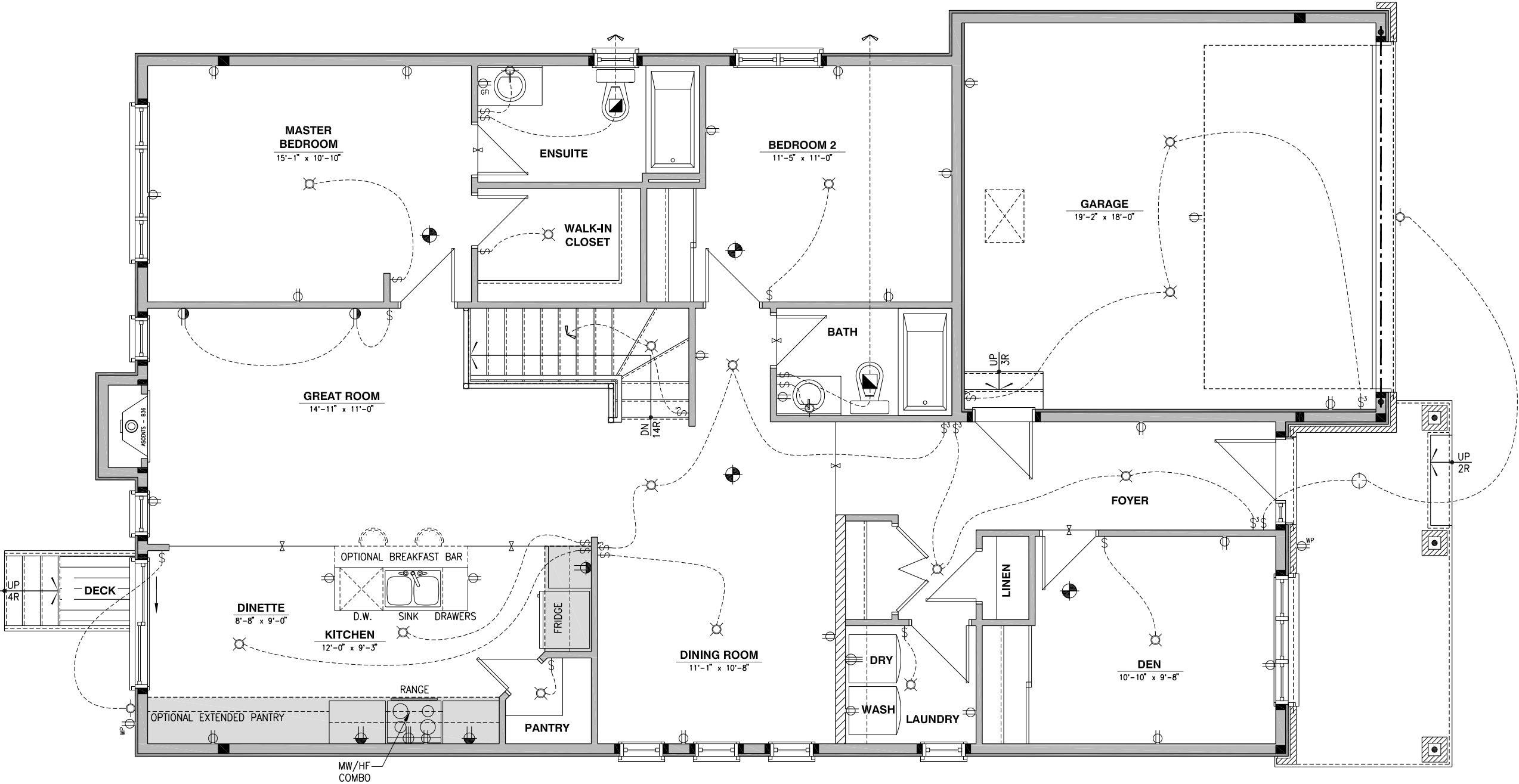
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E.7



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 1/4" = 1'-0"



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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

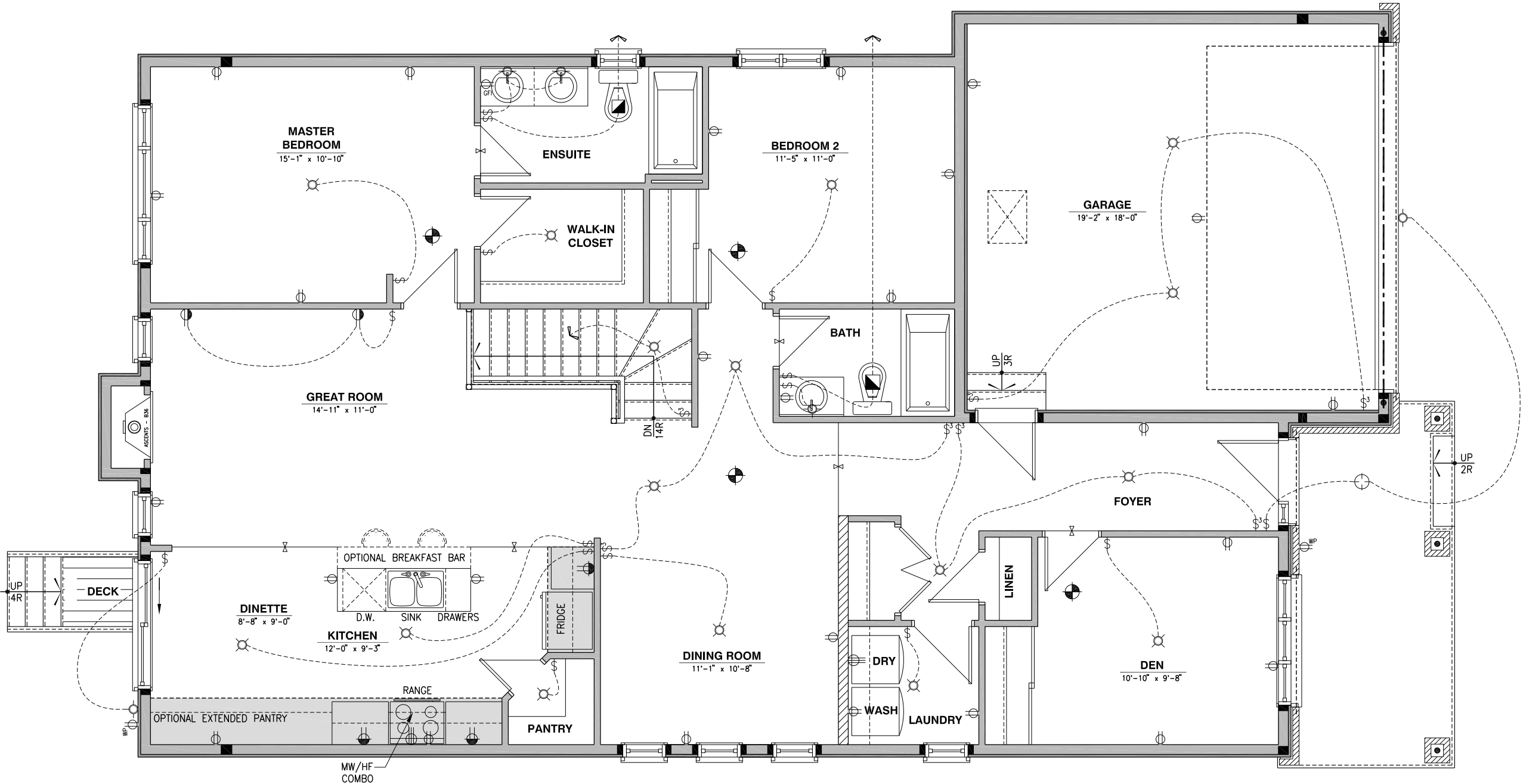
2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

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- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- \$

DUPLEX OUTLET (12" HIGH)
- \$

DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1

GROUND FAULT INTERVOLT
- \$WP

WEATHER PROOF DUPLEX OUTLET
- \$

SPLIT OUTLET
- \$

220 VOLT OUTLET
- \$

WALL MOUNTED LIGHT FIXTURE
- \$

CEILING MOUNTED LIGHT FIXTURE
- \$

POT LIGHT
- \$

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$

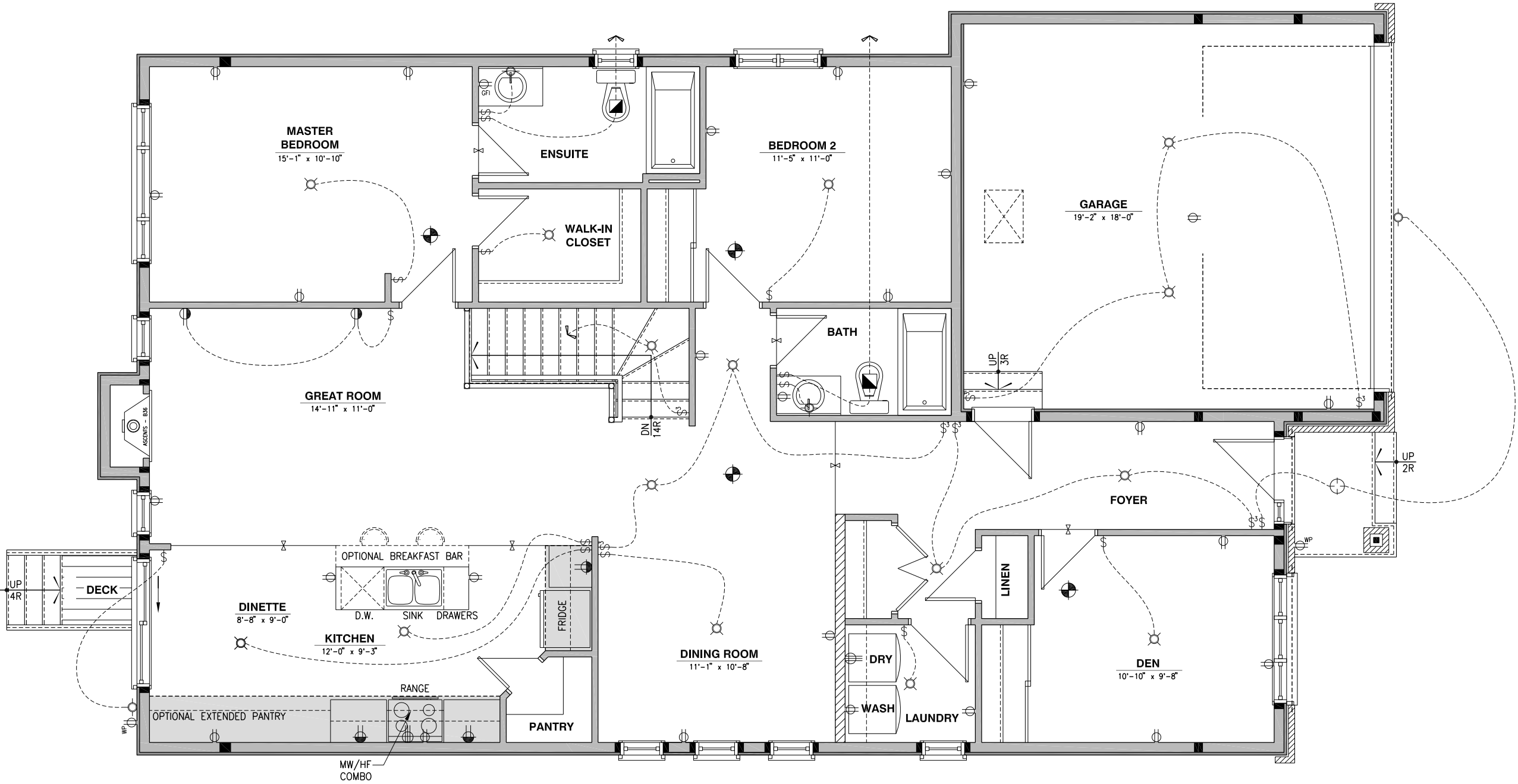
PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 1/4" = 1'-0"



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- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- FURNACE SWITCH
- FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

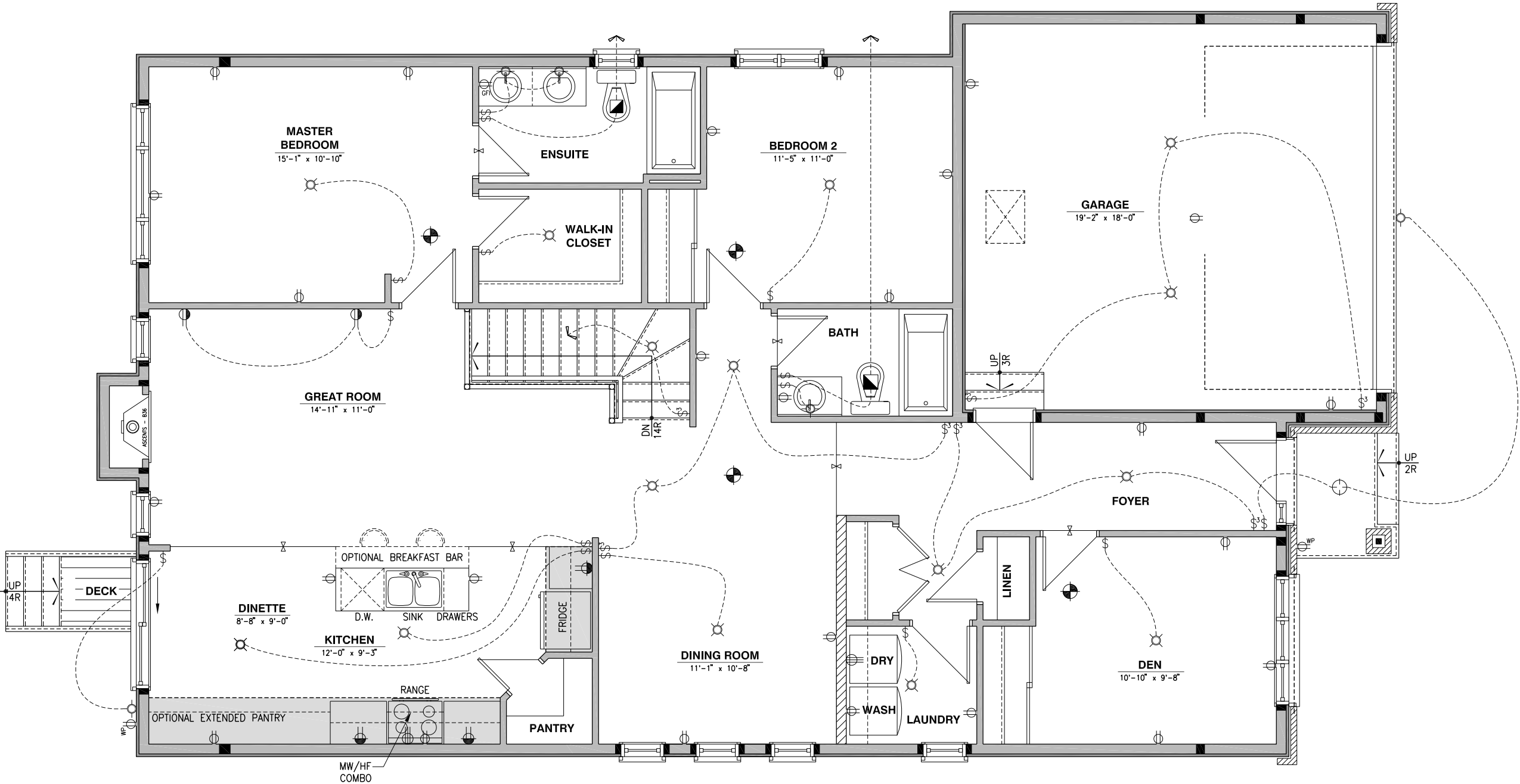
ELECTRICAL PLAN  
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.10



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #1 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"



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- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- FURNACE SWITCH
- FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

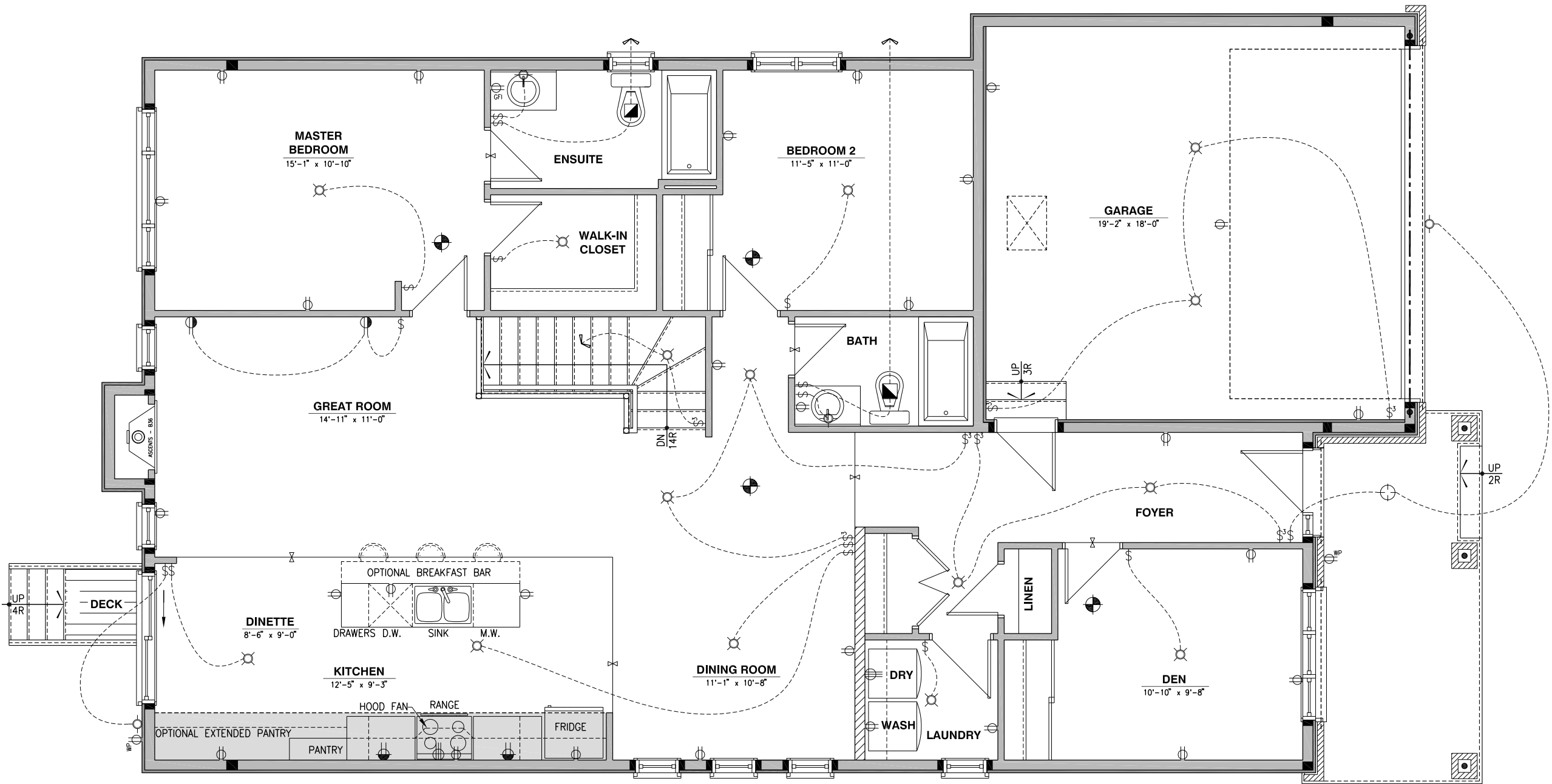
DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1015 - THE MURRY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E.11



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION A

SCALE: 1/4" = 1'-0"



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

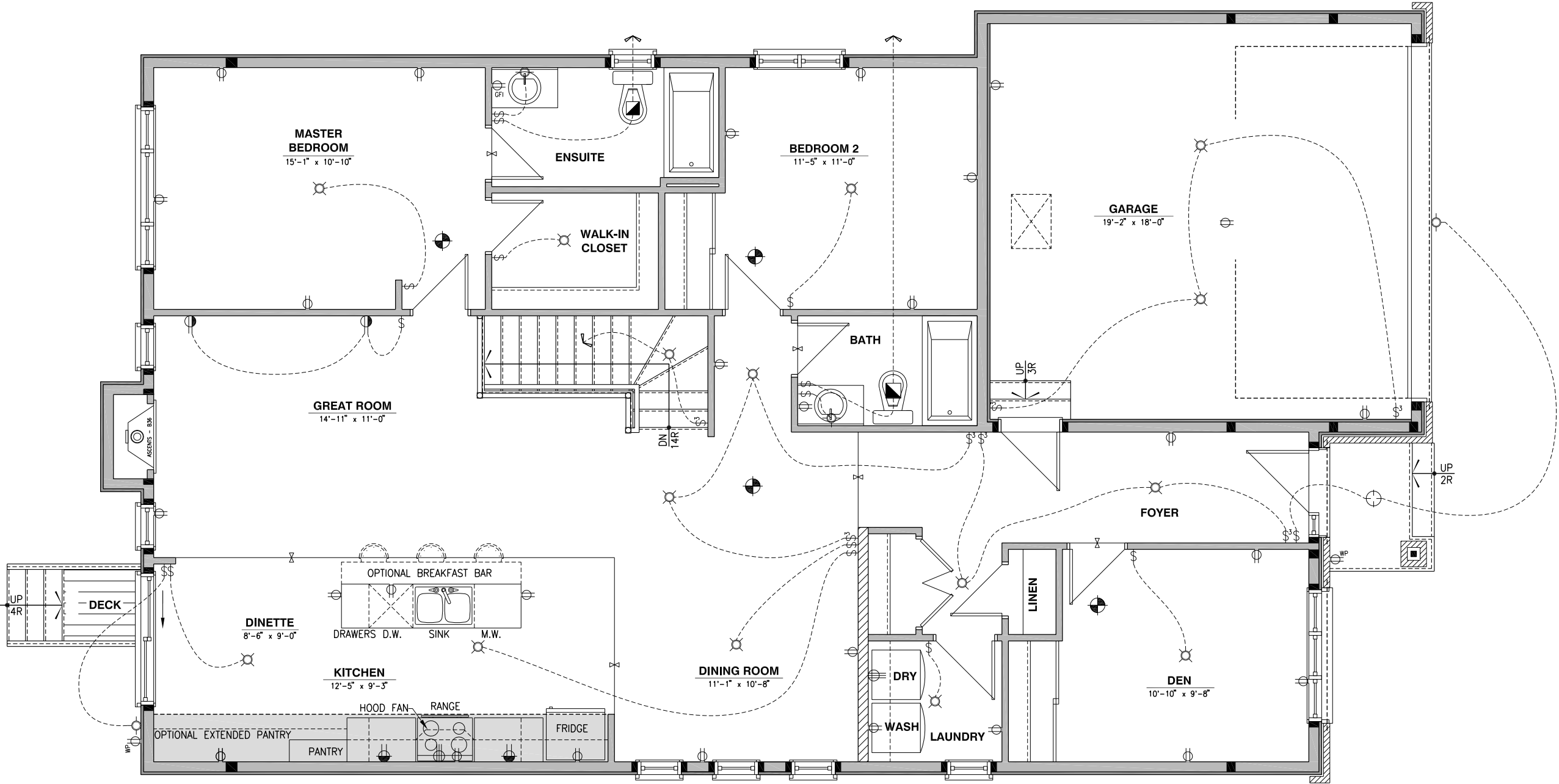
DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 1/4" = 1'-0"





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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- ⊕

220 VOLT OUTLET
- ⊕

WALL MOUNTED LIGHT FIXTURE
- ⊕

CEILING MOUNTED LIGHT FIXTURE
- ⊕

POT LIGHT
- ⊕

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

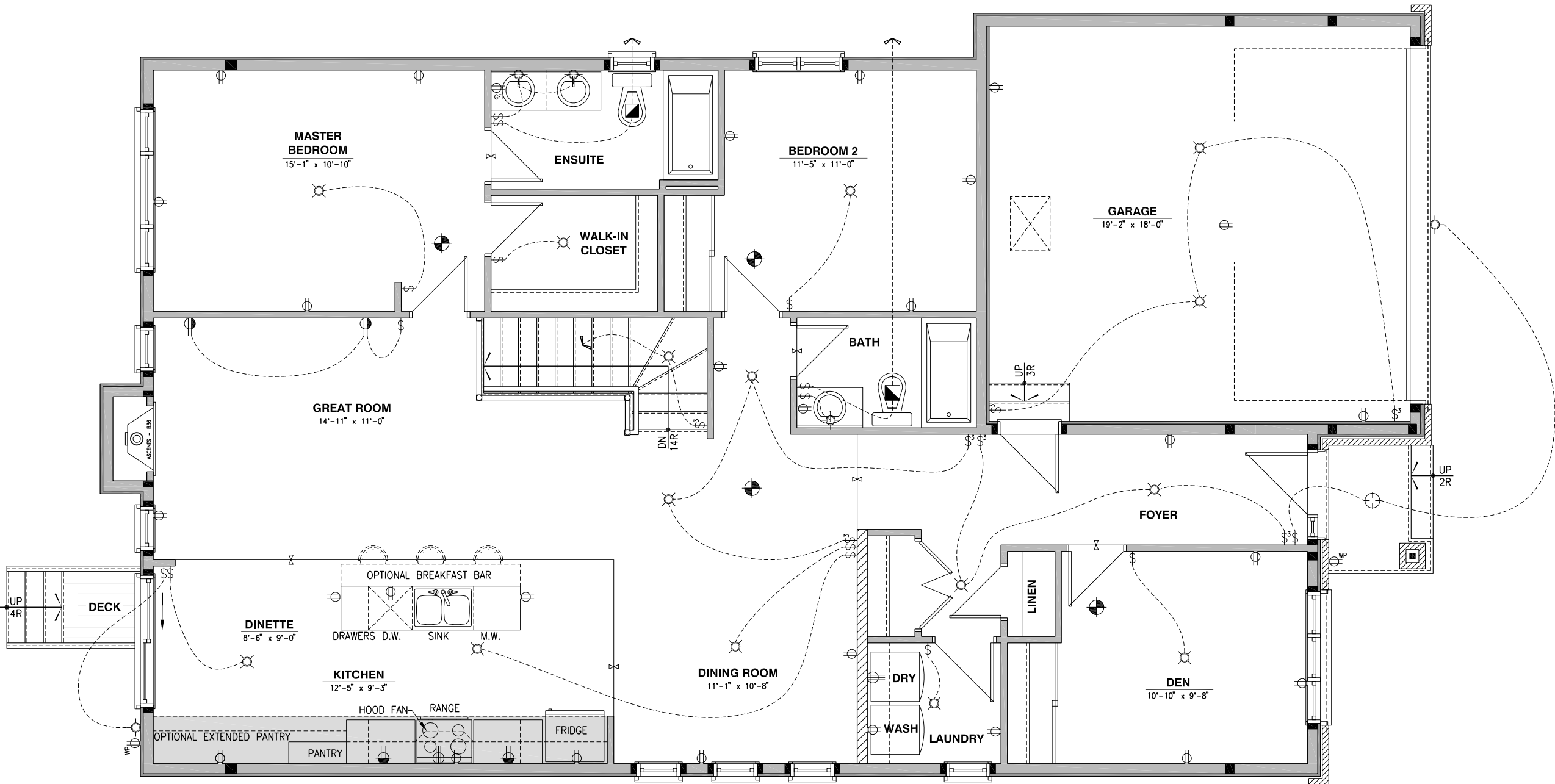
2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx





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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

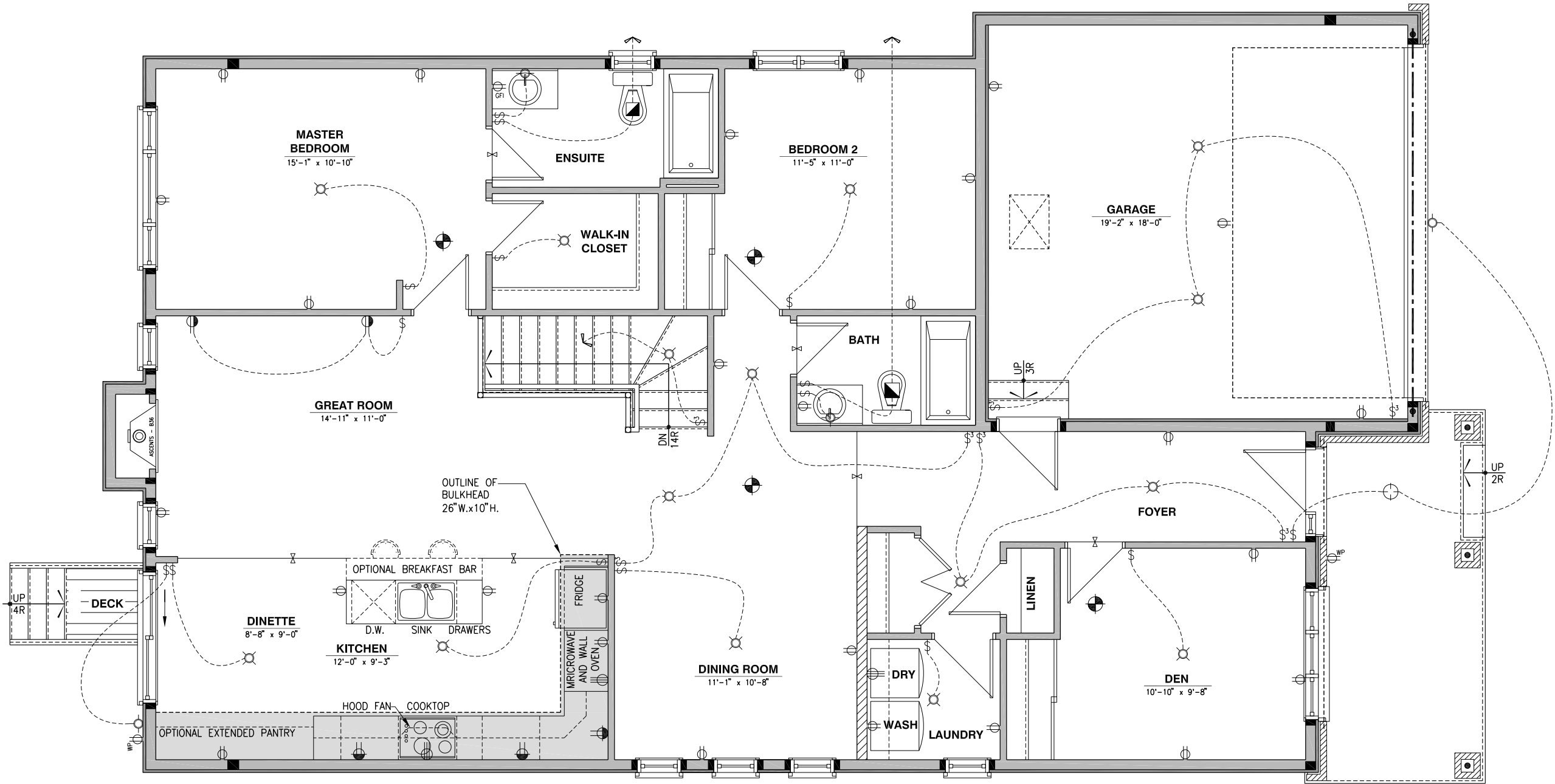
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- \$ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN  
GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊙

WALL MOUNTED LIGHT FIXTURE
- ⊙

CEILING MOUNTED LIGHT FIXTURE
- ⊙

POT LIGHT
- ⊙

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

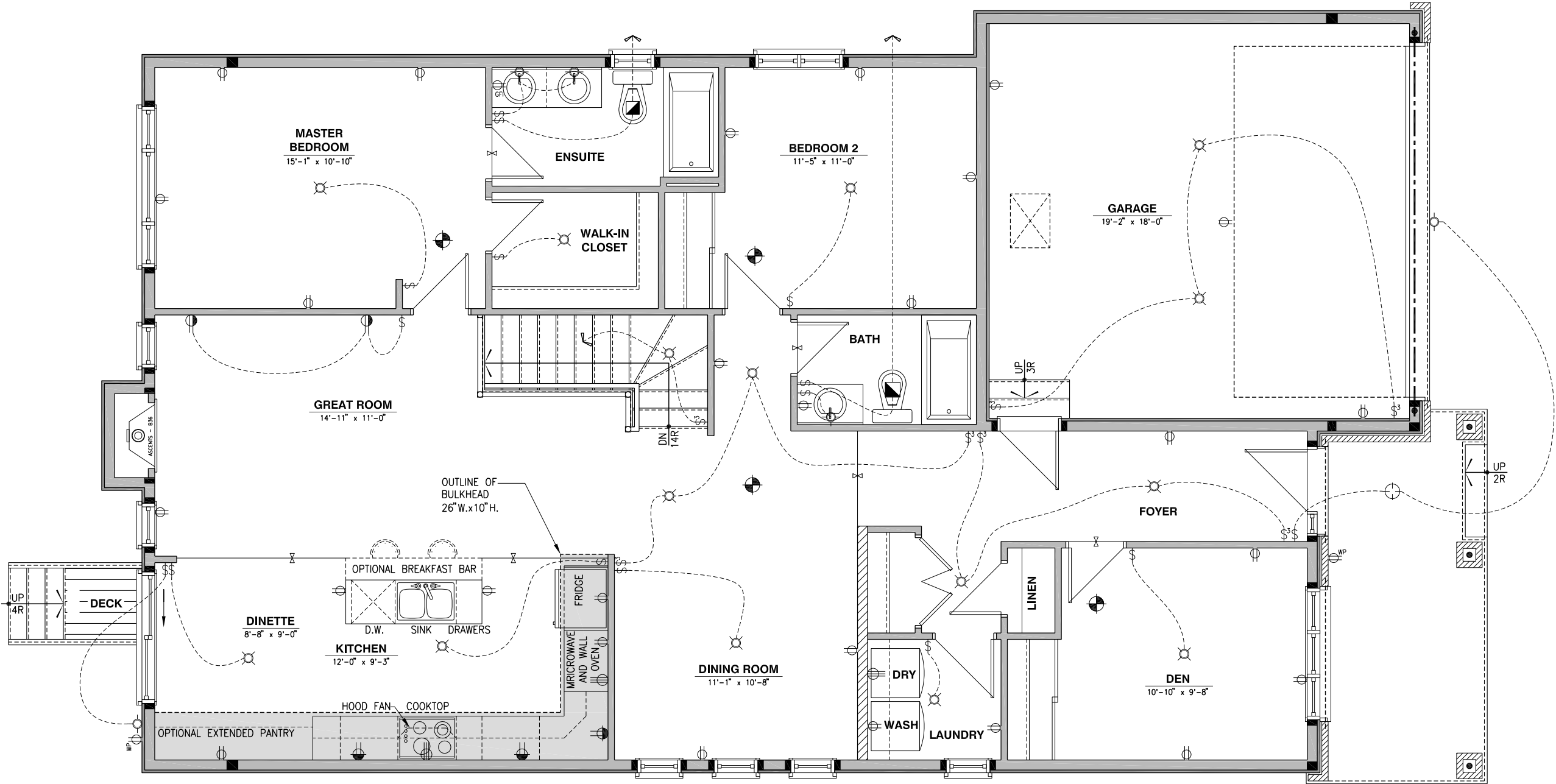
2012 O.B.C. DRAWINGS


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"



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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- DU

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- SP

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WM

WALL MOUNTED LIGHT FIXTURE
- CM

CEILING MOUNTED LIGHT FIXTURE
- POT

POT LIGHT
- SA

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

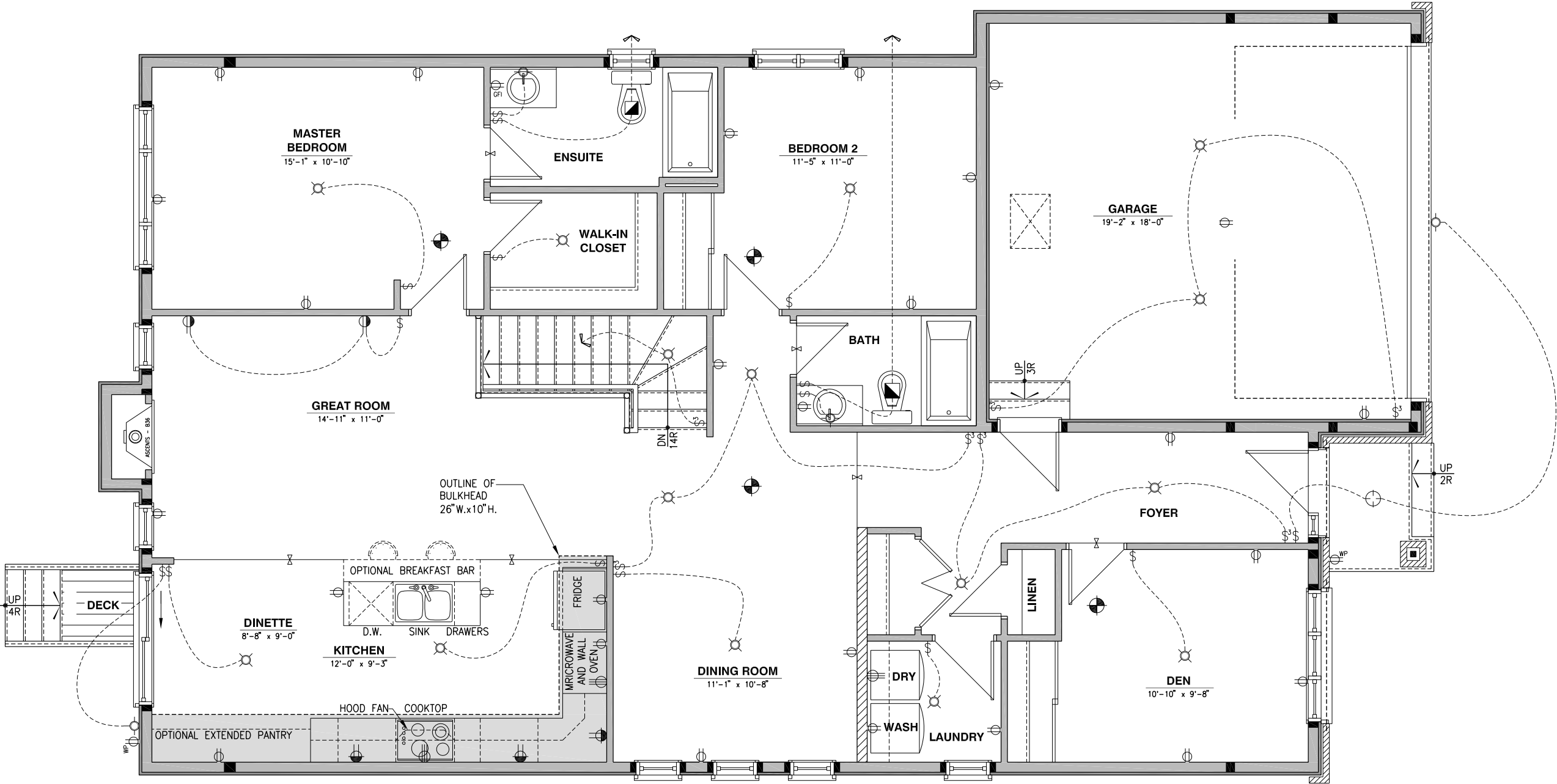
DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 1/4" = 1'-0"





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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- ⊕

DUPLEX OUTLET (12" HIGH)
- ⊕

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- ⊕

SPLIT OUTLET
- 220

220 VOLT OUTLET
- ⊙

WALL MOUNTED LIGHT FIXTURE
- ⊙

CEILING MOUNTED LIGHT FIXTURE
- ⊙

POT LIGHT
- ⊙

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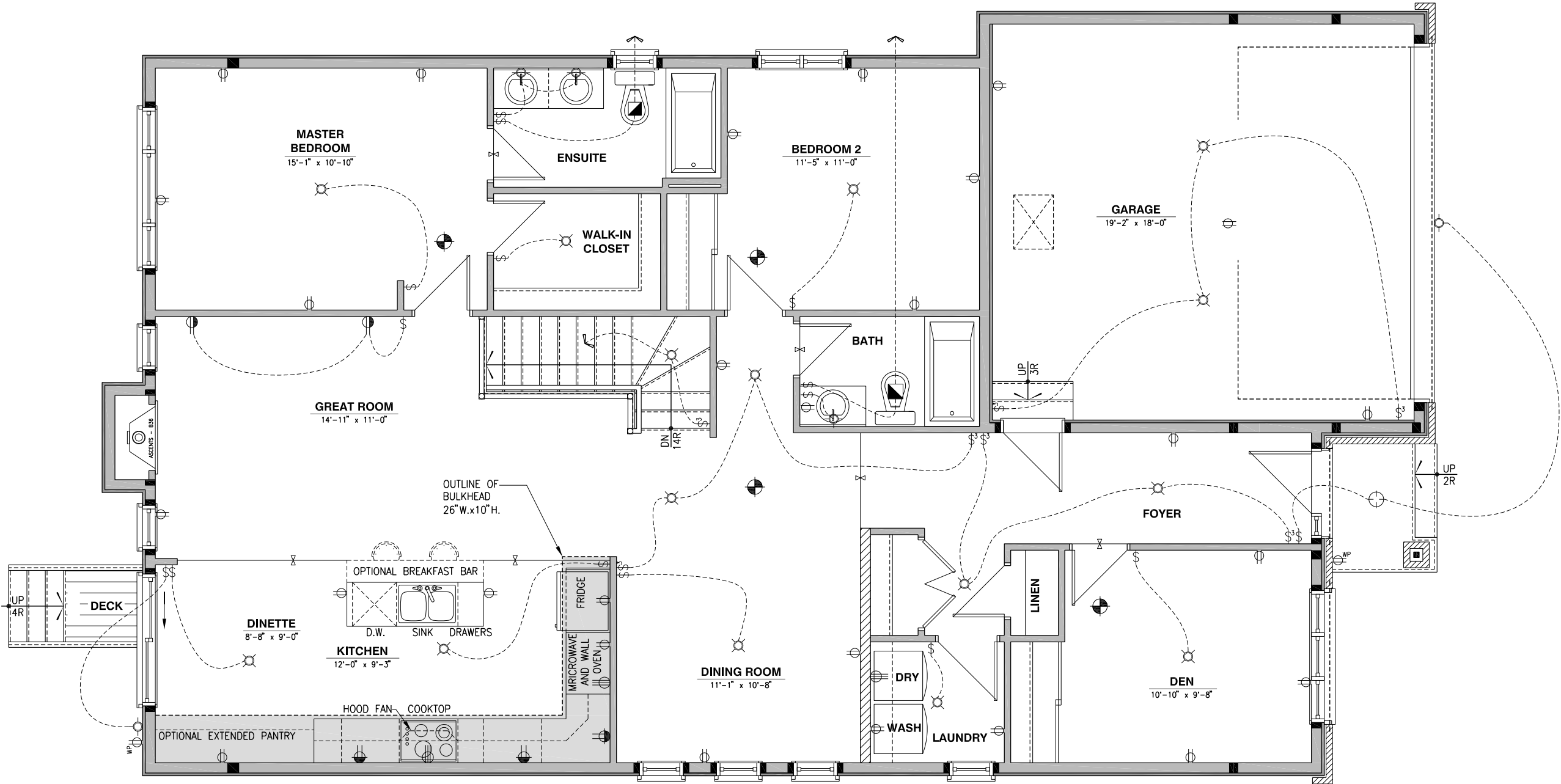
2012 O.B.C. DRAWINGS


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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN

GROUND FLOOR - ELEV. B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN #3 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"