

LOT: XXXX
 DATE: XX/XX/XXXX



L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

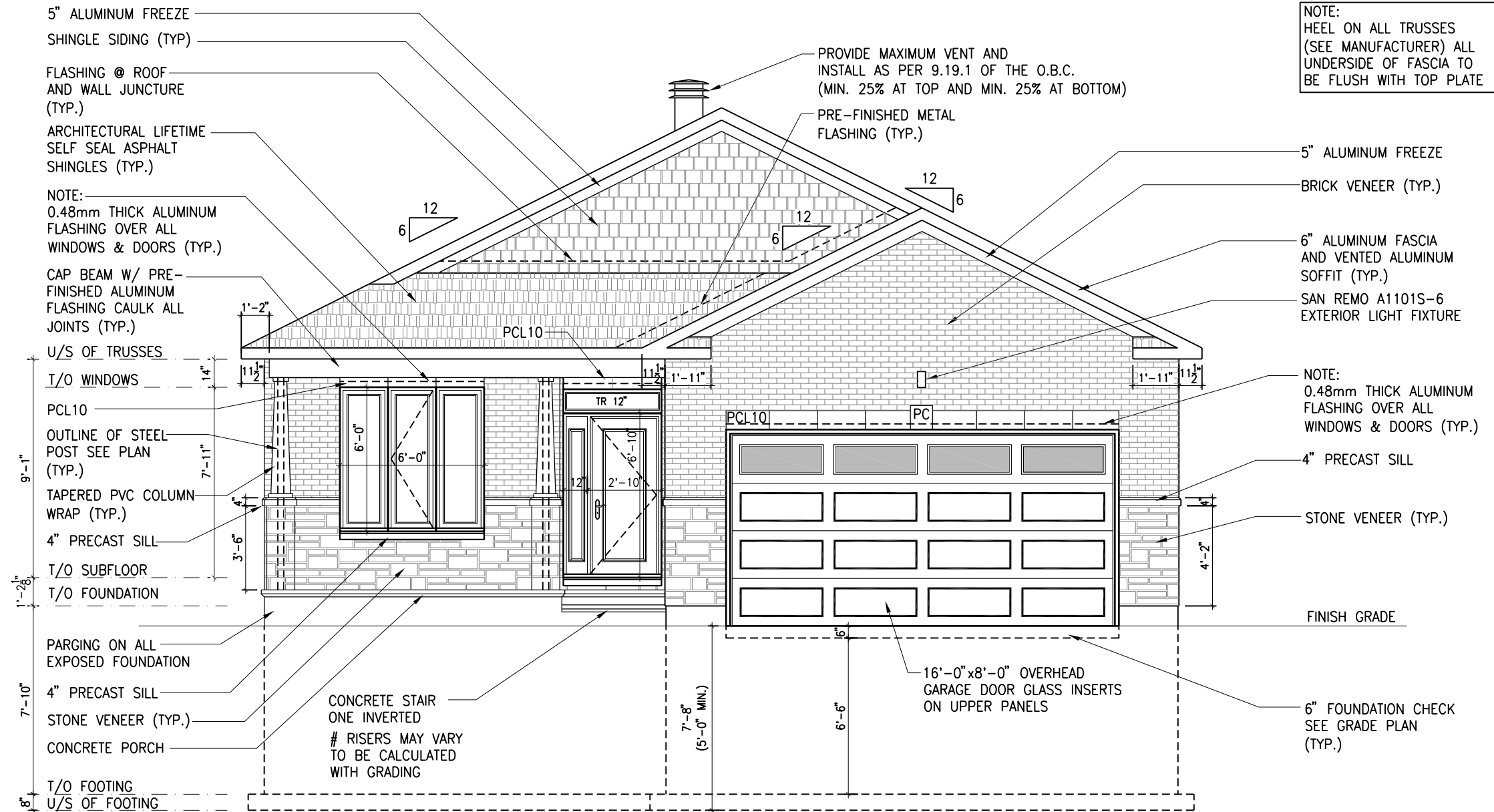
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
 PCL10 - 10" PRECAST LINTEL

STANDARD PLAN:
 GROSS INSULATED = 184.1 M. SQ. WALL AREA
 GROSS WINDOW = 23.9 M. SQ. AREA
 PERCENT GLASS TO WALL AREA = 12.9%

STANDARD PLAN WITH OPTIONAL ENSUITE
 GROSS INSULATED = 184.1 M. SQ. WALL AREA
 GROSS WINDOW = 25.7 M. SQ. AREA
 PERCENT GLASS TO WALL AREA = 13.9%



NOTE:
 HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

NOTE:
 0.48mm THICK ALUMINUM FLASHING OVER ALL WINDOWS & DOORS (TYP.)

FRONT ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: FRONT ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.1a

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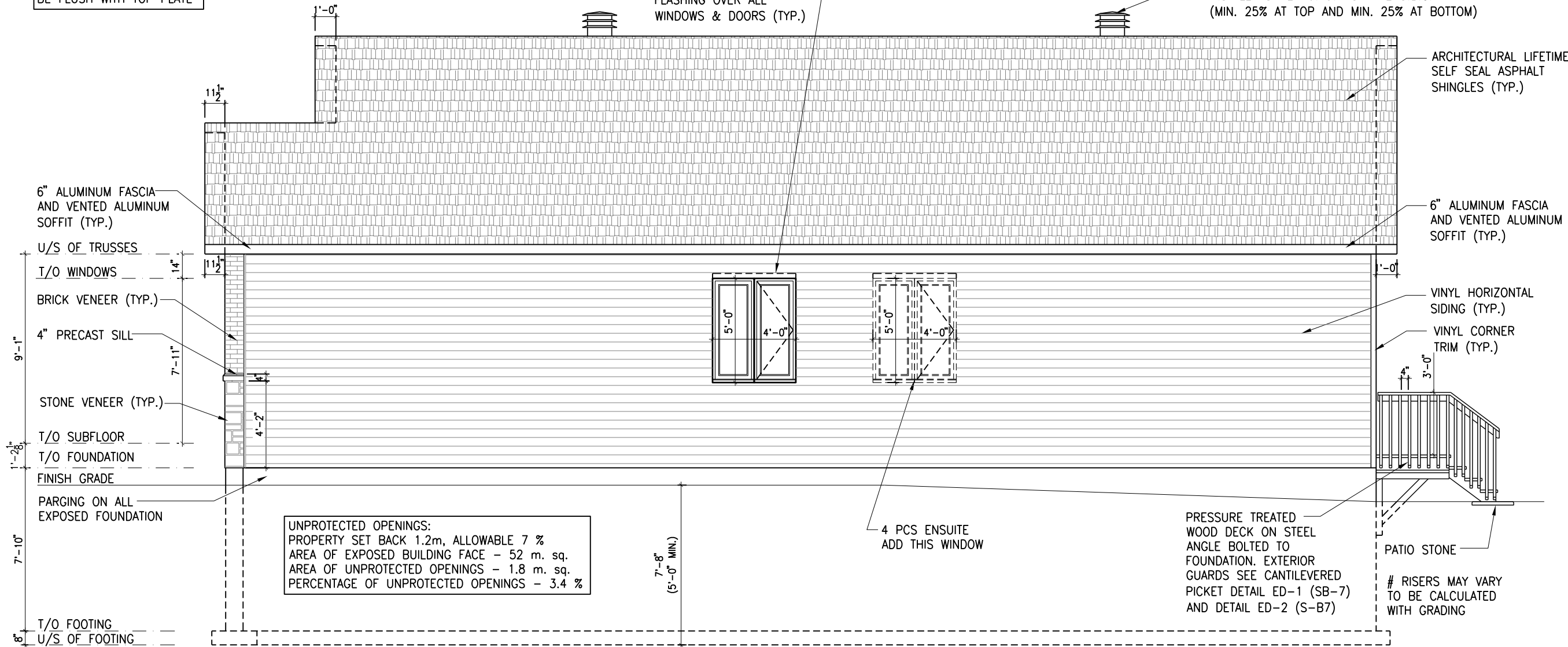
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 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE

NOTE:
 0.48mm THICK ALUMINUM
 FLASHING OVER ALL
 WINDOWS & DOORS (TYP.)

PROVIDE MAXIMUM VENT AND
 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 52 m. sq.
 AREA OF UNPROTECTED OPENINGS - 1.8 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 3.4 %

RIGHT ELEVATION A
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

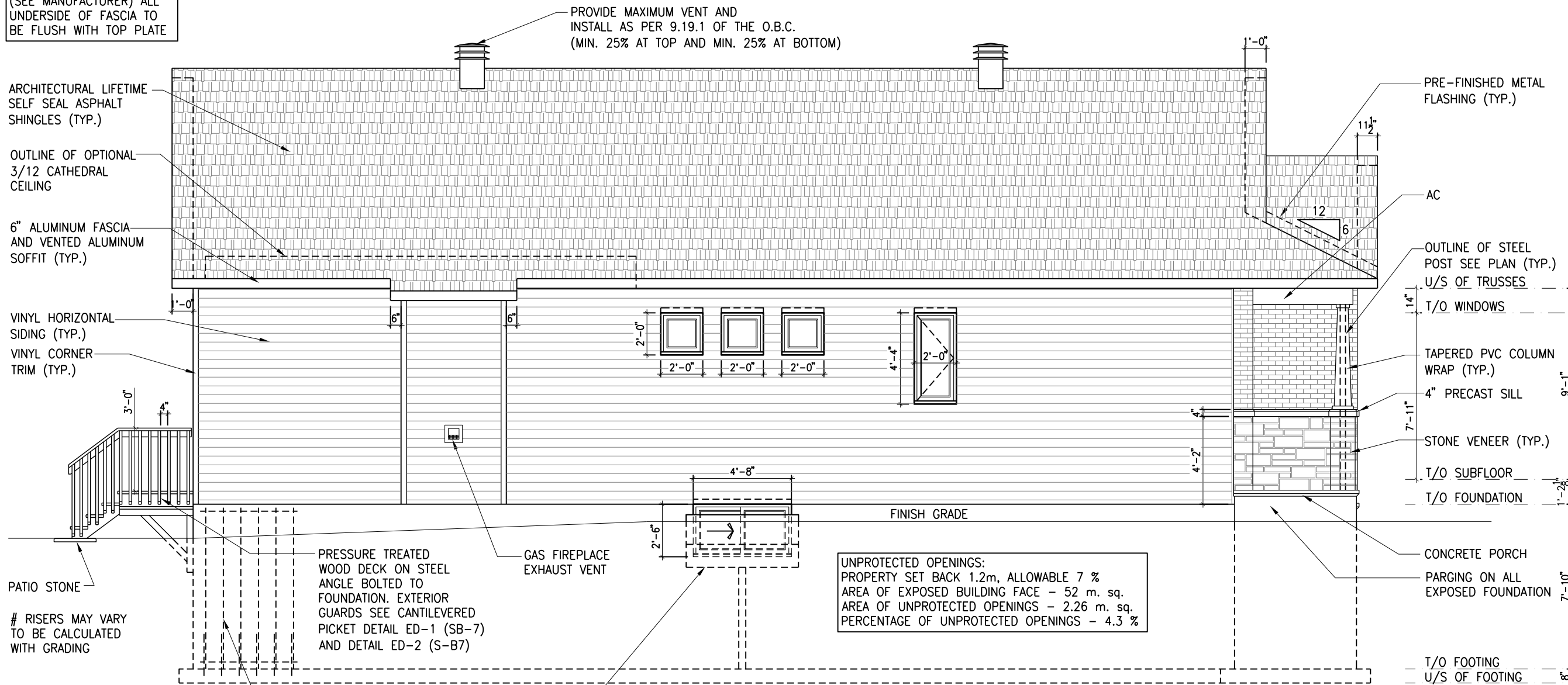
DRAWING: **RIGHT ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.2a

NOTE:
 HEEL ON ALL TRUSSES
 (SEE MANUFACTURER) ALL
 UNDERSIDE OF FASCIA TO
 BE FLUSH WITH TOP PLATE



ARCHITECTURAL LIFETIME
 SELF SEAL ASPHALT
 SHINGLES (TYP.)

OUTLINE OF OPTIONAL
 3/12 CATHEDRAL
 CEILING

6" ALUMINUM FASCIA
 AND VENTED ALUMINUM
 SOFFIT (TYP.)

VINYL HORIZONTAL
 SIDING (TYP.)
 VINYL CORNER
 TRIM (TYP.)

PATIO STONE

RISERS MAY VARY
 TO BE CALCULATED
 WITH GRADING

REINFORCED WALL FOR LATERALLY
 UNSUPPORTED CONCRETE FOUNDATION:
 -15M VERTICAL BARS @ 12" o/c
 -15M L-DOWEL 10" HORIZONTAL x
 24" VERTICAL @ 12" o/c IN FOOTING
 -VERTICAL BARS SHALL BE TIED TO
 THE L-DOWELS

PRESSURE TREATED
 WOOD DECK ON STEEL
 ANGLE BOLTED TO
 FOUNDATION. EXTERIOR
 GUARDS SEE CANTILEVERED
 PICKET DETAIL ED-1 (SB-7)
 AND DETAIL ED-2 (S-B7)

PROVIDE G.I. METAL AREAWAY
 2" ABOVE FINISHED GRADE &
 DRAIN TO WEEPER TILE.
 INSURE A CLEAR DISTANCE
 OF 22" FROM BUILDING FACE
 TO INSIDE OF WINDOW WELL.
 (TYP.) (SEE DETAIL SP-24)

PROVIDE MAXIMUM VENT AND
 INSTALL AS PER 9.19.1 OF THE O.B.C.
 (MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

UNPROTECTED OPENINGS:
 PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
 AREA OF EXPOSED BUILDING FACE - 52 m. sq.
 AREA OF UNPROTECTED OPENINGS - 2.26 m. sq.
 PERCENTAGE OF UNPROTECTED OPENINGS - 4.3 %

PRE-FINISHED METAL
 FLASHING (TYP.)

AC

OUTLINE OF STEEL
 POST SEE PLAN (TYP.)
 U/S OF TRUSSES

T/O WINDOWS

TAPERED PVC COLUMN
 WRAP (TYP.)

4" PRECAST SILL

STONE VENEER (TYP.)

T/O SUBFLOOR

T/O FOUNDATION

CONCRETE PORCH

PARGING ON ALL
 EXPOSED FOUNDATION

T/O FOOTING

U/S OF FOOTING

LEFT ELEVATION A

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **LEFT ELEVATION A**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**1020 - THE MORGAN
 2022 FOOTPRINT**
 (STANDARD DRAWINGS)

SHEET:

A.3a

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- TARIION REGISTRATION NUMBER #611

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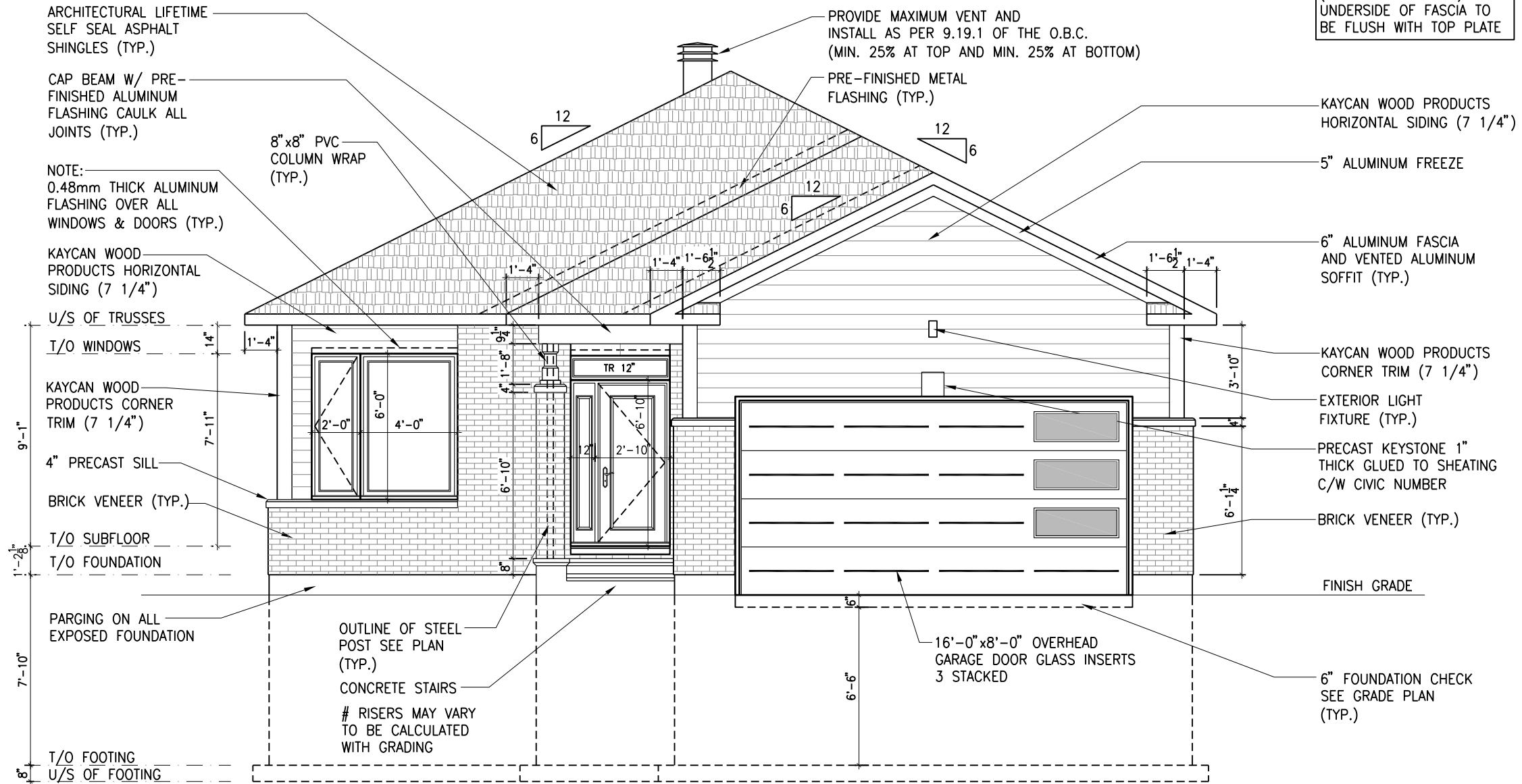
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 PCL10 - 10" PRECAST LINTEL

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 GROSS WINDOW = 23.9 M. SQ. AREA
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STANDARD PLAN WITH OPTIONAL ENSUITE
 GROSS INSULATED = 183.9 M. SQ. WALL AREA
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NOTE:
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FRONT ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

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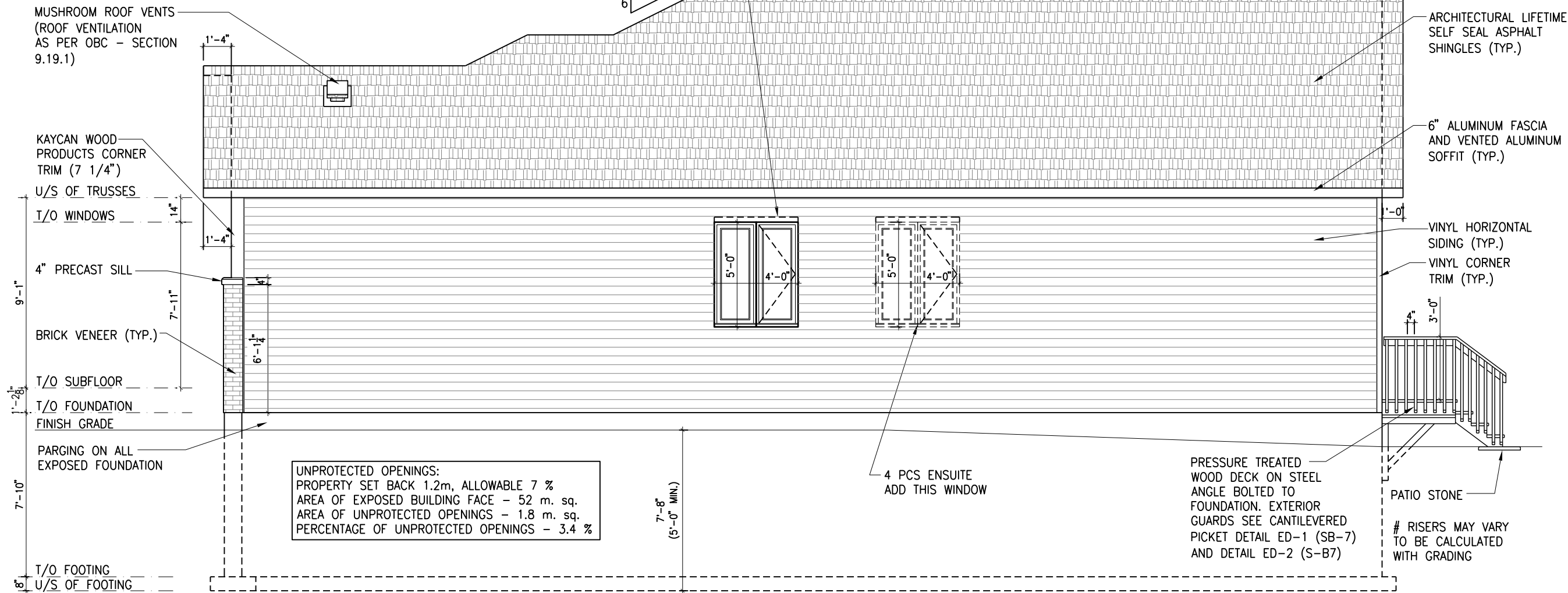
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NOTE:
 0.48mm THICK ALUMINUM
 FLASHING OVER ALL
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UNPROTECTED OPENINGS:
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RIGHT ELEVATION B
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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1020 - THE MORGAN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.2b

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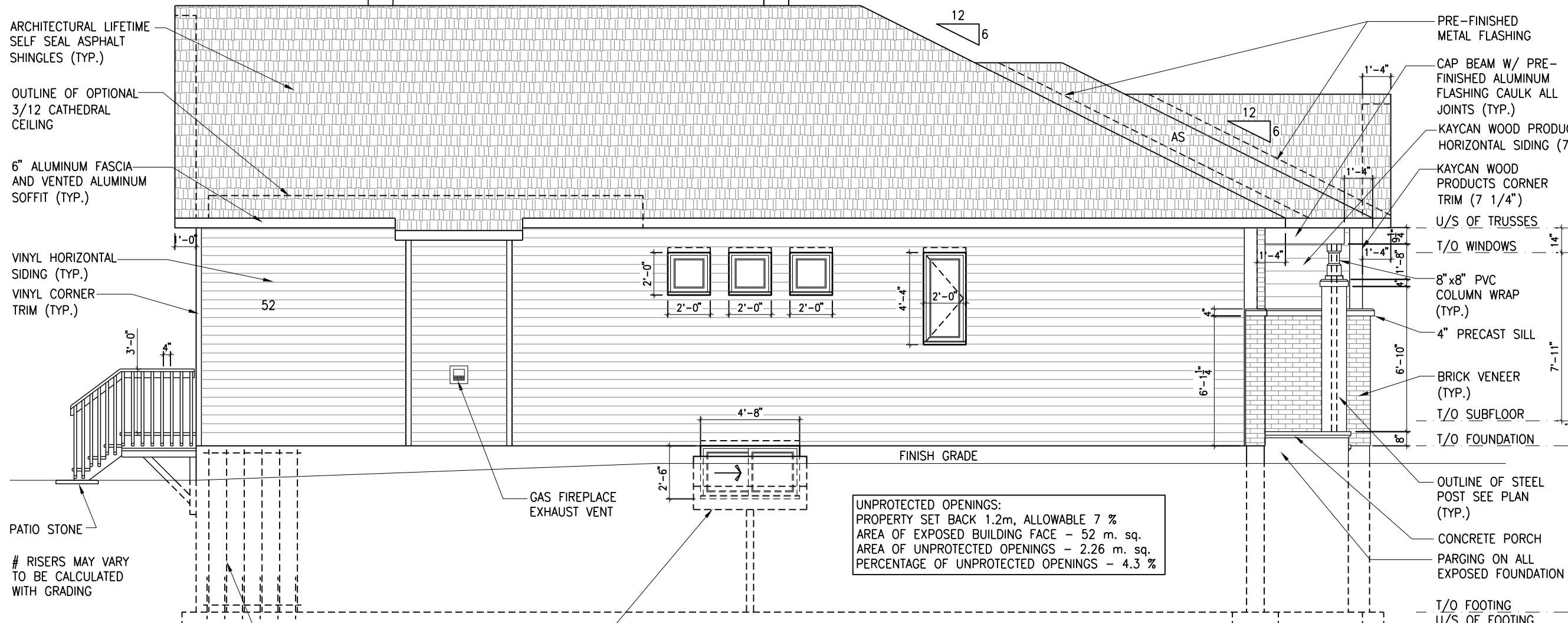
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VINYL HORIZONTAL
 SIDING (TYP.)
 VINYL CORNER
 TRIM (TYP.)

3'-0"
 4"

RISERS MAY VARY
 TO BE CALCULATED
 WITH GRADING

REINFORCED WALL FOR LATERALLY
 UNSUPPORTED CONCRETE FOUNDATION:
 -15M VERTICAL BARS @ 12" o/c
 -15M L-DOWEL 10" HORIZONTAL x
 24" VERTICAL @ 12" o/c IN FOOTING
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 2" ABOVE FINISHED GRADE &
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 INSURE A CLEAR DISTANCE
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 TO INSIDE OF WINDOW WELL.
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 PERCENTAGE OF UNPROTECTED OPENINGS - 4.3 %

PRE-FINISHED
 METAL FLASHING
 CAP BEAM W/ PRE-
 FINISHED ALUMINUM
 FLASHING CAULK ALL
 JOINTS (TYP.)
 KAYCAN WOOD PRODUC
 HORIZONTAL SIDING (7
 KAYCAN WOOD
 PRODUCTS CORNER
 TRIM (7 1/4")
 U/S OF TRUSSES
 T/O WINDOWS 14"
 8" x 8" PVC
 COLUMN WRAP
 (TYP.)
 4" PRECAST SILL
 6-10"
 BRICK VENEER
 (TYP.)
 T/O SUBFLOOR
 T/O FOUNDATION 8"
 7-11"
 OUTLINE OF STEEL
 POST SEE PLAN
 (TYP.)
 CONCRETE PORCH
 PARGING ON ALL
 EXPOSED FOUNDATION
 T/O FOOTING
 U/S OF FOOTING

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **LEFT ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

LOT: XXXX
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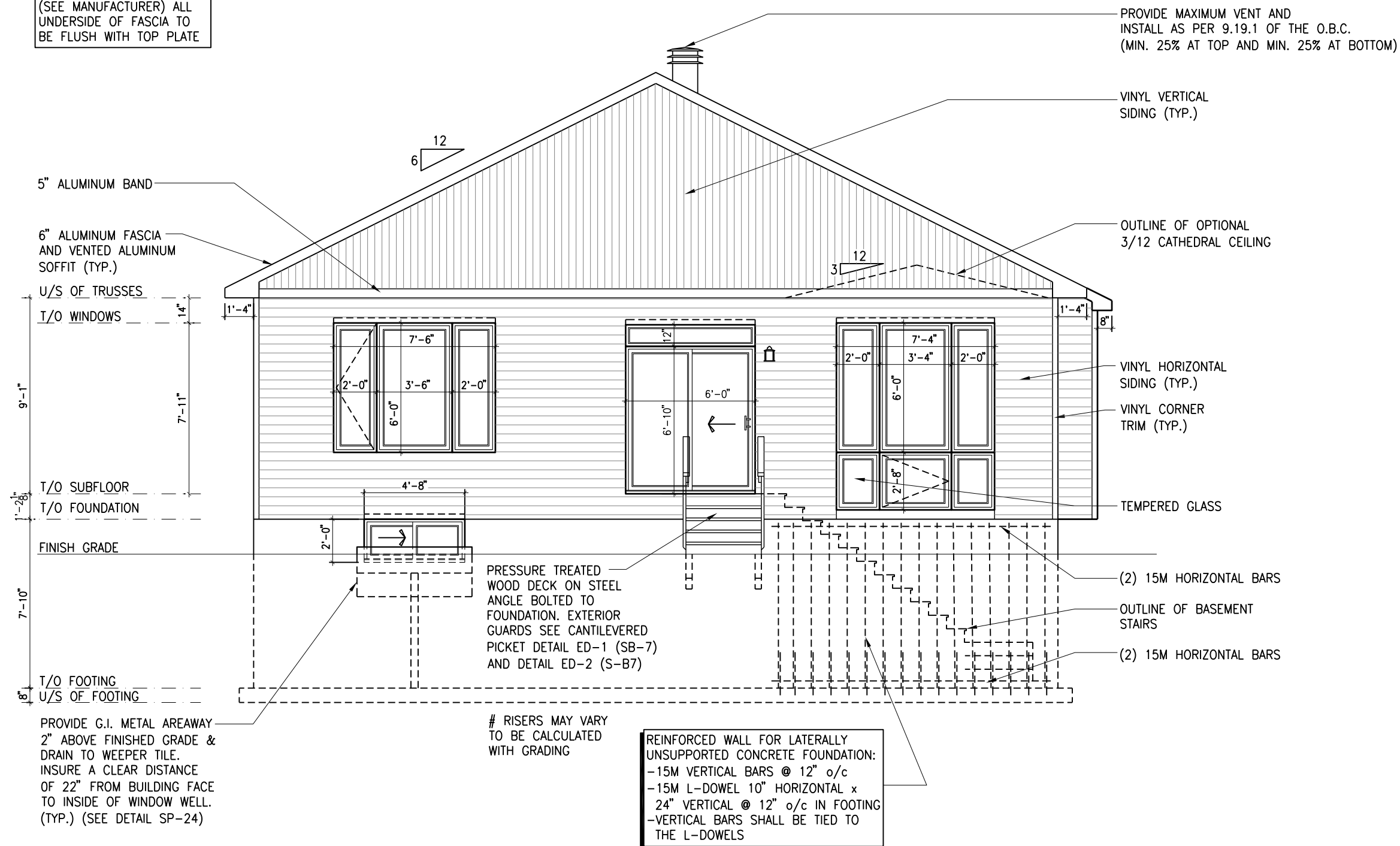
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REAR ELEVATION A AND B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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1020 - THE MORGAN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A.4a**

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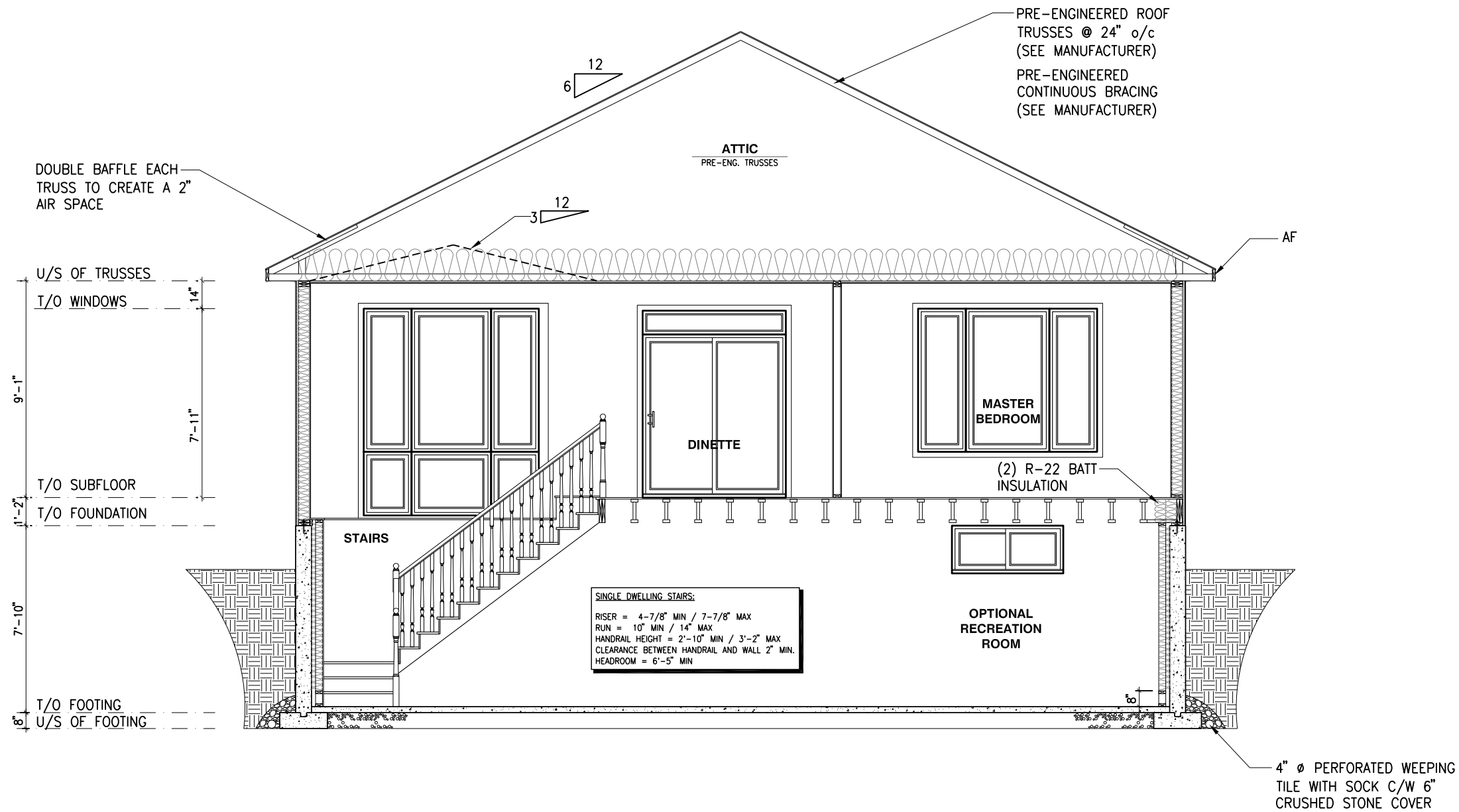
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BUILDING SECTION ELEVATION A AND B
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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DRAWING: BUILDING SECTION ELEVATION A AND B

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1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.5

FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»

WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.

PAD FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»

WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	40"x40"x10" W/ 3-15M 34" LG. E/W	44"x44"x10" W/ 3-15M 38" LG E/W	48"x48"x10" W/ 4-15M 42" LG E/W	50"x50"x10" W/ 4-15M 44" LG E/W

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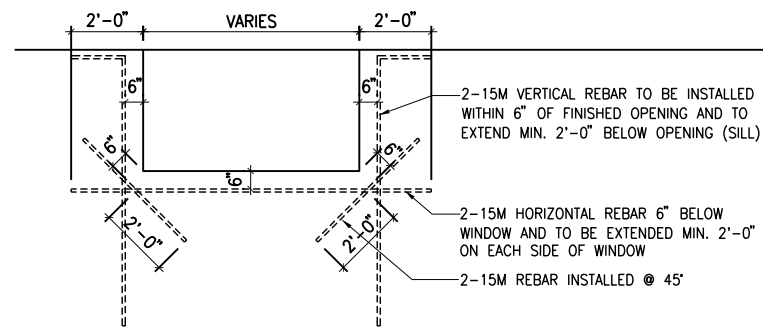
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FRONT VIEW

FOOTING

WINDOW OPENING:
MORE THAN 3'-11" BUT LESS THAN 5'-0" (NO 45° REBAR REQ'D)

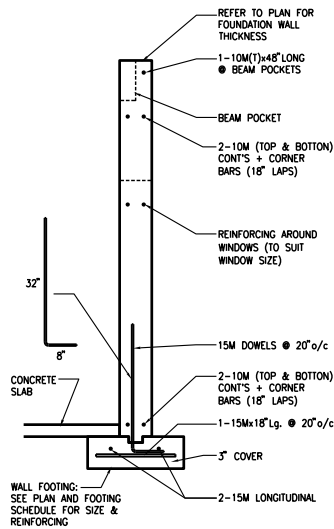
MORE THAN 5'-0" BUT LESS THAN 8'-0"

TOP VIEW

COVER 2" FROM EXTERIOR & INTERIOR WALL

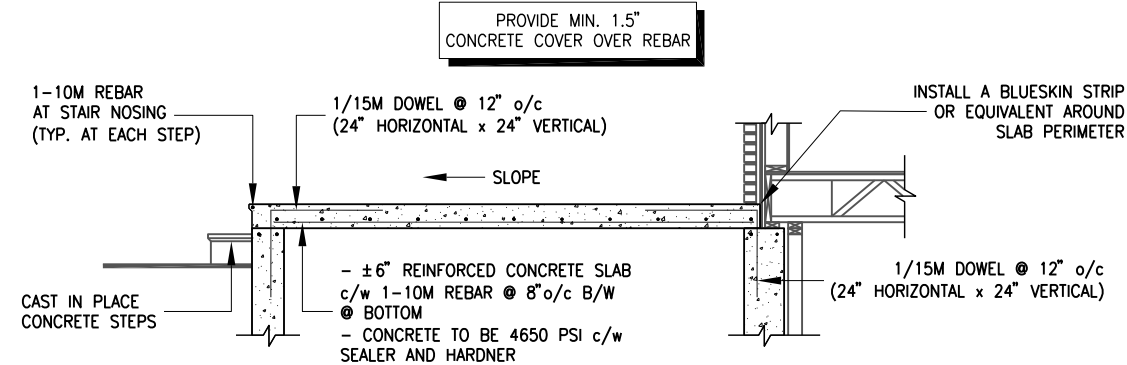
1 BASEMENT WINDOW REINFORCING

SCALE: 3/16" = 1'-0"



2 CONCRETE WALL REINFORCING

SCALE: 1/4" = 1'-0"



3 CONCRETE PORCH REINFORCING

SCALE: 1/4" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

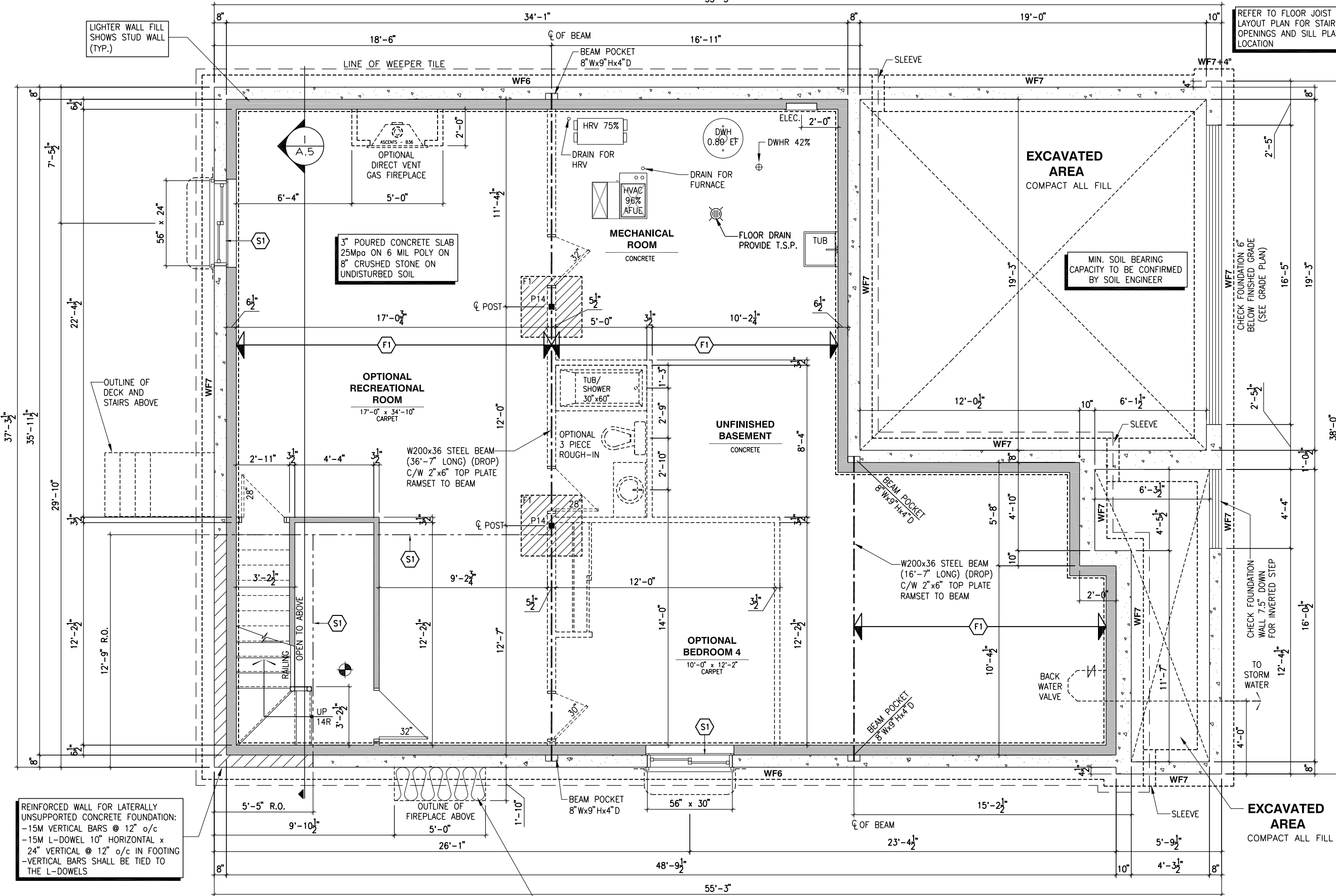
DRAWING: **FOOTING SCHEDULE AND CONCRETE DETAILS**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A6**

SEE A6F FOR FOOTING TABLE



REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION

REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION:
 -15M VERTICAL BARS @ 12" o/c
 -15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING
 -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS

INSTALL 6 MIL POLY VAPOUR BARRIER ON TOP OF FLOOR JOISTS BEFORE INSTALLING FLOOR SHEATING. CAULK ALL JOINTS. PACK FLOOR JOISTS WITH R-31 BATT INSULATION. INSTALL 1/2" O.S.B. UNDER SIDE OF JOISTS C/W TYVEK HOMEWRAP AND NON-VENTED SOFFIT

- FLOOR FRAMING:
- F1 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX
 DATE: XX/XX/XXXX



DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P16 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: BASEMENT FLOOR - ELEV. A

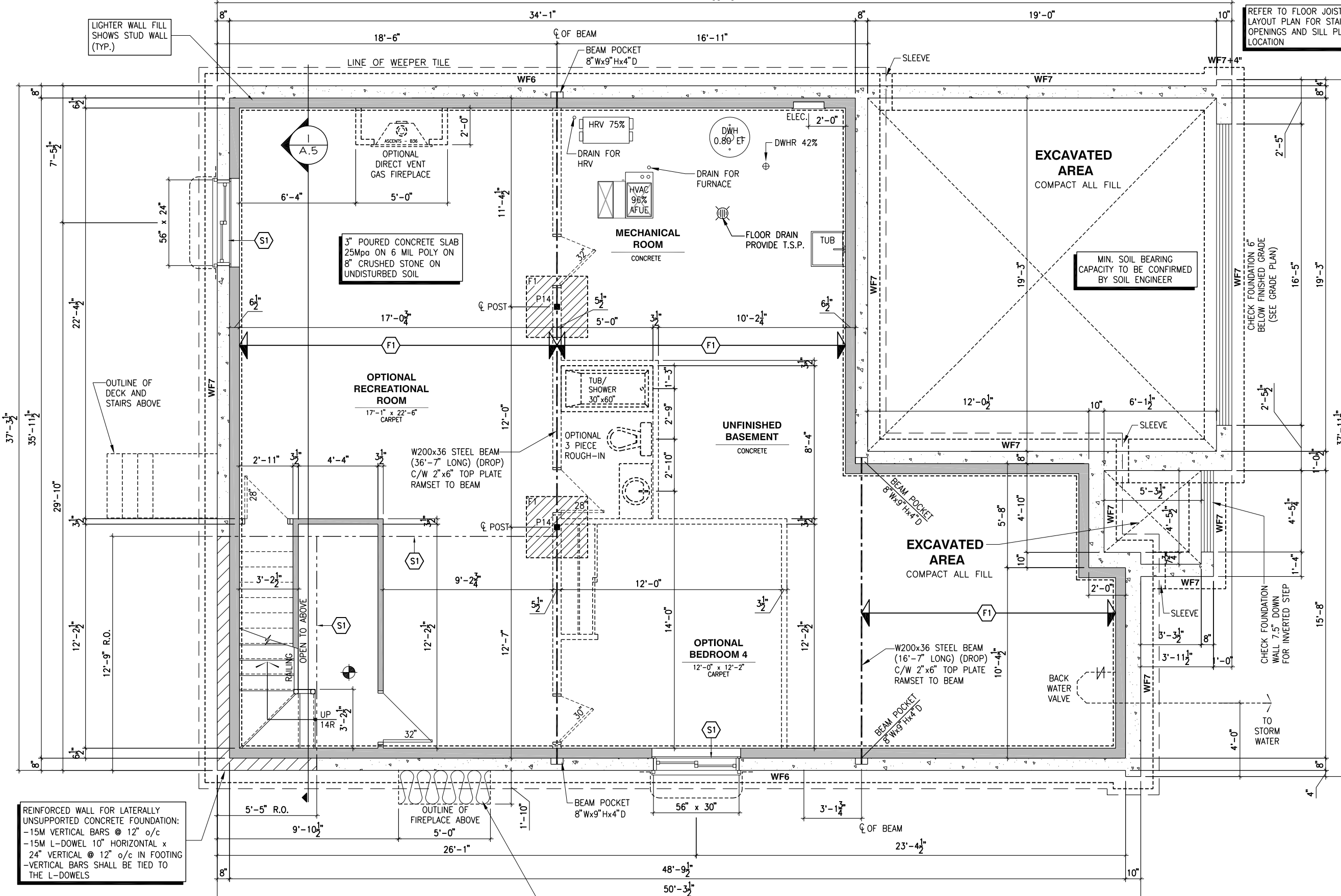
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT SHEET: A6a

BASEMENT FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

SEE A6F FOR FOOTING TABLE



REFER TO FLOOR JOIST LAYOUT PLAN FOR STAIR OPENINGS AND SILL PLATE LOCATION

LIGHTER WALL FILL SHOWS STUD WALL (TYP.)

3" POURED CONCRETE SLAB
25Mpa ON 6 MIL POLY ON
8" CRUSHED STONE ON
UNDISTURBED SOIL

EXCAVATED AREA
COMPACT ALL FILL

MIN. SOIL BEARING
CAPACITY TO BE CONFIRMED
BY SOIL ENGINEER

REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION:
-15M VERTICAL BARS @ 12" o/c
-15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING
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F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GENERAL NOTES:
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LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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S4 = L 125x90x8
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USIP
P2 = 2-2x4 OR 2-2x6
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P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: BASEMENT FLOOR - ELEV. B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT SHEET: A6b

BASEMENT FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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POST TABLE:

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- P5 = 5-2x4 OR 5-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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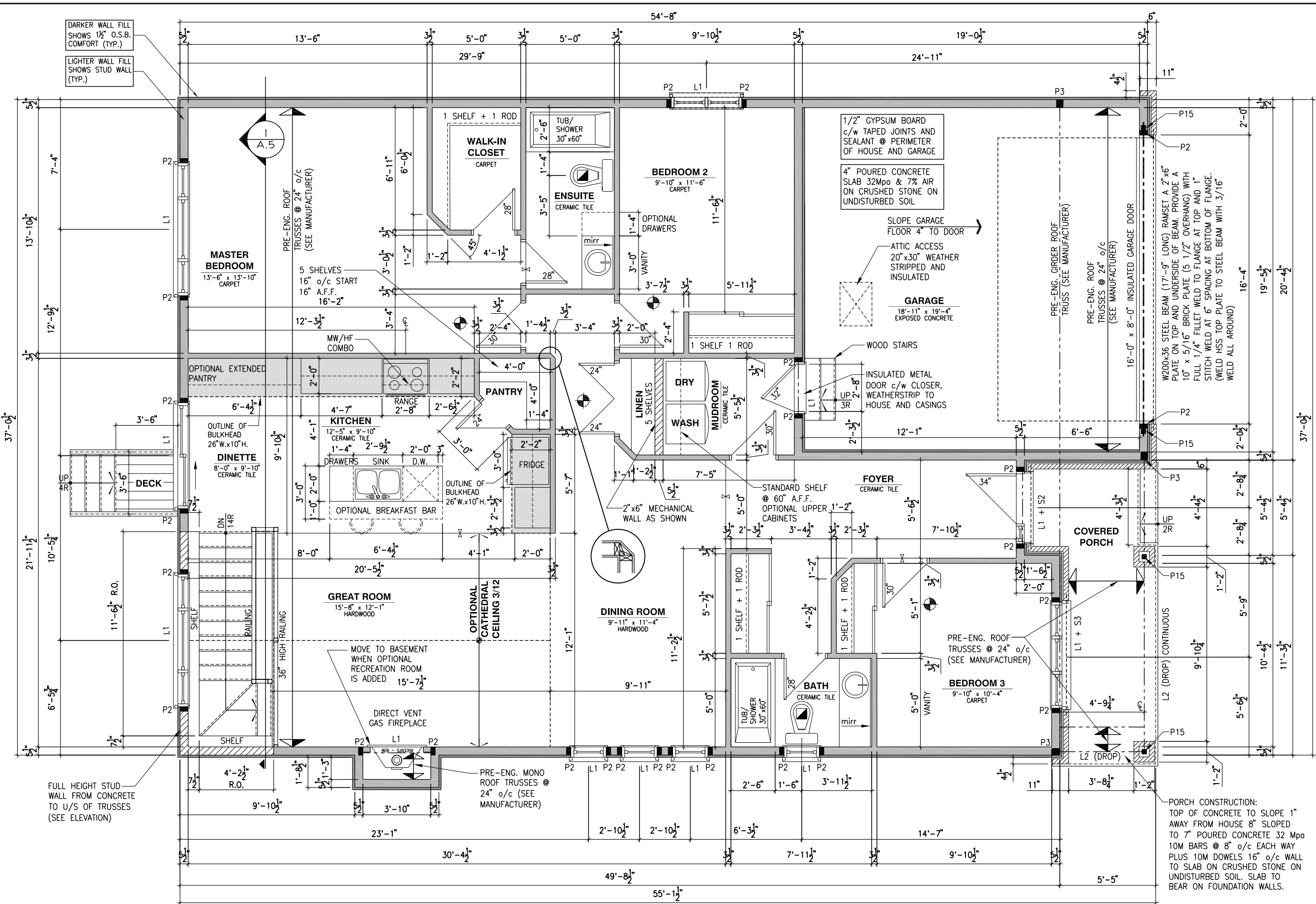
REV	NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION		01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT

SHEET: **A7a**
 (STANDARD DRAWINGS)



GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
 RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE



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 - S3 = L 100x90x8
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 - S6 = L 200x100x12
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- LINTEL TABLE:
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 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
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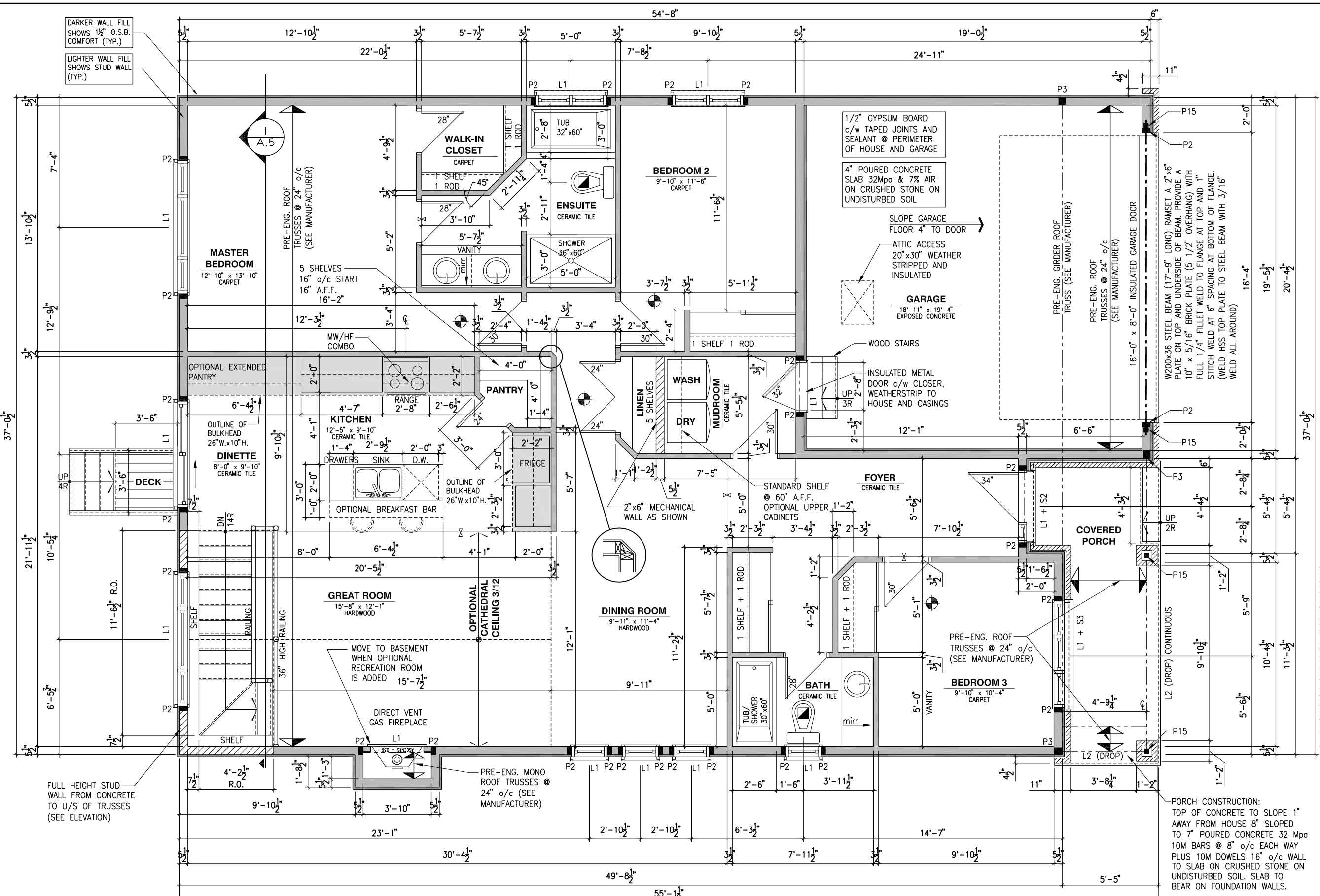
2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7b



GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

GENERAL NOTES:

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- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" Poured CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

LOT: XXXX
DATE: XX/XX/XXXX



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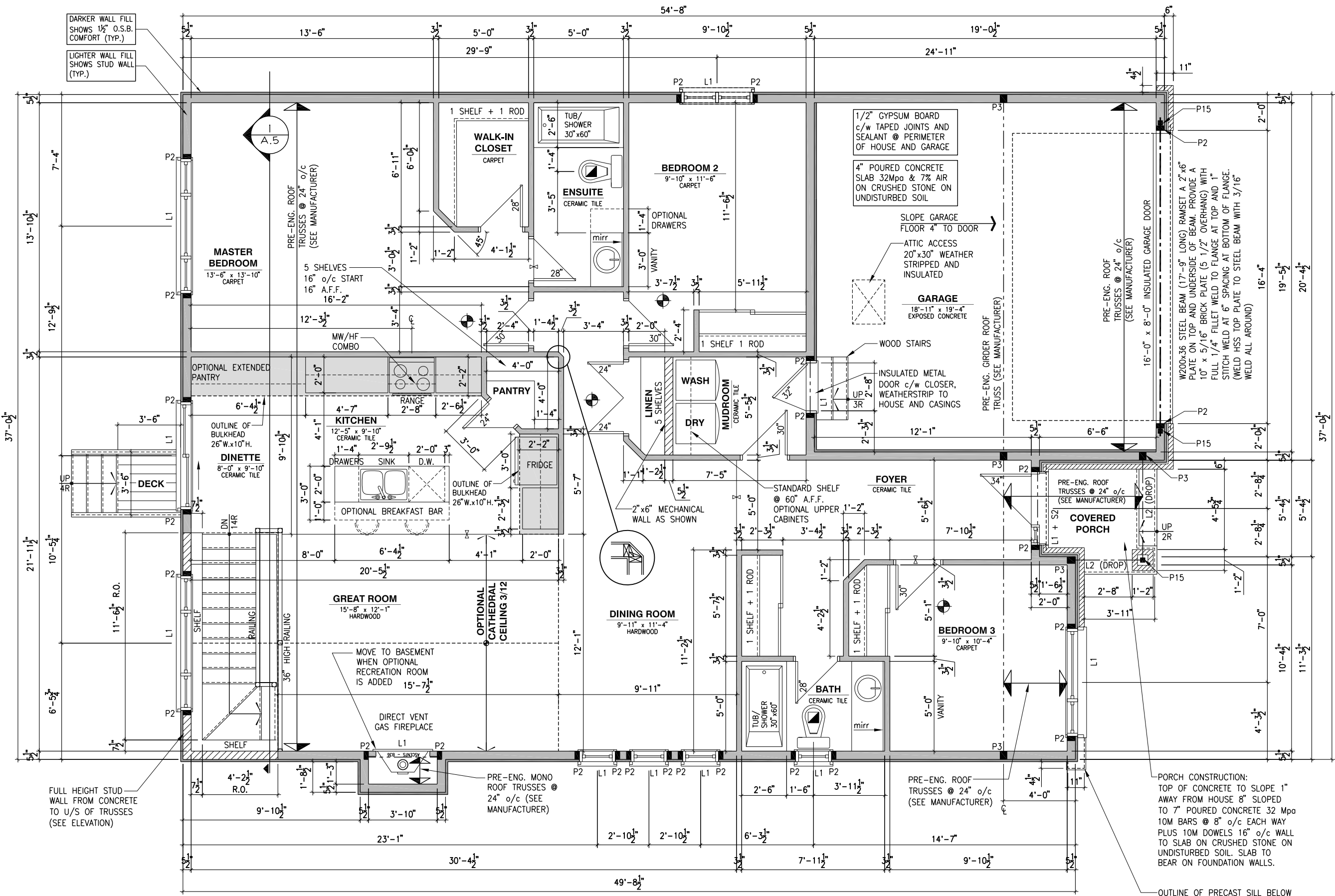
2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7c



GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USF
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
- (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

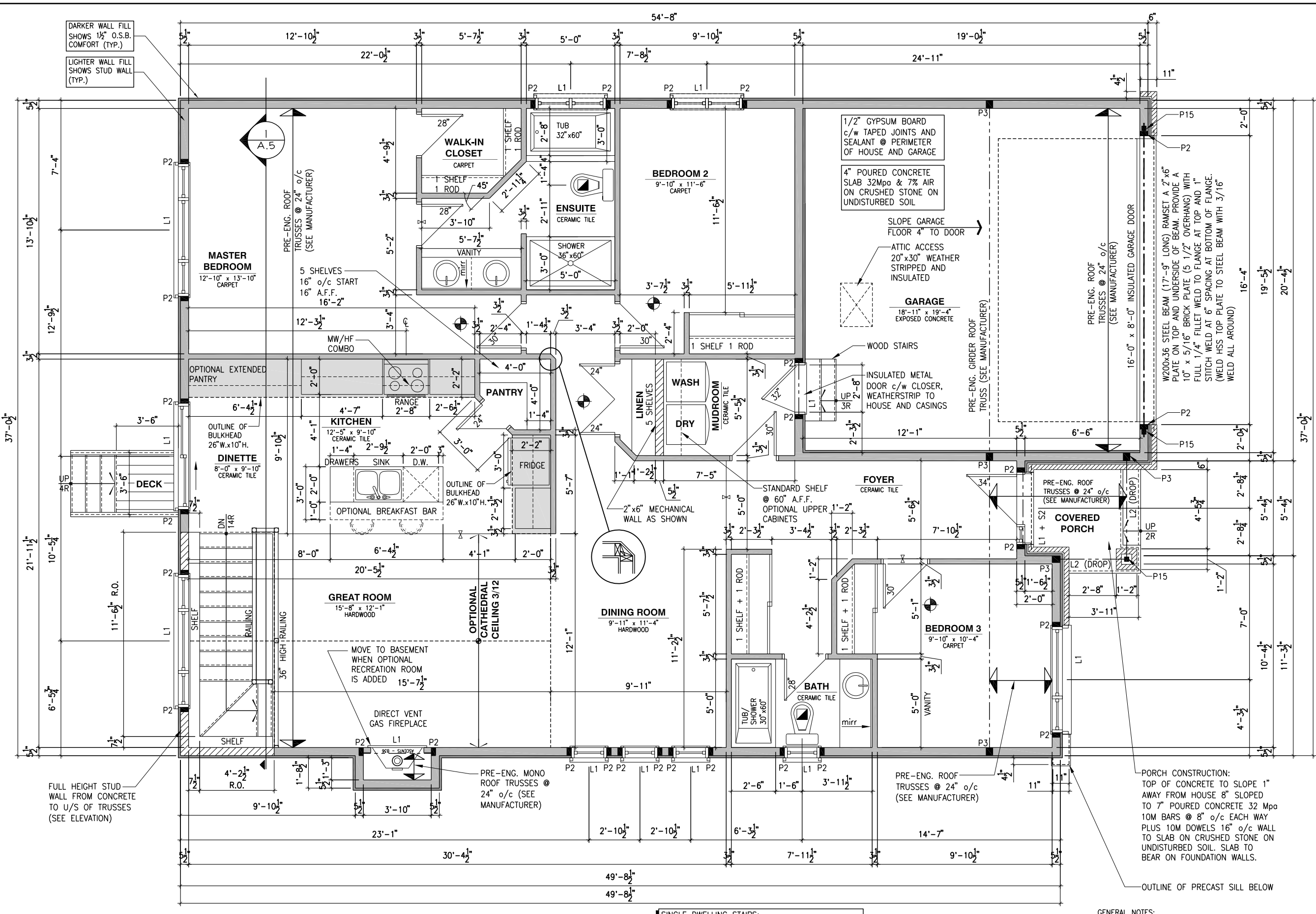
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT **A7d**
(STANDARD DRAWINGS)



GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE



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- TARIION REGISTRATION NUMBER #611

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- NOTES:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
P1 = 5" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USF
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

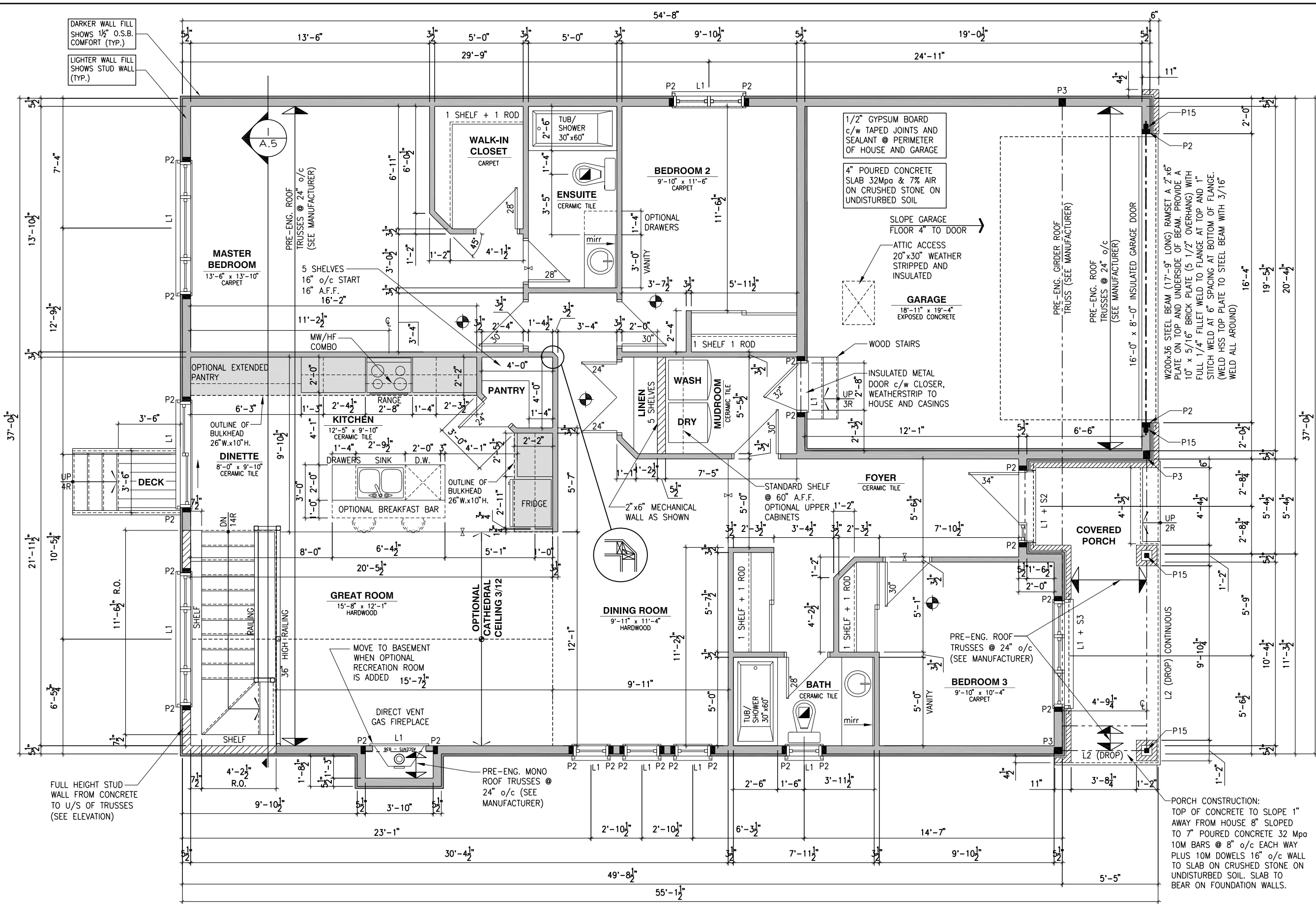
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7e



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE



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NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USF
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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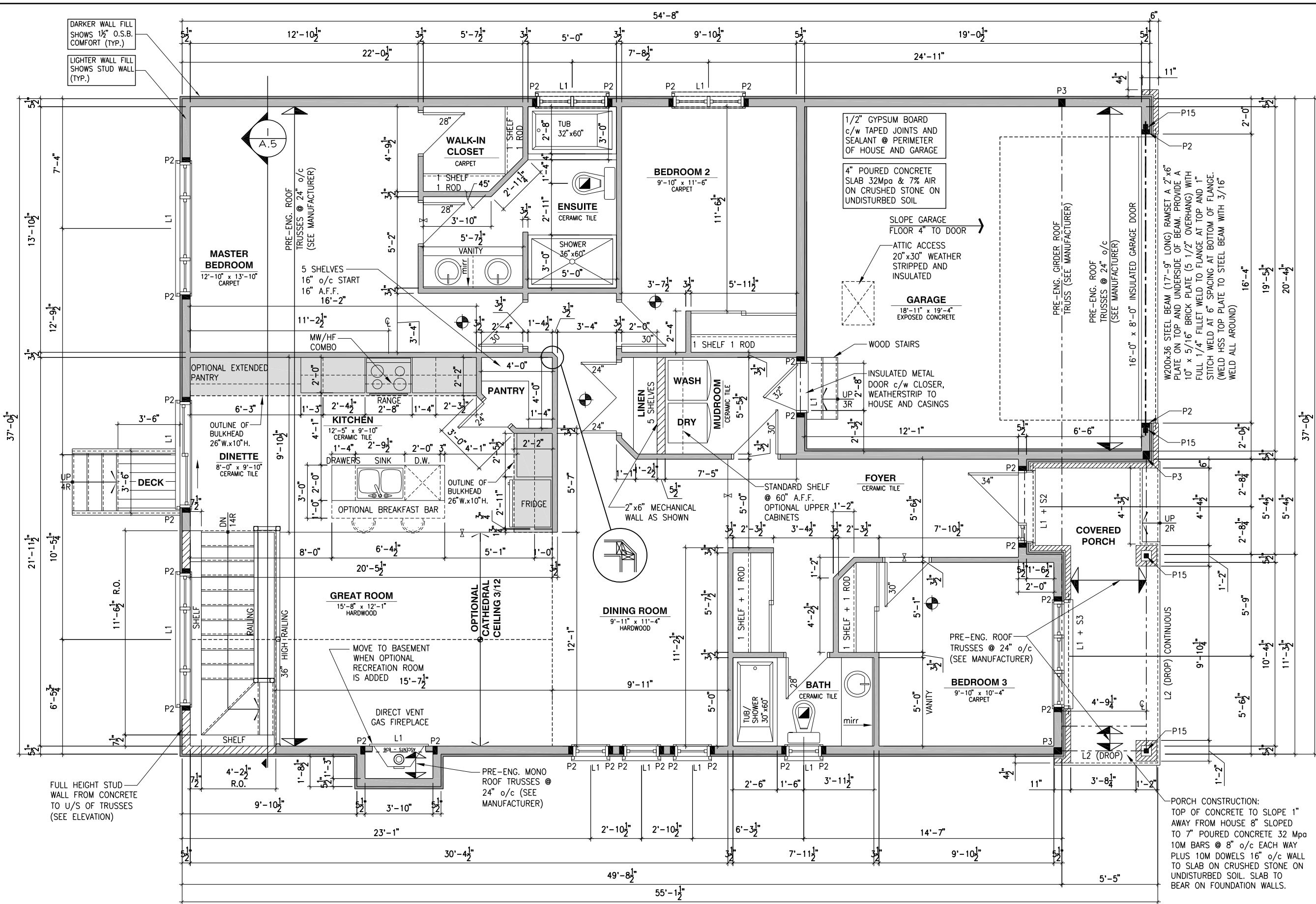
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7f



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE

LOT: XXXX
DATE: XX/XX/XXXX



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S4 = L 125x90x8
S5 = L 125x90x10
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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USF
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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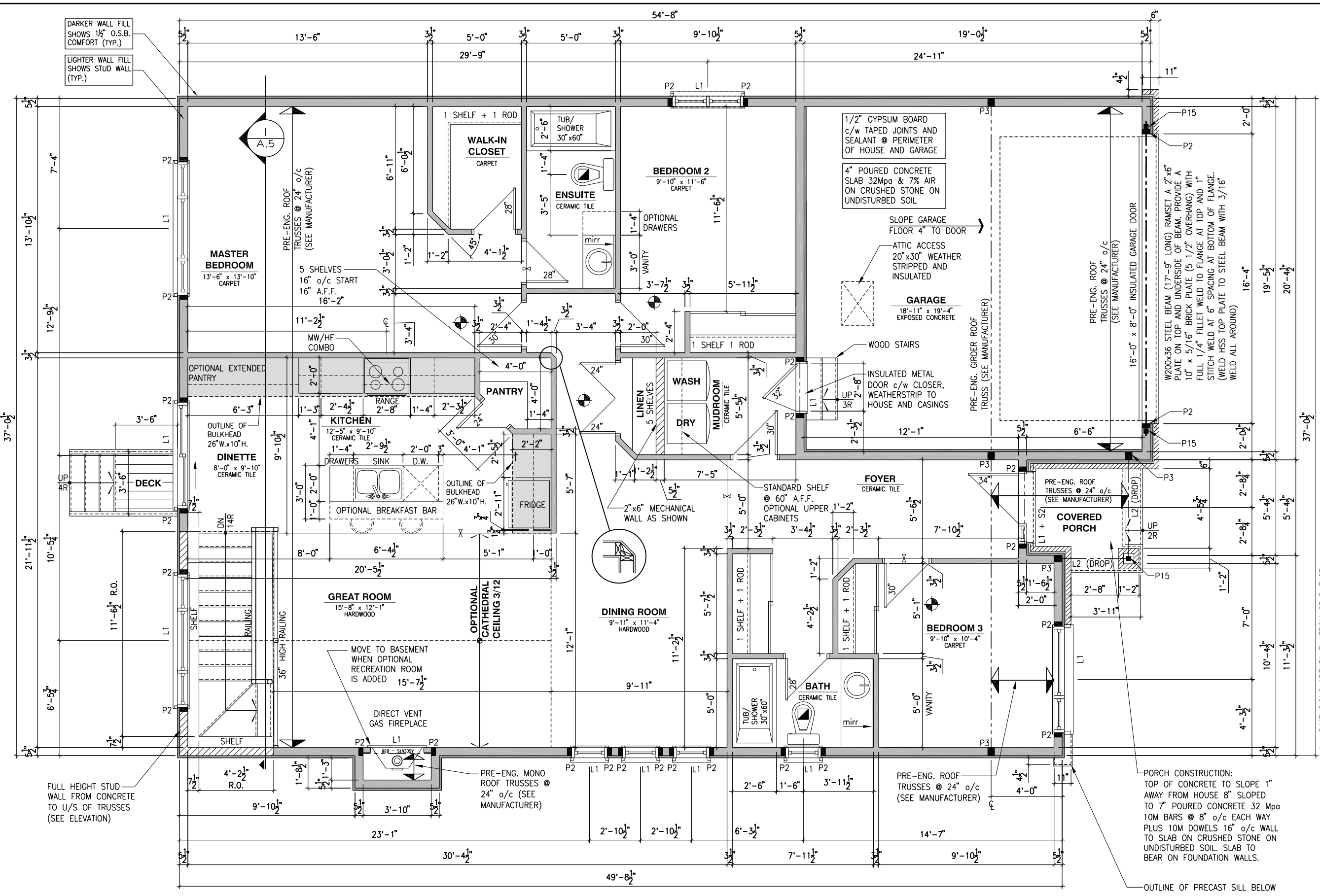
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT **A7g**
(STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQUARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

GENERAL NOTES:
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2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
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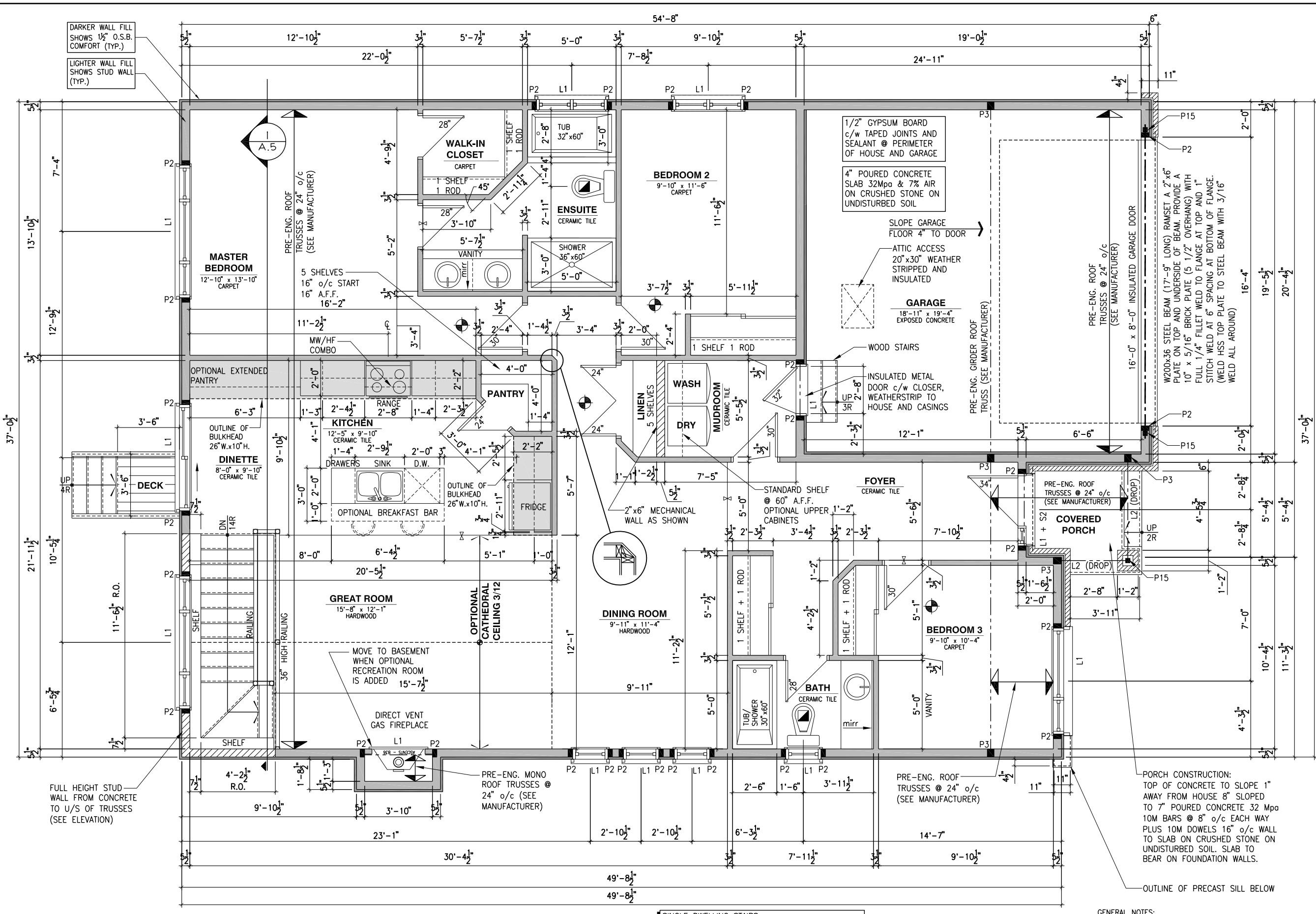
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT

SHEET: **A7h**
(STANDARD DRAWINGS)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B (ENSUITE UPGRADE)

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SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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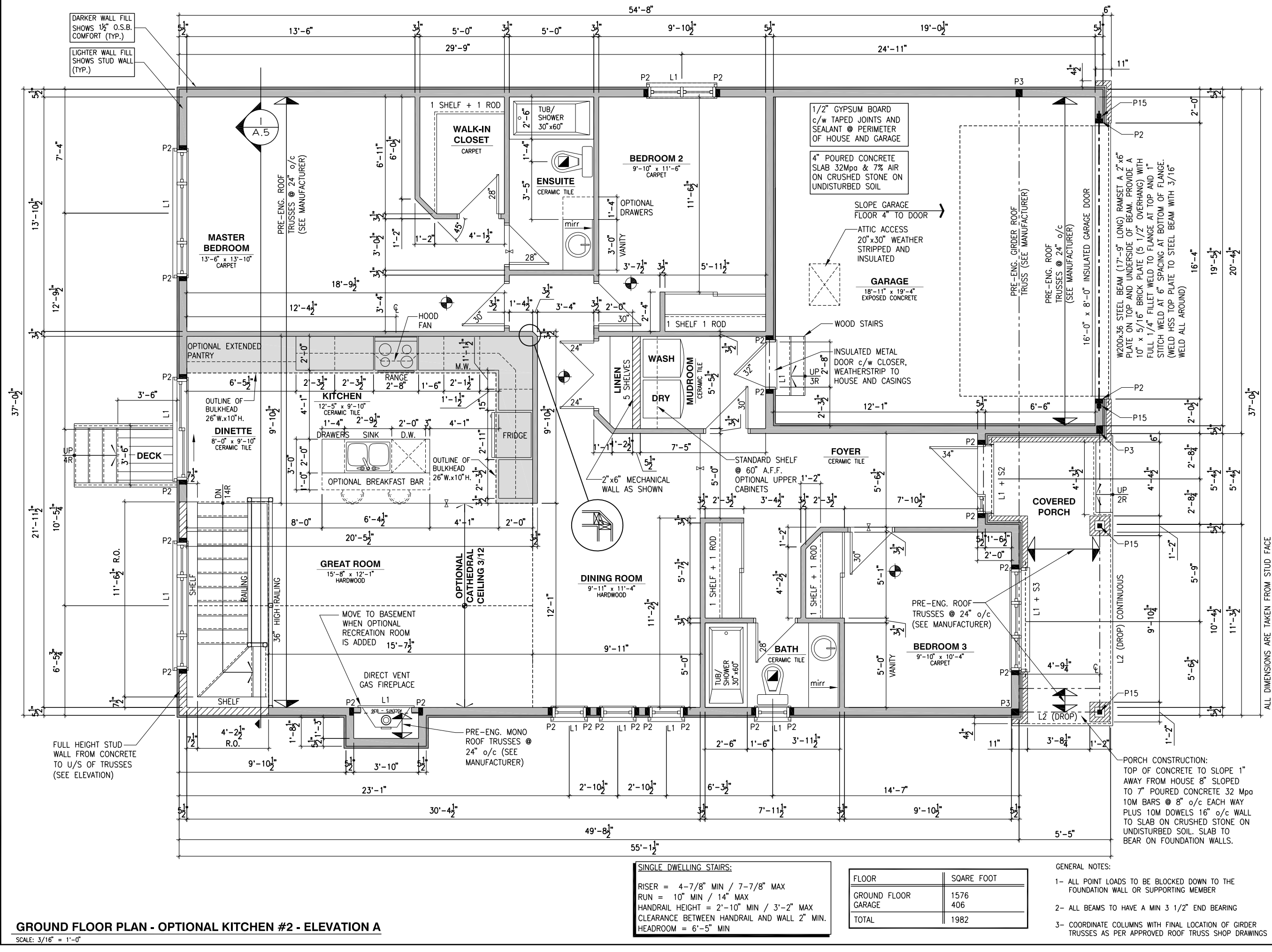
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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1020 - THE MORGAN 2022 FOOTPRINT
 (STANDARD DRAWINGS) **A7i**



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A

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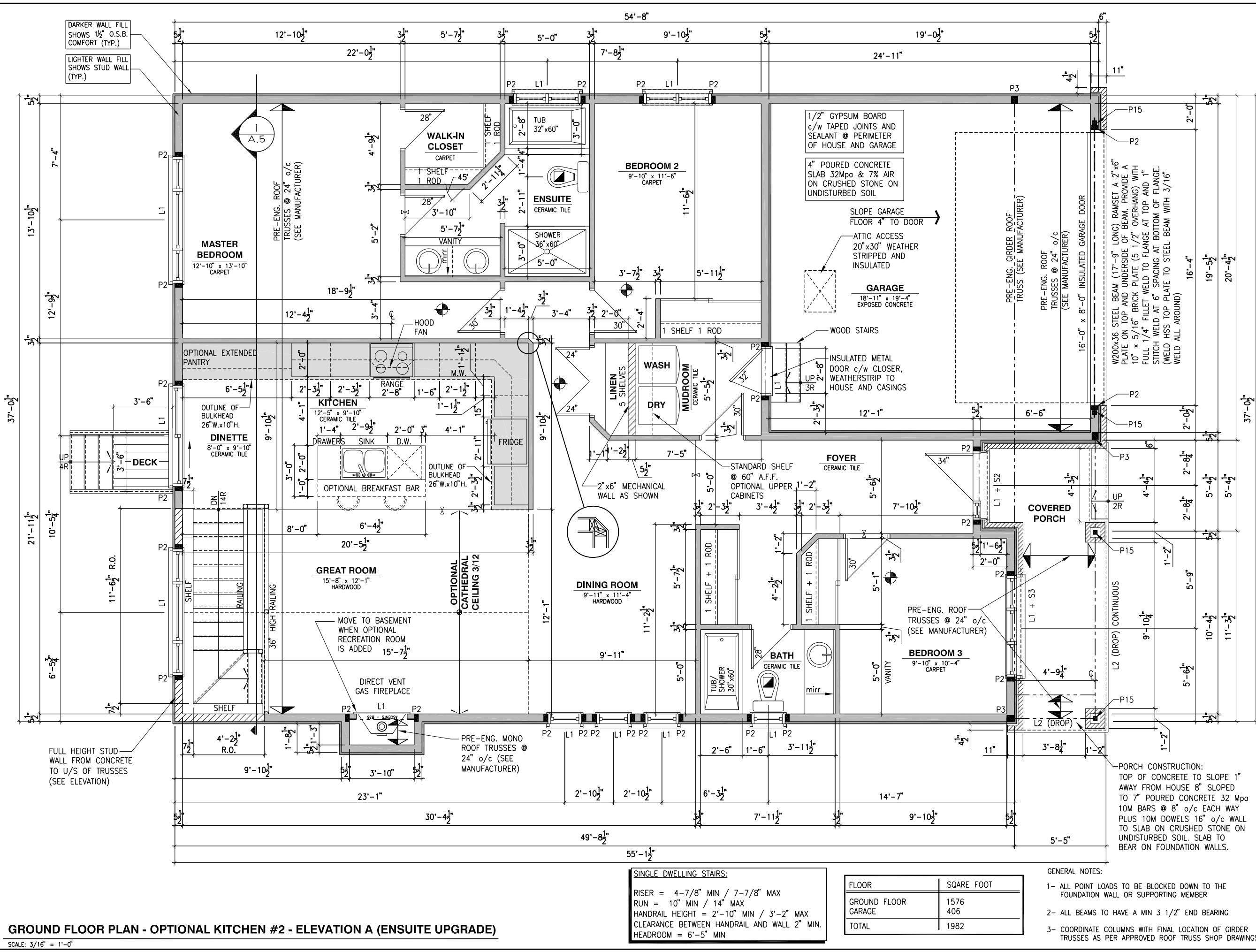
REV	NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION		01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT

SHEET: **A7j**
 (STANDARD DRAWINGS)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:

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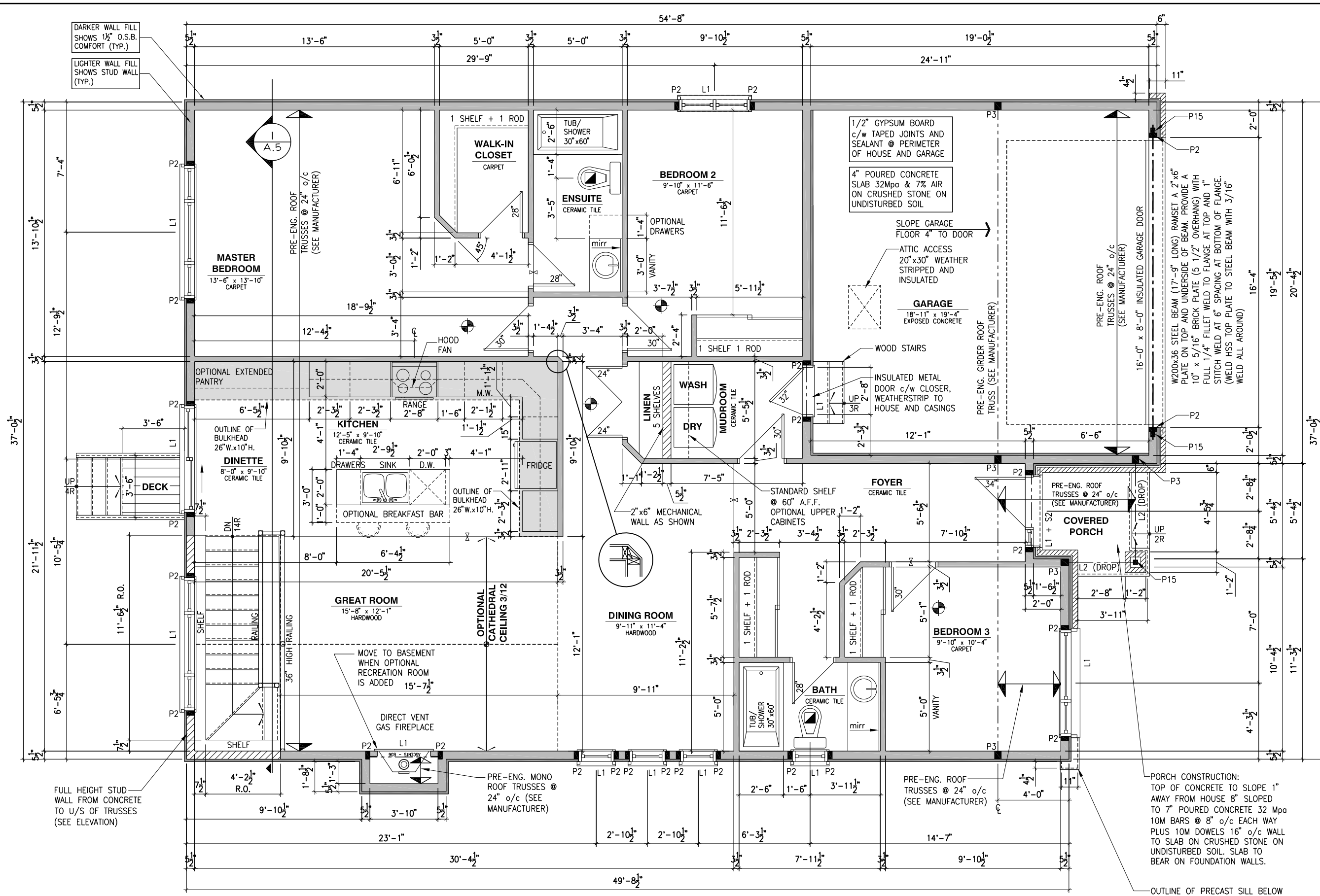
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **GROUND FLOOR - ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT

SHEET: **A7k**
(STANDARD DRAWINGS)



DARKER WALL FILL SHOWS 1/2" O.S.B. COMFORT (TYP.)
LIGHTER WALL FILL SHOWS STUD WALL (TYP.)

1/2" GYPSUM BOARD c/w TAPED JOINTS AND SEALANT @ PERIMETER OF HOUSE AND GARAGE
4" POURED CONCRETE SLAB 32Mpa & 7% AIR ON CRUSHED STONE ON UNDISTURBED SOIL

SLOPE GARAGE FLOOR 4" TO DOOR
ATTIC ACCESS 20"x30" WEATHERSTRIP AND INSULATED

INSULATED METAL DOOR c/w CLOSER, WEATHERSTRIP TO HOUSE AND CASINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CRUSHED STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

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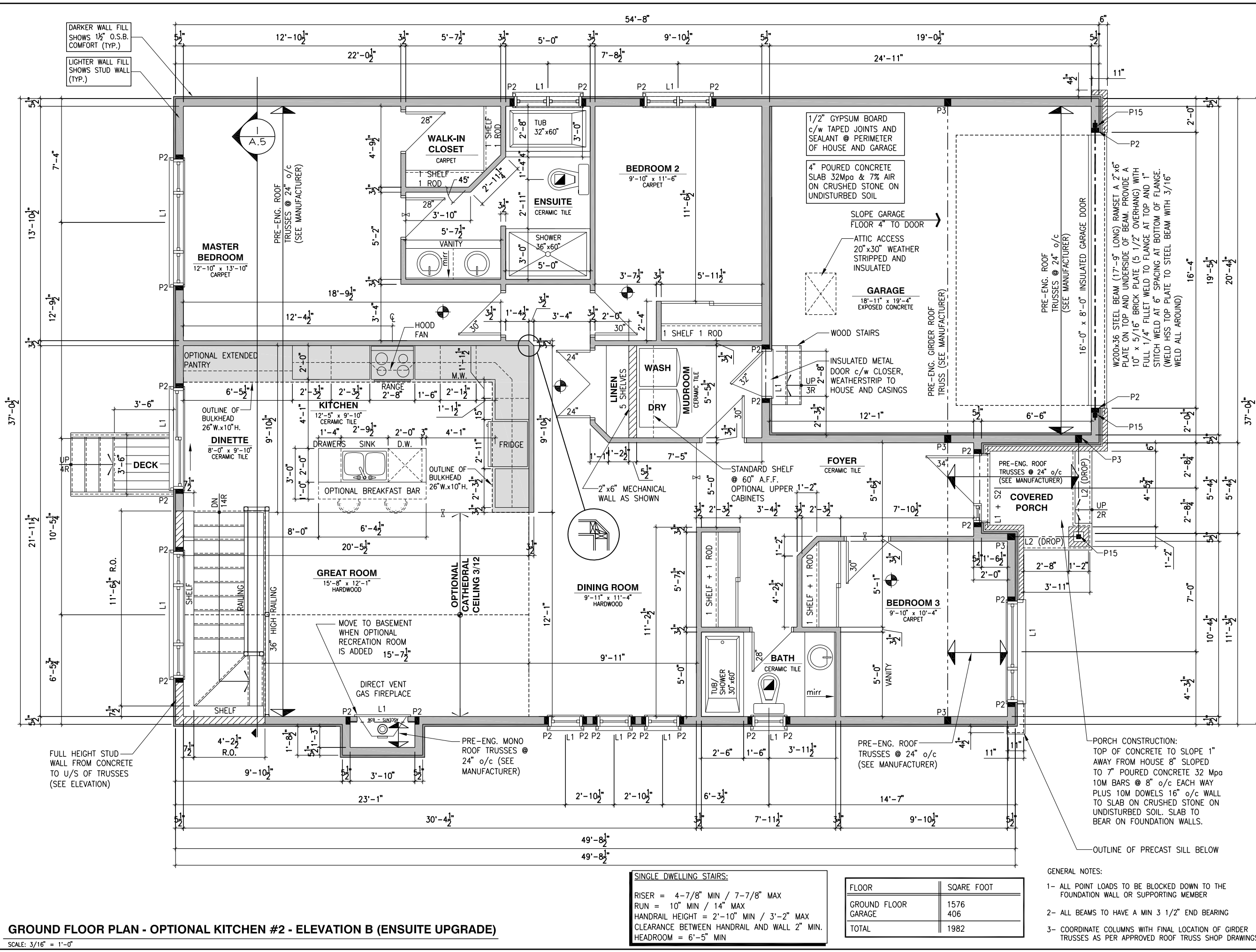
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1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A71



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B (ENSUITE UPGRADE)

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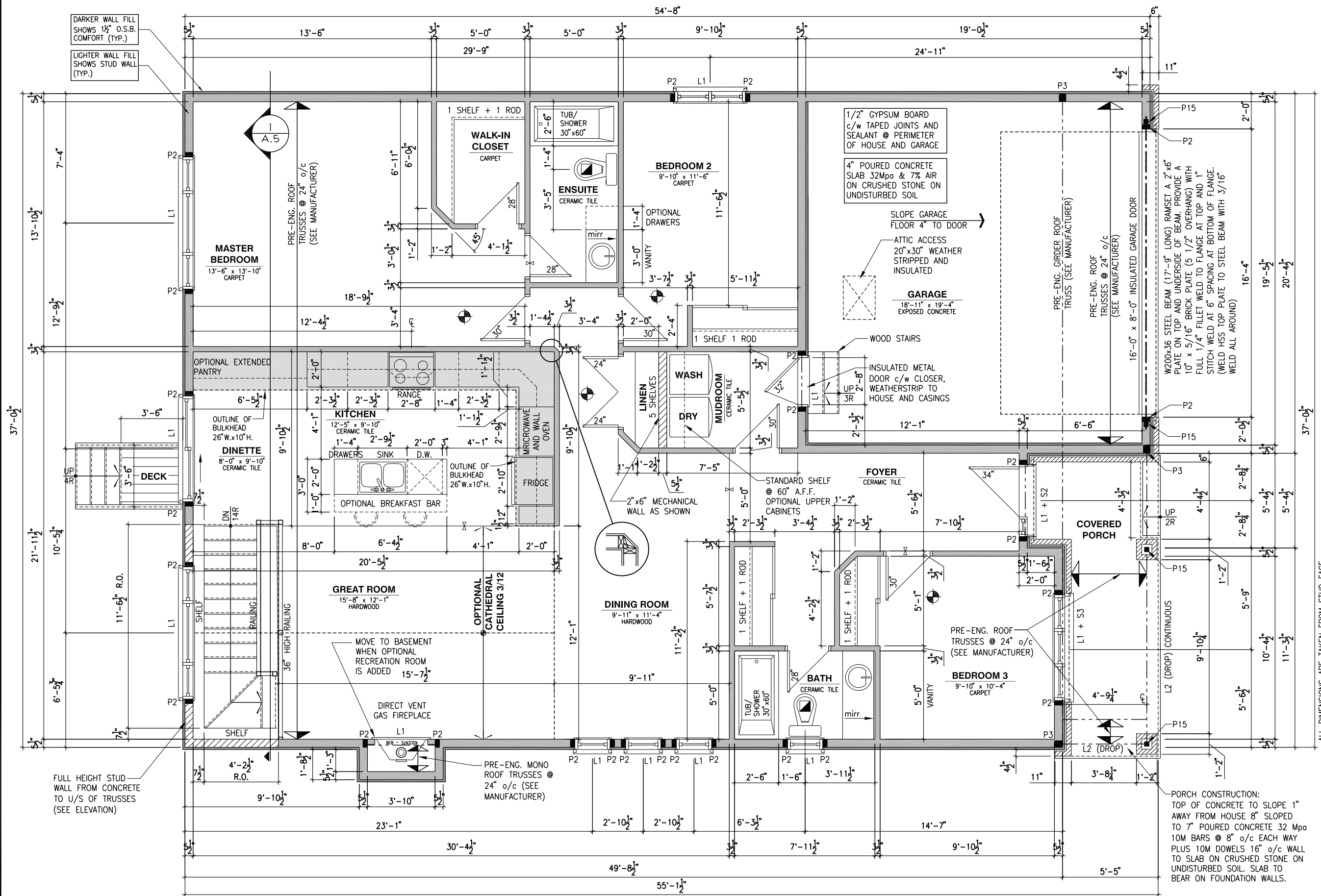
2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT SHEET: **A7m**
 (STANDARD DRAWINGS)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
 RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

FLOOR	SQUARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:**
 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

ALL DIMENSIONS ARE TAKEN FROM STUD FACE



DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

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- NOTES:
STEEL LINTEL:
S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
P1 = 3" ADJUSTABLE STEEL COLUMN
P16 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USIP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

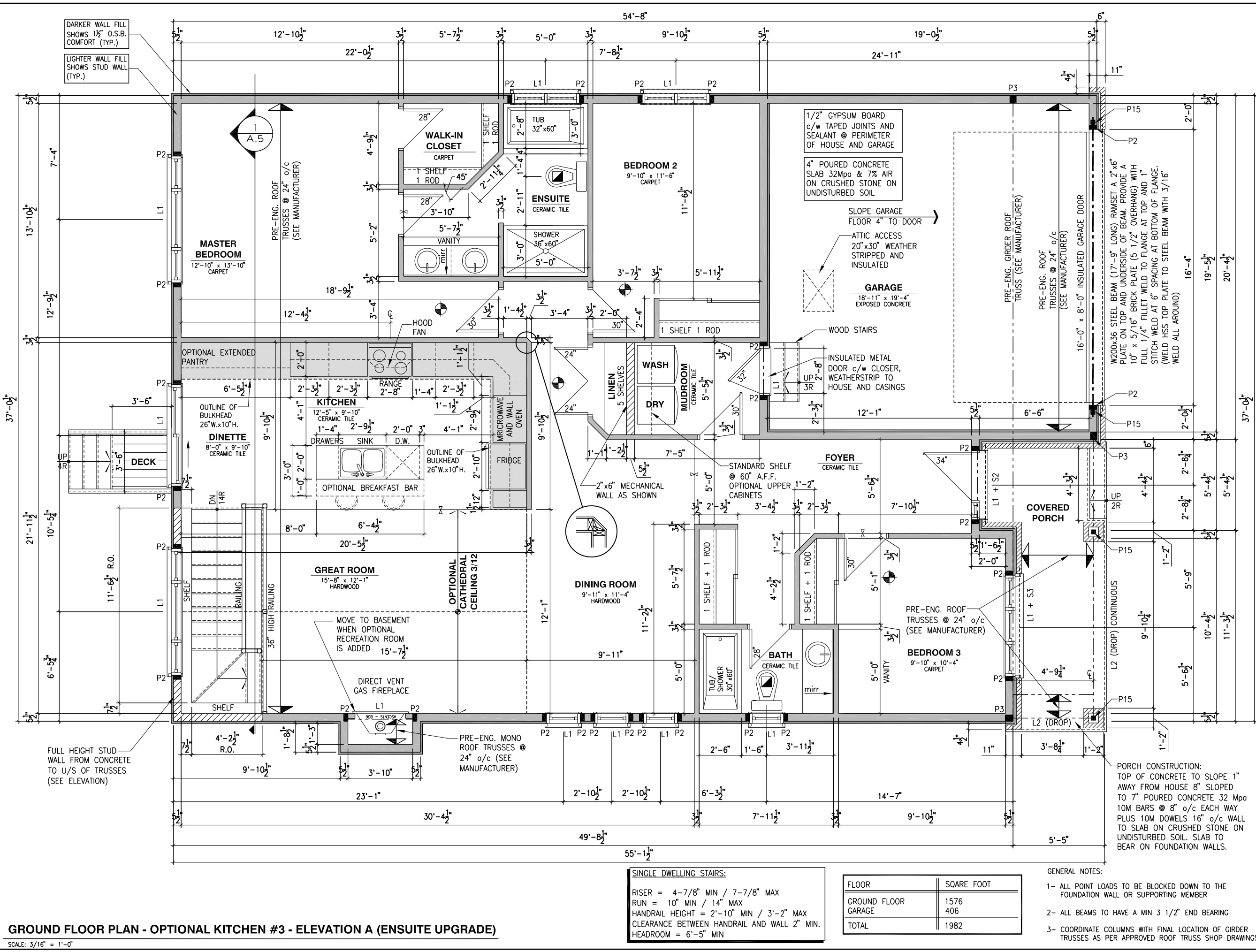
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT (STANDARD DRAWINGS) SHEET: A7n



SINGLE DWELLING STAIRS:

RISER	= 4-7/8" MIN / 7-7/8" MAX
RUN	= 10" MIN / 14" MAX
HANDRAIL HEIGHT	= 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL	2" MIN.
HEADROOM	= 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

- GENERAL NOTES:
1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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NOTES:
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LINTEL TABLE:
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 L2 = 3-2x10 + P3 ON BOTH SIDES
 L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:
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 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
 P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
 P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
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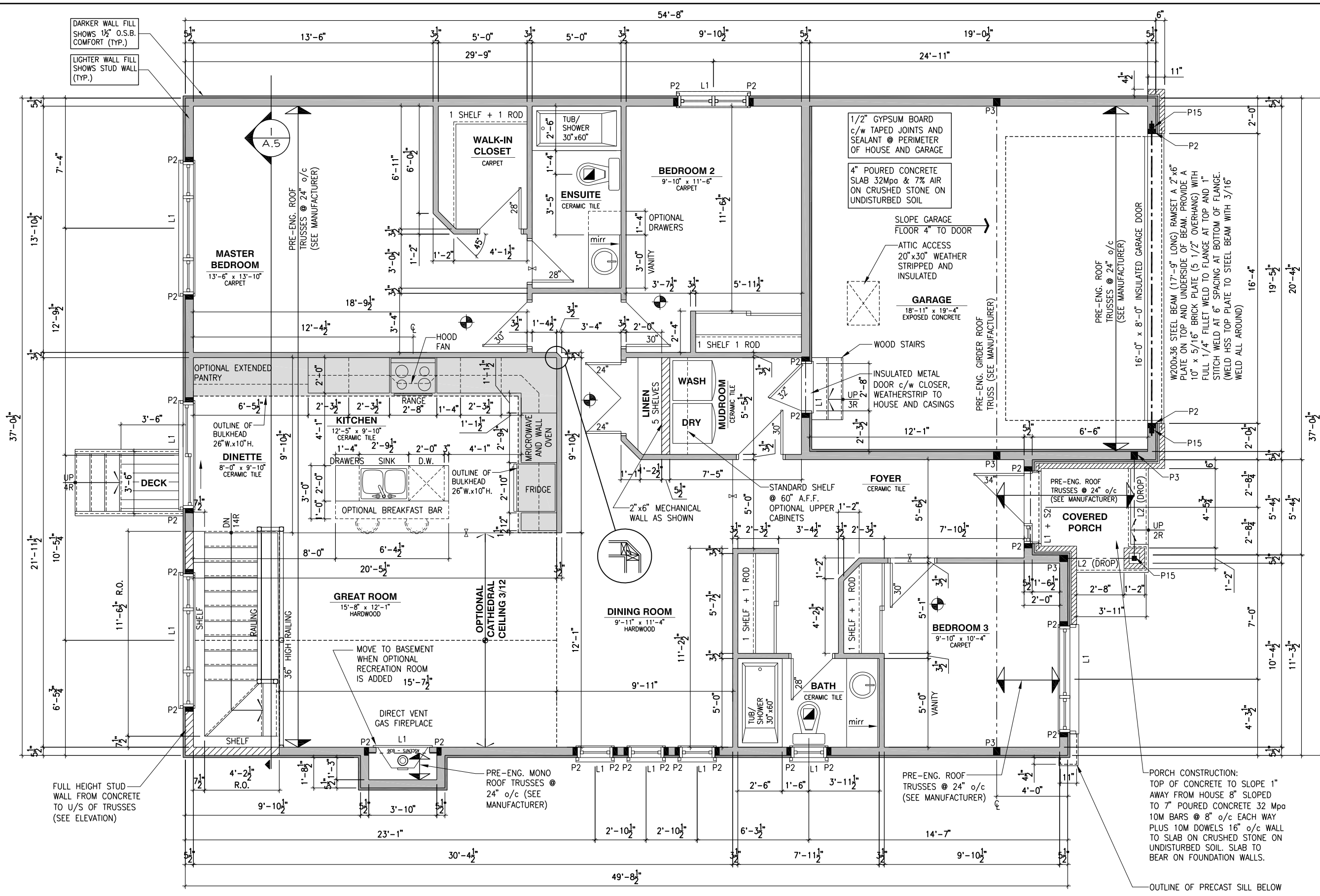
2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
 NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT SHEET: A70
 (STANDARD DRAWINGS)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
 RISER = 4-7/8" MIN / 7-7/8" MAX
 RUN = 10" MIN / 14" MAX
 HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
 CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
 HEADROOM = 6'-5" MIN

FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

GENERAL NOTES:
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LOT: XXXX
DATE: XX/XX/XXXX



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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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2012 O.B.C. DRAWINGS

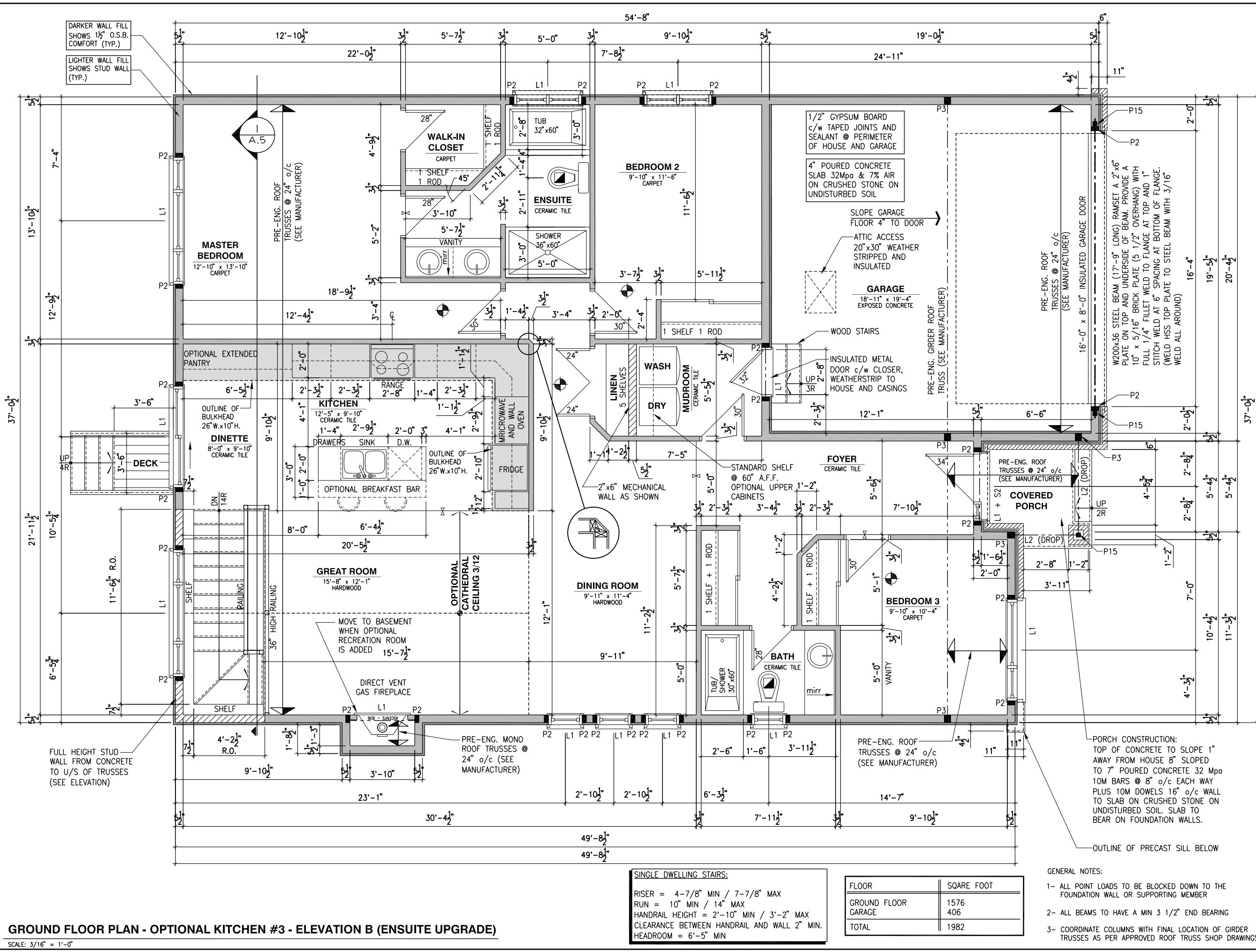
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION DATE BY

DRAWING: GROUND FLOOR - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1020 - THE MORGAN 2022 FOOTPRINT

SHEET: A7p
(STANDARD DRAWINGS)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

SINGLE DWELLING STAIRS:
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GROUND FLOOR	1576
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 P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
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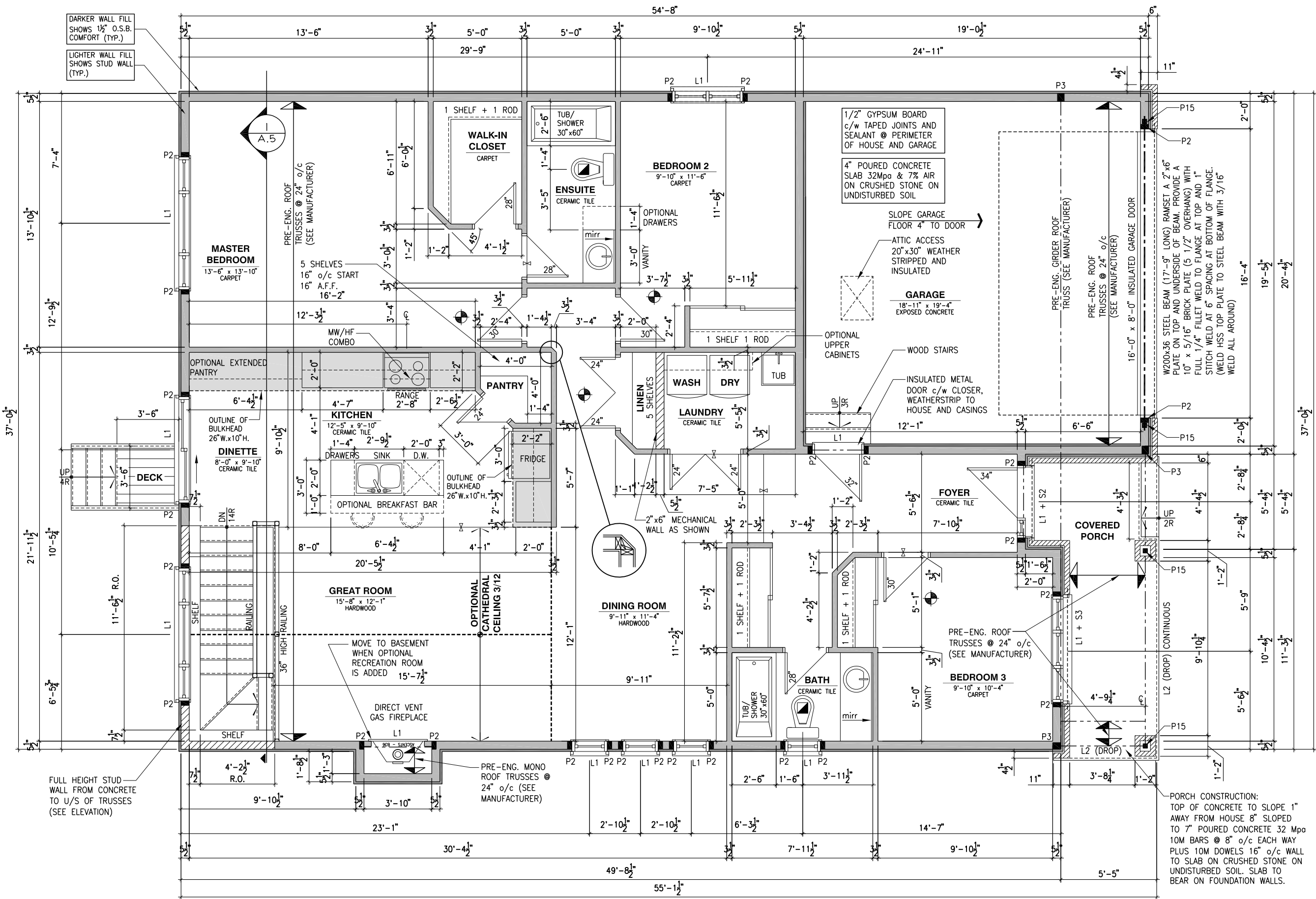
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - ELEVATION A

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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1020 - THE MORGAN 2022 FOOTPRINT SHEET: **A7q**
 (STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

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FLOOR	SQARE FOOT
GROUND FLOOR	1576
GARAGE	406
TOTAL	1982

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GROUND FLOOR PLAN - STANDARD KITCHEN - OPTIONAL LAUNDRY -ELEVATION A

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:
 - ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX
DATE: XX/XX/XXXX



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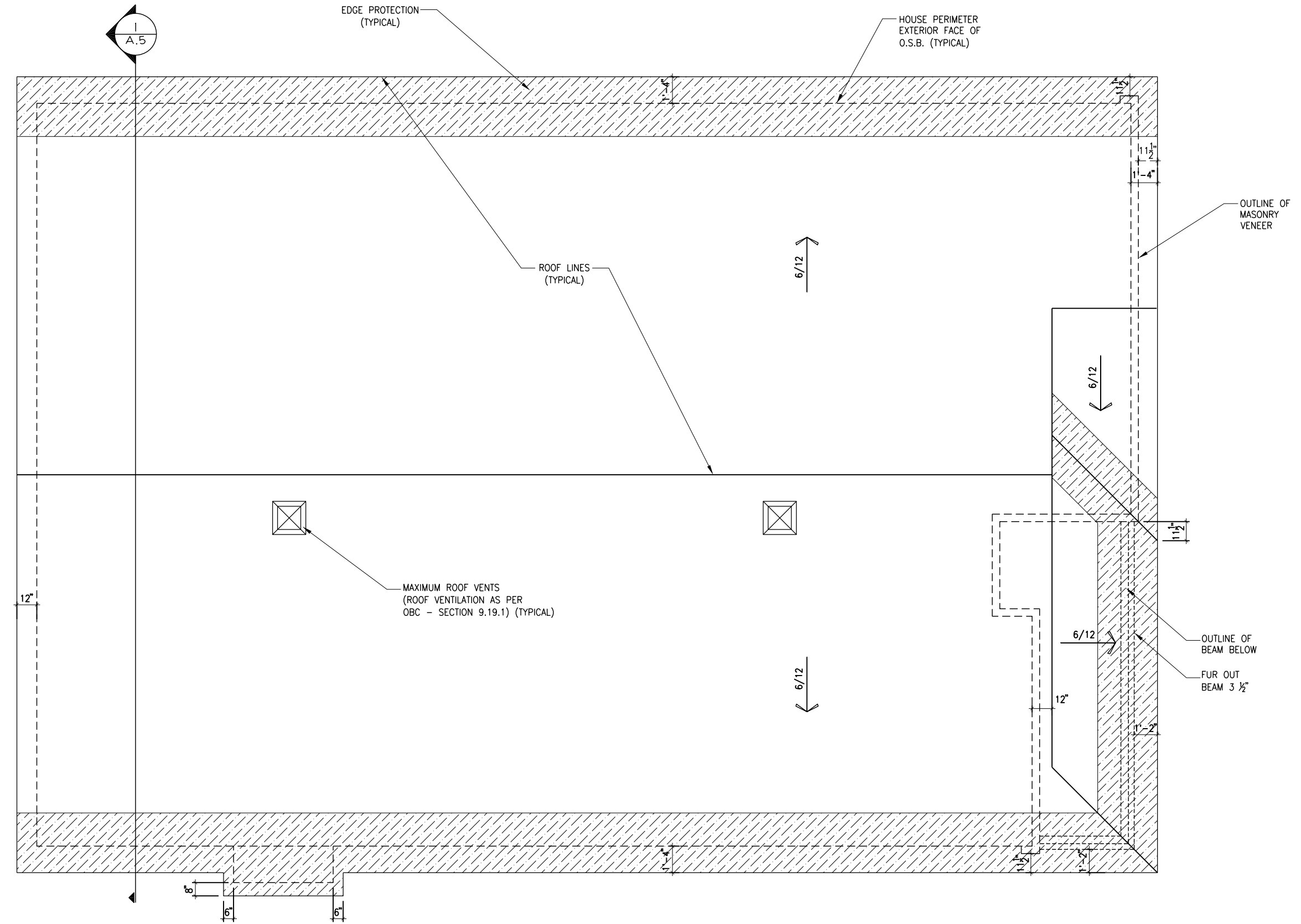
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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

ROOF PLAN - ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A8a

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LOT: XXXX
DATE: XX/XX/XXXX



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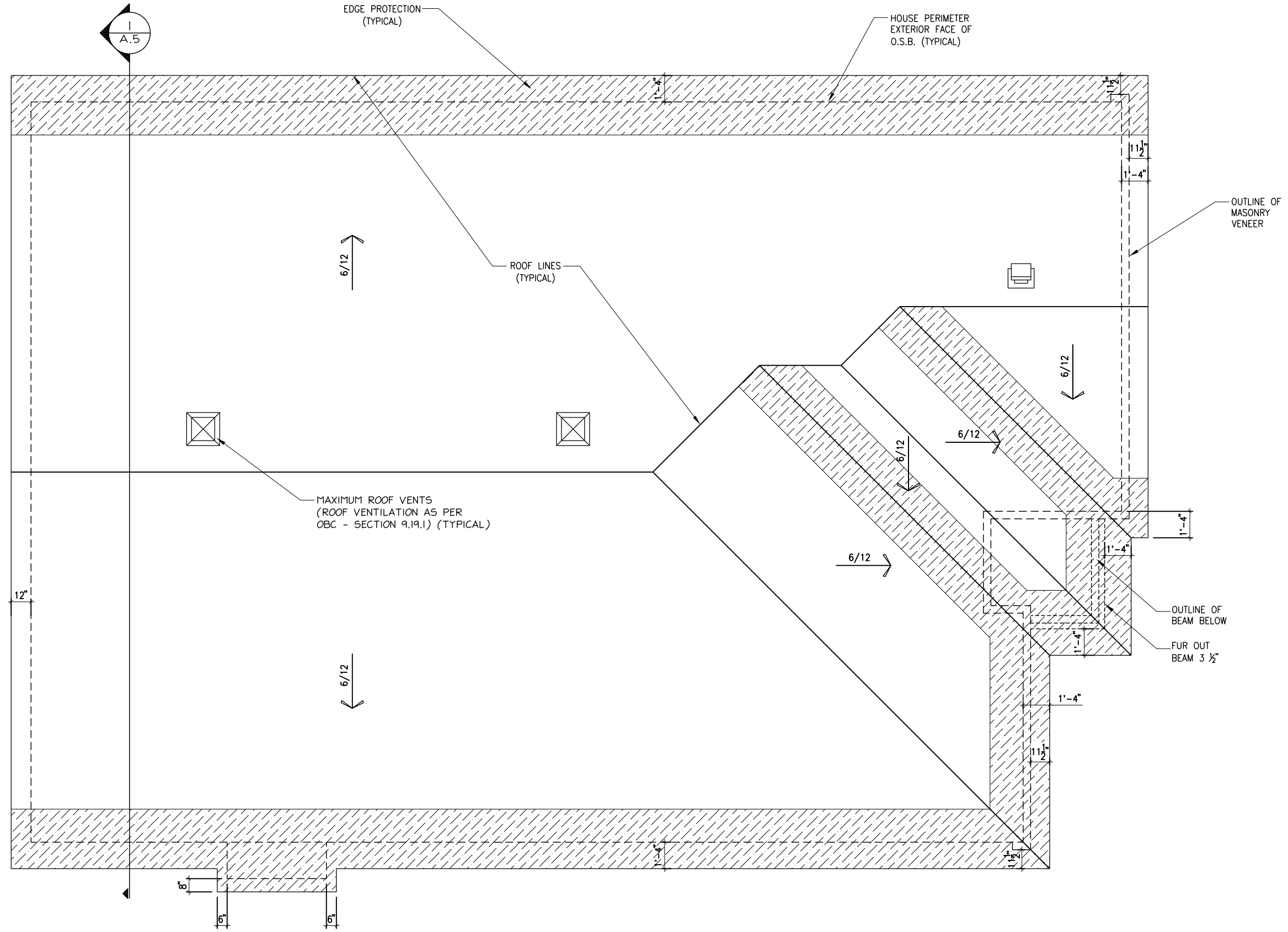
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ROOF PLAN - ELEVATION B
 SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG MODIFICATION		01/01/2022	DOYON

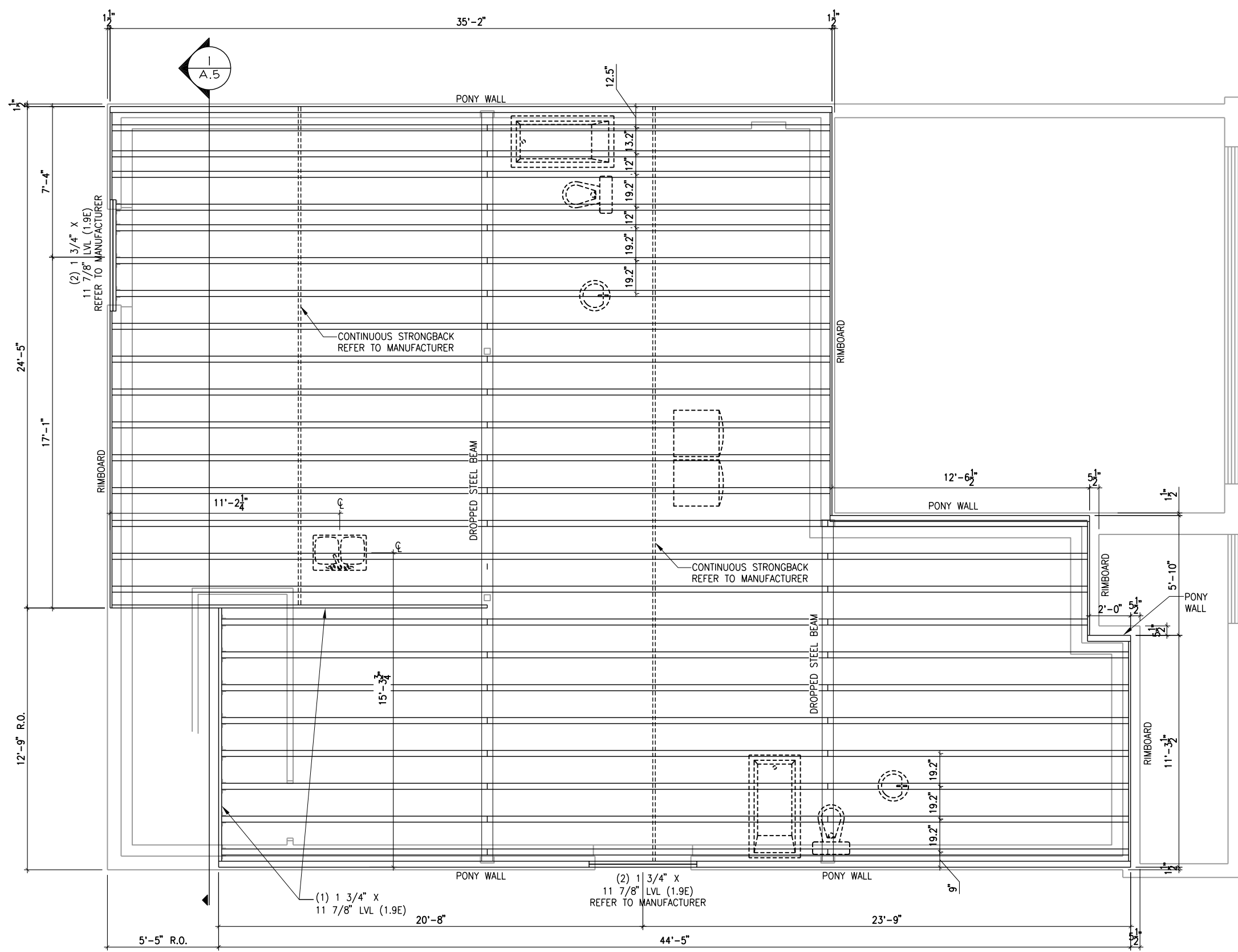
ROOF PLAN - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A8b

ROOF AND FLOOR LAYOUT NOTES:
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**GROUND FLOOR PLAN
 FLOOR JOIST FRAMING PLAN - ELEVATION A**

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611
 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

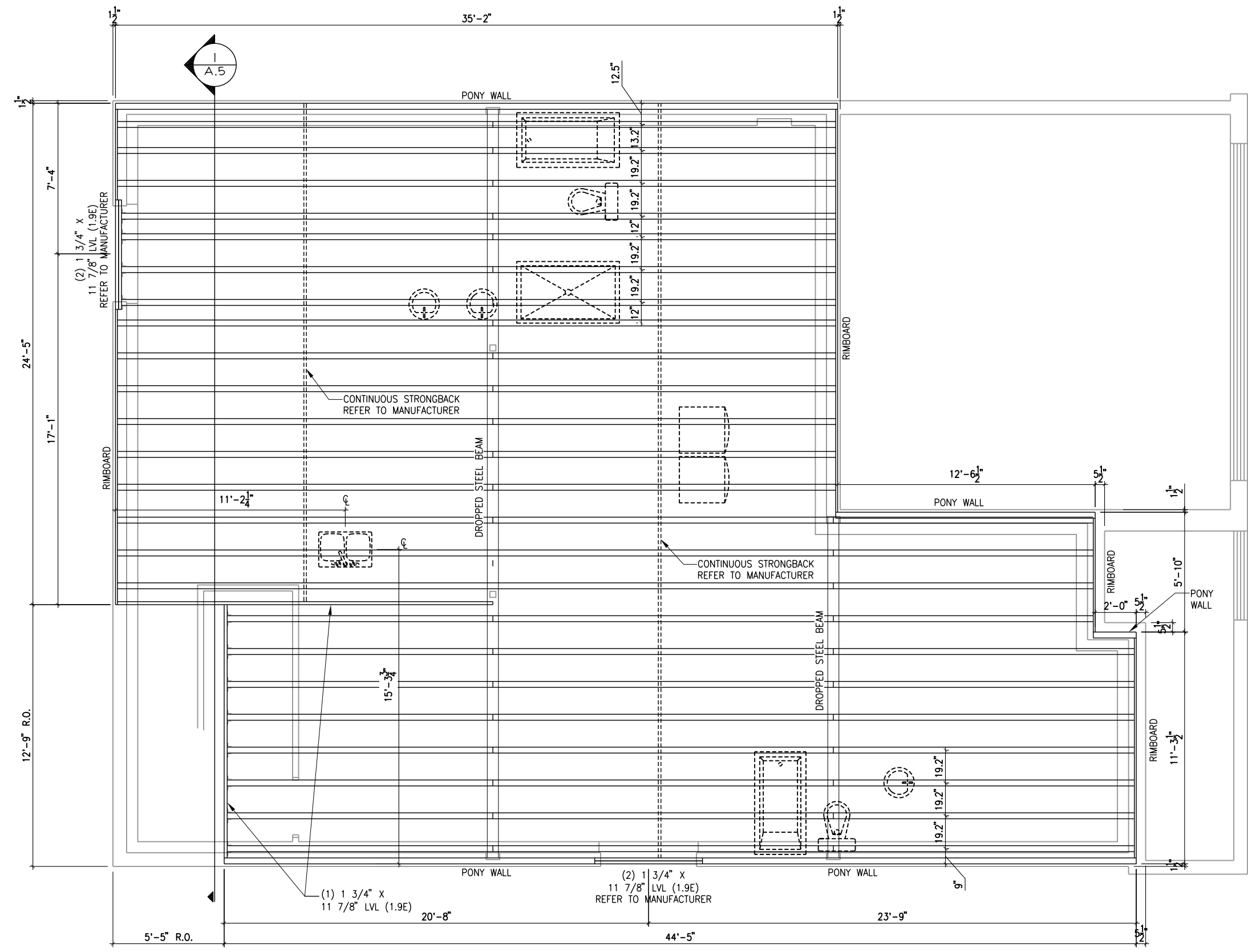
DRAWING: **01FL - FLOOR JOIST FRAMING PLAN - ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1020 - THE MORGAN
 2022 FOOTPRINT**
 (STANDARD DRAWINGS)

SHEET: **A9a**

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**GROUND FLOOR PLAN
 FLOOR JOIST FRAMING PLAN - ELEVATION A (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST FRAMING PLAN - ELEVATION A**

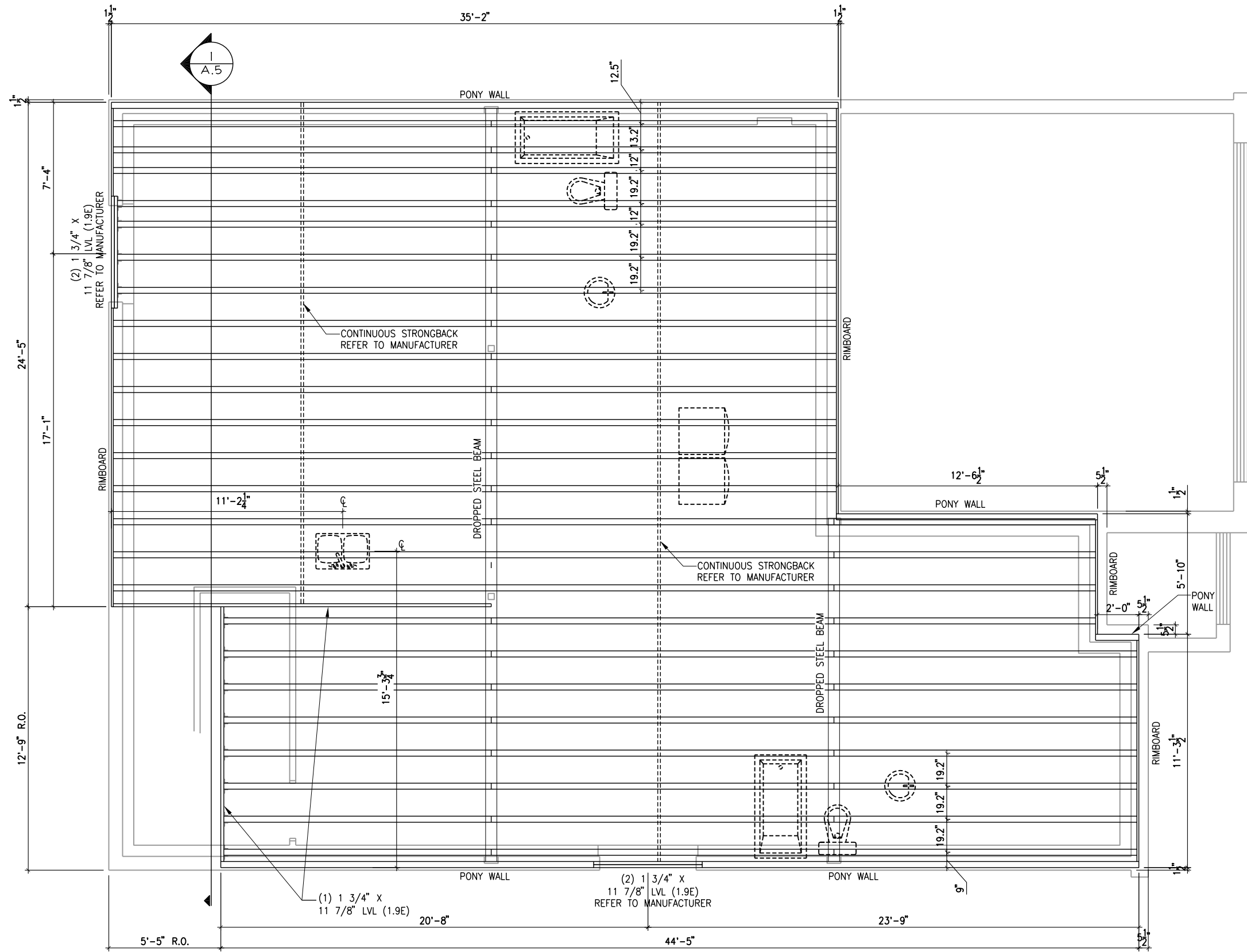
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1020 - THE MORGAN
 2022 FOOTPRINT**
 (STANDARD DRAWINGS)

SHEET: **A9b**

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**GROUND FLOOR PLAN
FLOOR JOIST FRAMING PLAN - ELEVATION B**

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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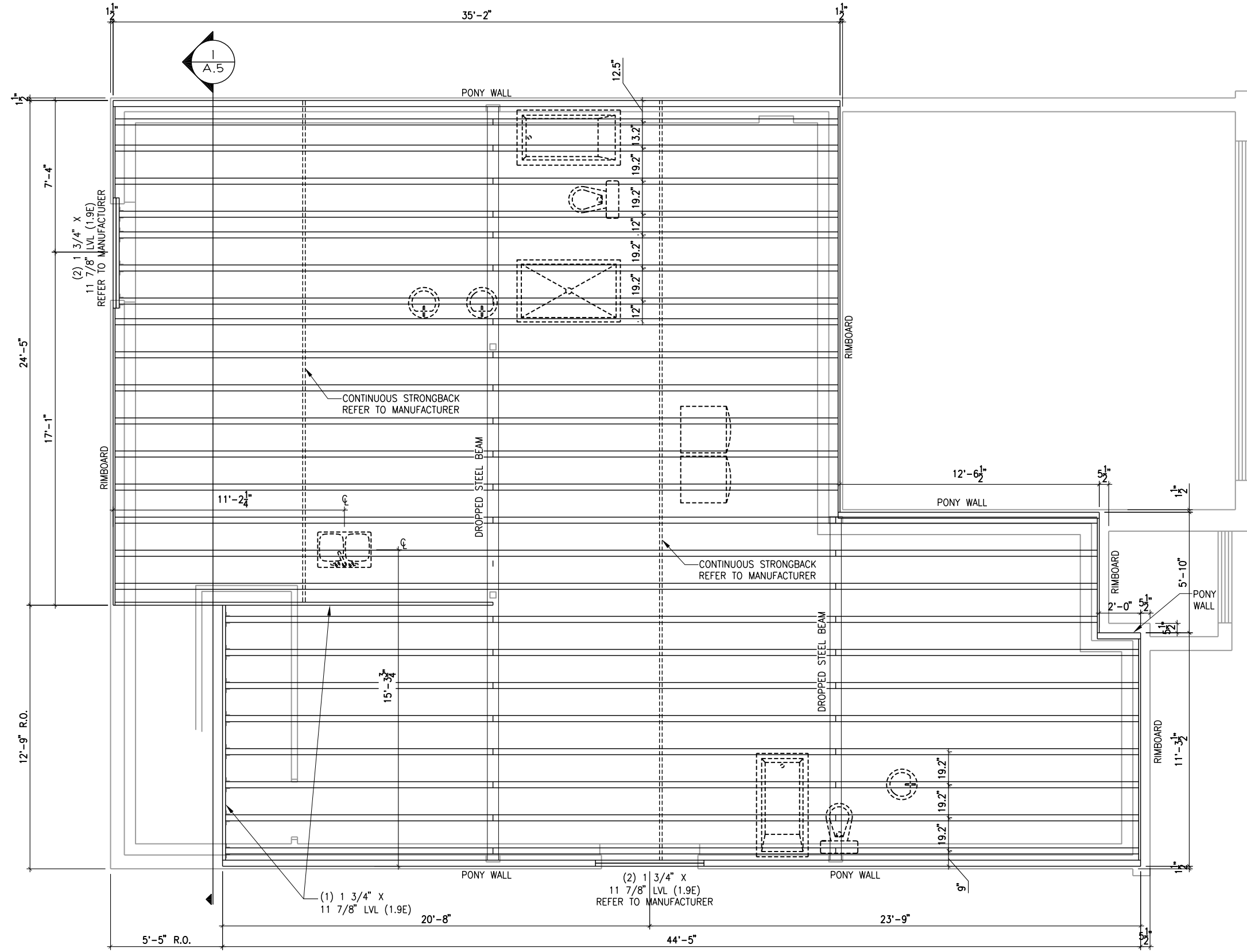
DRAWING: **01FL - FLOOR JOIST
FRAMING PLAN - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1020 - THE MORGAN
2022 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:
A9c

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**GROUND FLOOR PLAN
 FLOOR JOIST FRAMING PLAN - ELEVATION B (ENSUITE UPGRADE)**

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **01FL - FLOOR JOIST
 FRAMING PLAN - ELEVATION B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1020 - THE MORGAN
 2022 FOOTPRINT**
 (STANDARD DRAWINGS)

SHEET: **A9b**

LOT: XXXX
 DATE: XX/XX/XXXX



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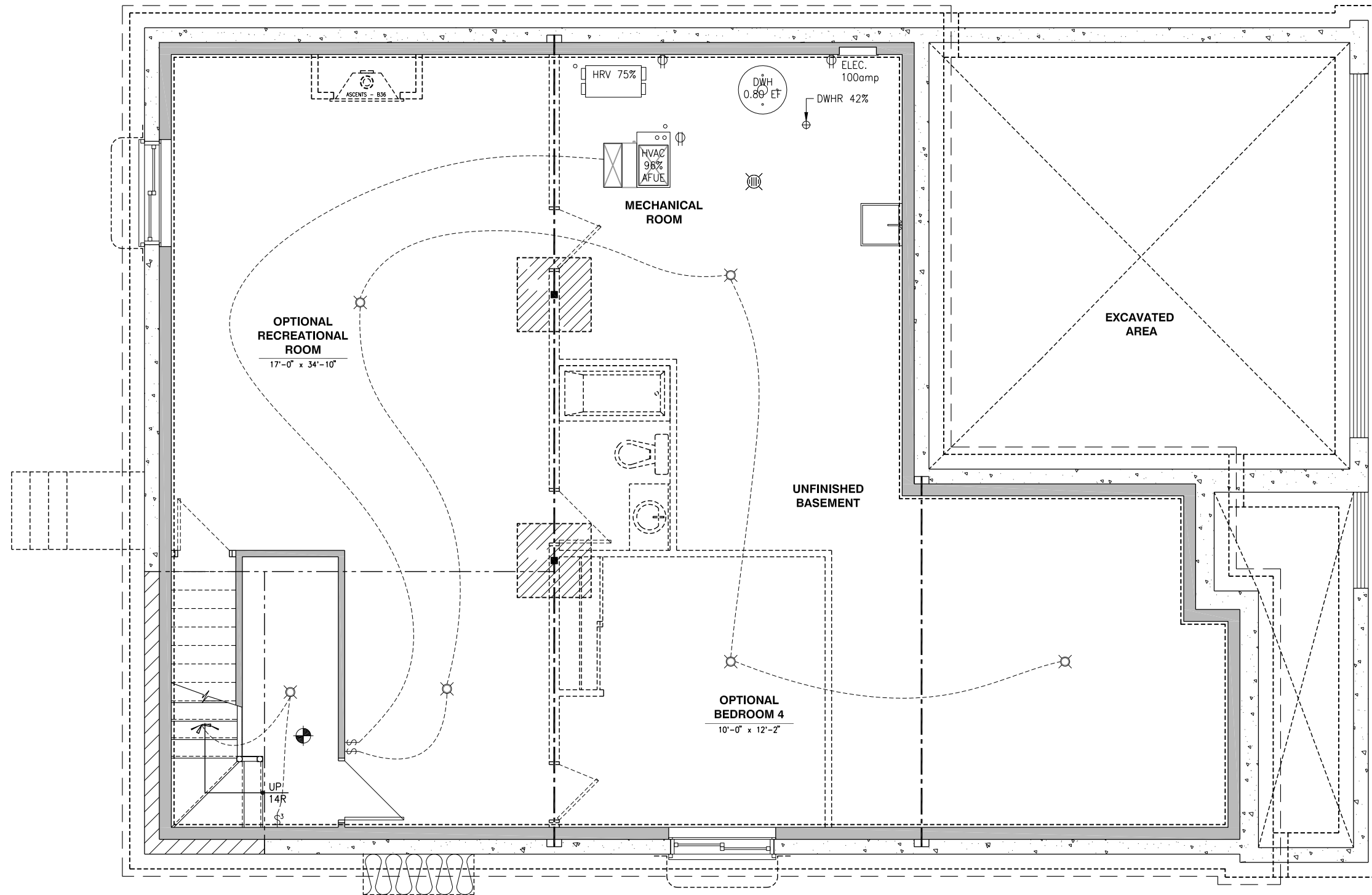
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- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚ FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GFI GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL PLAN - BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT

(STANDARD DRAWINGS) SHEET: E.1

ELECTRICAL PLAN BASEMENT

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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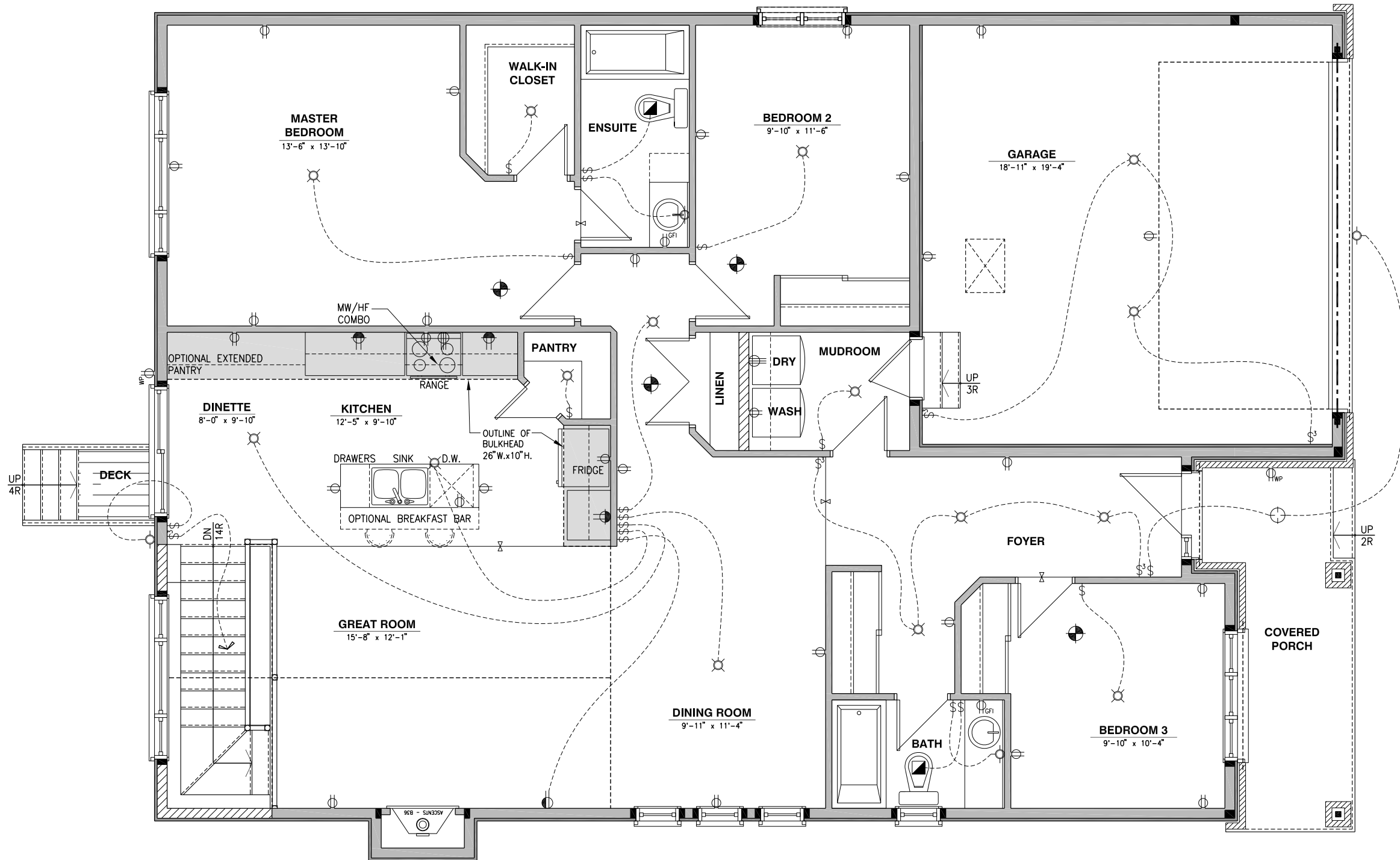
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.2

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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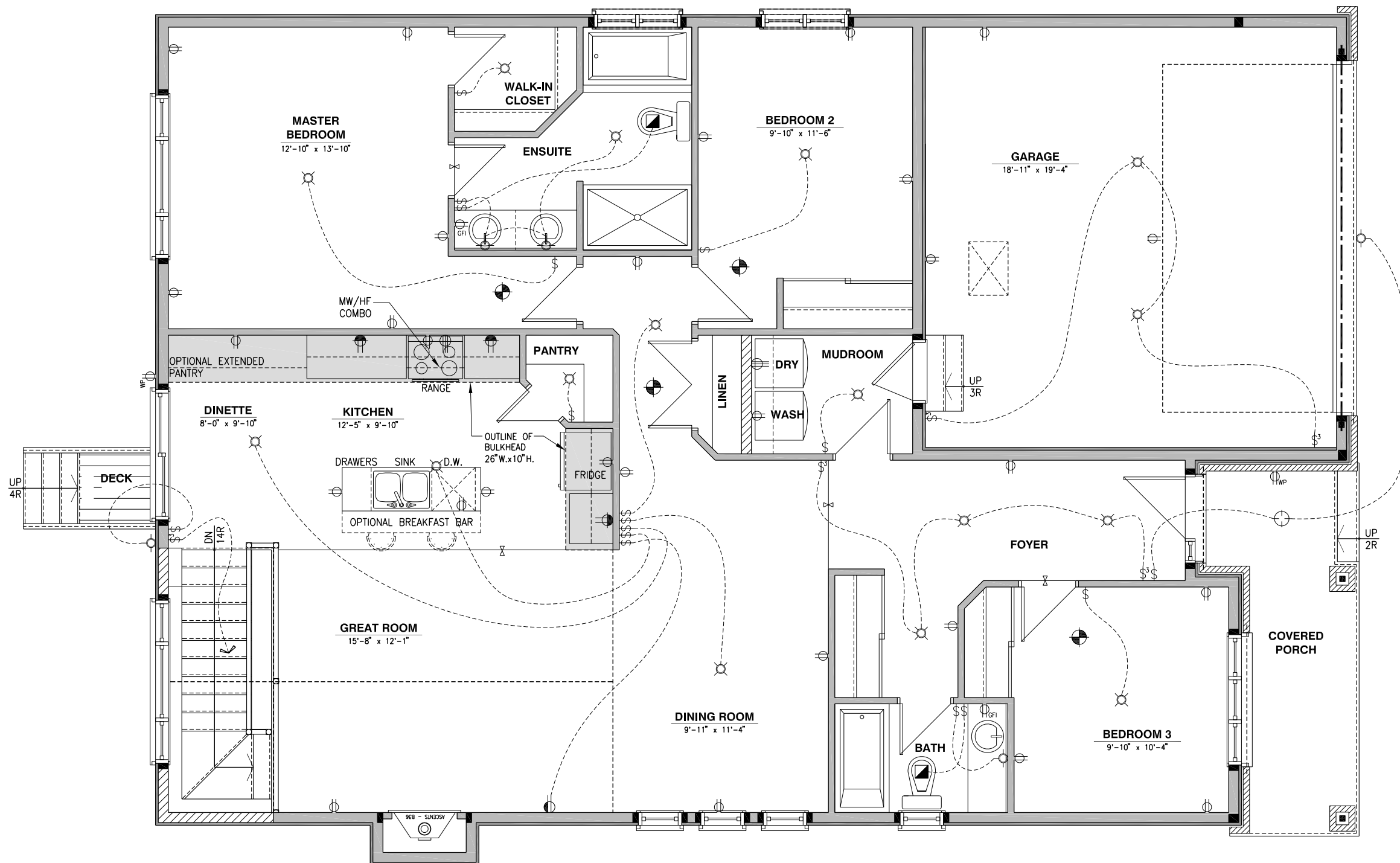
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **E.3**

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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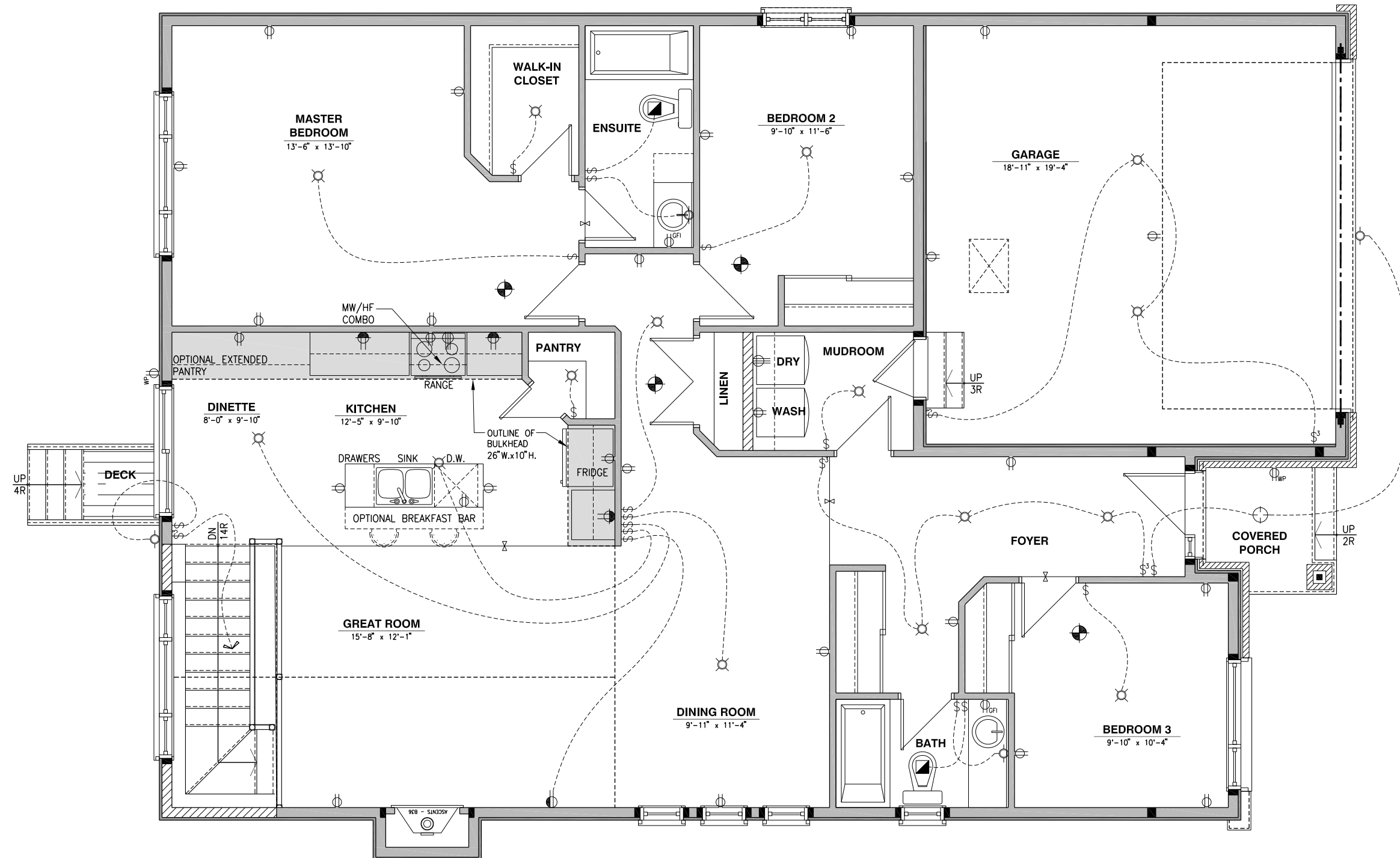
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- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS) SHEET: E.4

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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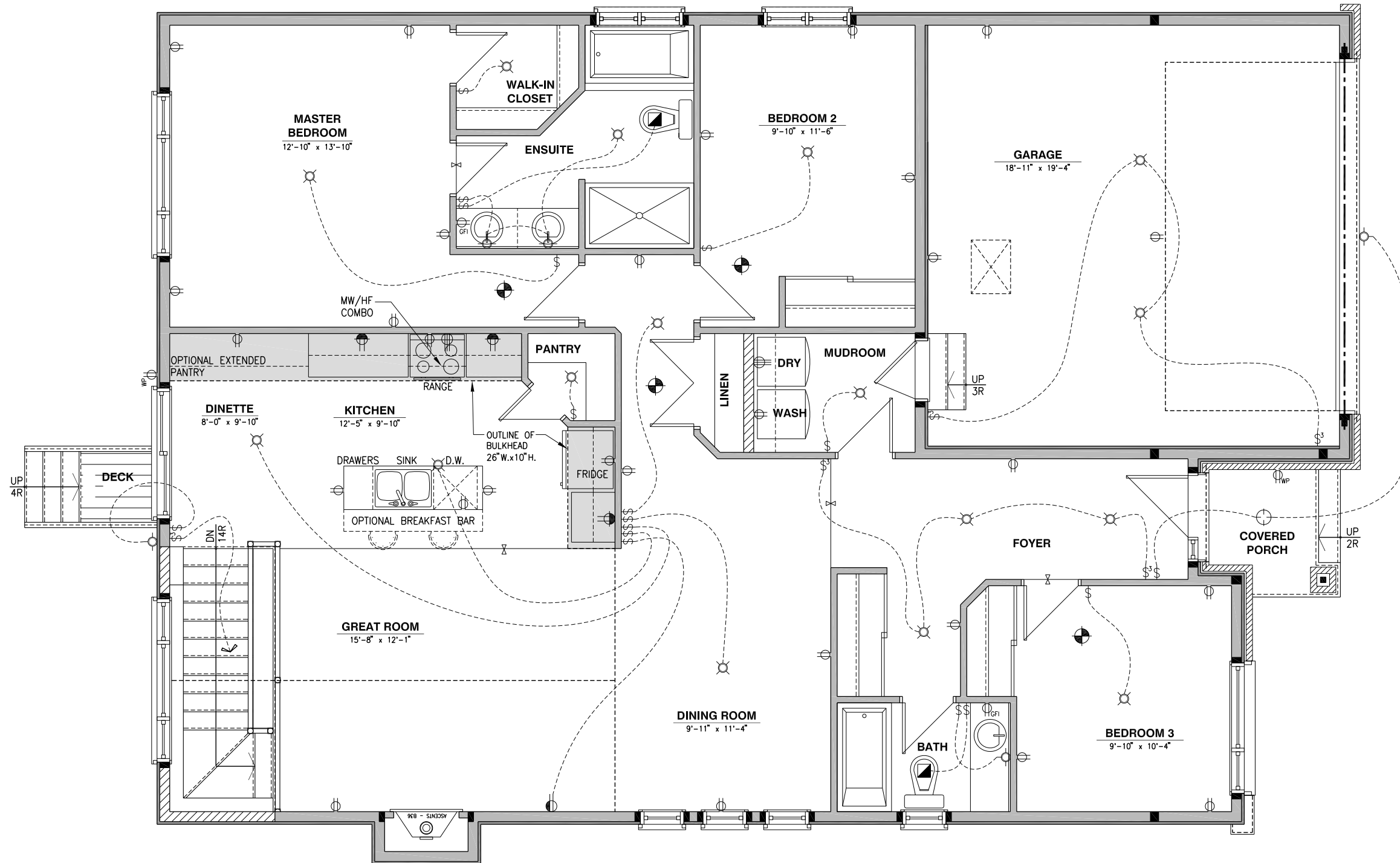
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- 4 4 WAY SWITCH
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- DUPLX OUTLET (12" HIGH)
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS) SHEET: E.5

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

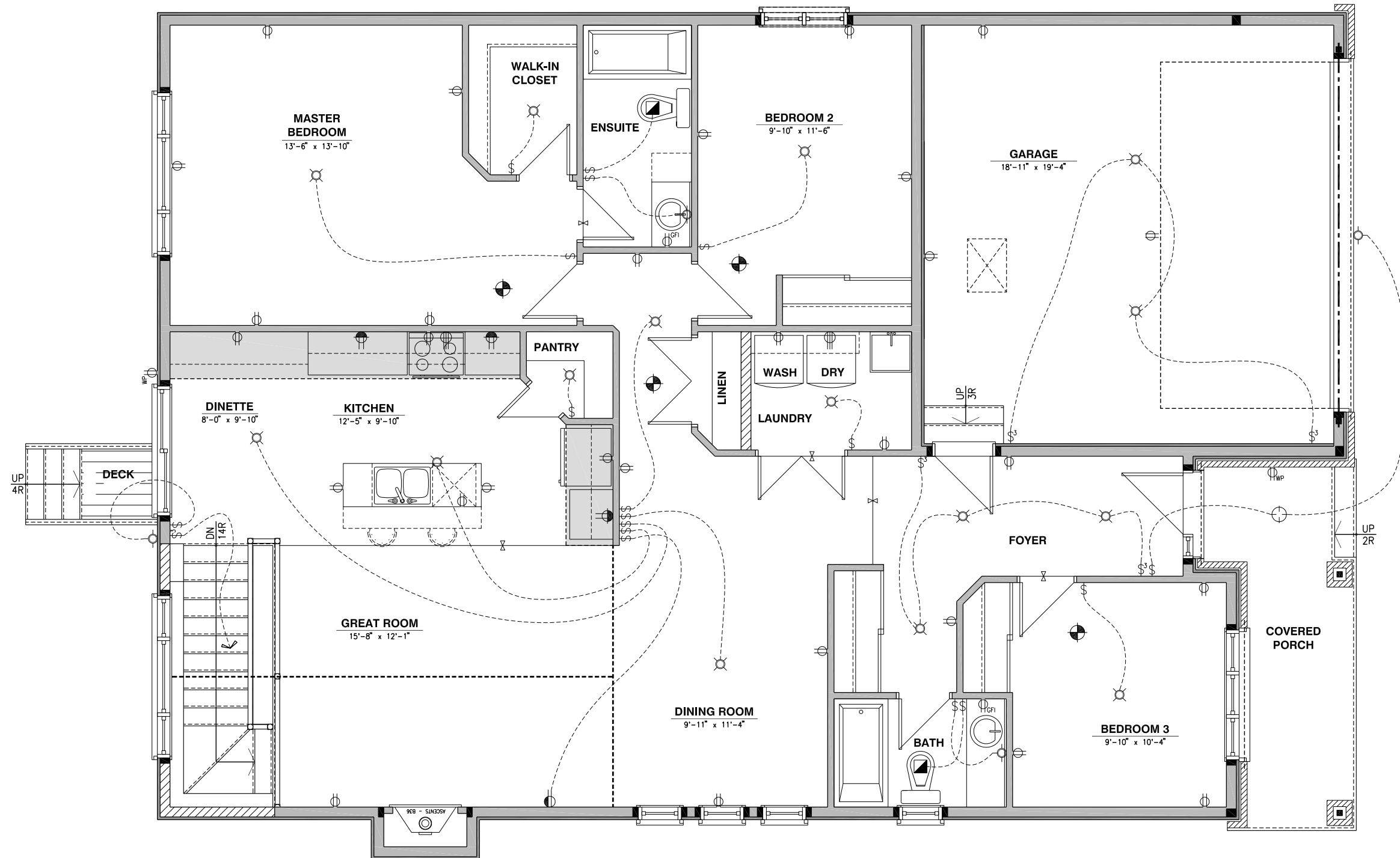
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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV. NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS) SHEET: E.6

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - OPTIONAL LAUNDRY - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

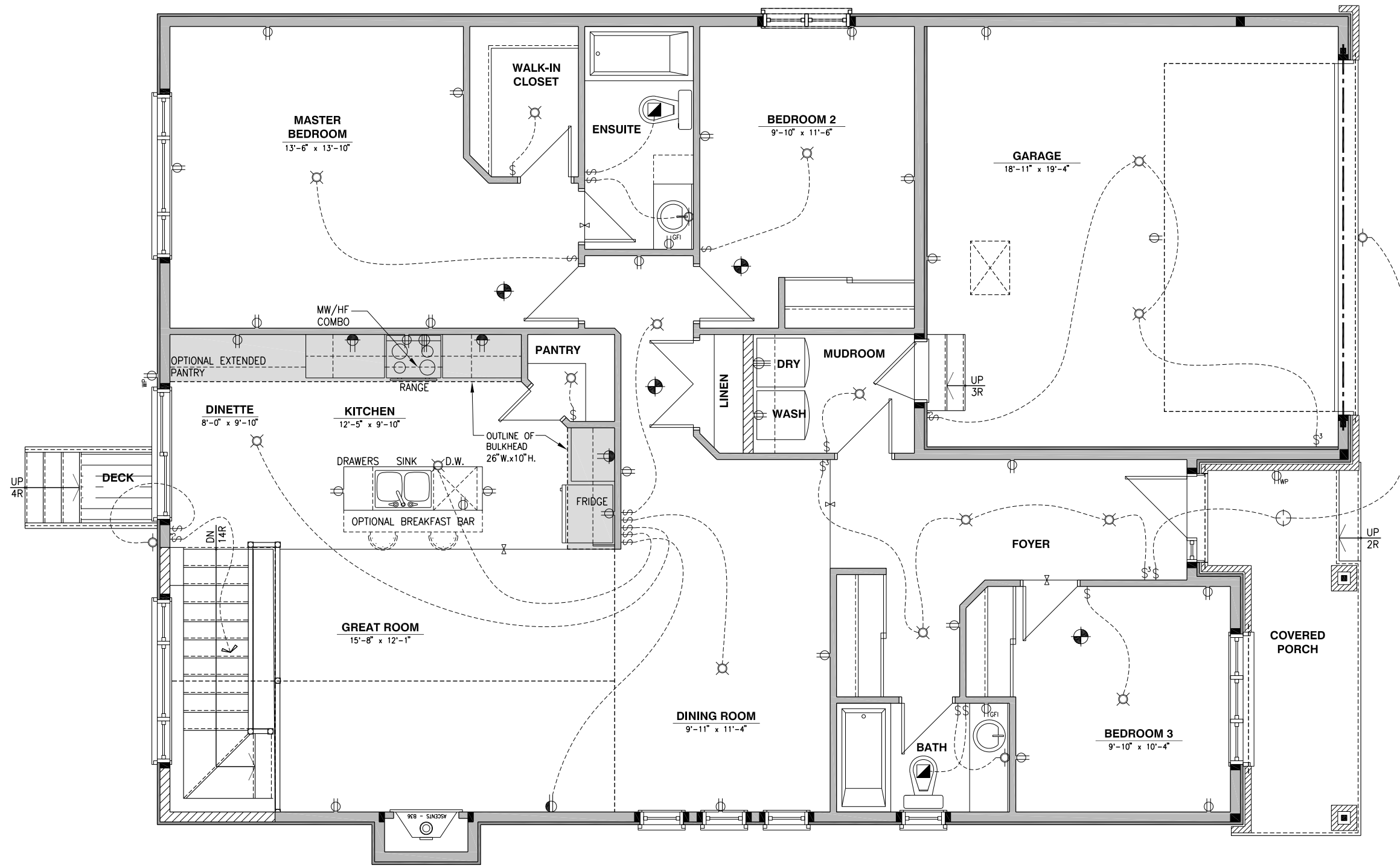
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **E.7**

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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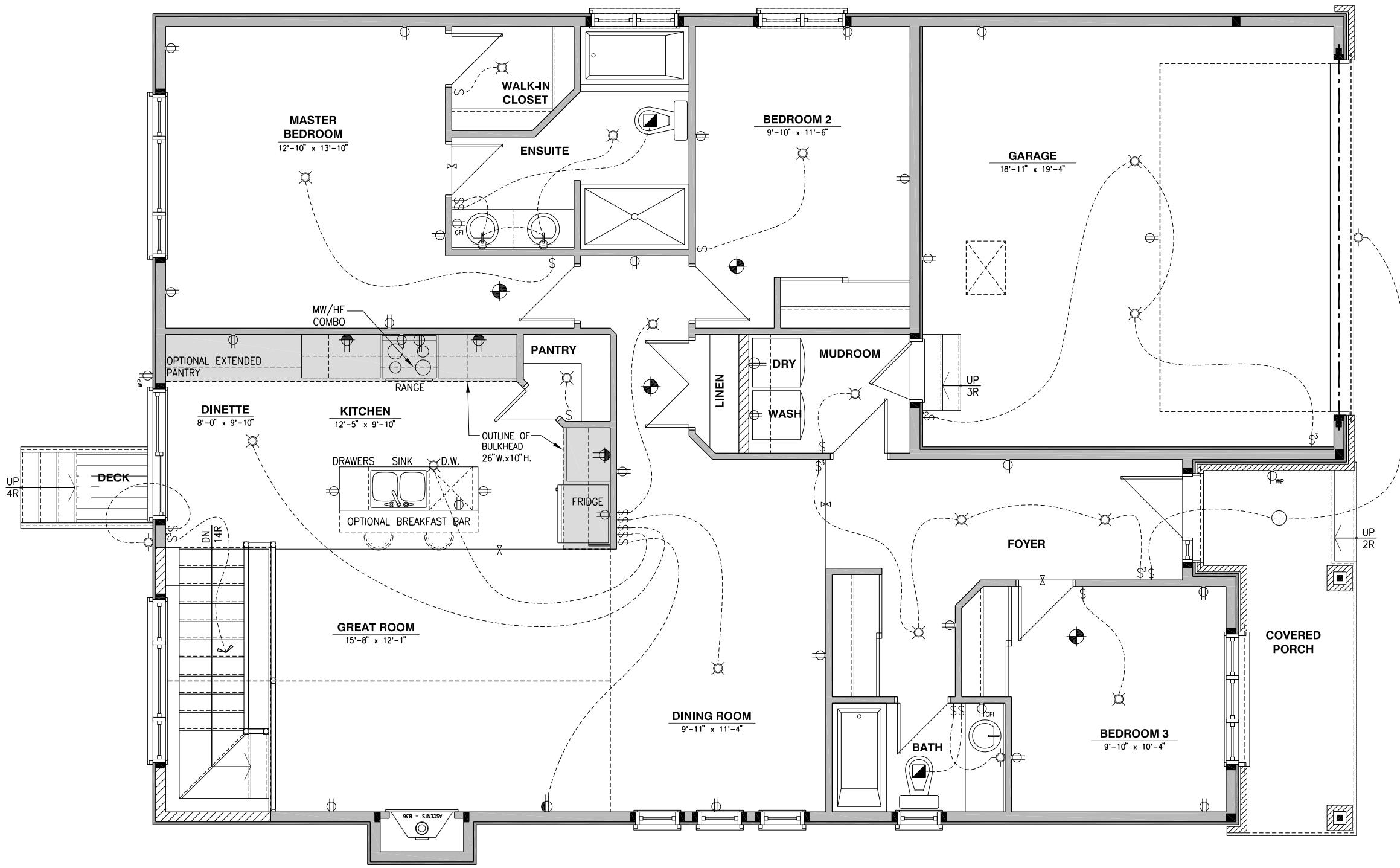
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: E.8

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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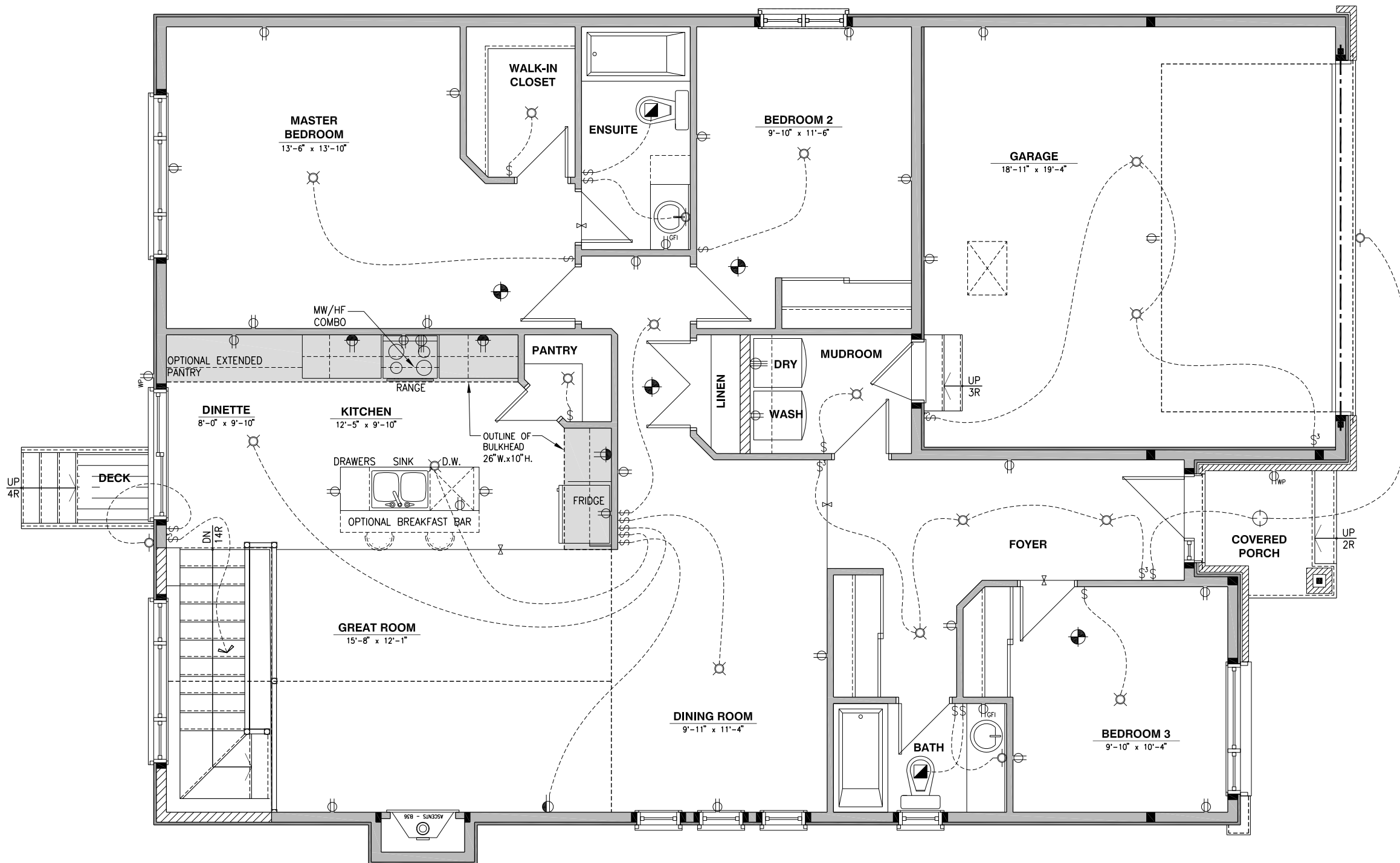
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- \$ SINGLE POLE SWITCH
- 3S 3 WAY SWITCH
- 4S 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERLOCK
- WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT

SHEET: **E.9**
 (STANDARD DRAWINGS)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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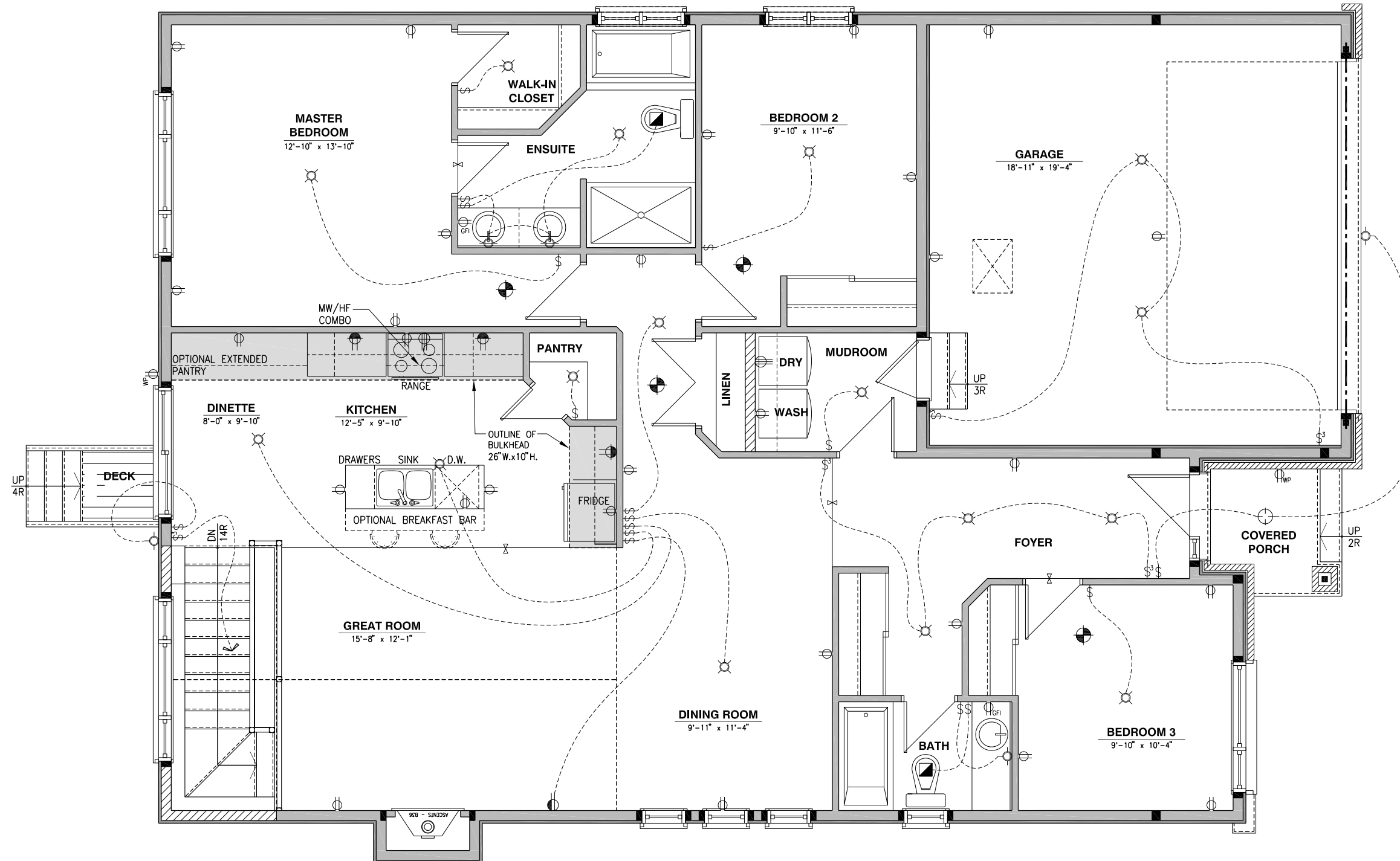
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
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- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.10

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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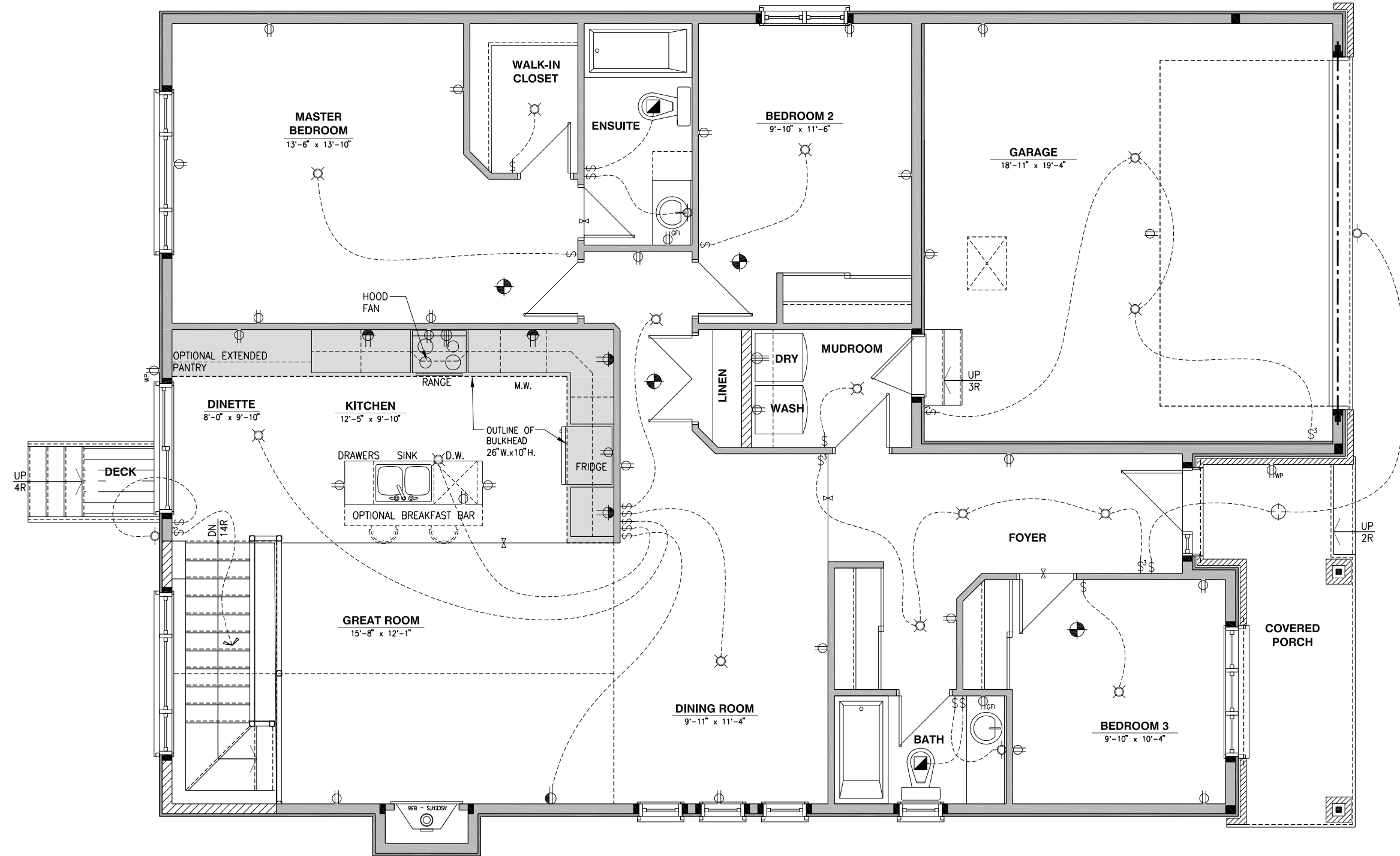
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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
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- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
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- WP WEATHER PROOF DUPLEX OUTLET
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- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
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- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: E.11

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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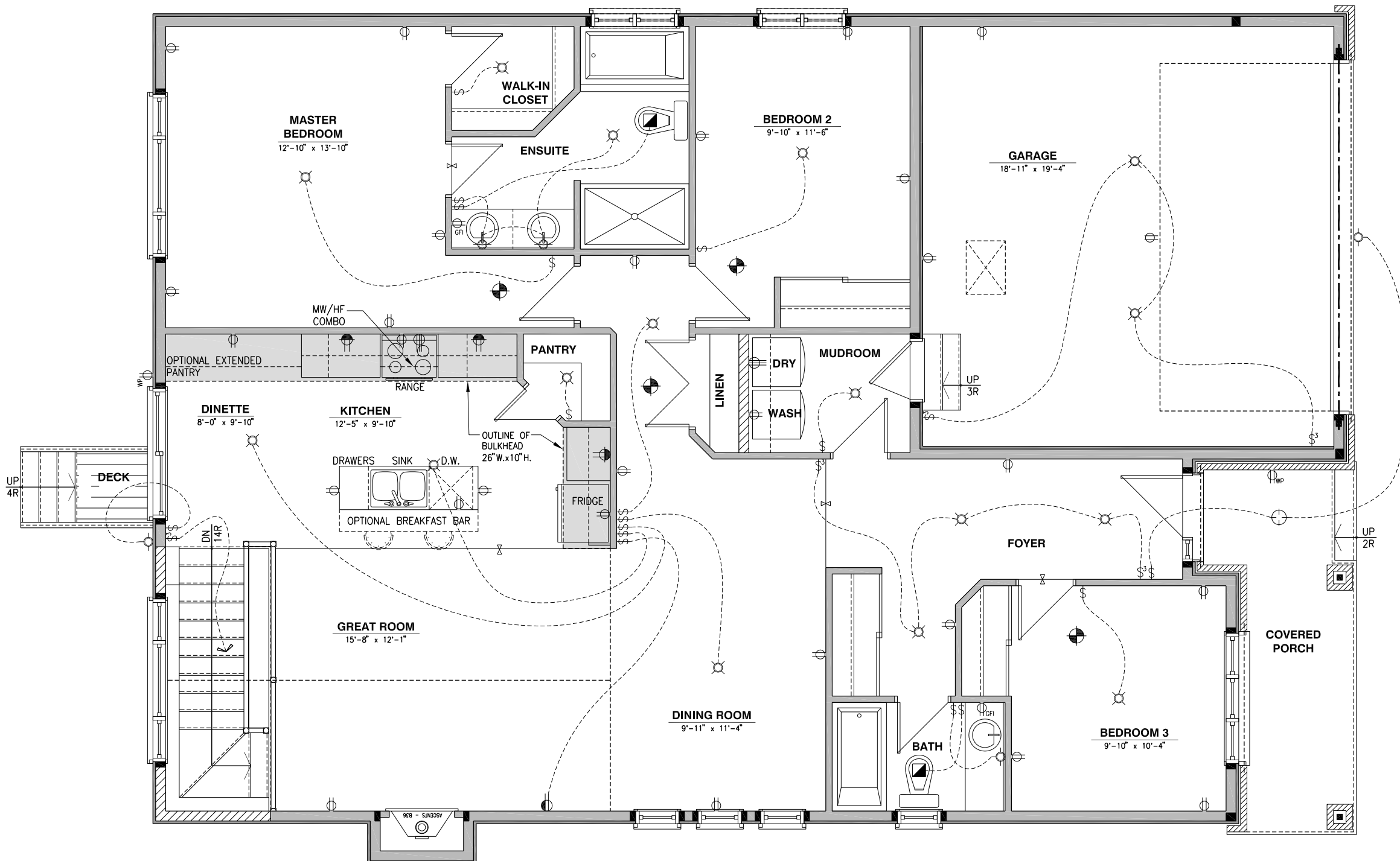
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN
 GROUND FLOOR - ELEV. A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.12

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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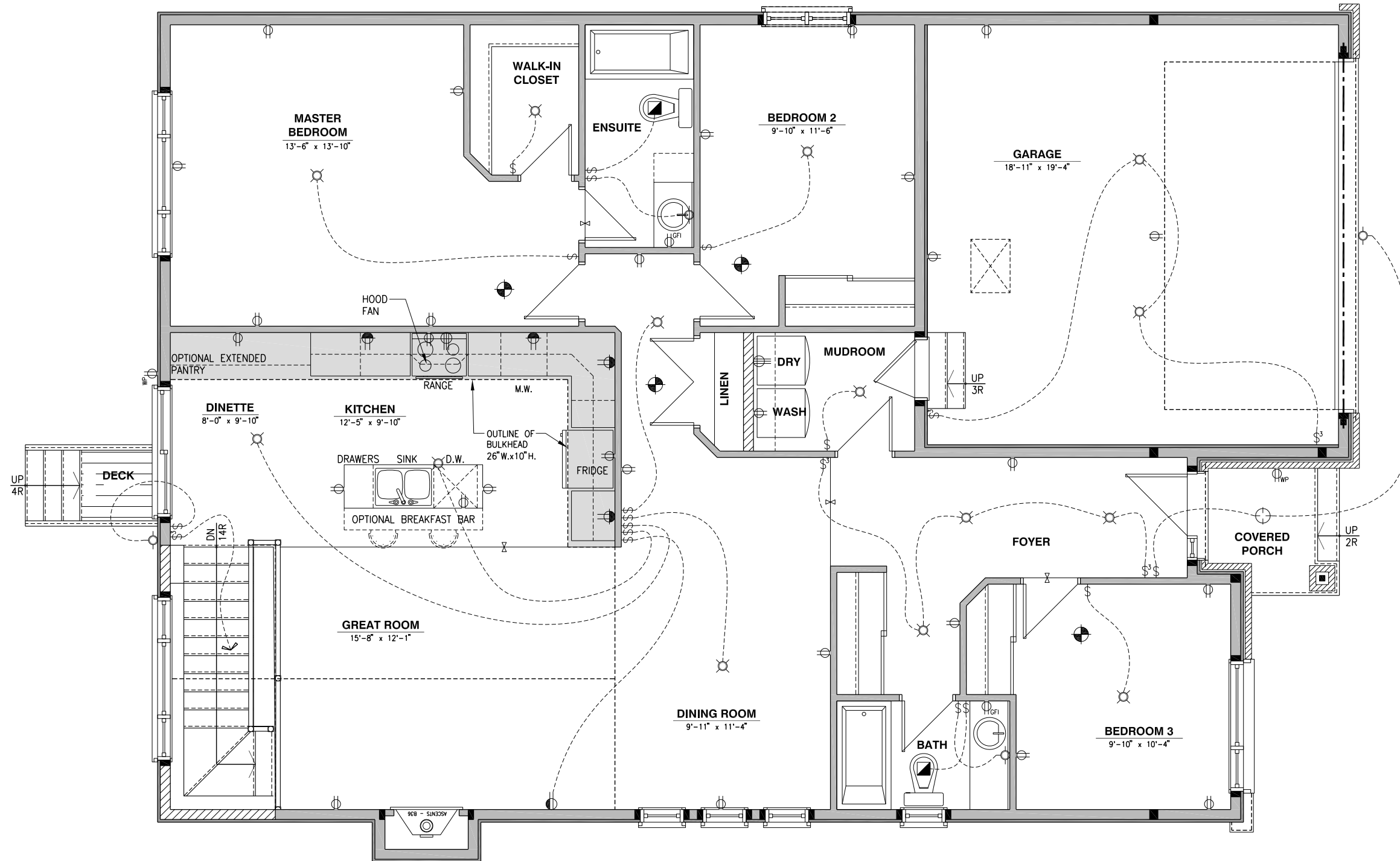
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **E.13**

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

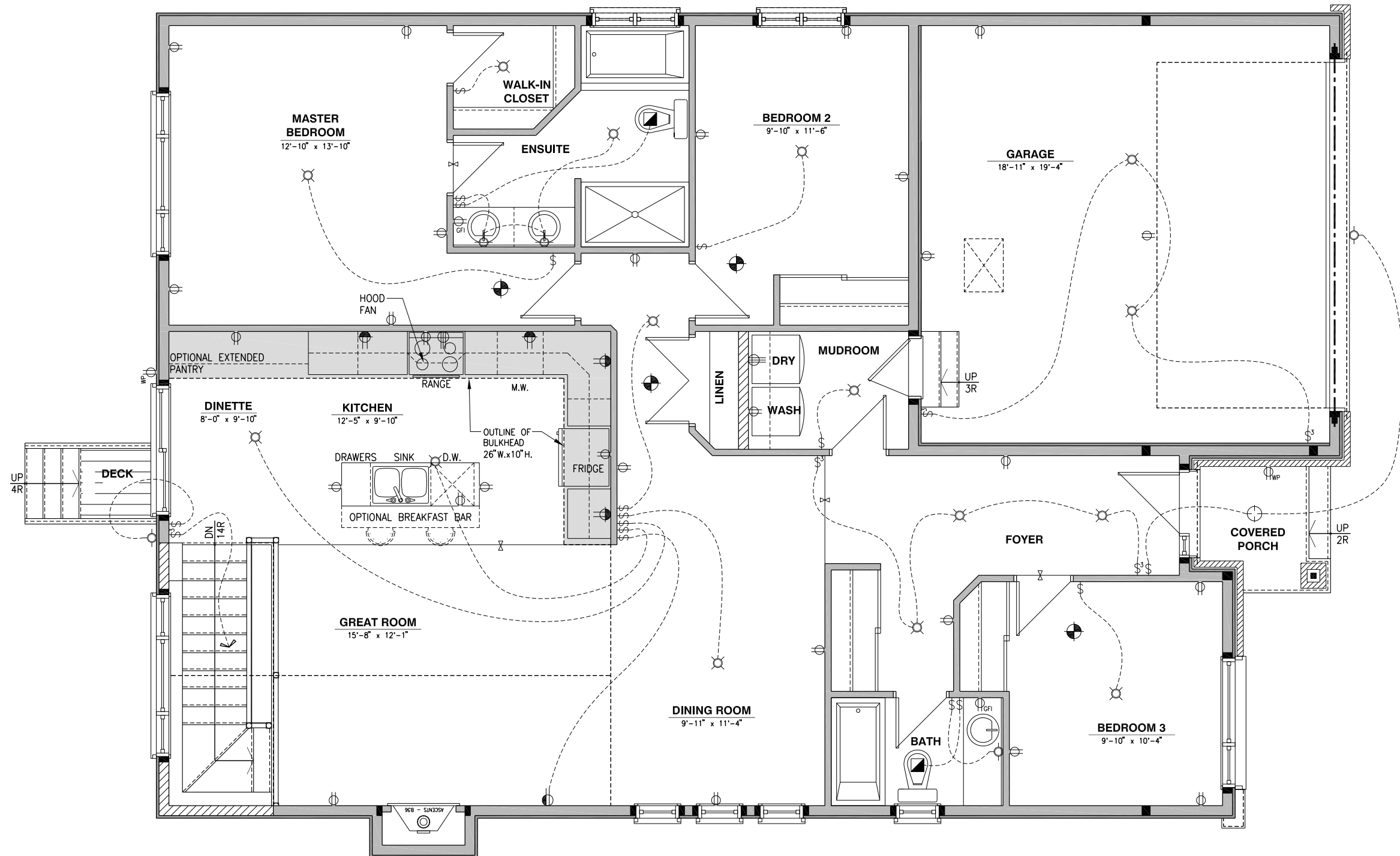
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕^{GFI} GROUND FAULT INTERVOLT
- ⊕^{WP} WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⊕ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.14

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - OPTIONAL ENSUITE - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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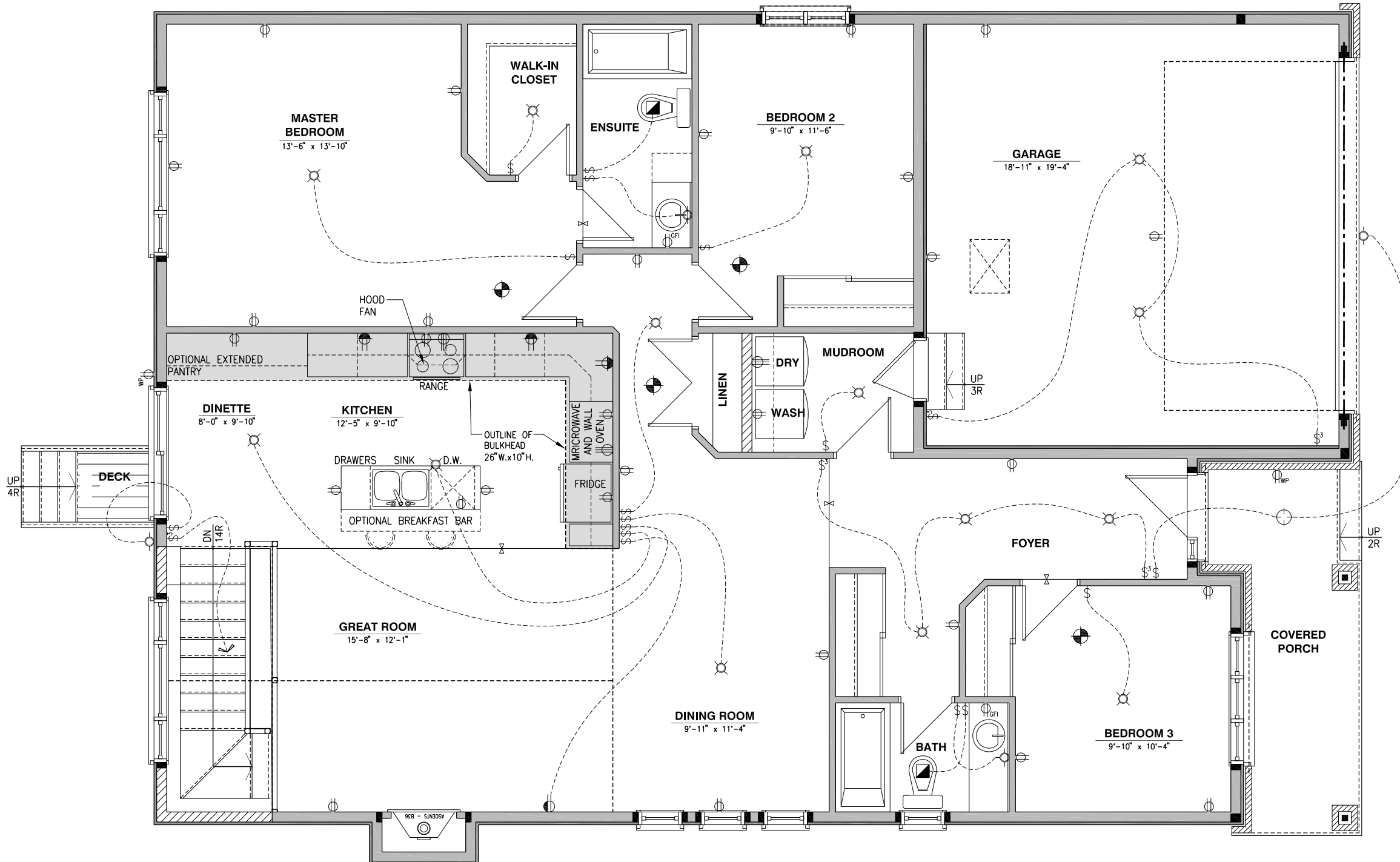
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
- ⌘ POT LIGHT
- ⌘ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌘ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.15

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 3 - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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 - PERSONAL BCIN #44555
 - TARIION REGISTRATION NUMBER #611

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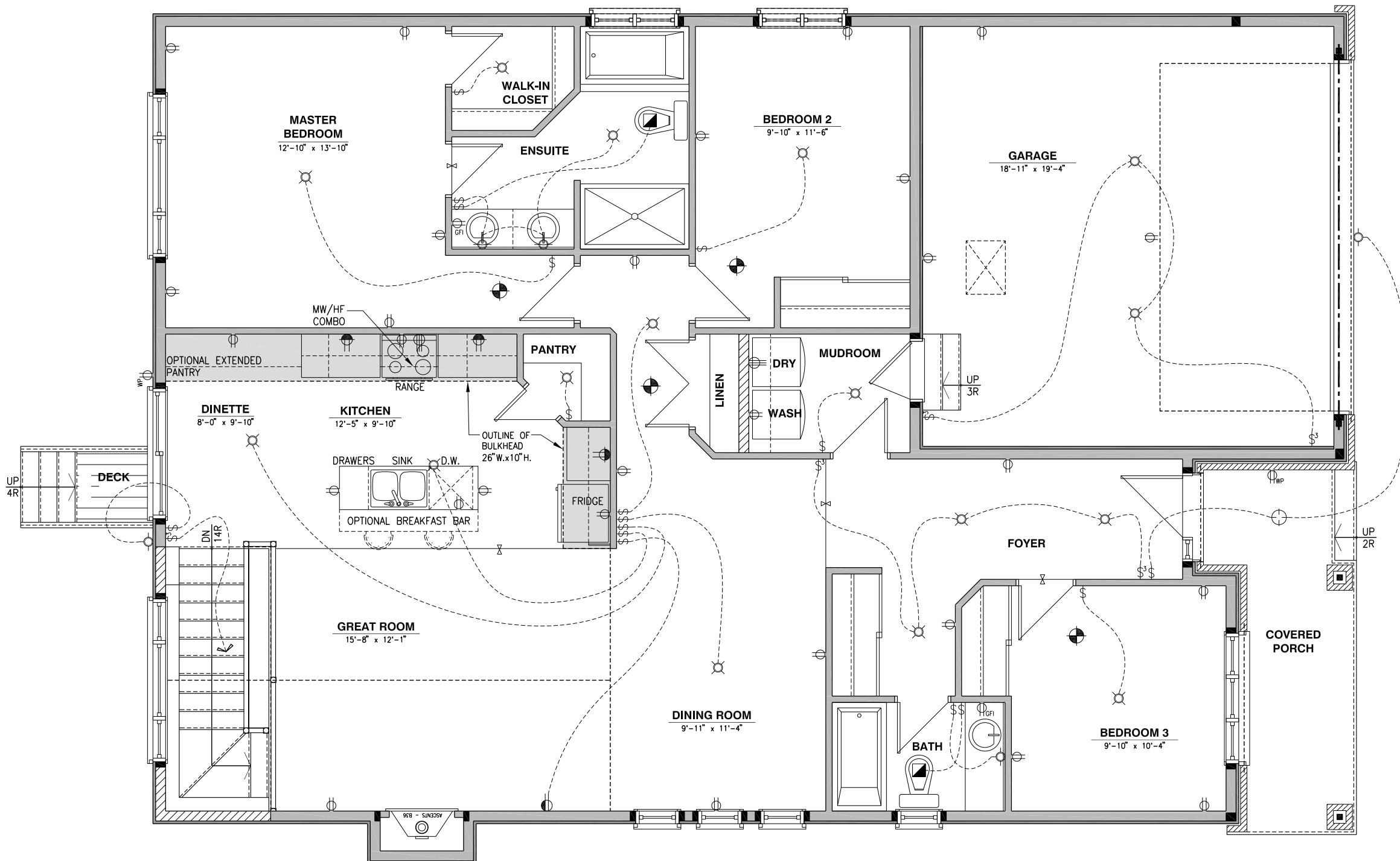
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- ⌘ SINGLE POLE SWITCH
- ⌘ 3 WAY SWITCH
- ⌘ 4 WAY SWITCH
- ⌘ FURNACE SWITCH
- ⌘ FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI
- ⌘ WEATHER PROOF DUPLEX OUTLET
- ⌘ SPLIT OUTLET
- ⌘ 220 VOLT OUTLET
- ⌘ WALL MOUNTED LIGHT FIXTURE
- ⌘ CEILING MOUNTED LIGHT FIXTURE
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.16

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 3 - OPTIONAL ENSUITE - ELEVATION A

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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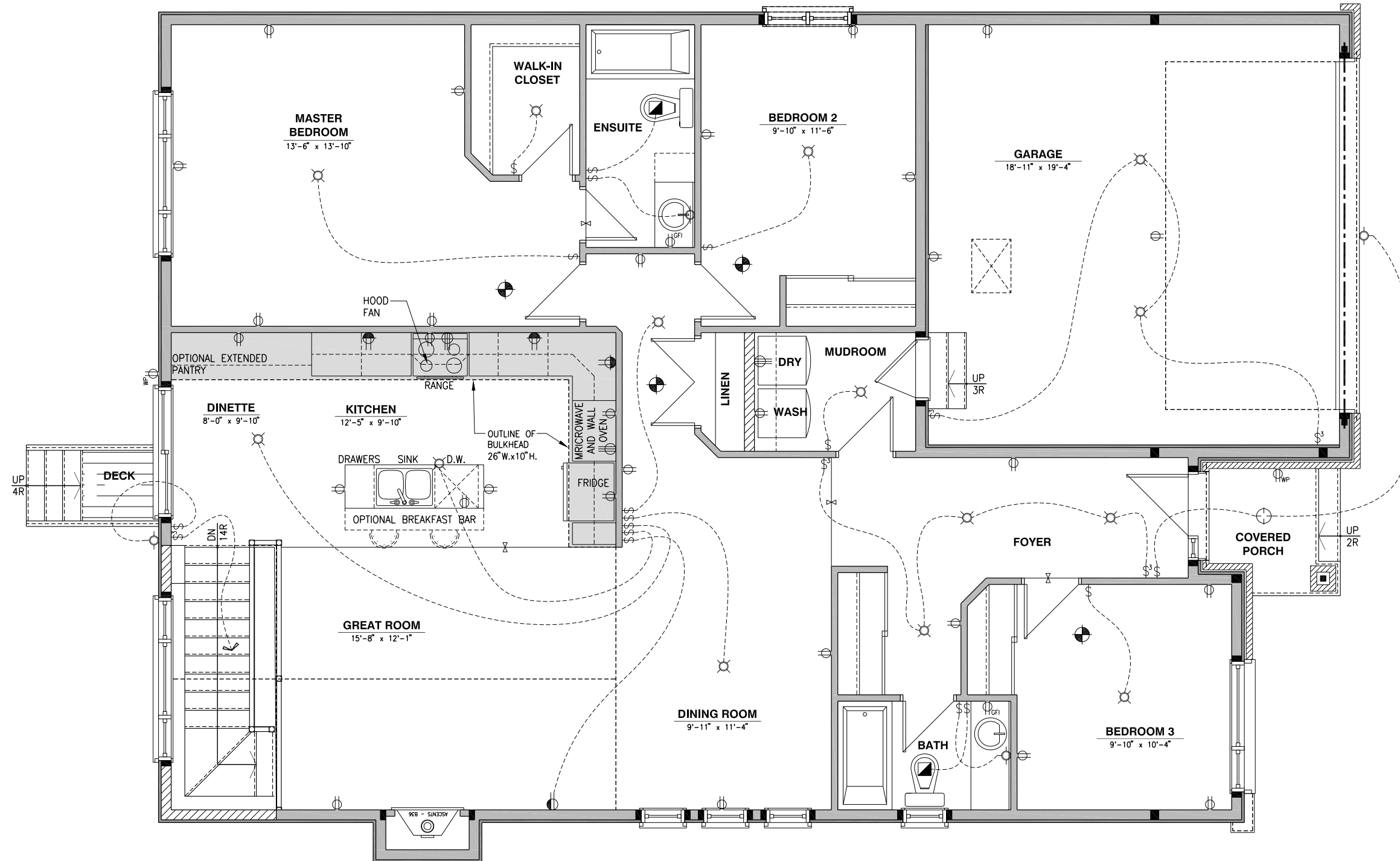
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- MECH EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	DOYON

DRAWING: ELECTRICAL PLAN
 GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
E.17

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 3 - ELEVATION B

SCALE: 1/4" = 1'-0"

LOT: XXXX
 DATE: XX/XX/XXXX



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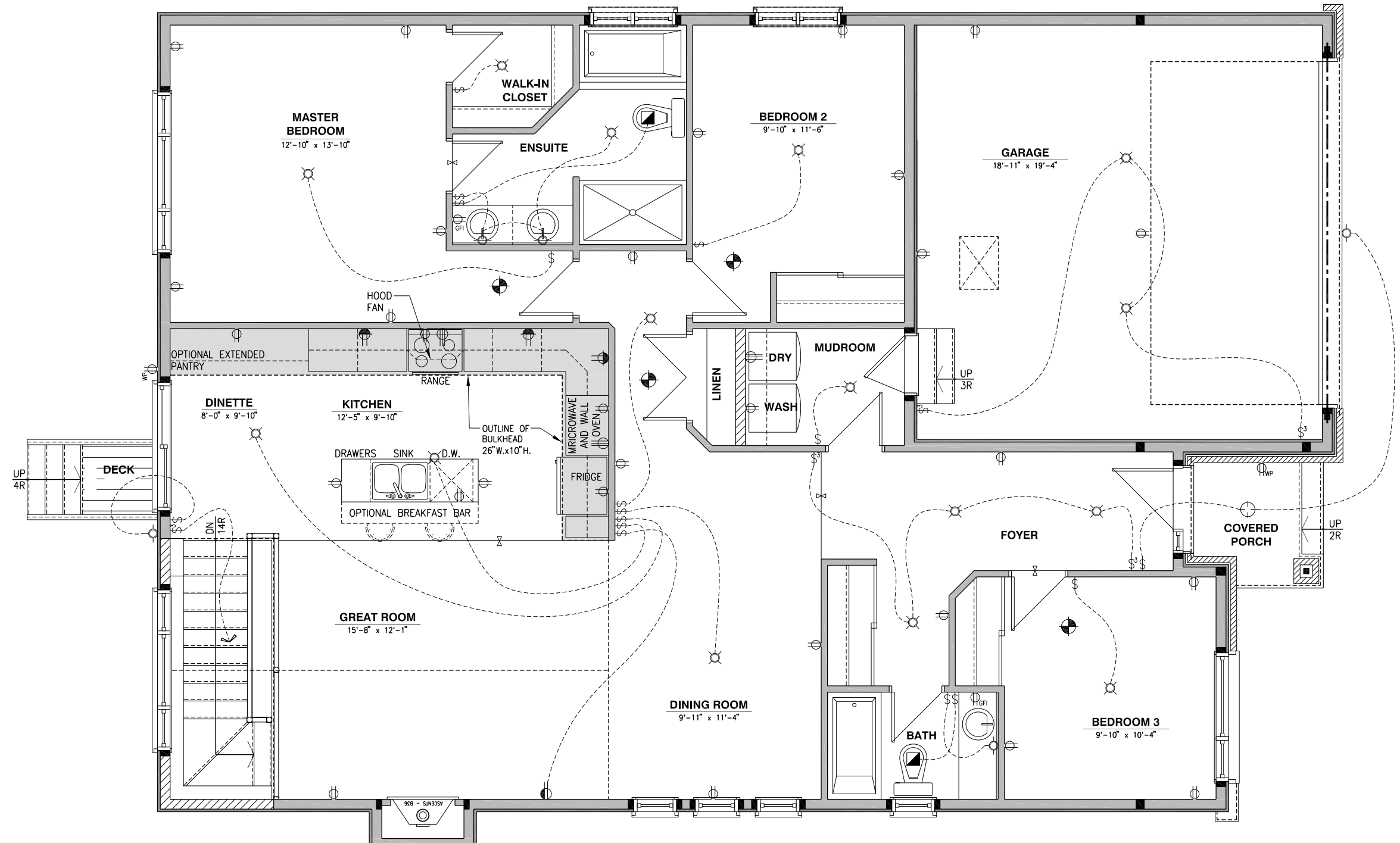
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2012 O.B.C. DRAWINGS

REV-1	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION		01/01/2022	DOYON

DRAWING: **ELECTRICAL PLAN**
GROUND FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1020 - THE MORGAN
 2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET: **E.18**