

XXXX DATE: XX/XX/XXXX Homes (2019) Limited I. DANIEL GUERIN ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 • SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

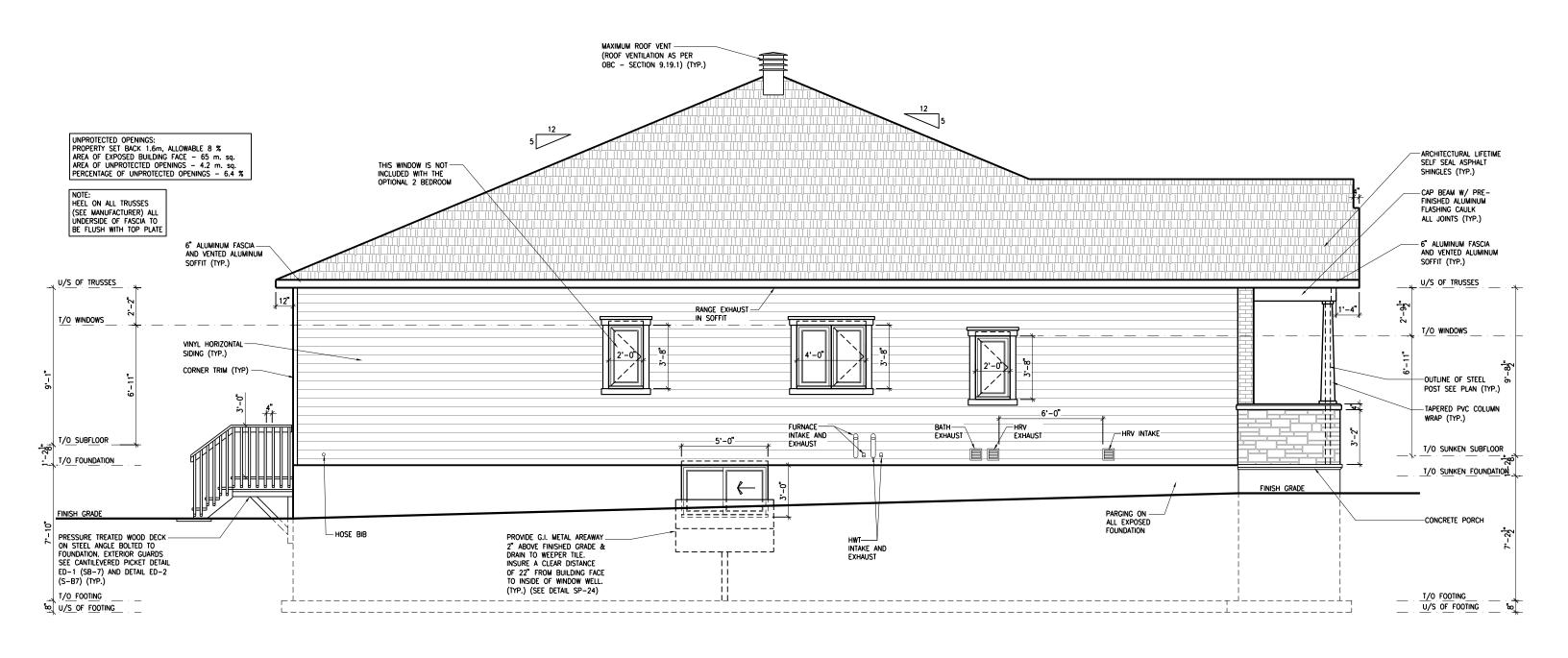
**FRONT ELEVATION - END UNITS** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

**A.1**a

SHEET





## **LEFT ELEVATION - PORCH END UNIT**

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B — THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C — NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D — THE GENERAL CONTRACTOR OR SUB—CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STITE.

SITE.
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
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	I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.						
	<ul> <li>PERSONAL BCIN #19896</li> <li>TARION REGISTRATION NUMBER #611</li> </ul>						
	SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM						
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	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022				
	NO.	DESCRIPTION	MM/DD/YYYY	BY			

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2012 O.B.C. DRAWINGS LEFT ELEVATION **PORCH END UNIT** ADDRESS: SCALE: 3/16" = 1'-0"

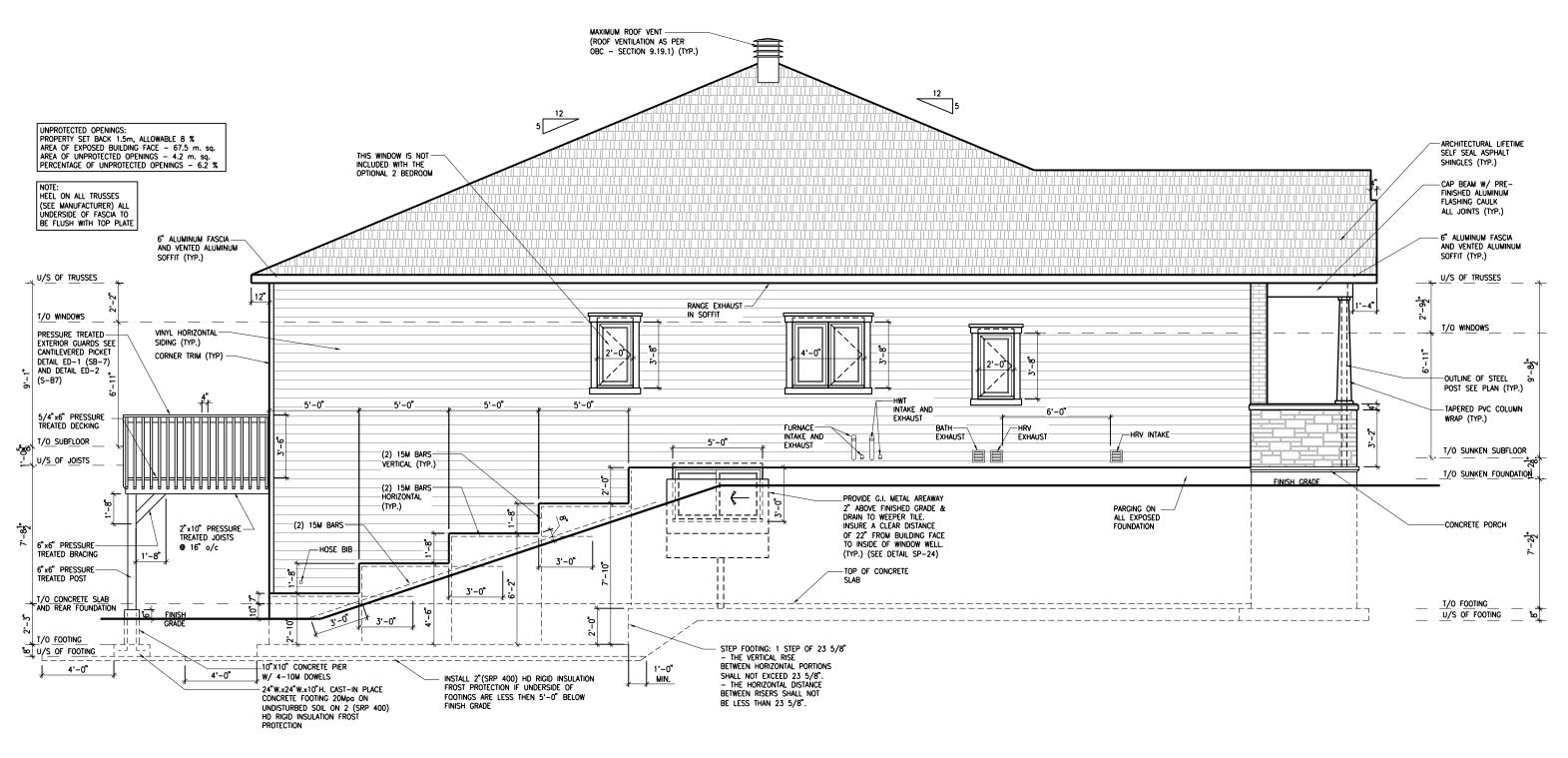
140 - THE GREEN 2022 FOOTPRINT

CONSTRUCTION SITES:

SHEA VILLAGE

SHEET: A.2a (STANDARD DRAWINGS)

XX/XX/XXXX





## **LEFT ELEVATION - PORCH END UNIT - WALKOUT**

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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	- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611							
	SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **							
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1	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON				
	NO.	DESCRIPTION	MM/DD/YYYY	BY				

2012 O.B.C. DRAWINGS LEFT ELEVATION **PORCH END UNIT - WALKOUT** 

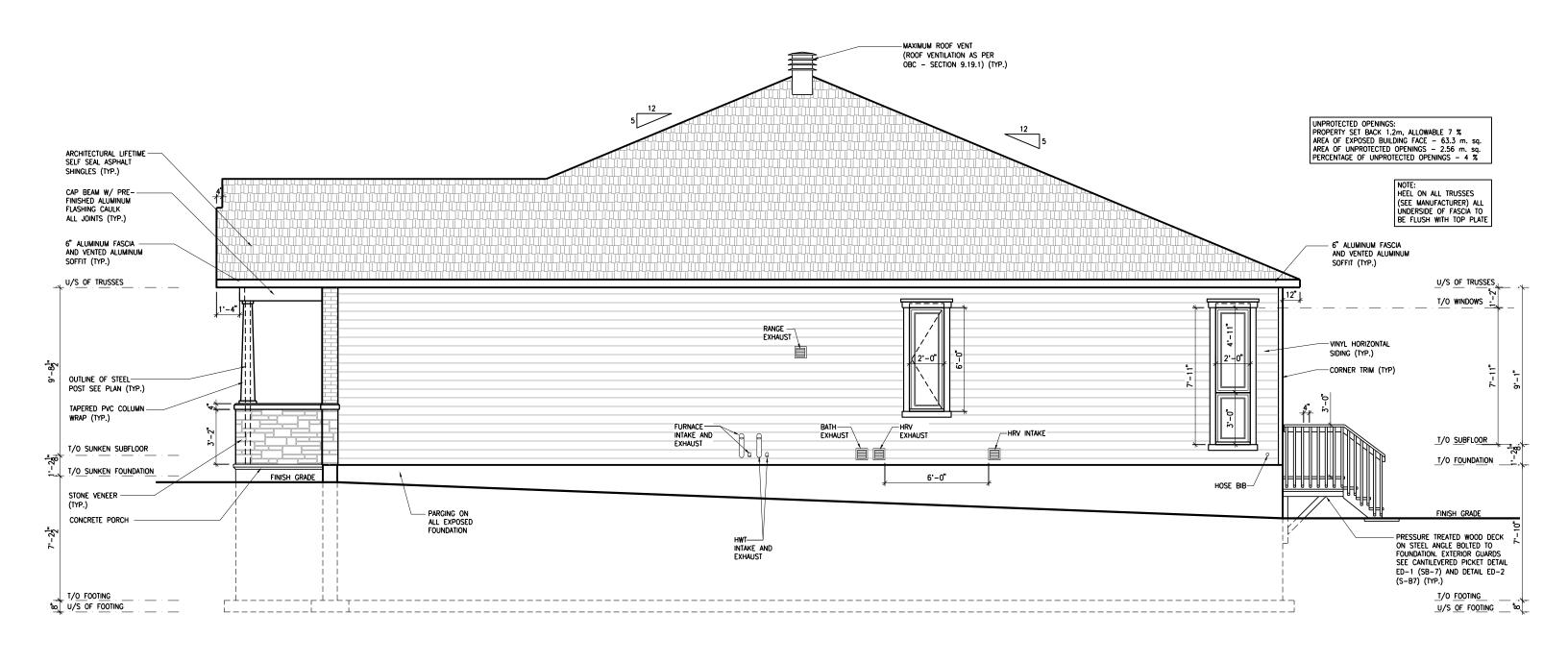
ADDRESS: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN **2022 FOOTPRINT** (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

A.2b





## **RIGHT ELEVATION - GARAGE END UNIT**

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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	- PERSONAL BOIN #19896 - TARION REGISTRATION NUMBER #611 - SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM						
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!	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON			
	NO.	DESCRIPTION	MM/DD/YYYY				

2012 O.B.C. DRAWINGS **RIGHT ELEVATION** 

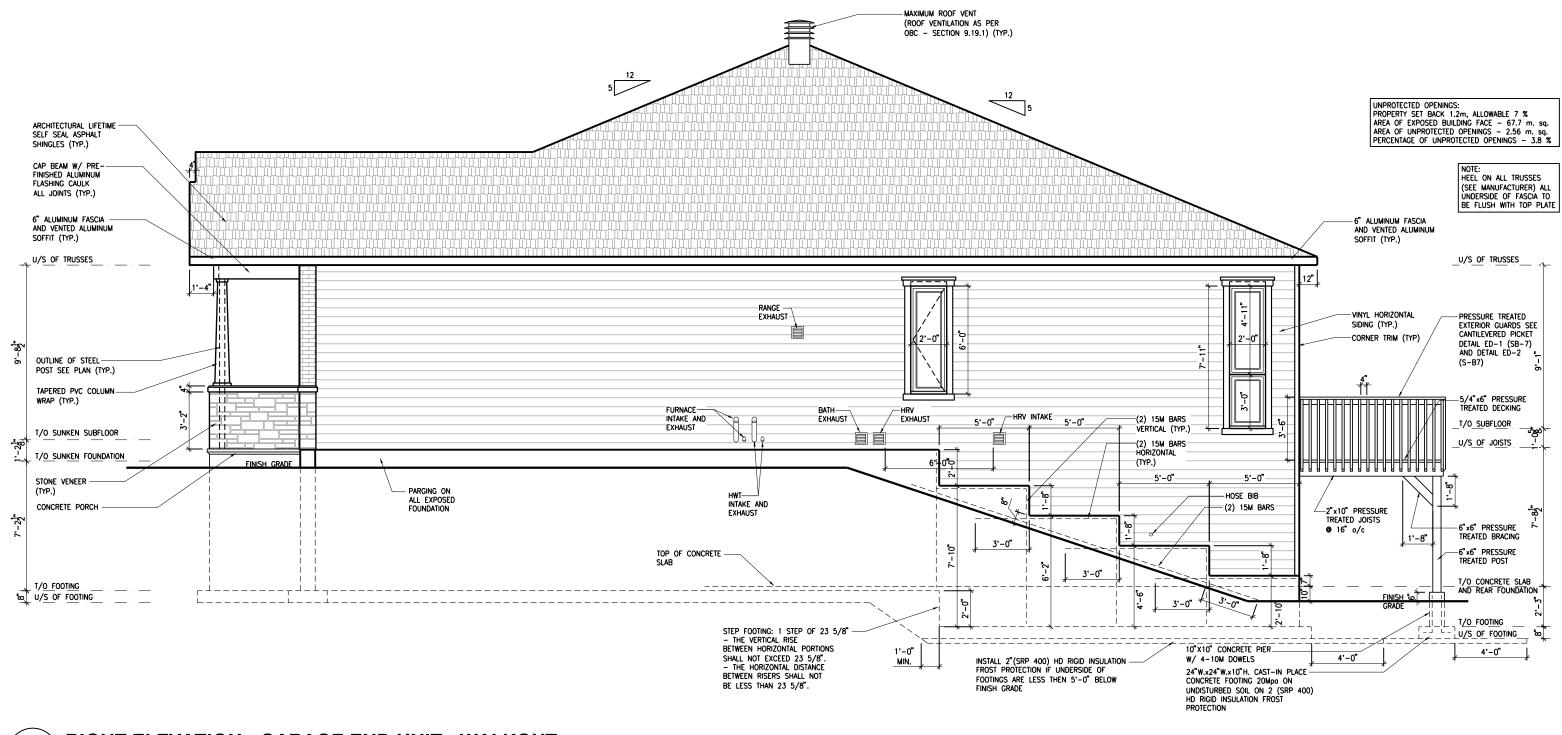
SHEET:

A.2c

**GARAGE END UNIT** ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN

CONSTRUCTION SITES: 2022 FOOTPRINT SHEA VILLAGE (STANDARD DRAWINGS)





## **RIGHT ELEVATION - GARAGE END UNIT - WALKOUT**

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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	•• S	EE SIGNED SCHEDULE 1: DESIGNER IN	FORMATION FOR	M ++		
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ı	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON		
ı	NO.	DESCRIPTION	MM/DD/YYYY	BY		

2012 O.B.C. DRAWINGS **RIGHT ELEVATION GARAGE END UNIT -WALKOUT** 

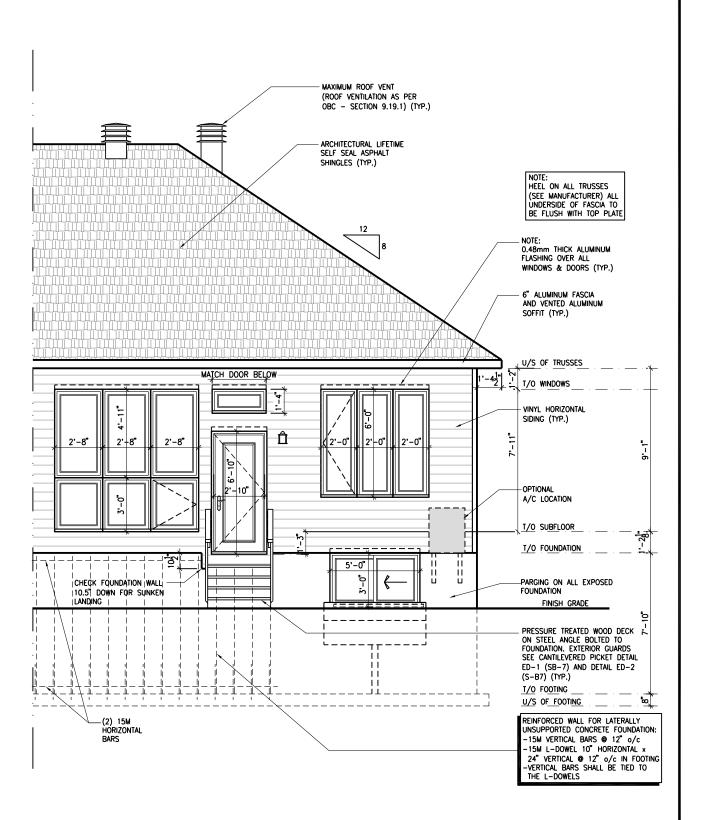
ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

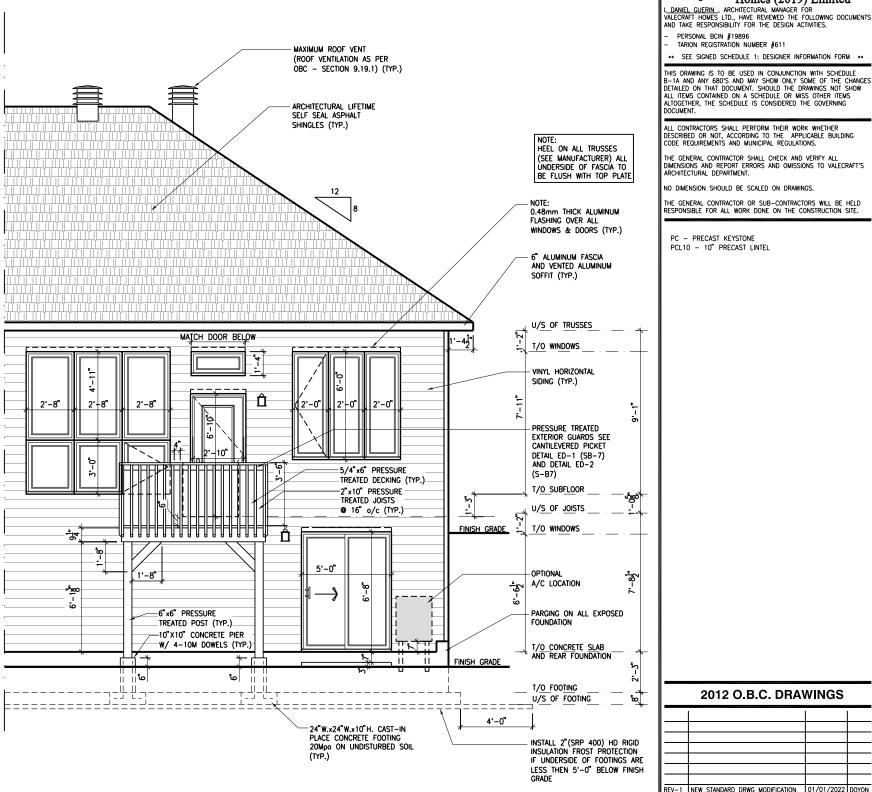
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

A.2d





**REAR ELEVATION PORCH END UNITS** SCALE: 3/16" = 1'-0"

NO. DESCRIPTION

CONSTRUCTION SITES:

**SHEA VILLAGE** 

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

DATE:

XXXX

XX/XX/XXXX

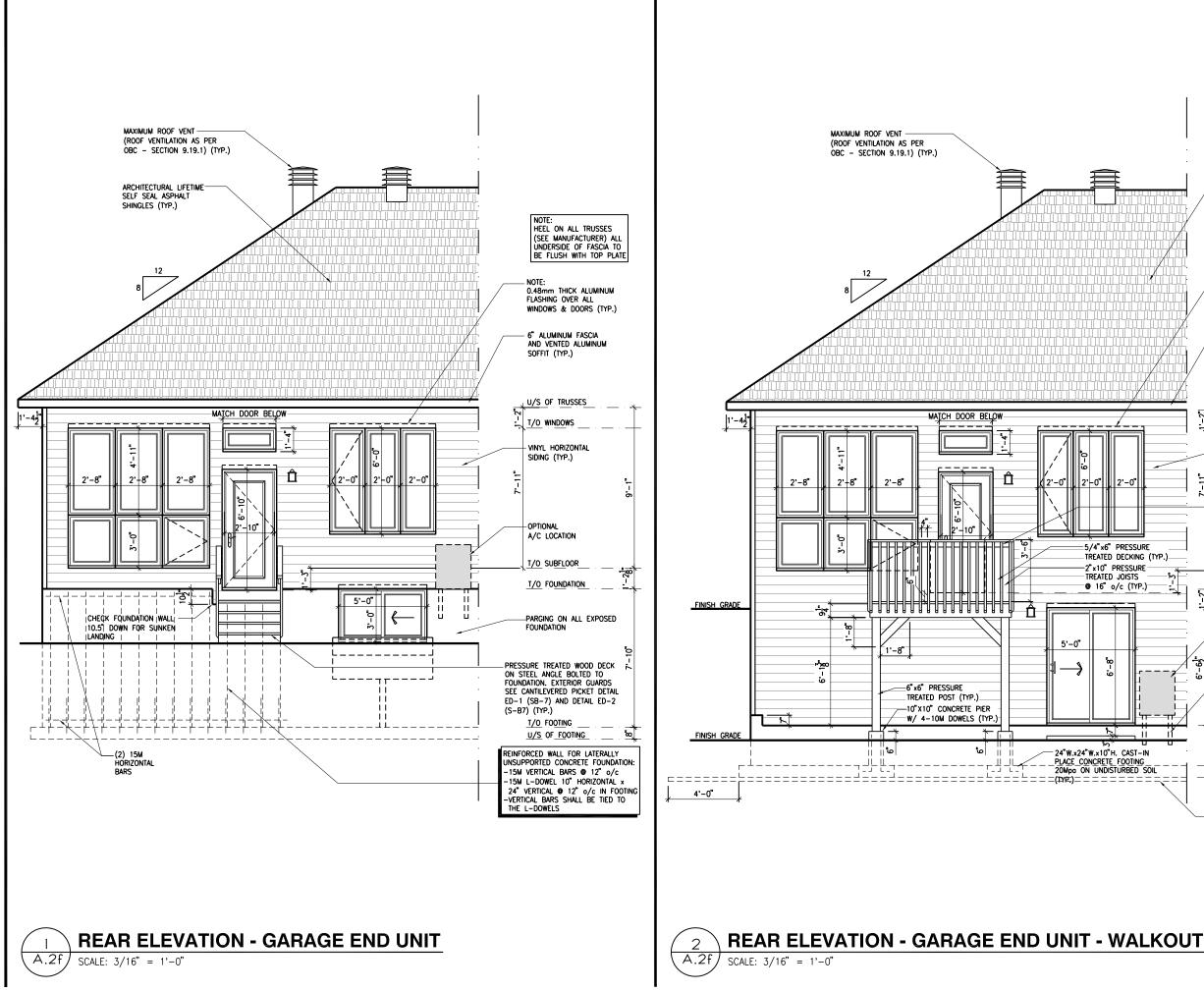
Homes (2019) Limited

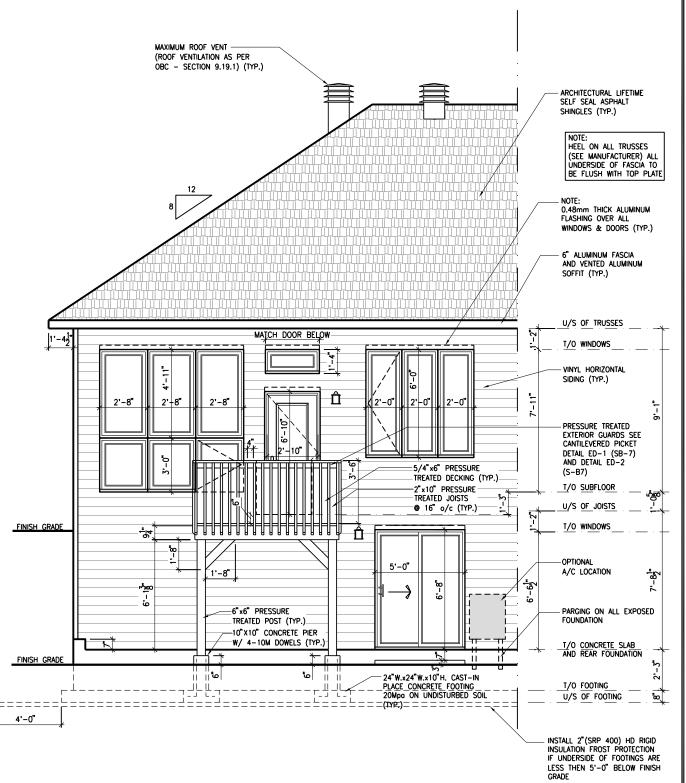
105 - THE MANN 2022 FOOTPRINT

xx/xx/xxxx SHEET A.2e (STANDARD DRAWINGS)

2012 O.B.C. DRAWINGS

**REAR ELEVATION - PORCH END UNIT - WALKOUT** A.2e) SCALE: 3/16" = 1'-0"





CONSTRUCTION SITES: **SHEA VILLAGE** 

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited I. <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER TEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**REAR ELEVATION** 

**GARAGE END UNITS** 

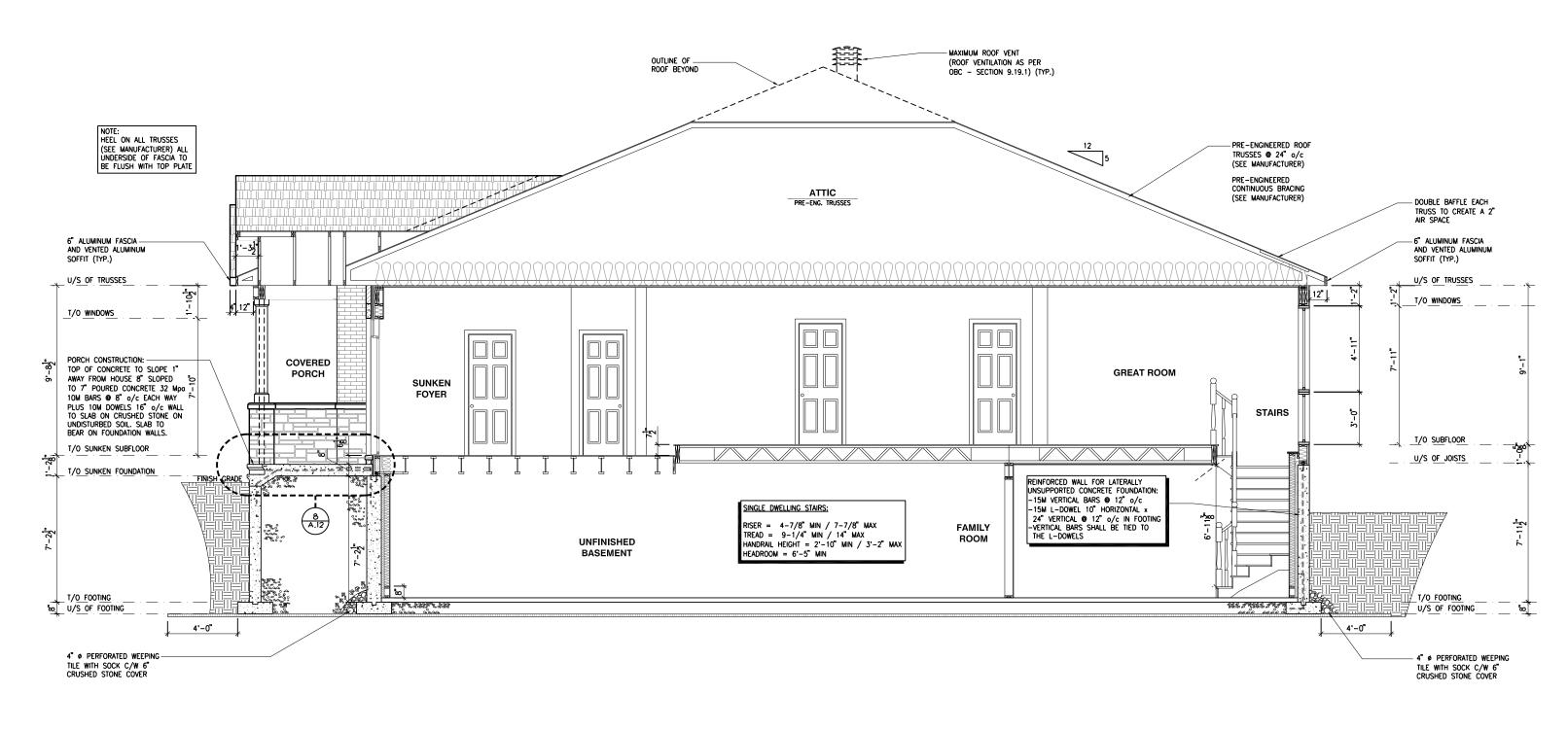
SCALE: 3/16" = 1'-0"

**105 - THE MANN** 2022 FOOTPRINT

A.2f (STANDARD DRAWINGS)

xx/xx/xxxx

SHEET





## **BUILDING SECTION**

SCALE: 3/16" = 1'-0"

Homes (2019) Limited

LOT: XXXX DATE: XX/XX/XXXX Valecratt A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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S						
	REV-1 NO.	NEW STANDARD DRWG MODIFICATION DESCRIPTION	01/01/2022 DOYON MM/DD/YYYY BY			

2012 O.B.C. DRAWINGS

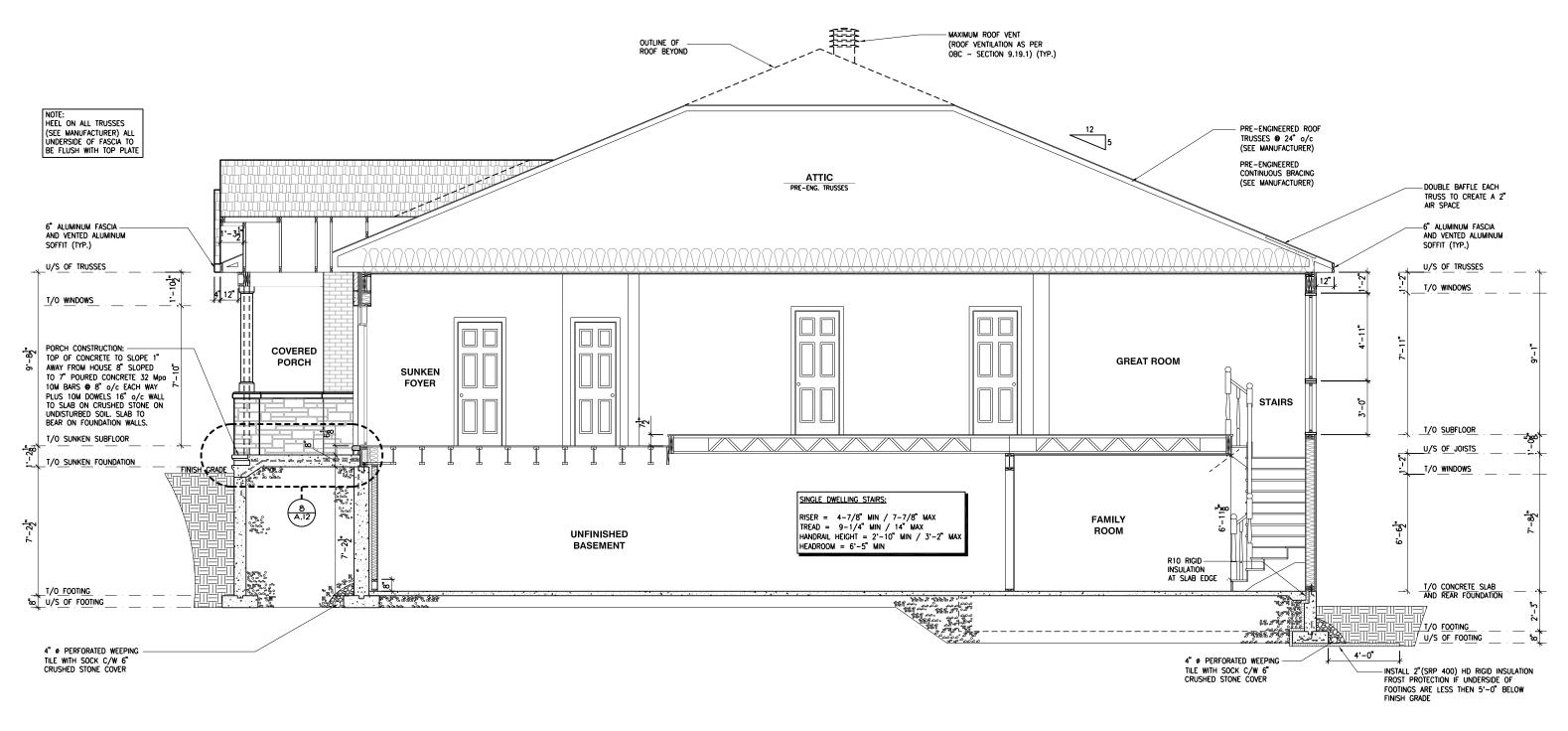
**BUILDING SECTION** ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

SHEET: A.3a





## **BUILDING SECTION - WALKOUT**

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Valecratt Homes (2019) Limited A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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	VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.						
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ı	** S	EE SIGNED SCHEDULE 1: DESIGNER INF	FORMATION FOR	M ++			
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		NEW STANDARD DRWG MODIFICATION DESCRIPTION	01/01/2022 MM/DD/YYYY				

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR

2012 O.B.C. DRAWINGS **BUILDING SECTION** 

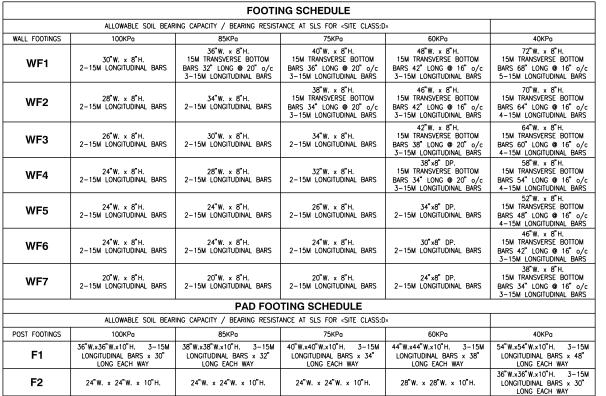
**WALKOUT** ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN **2022 FOOTPRINT** (STANDARD DRAWINGS)

CONSTRUCTION SITES:

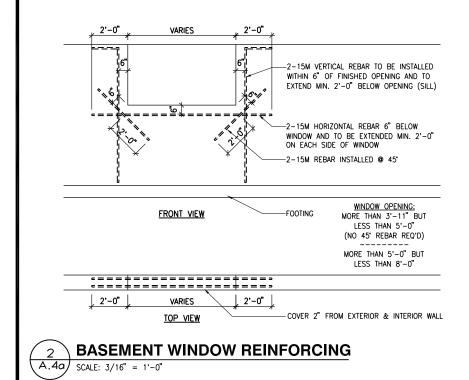
SHEA VILLAGE

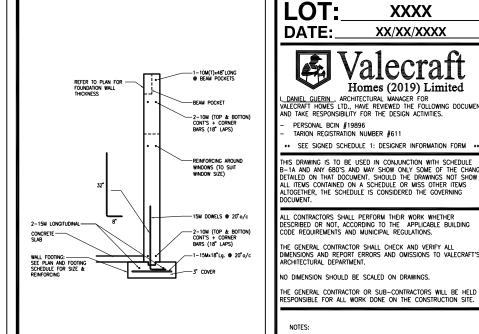
A.3b



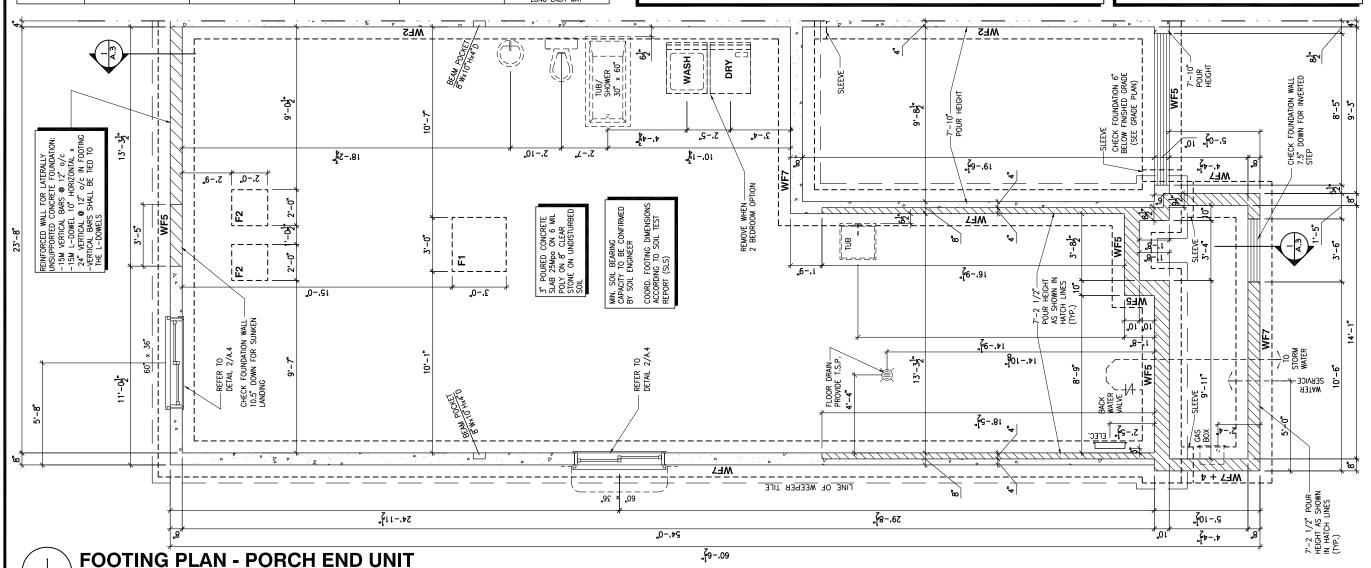
(A.4a)

SCALE: 3/16" = 1'-0"





**CONCRETE WALL** REINFORCING 3 (A.4a) SCALE: 1/4" = 1'-0"



3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

NO. DESCRIPTION

LOT:

DATE:

PERSONAL BCIN #19896

ARCHITECTURAL DEPARTMENT.

(AVAILABLE UPON REQUEST);

THE TIME OF EXCAVATION;

AND ARCHITECTURAL SPECIFICATION.

TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

alecraft

Homes (2019) Limited

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LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION; - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED

REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS

AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

FOOTING PLAN -PORCH END UNIT

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL

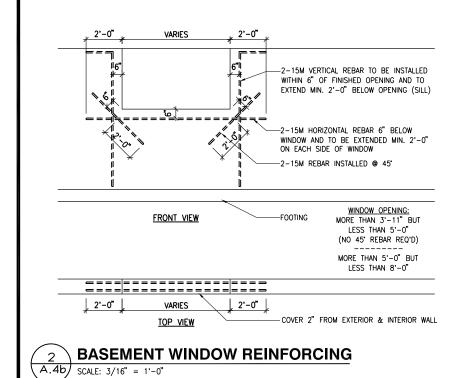
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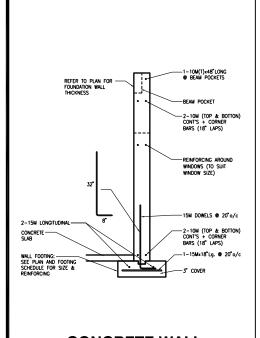
XX/XX/XXXX SHEET A.4a

CONSTRUCTION SITES:

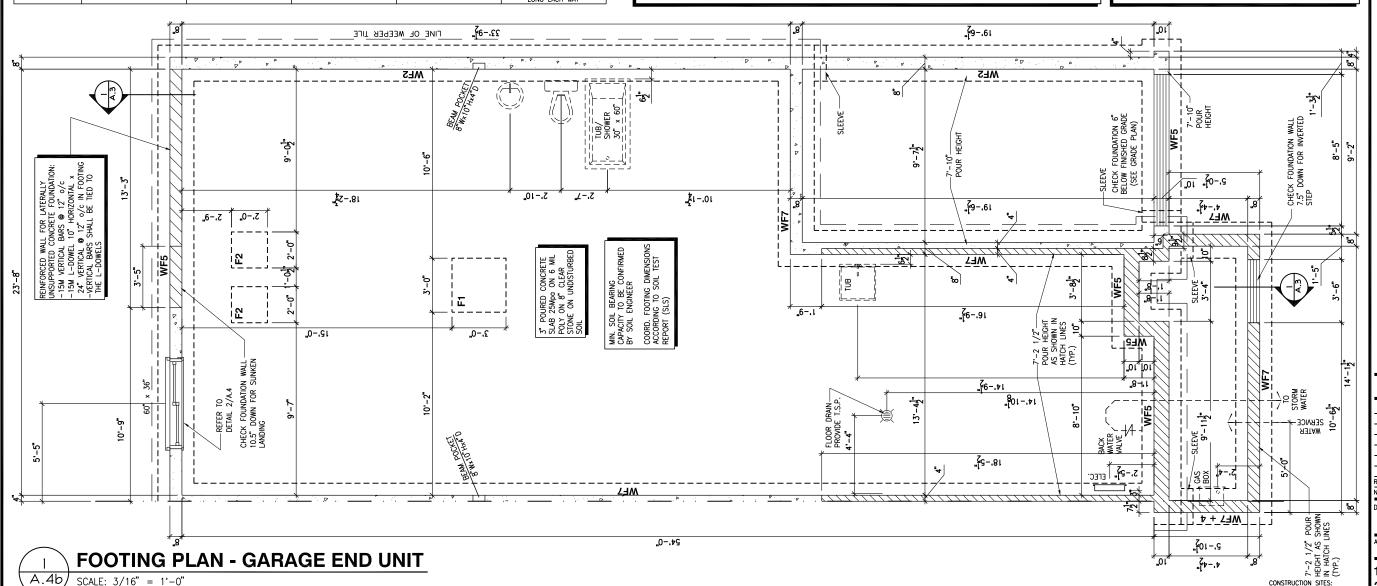
SHEA VILLAGE







**CONCRETE WALL** REINFORCING (A.4b) SCALE: 1/4" = 1'-0"



LOT: XXXX DATE: XX/XX/XXXX

alecraft Homes (2019) Limited

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- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
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  THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
  OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION:
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPg AND CONCRETE FOR FOUNDATION WALLS SHOULD
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON IO. DESCRIPTION

**FOOTING PLAN - GARAGE END** 

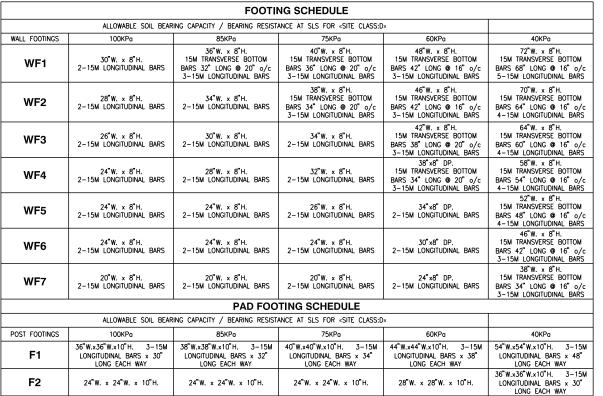
3/16" = 1'-0" XX/XX/XXXX SHEET

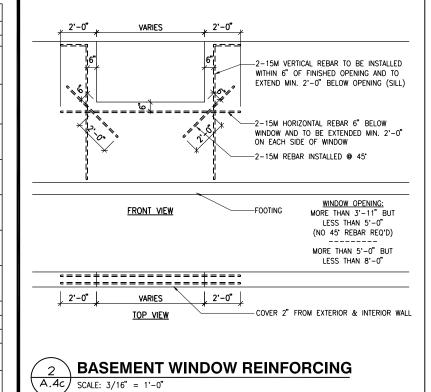
105 - THE MANN 2022 FOOTPRINT

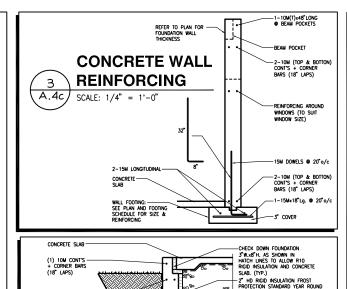
SHEA VILLAGE

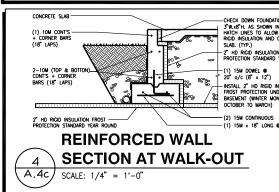
A.4b (STANDARD DRAWINGS)

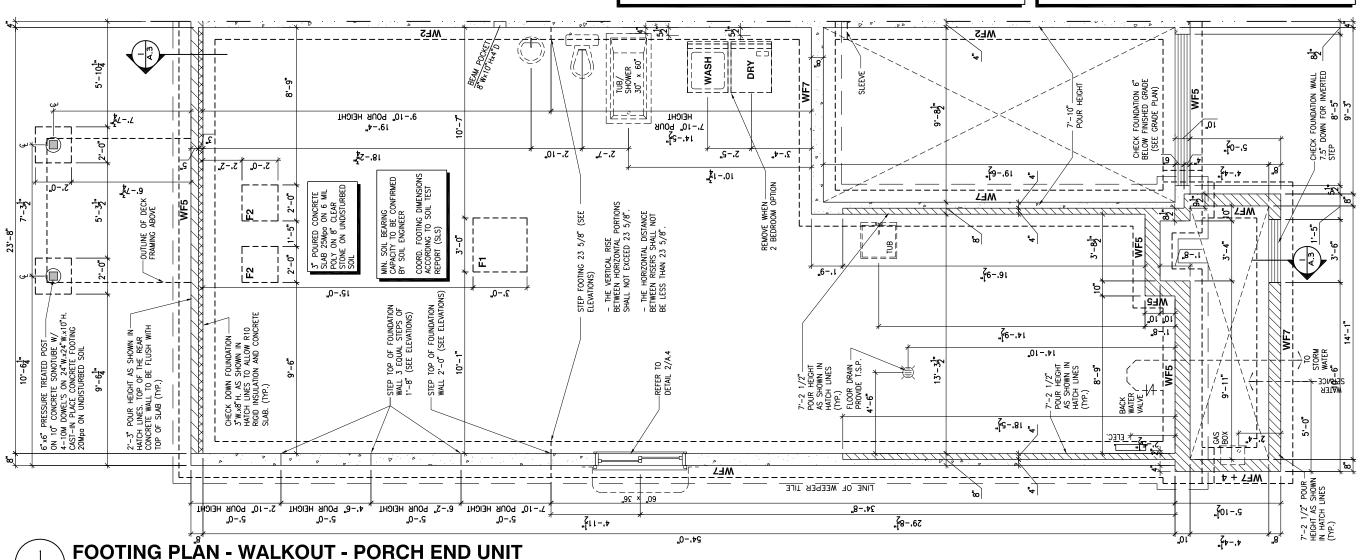
SCALE: 3/16" = 1'-0"











3/16" = 1'-0" XX/XX/XXXX

(STANDARD DRAWINGS)

**105 - THE MANN** 2022 FOOTPRINT SHEET A.4c

CONSTRUCTION SITES: SHEA VILLAGE

NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. - Install 2" HD RIGID INSULATION FROST PROTECTION UNDER ENTIRE BASEMENT (WINTER MONTHS ONLY OCTOBER TO MARCH) - Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST); - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION; - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION: - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS; - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPg AND CONCRETE FOR FOUNDATION WALLS SHOULD - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400; - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT:

PERSONAL BCIN #19896

ARCHITECTURAL DEPARTMENT.

TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

alecraft

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

- 1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

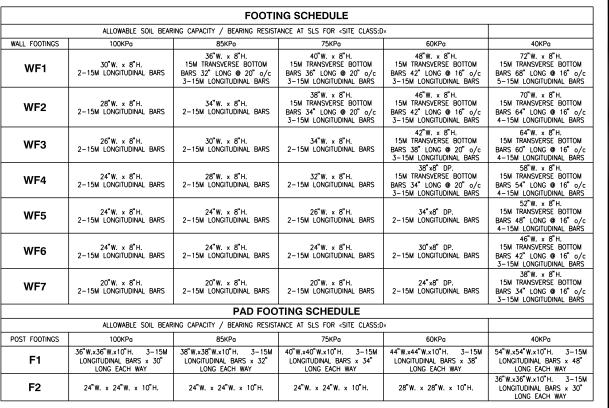
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S

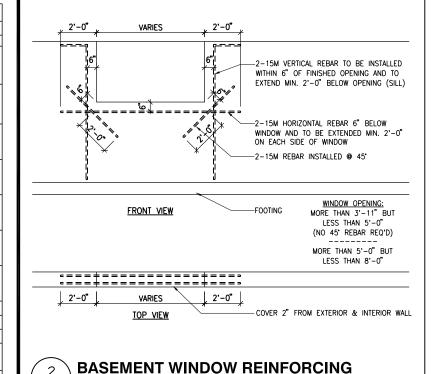
2012 O.B.C. DRAWINGS

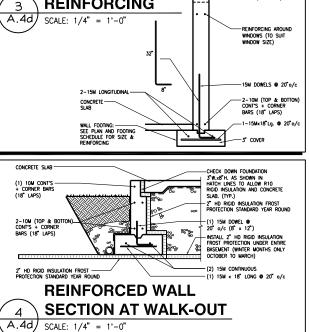
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON IO. DESCRIPTION

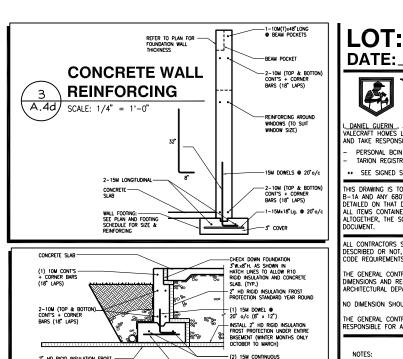
**FOOTING PLAN WALKOUT - PORCH END UNIT** 

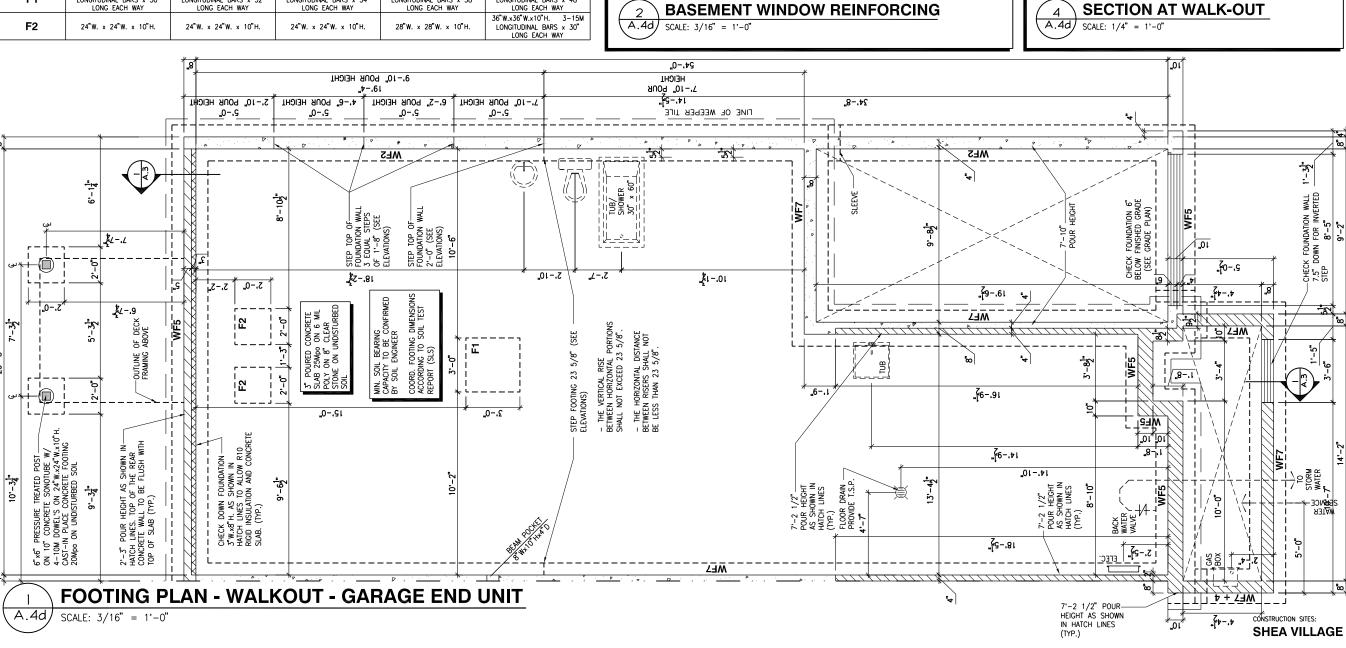
SCALE: 3/16" = 1'-0"











DATE: XX/XX/XXXX 'alecratt

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR
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ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

XXXX

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
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  THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
  OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION:
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ( $\pm$  1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON DESCRIPTION

**FOOTING PLAN WALKOUT - GARAGE END UNIT** 

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.4d

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$  solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install tyck homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1  $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

#### BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

WALL FOR LATERALLY
ED CONCRETE FOUNDATION
CAL BARS @ 12" o/c
WEL 10" HORIZONTAL ×
CAL @ 12" o/c IN FOOTIN
ARS SHALL BE TIED TO ₩ WASH WHEN JOM OPT .61-e<del>]</del> EXCAVATED AREA COMPACT ALL FILL Š S J Š .g-.Z FOUNDATI FINISHED GRADE P SLAB SLAB POLY STONE CHECK BELOW F CHECK FOUN 7.5" DOWN STEP 1.01 (5) "6-.S 10,-5<mark>4</mark>" ...5-.61 (2) 2"x8" LANDING FILL W200x27 (24'-6" L RAMSET A ON TOP .-9<mark>1</mark>-WALL ₽ LIGHTER SHOWS (TYP.) ..0-.1 "O-.t MECHANICAL ROOM (z)OPTIONAL BEDROOM 11'-4" x 12'-0' CARPET "ı −.Σ 42/2 1,01 UNFINISHED BASEMENT 3.-4]" 8-'1i 40 4 5'-5" R.O. | c SERVICE → **,**⊆−.⊅ YZCENI B26 **MATER** 18.–5<mark>]"</mark> 7€NT GAS FIREPLA¢E TOPTIONAL DIRECT (2) 0 5,Ft. å 3.-8 2,-0, <u>"₹</u>0−.7 PRAIL HRV POUR SHOW! LINES PR SILL "S-.71 AND AND .7. AS 54.-11<mark>5</mark>.. "<u>‡</u>Σ−'∂1 ζĠ "<u>\$</u>8−'∂č 4.-4]..



BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

### LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  $L4 = 3-1.75 \times 9.5$  LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

#### POST TARLE.

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(\*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

3/16" = 1'-0"

**105 - THE MANN** 2022 FOOTPRINT SHEET A.5a

XX/XX/XXXX

(STANDARD DRAWINGS)

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

#### WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$  solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

#### BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

"<u>ξ</u>6−'ΣΣ .6₁−9<del>]</del>.. ATERALL FOUND 12" o/c iZONTAL : IN FOC .,6₁-6<mark>}</mark>.. EXCAVATED AREA COMPACT ALL FILL WALL FOR LATEF TO CONCRETE FO CONCRETE FO SAL BARS @ 12" HORIZO VEL 10" HORIZO AL @ 12" o/c I ARS SHALL BE I 7،−9 -CHECK FOUNDATION V 7.5" DOWN FOR INVEI STEP ₹2 <u>-</u>2<u>√</u>2<u>√</u>2 (<u>s</u>) .,6₁−6<mark>}</mark> (2) 2"x8" LANDING FILL WALL (24. ON **,**4 -35√ LIGHTER SHOWS (TYP.) "ı −'Շ POPTION F LOWER

LOWER

LOWER

HEADROOM

SUNNEN

7.- 2 1/2"

POUR HEIGH

AS SHOWN IN

AS SHOWN IN

AS CHOWN IN

AS CHOW "{6-'81 <del>-</del>₹ 3.-4]. <u>..01</u> <u>.</u> 2,-2, B.O. € SEBNICE→ WAIER 18.-5 FOUN 5,F-¢. \_|ELEC.| .Z-.8 DRAIN FURNA( OOR S FOR S SILL 1 PRA FOR HRV POUR SHOWN LINES 17.-2" SLEEVE AN P 1/2" ( r AS ( ICH 1 1ZG 13° <u>"</u>\$8−'∂₹ "<u>‡</u>₹-'81 4,-4<u>J</u>n

**BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT** (A.5b)

SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

LOT: DATE: XX/XX/XXXX

> Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

XXXX

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

## STEEL LINTEL:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

### LINTEL TABLE:

NOTES:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

#### POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

= 2-2x4 OR 2-2x6 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(\*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL - GARAGE END 3/16" = 1'-0" XX/XX/XXXX

**105 - THE MANN** 2022 FOOTPRINT

SHEET A.5b

CONSTRUCTION SITES: SHEA VILLAGE

R LATERALLY
SEE FOUNDATION
G 12" o/c
HORIZONTAL ×
" o/c IN FOOTIN
LL BE TIED TO

SINFO NSUP 15M 15M 24" VERT

A.5c

₽,

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

SLAB SLAB POLY STONE

 $\overline{(5)}$ 

"G-.Þ

ASCENT B36

VENT GAS FIREPLACE

TOPTIONAL DIRECT

17'-2"

16.−3<mark>¦</mark>"

0

54.-11<mark>5</mark>..

7 STEEL LONG) A 2"x6"

W200x27 (24'-6" L RAMSET A ON TOP

(§)

"I −'E

2,-4<u>1</u>\*

5'-4" R.O.

3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

."0−.Σ

2.-6.

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- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

7.-0,

OPTIONAL BEDROOM 11'-5" x 12'-0" CARPET

(S)

24.-0.

"‱-'01

FILL

WALL

LIGHTER SHOWS (TYP.)

MECHANICAL ROOM

14VAÇ 888 14FÜE

(S) (S)

<u>\*</u>ξ6−.9Σ

-₽

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

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– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

#### BASEMENT NOTE:

EXCAVATED AREA COMPACT ALL FILL

7'-10"-POUR HEIGHT

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LOT: **XXXX** DATE: XX/XX/XXXX

'alecratt Homes (2019) Limited

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- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611

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### IOTES: STEEL LINTEL:

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S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10

= L 200x100x12S7 = L 150x100x10 (8" BEARING)

### LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

# REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON IO. DESCRIPTION

RAWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END** 

3/16" = 1'-0"

105 - THE MANN

SHEET 2022 FOOTPRINT A.5c

XX/XX/XXXX

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

(STANDARD DRAWINGS)

FLOOR JO LAN FOR S AND SILL

POUF SHOW INES

72. AS L 7'-2 1, HEIGHT IN HATO (TYP.)

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

#### GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

#### WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$  solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
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- JOIST HANGERS AT EVERY JOIST CONNECTION

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CONCRETE FOUNDAI
AL BARS @ 12" o/c
EL 10" HORIZONTAL
L @ 12" o/c IN FOG
ES SHALL BE TIED T 3 PIECE ROUGH-..<sup>2</sup>9−.61 EXCAVATED AREA COMPACT ALL FILL FOUNDA FINISHED GRADE POR 일당 CHECK BELOW F 1.01 <u>√</u>5 "6-.S "<u>\$</u>9−.01 .61-ej.. (2) 2"X8" LANDING MECHANICAL ROOM 3.–1" CONCRETE 12'-52" LOWER HEADROOM UNFINISHED BASEMENT LUNKEN 1/2"— HEIGHT HOWN IN (HIGH, ₽ 120 1.-8" 2.-4" R.O. <u>.</u> SERVICE + 9.-117" **MATER** "<sup>[</sup>c−'81 OWH O. ,÷⊠ J,++,Z DWHF 142% ⊕ DRAIN DRAIN FOR HRV POUR SHOWN LINES FLOOR JC AN FOR S AND SILL 17:-2" –2 1/2" EIGHT AS HATCH LI YP.) GAS BOX "<u>‡</u>Σ−'81 ....ZG <u>.</u>26−.9Σ 4.-4]..

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT A.5d, SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: DATE: XX/XX/XXXX

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PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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3/16" = 1'-0"

**ENERGY STAR - GARAGE END** 

**105 - THE MANN** 2022 FOOTPRINT SHEET A.5d

XX/XX/XXXX

(STANDARD DRAWINGS)

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3 PIECE

JOIST HANGERS AT EVERY JOIST CONNECTION

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#### POST TARLE.

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TO STORM WATER

SERVICE 1

CONSTRUCTION SITES:

SHEA VILLAGE

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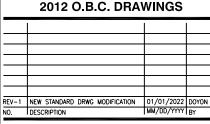
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RAWING: BASEMENT FLOOR PLAN **WALKOUT - PORCH END UNIT** 

3/16" = 1'-0" XX/XX/XXXX

SHEET

A.5e

**105 - THE MANN** 2022 FOOTPRINT (STANDARD DRAWINGS)

(A.5e) SCALE: 3/16" = 1'-0"

BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

"<u>C</u>0-'71

16.−4<u>†</u>"

DWHR 42% ⊕5<u>1</u>; , -∠2<mark>7,</mark> | ειες 1.b-.Z\ , 80 F S A GAS .58.-8<u>1.</u>. ZAS H 7'-2 1, HEIGHT IN HATC (TYP.) -1<sub>Σ</sub> 24.−6<u>†</u>" 4,-4].. "8−'₽₹ 2.-10<mark>]</mark>.. FLOOR JOIST LAN FOR STAIR AND SILL PLATE

BASEMENT
CONCERTE

12'-41'
LOWER

LOWER
HEADROOM

7'-2 1/2'
POUR HEGHT
AS SHOWN IN
HATCH LINES

-9" (TYP)

<u>"</u>9−.61

-<u>1</u>2

"52-'81

...<sup>Z</sup>6-.91

<u>--</u>5

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SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

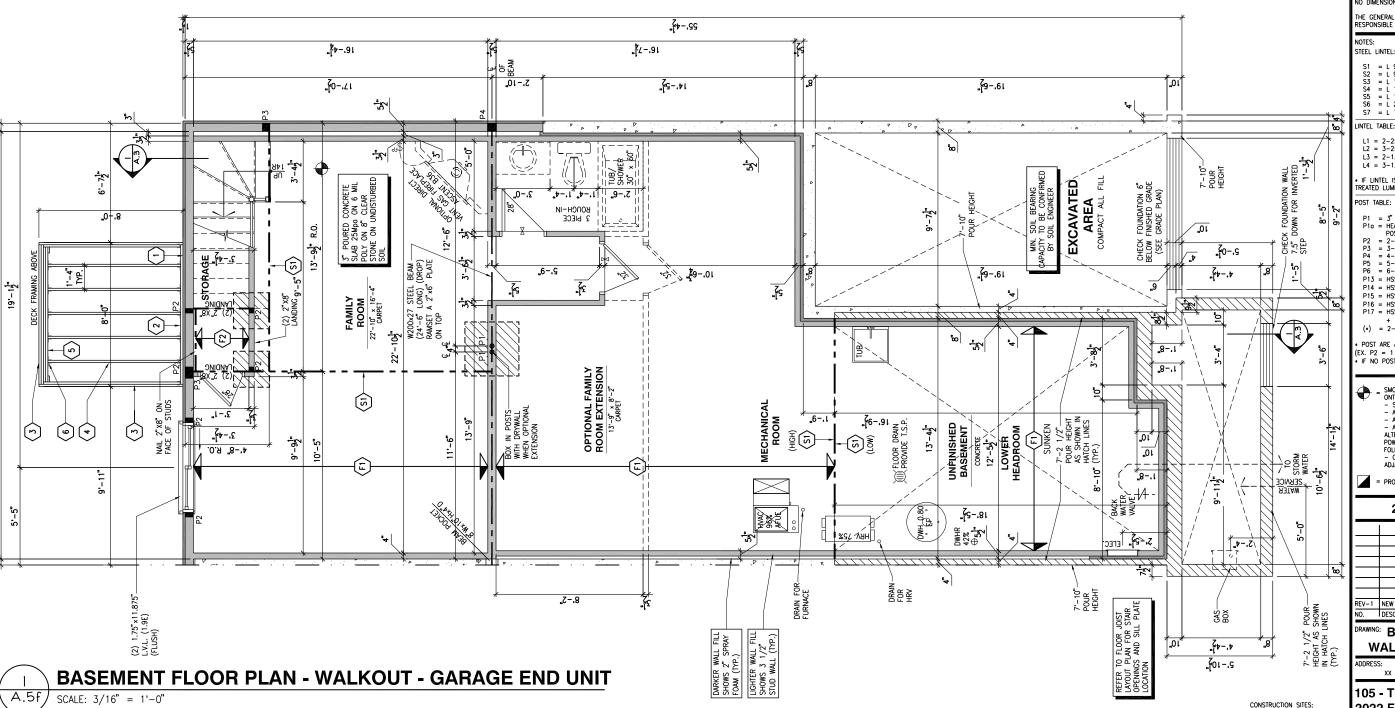
his drawing is to be used in conjunction with schedule --1a and any 680's and May show only some of the Change Etailed on that document. Should the Drawings not show LL ITEMS Contained on a schedule or Miss Other ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT

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S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10

S7 = L 150x100x10 (8" BEARING)

#### LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 $L4 = 3-1.75 \times 9.5$  LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

#### POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(\*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

. IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O. DESCRIPTION

RAWING: BASEMENT FLOOR PLAN **WALKOUT - GARAGE END UNIT** 

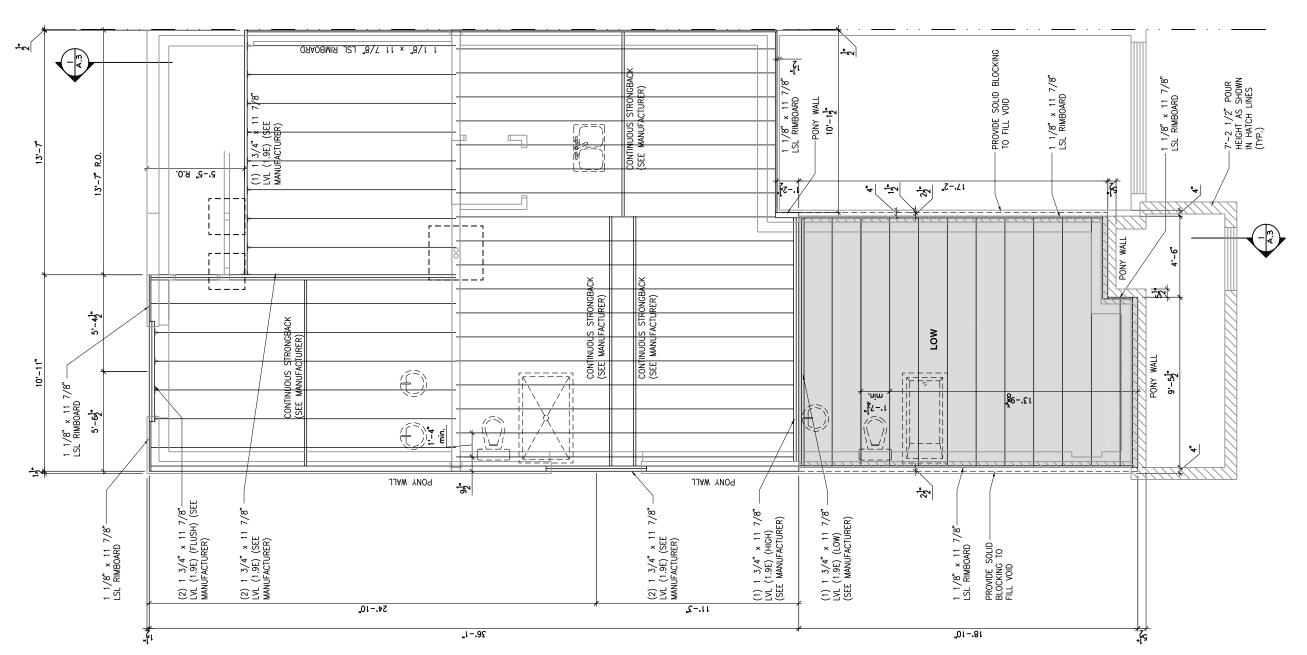
XX/XX/XXXX

**105 - THE MANN** 2022 FOOTPRINT

SHEET **A.5f** 

(STANDARD DRAWINGS)

SHEA VILLAGE



(I A.6a)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	MM/DD/YYYY	BY

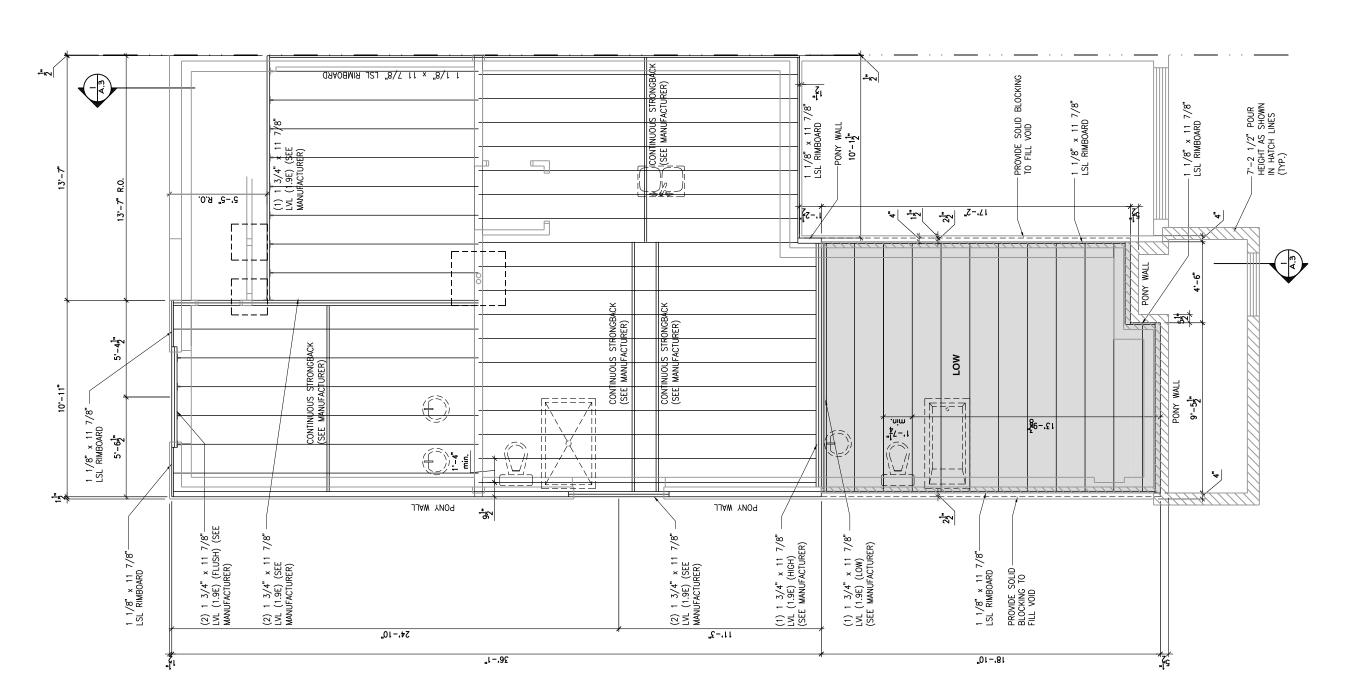
DRAWING: 3 BEDROOM PLAN - FLOOR
JOIST FRAMING - PORCH END

ADDRESS: | SCALE: | DATE: | xx | 3/16" = 1'-0" | xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6a



( A.6b

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX XX/XX/XXXX

Valecraft Homes (2019) Limited

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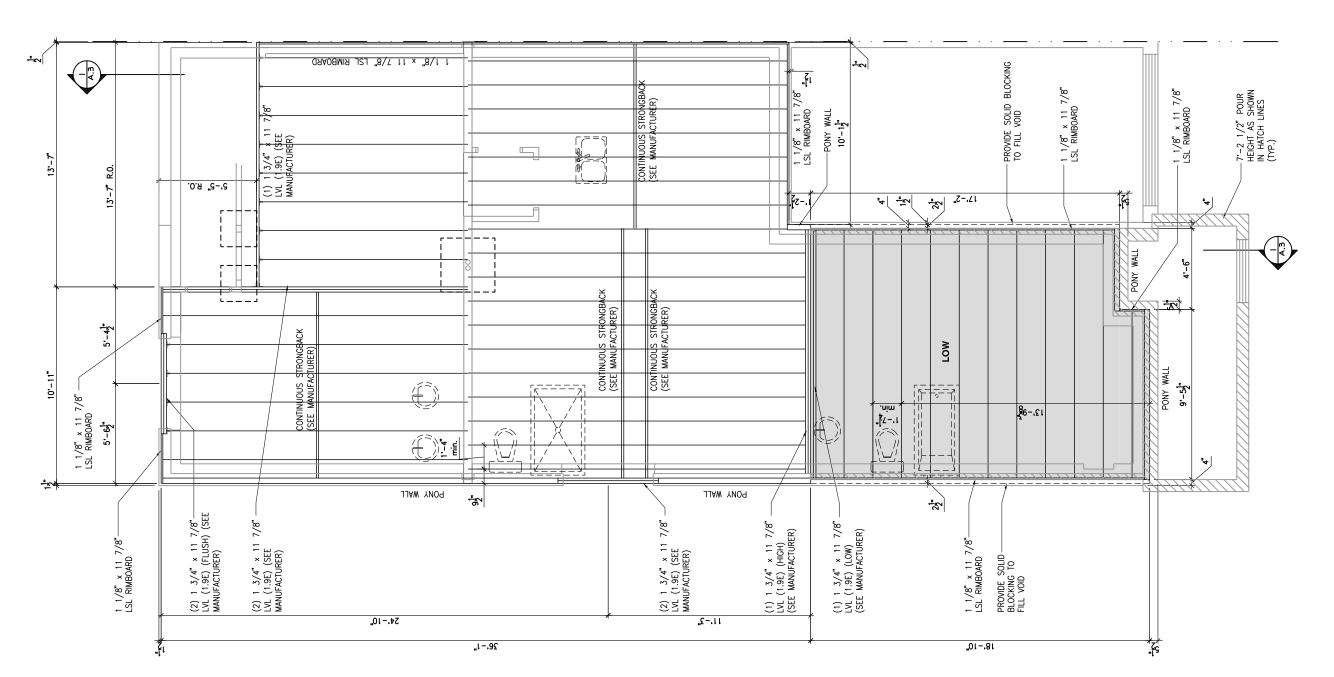
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: 3 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6b



( A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX XX/XX/XXXX

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Homes (2019) Limited

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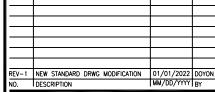
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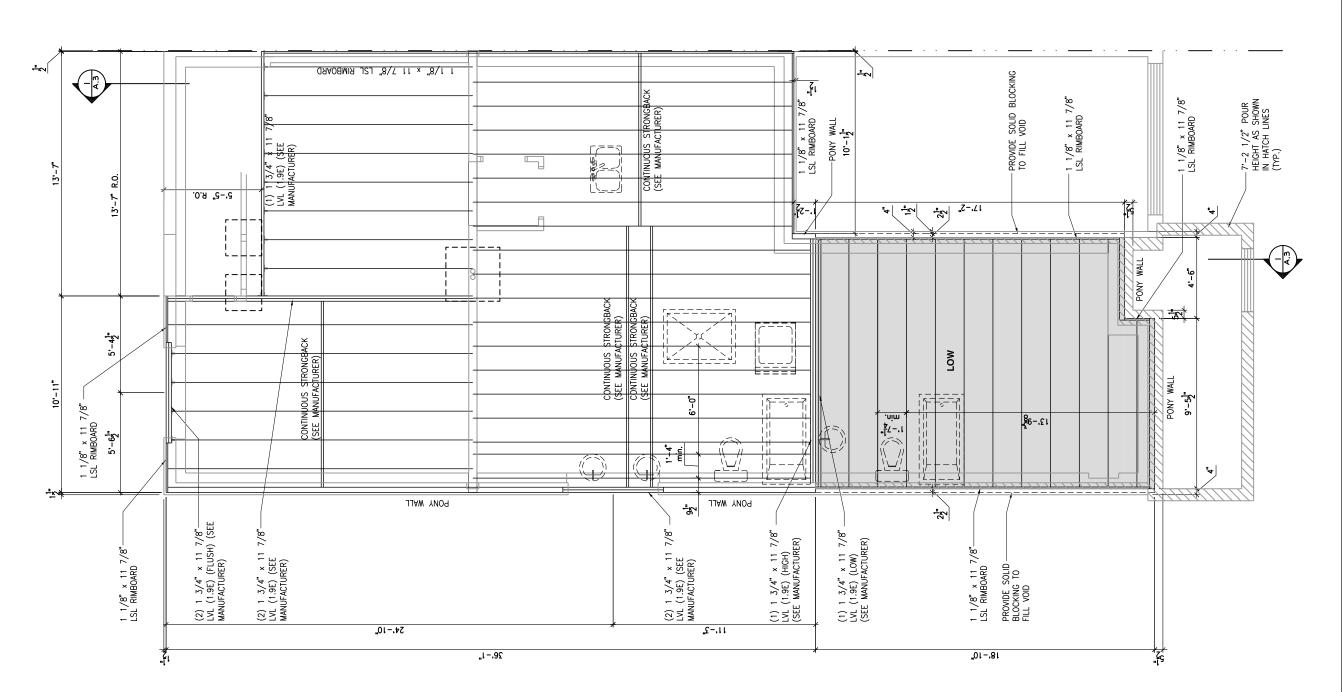


RAWING: 3 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END** 

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6c



( A.6d)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX XX/XX/XXXX

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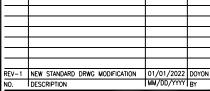
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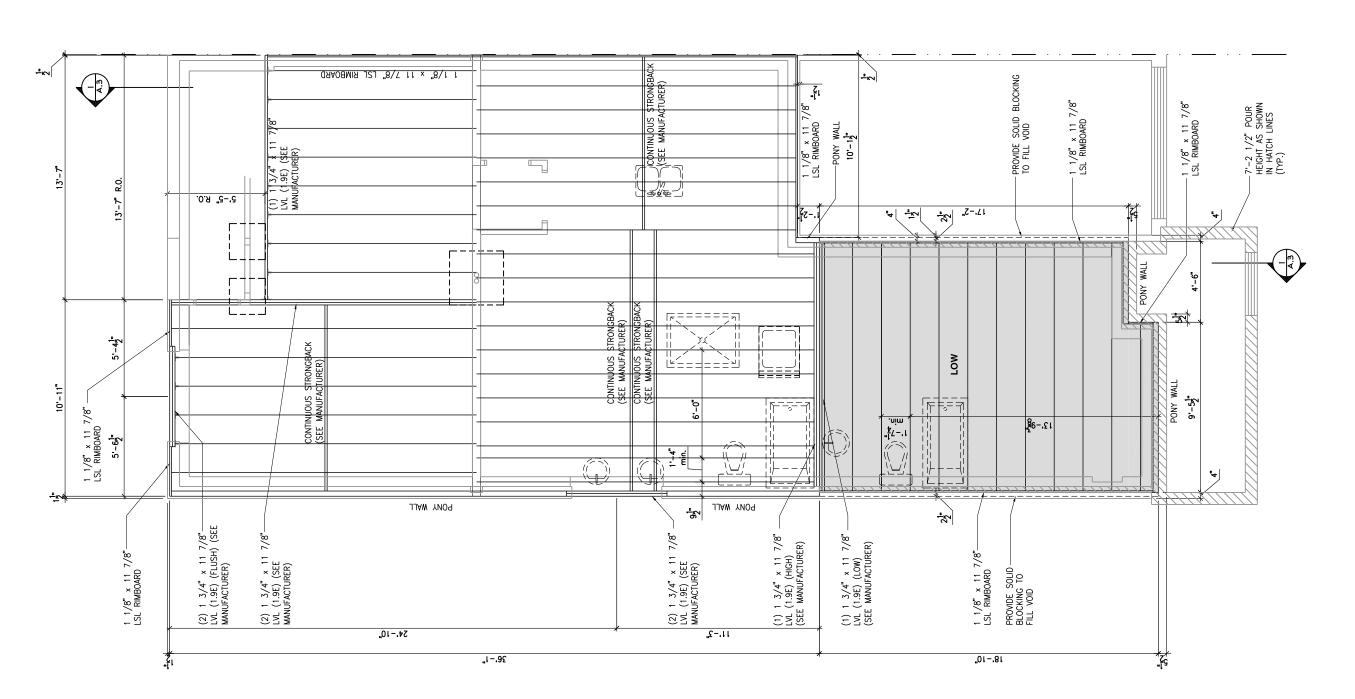


RAWING: 2 BEDROOM PLAN - FLOOR

**JOIST FRAMING - PORCH END** SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

SHEET: A.6d



(A.6e)

SCALE: 3/16" = 1'-0"

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - PORCH END UNIT

SHEA VILLAGE

CONSTRUCTION SITES:

LOT: XXXX XX/XX/XXXX

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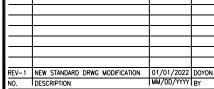
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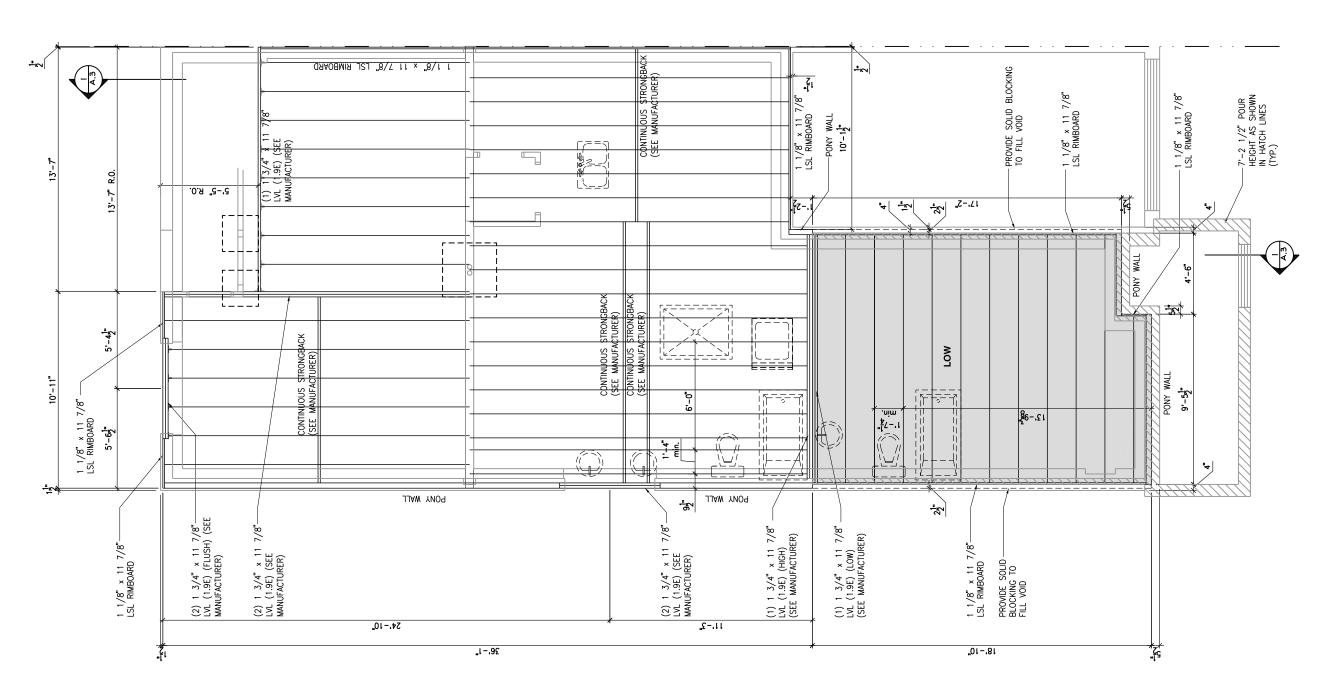
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6e

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX XX/XX/XXXX

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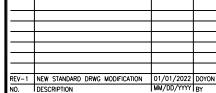
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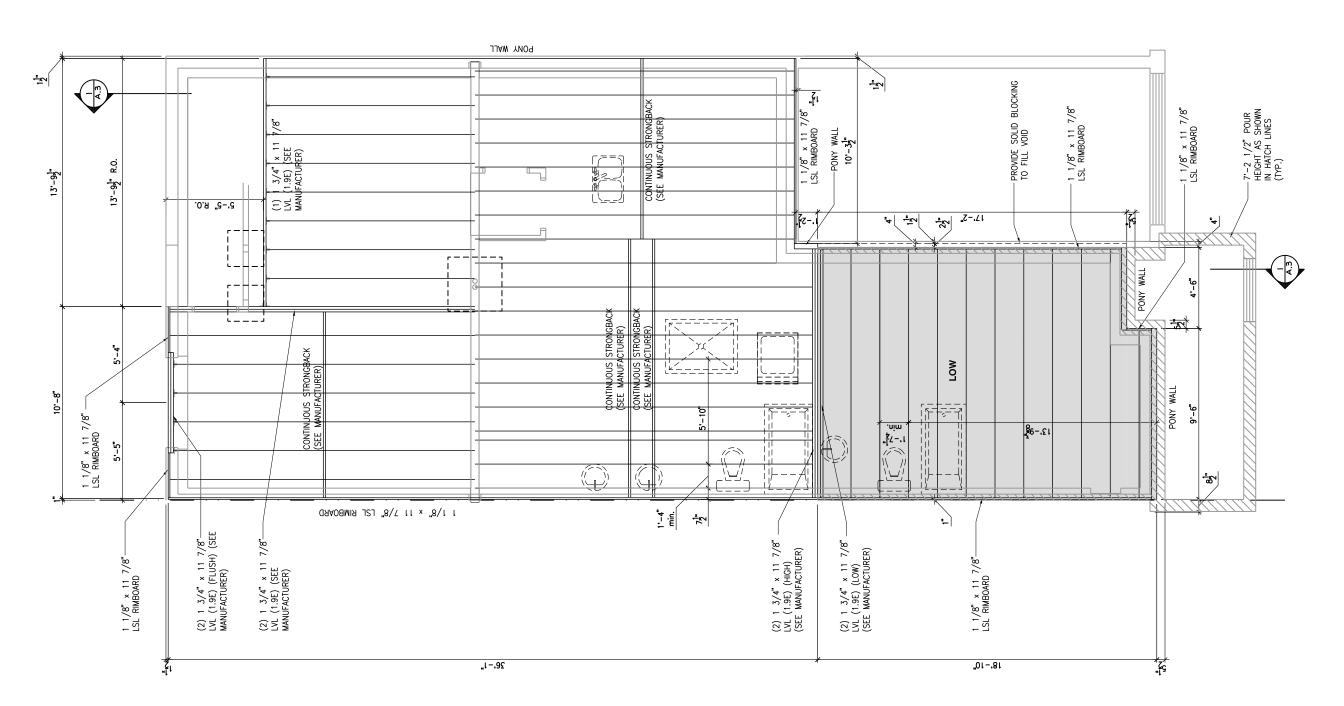
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6f

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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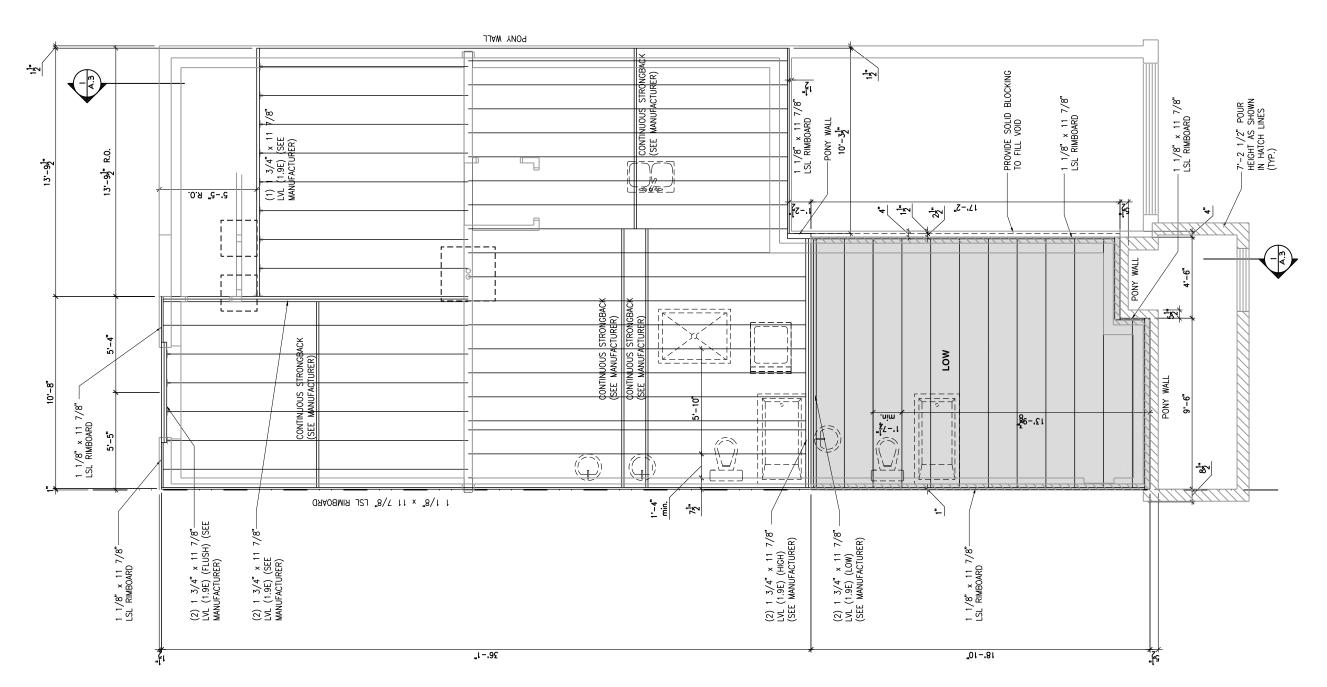


REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: 2 BEDROOM PLAN - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.6g



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - GARAGE END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

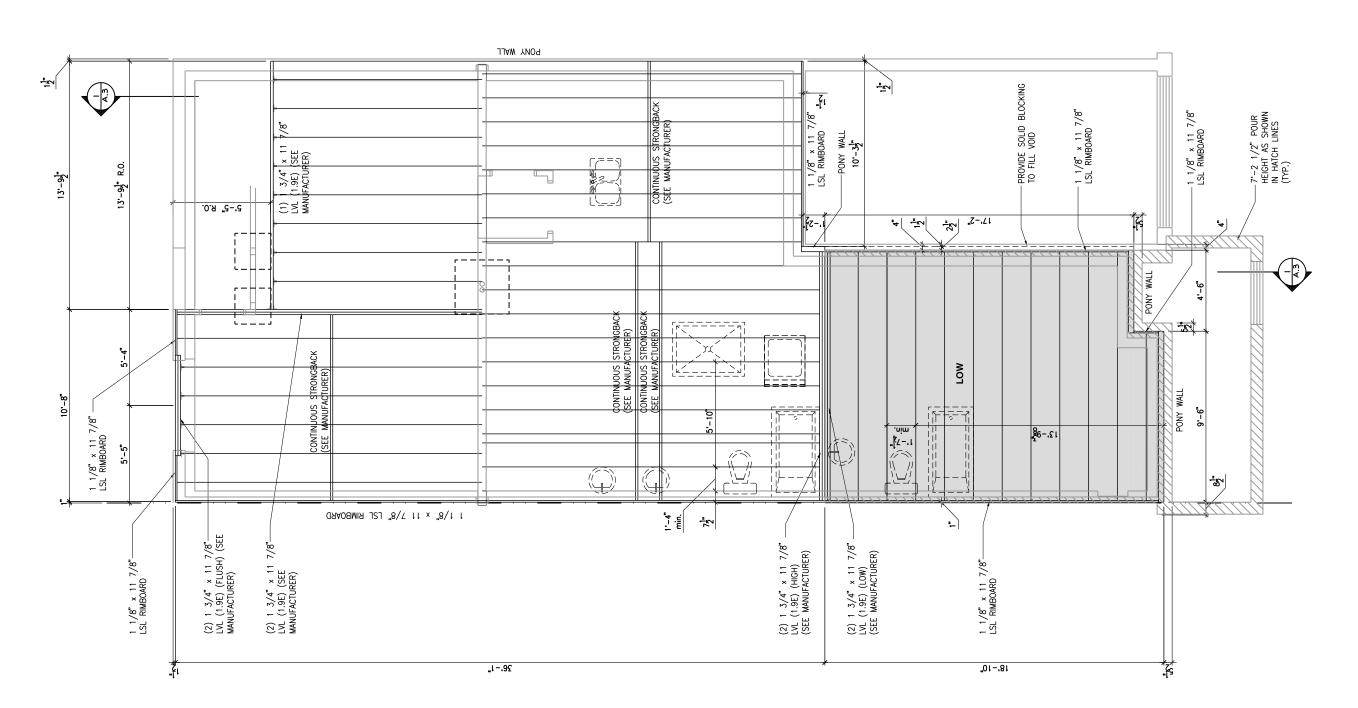
l			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: 2 BEDROOM PLAN - FLOOR

**JOIST FRAMING - GARAGE END** | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6h



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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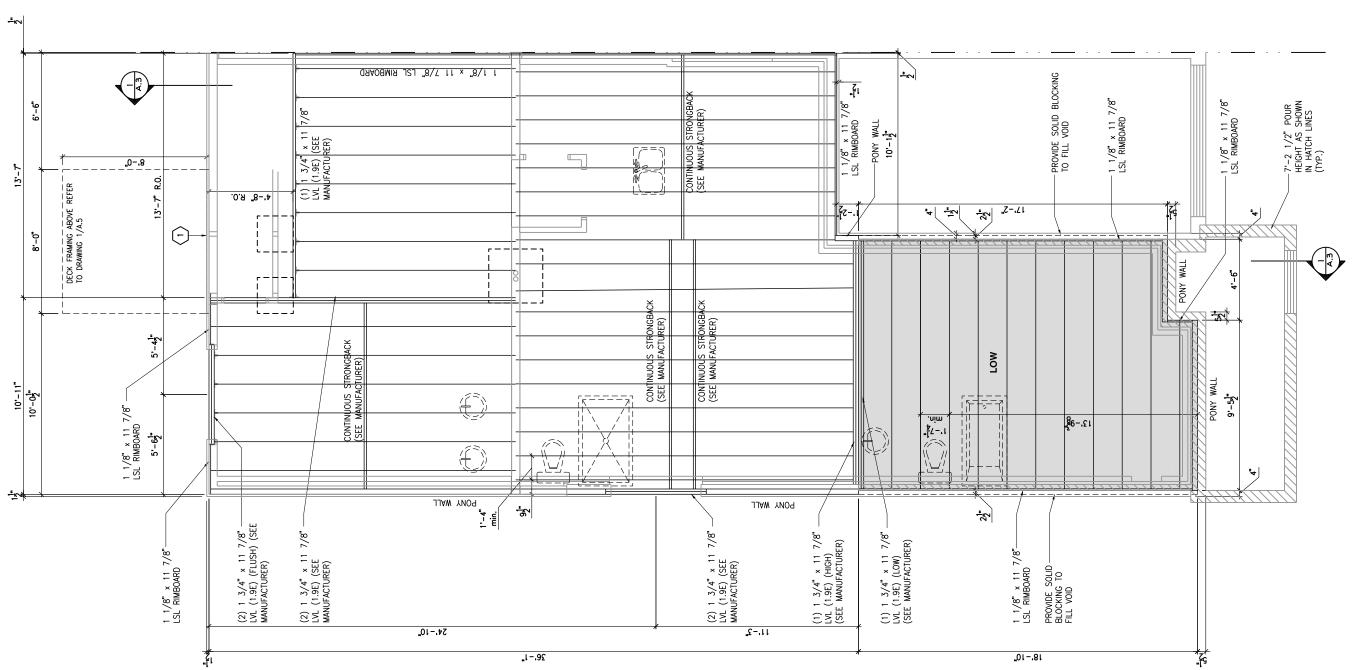
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - GARAGE END** 

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6i



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX



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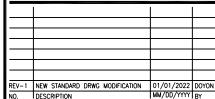
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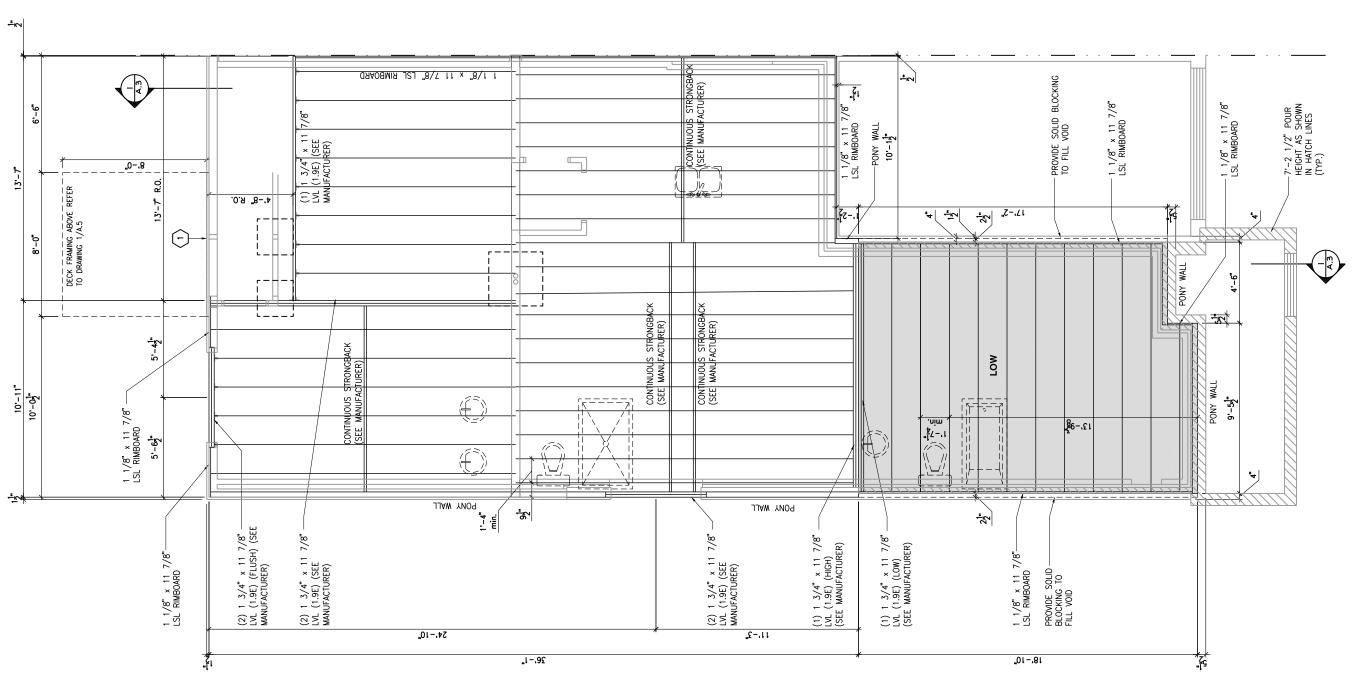


ORAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT SHEET A.6j

xx/xx/xxxx



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT

(A.6k) SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** 

LOT: XXXX DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

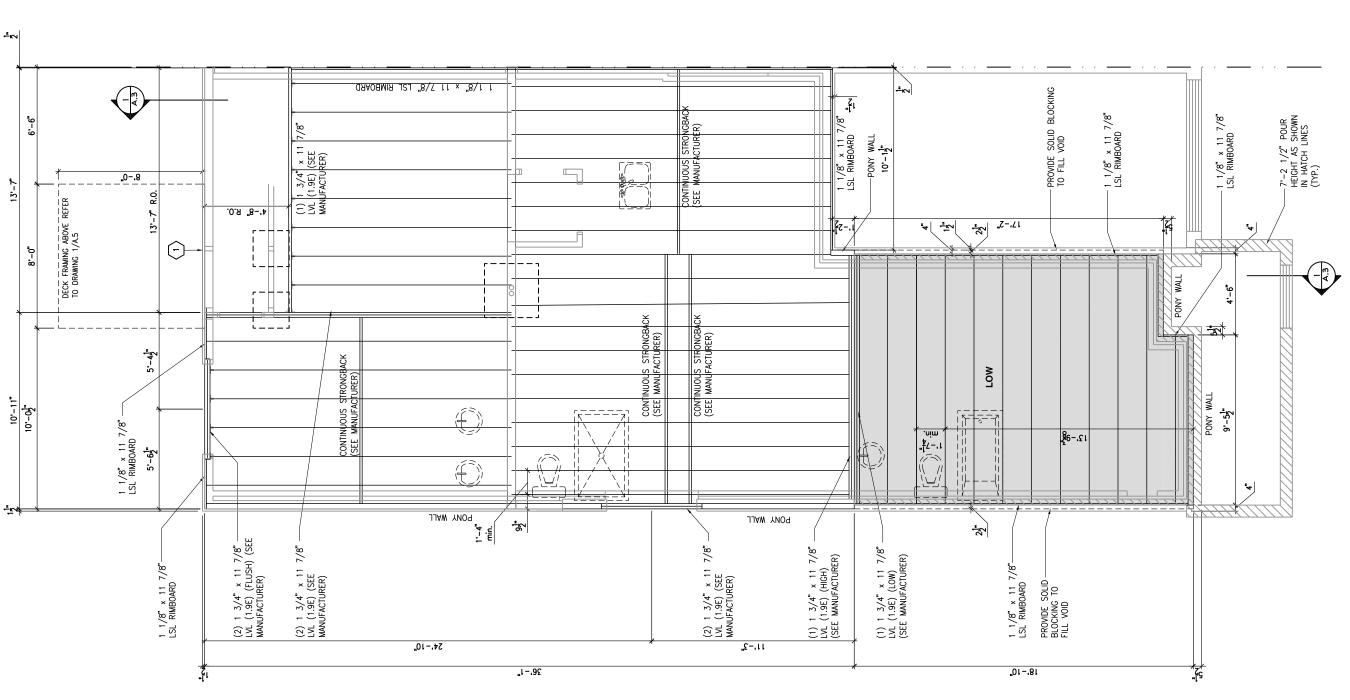
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6k

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

A.61

(STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX

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ı	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
ı	NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

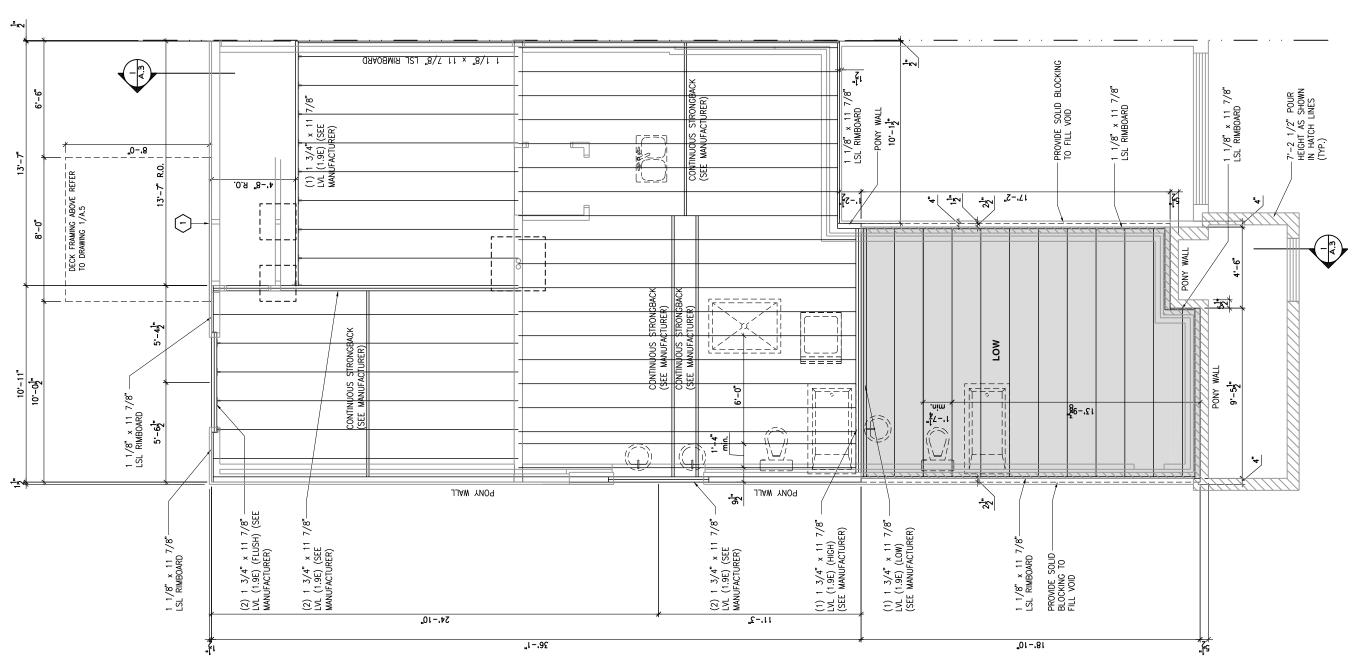
SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

SHEET **A.6**I

DATE: XX/XX/XXXX

CONSTRUCTION SITES:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

(A.6m)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**  LOT: XXXX DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NEW STANDARD DRWG MODIFICATION	01/01/2022	
DESCRIPTION	MM/DD/YYYY	BY

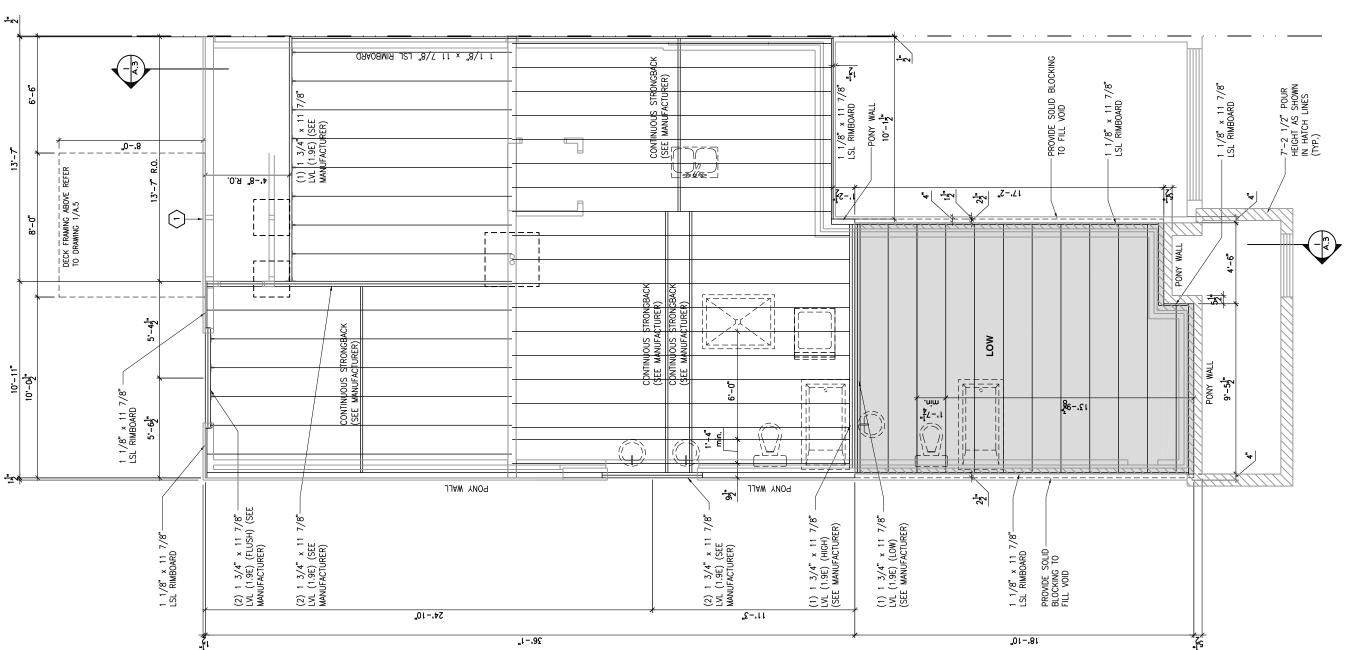
RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

|A.6m|

SHEET:



Valecraft
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LOT:

DATE:

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

PRAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" xx/xx/xxxx

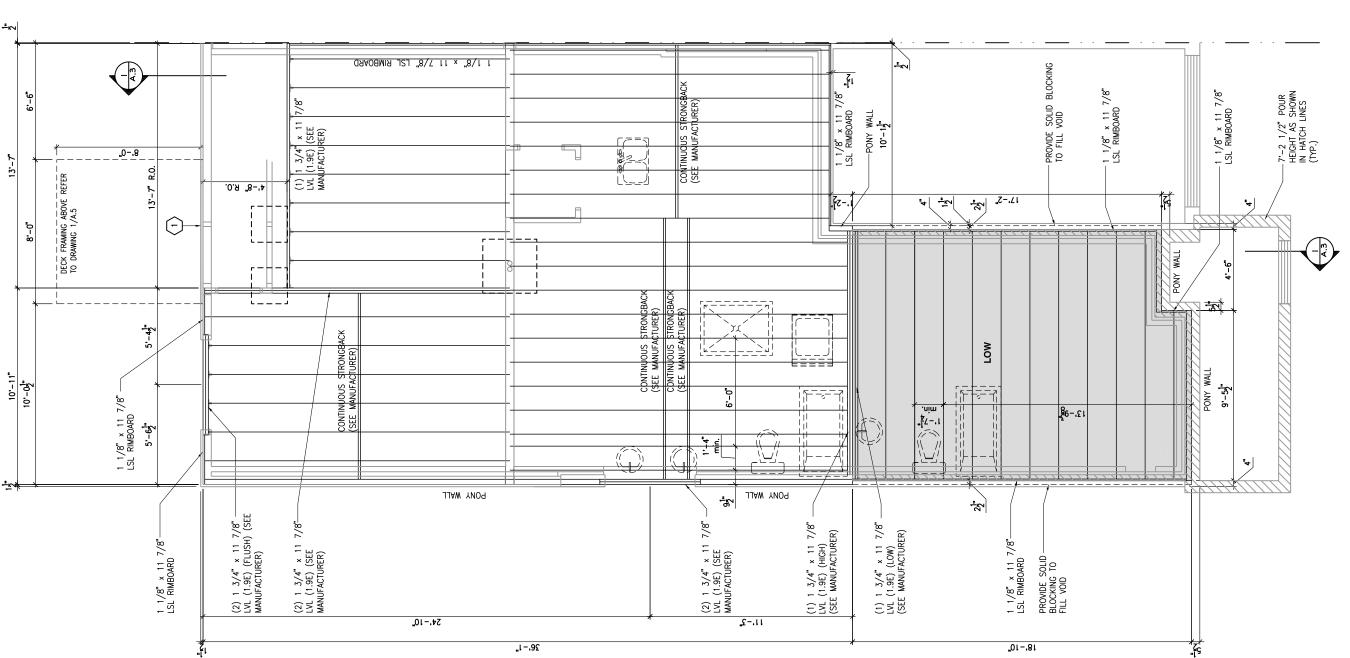
105 - THE MANN 2022 FOOTPRINT

CONSTRUCTION SITES:

**SHEA VILLAGE** 

SHEET: A.6n (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - PORCH END UNIT



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT

( A.60)

SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

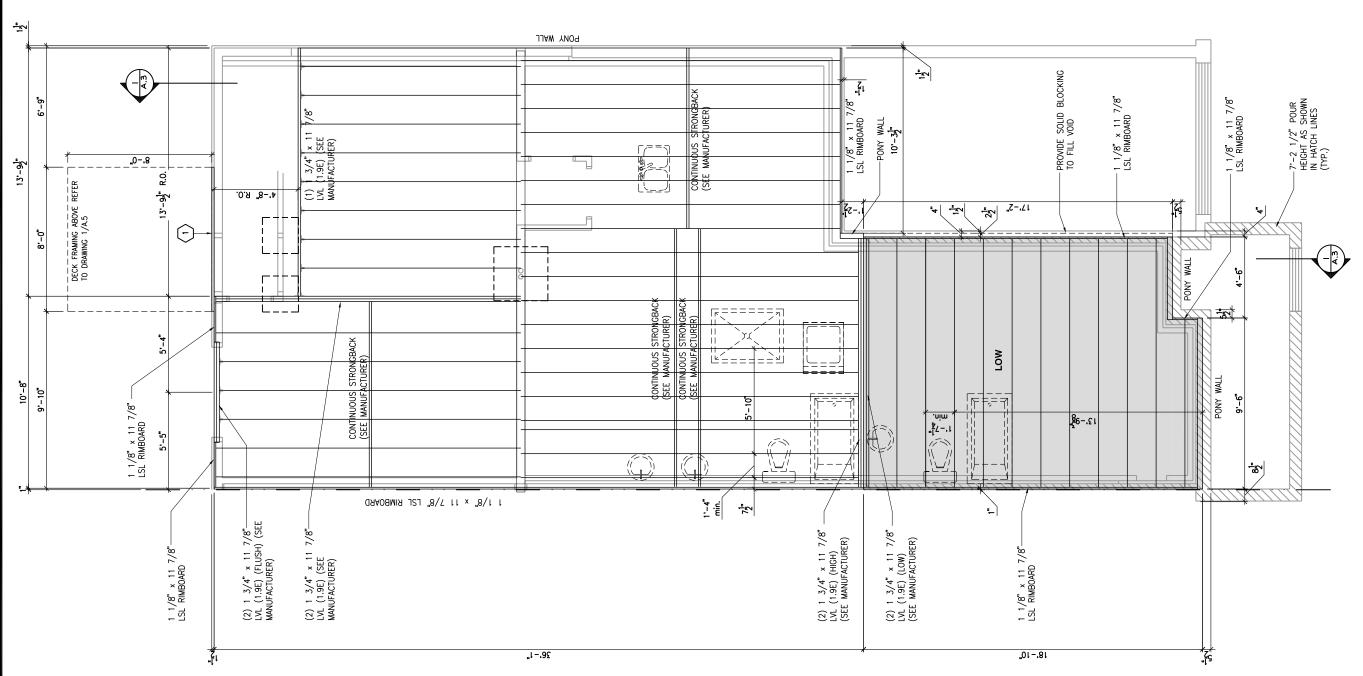
SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

SHEET: A.60

DATE: XX/XX/XXXX

CONSTRUCTION SITES: **SHEA VILLAGE** 



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

(A.6p)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** 

LOT: XXXX DATE: XX/XX/XXXX

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO	DESCRIPTION	MM/DD/YYYY	RY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

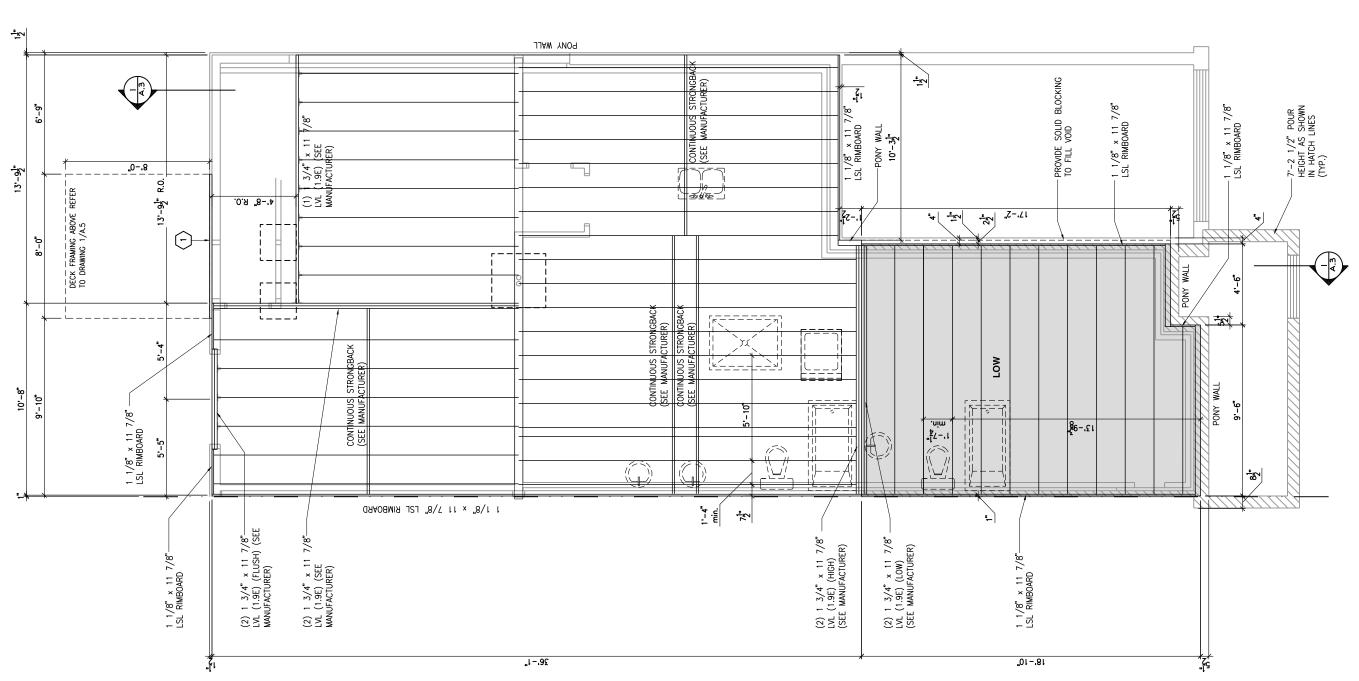
| SCALE: | 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

SHEET: A.6p

xx/xx/xxxx

(STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - GARAGE END UNIT

A.6q SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX

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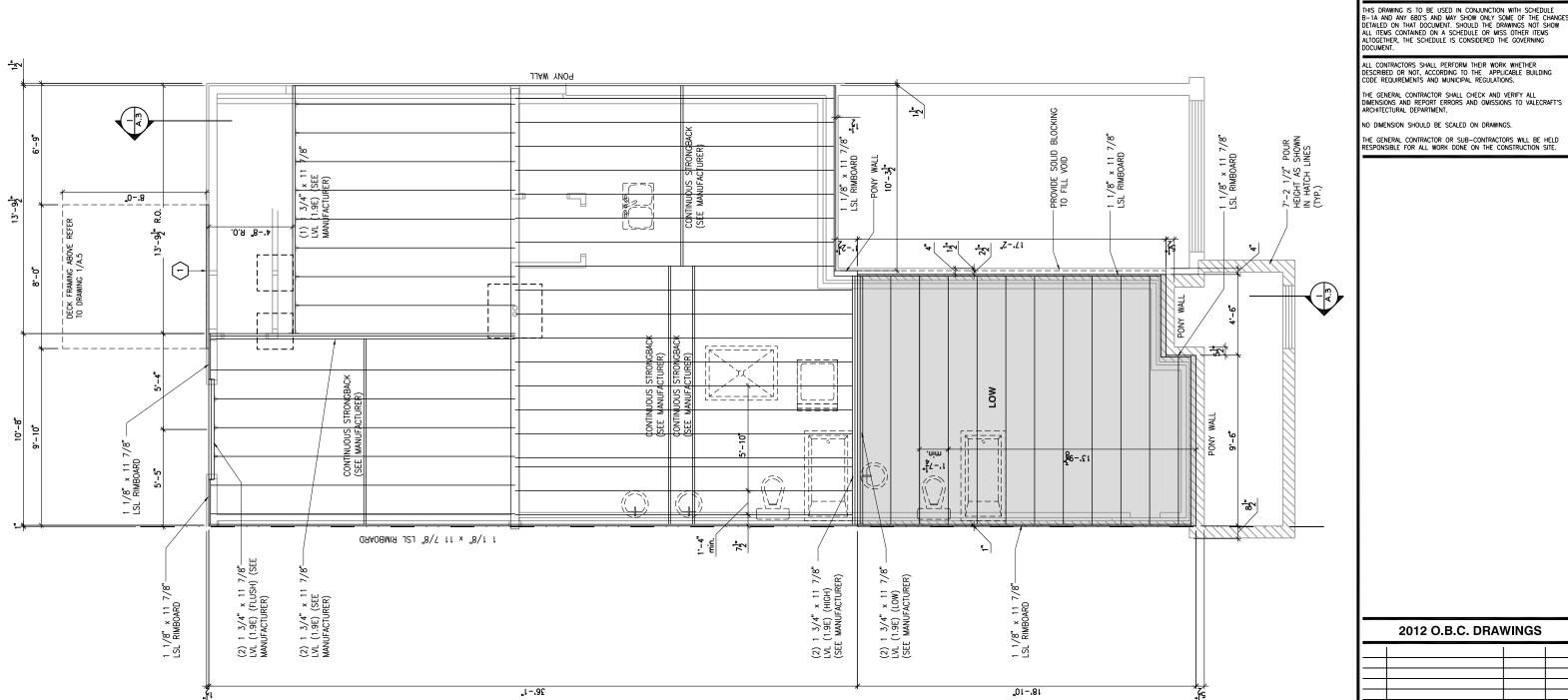
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT SHEET: A.6q

xx/xx/xxxx



2012 O.B.C. DRAWINGS 
 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

PRAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

xx/xx/xxxx SHEET: A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** 

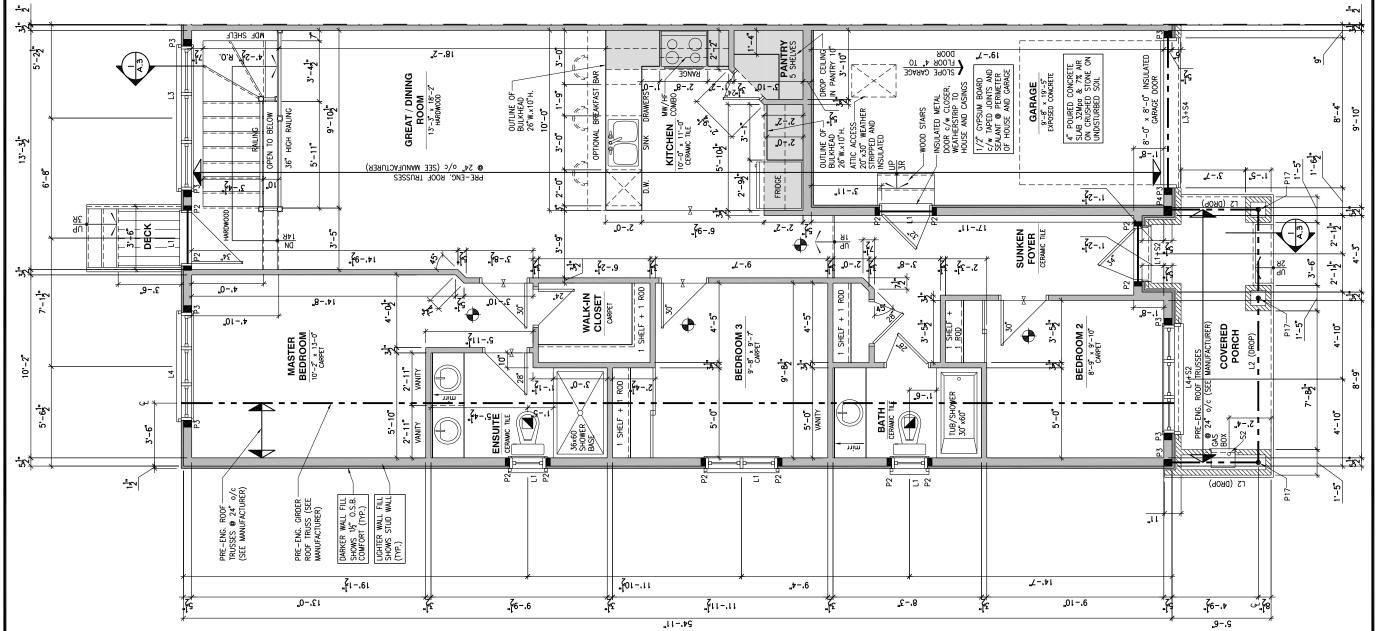
- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



**GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT** 

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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#### STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

#### LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

#### POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

+ 130×160×10 TOP PL. (\*)

(\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION RAWING: GROUND FLOOR-3 BEDROOM

STANDARD KITCHEN - PORCH END 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

**A.7**a

SHEET

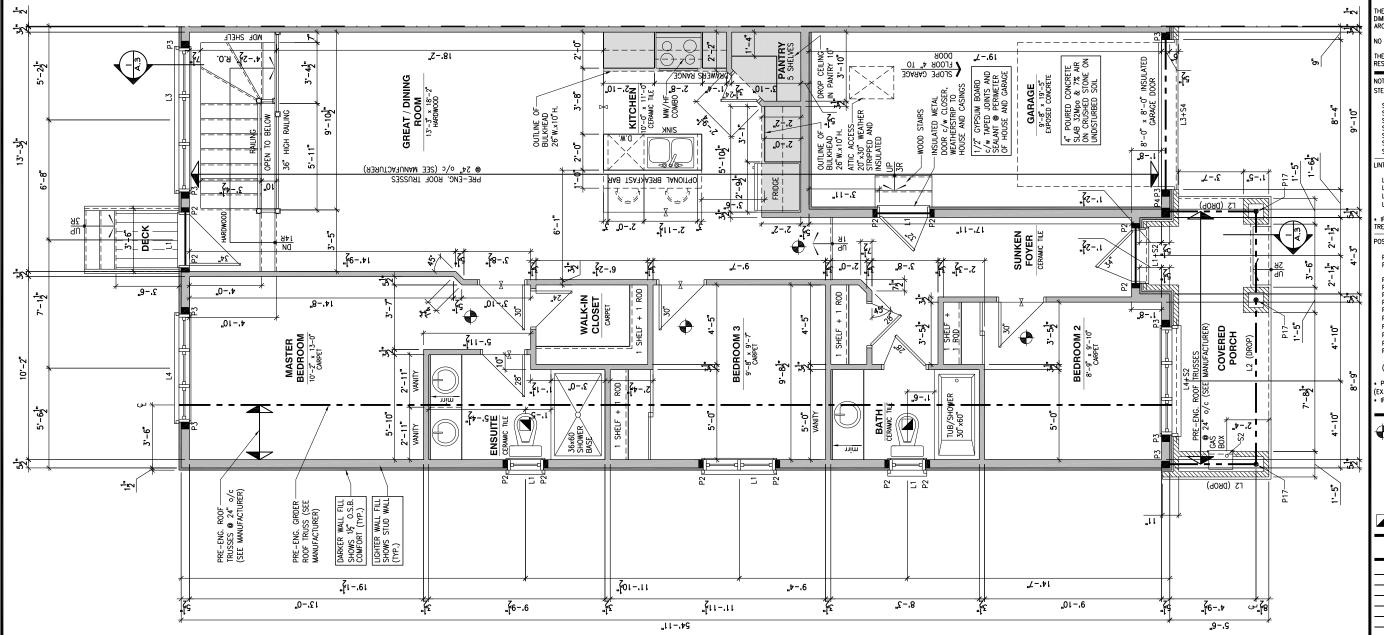
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GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

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GROUND FLOOR - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION RAWING: GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END** 

3/16" = 1'-0" XX/XX/XXXX SHEET

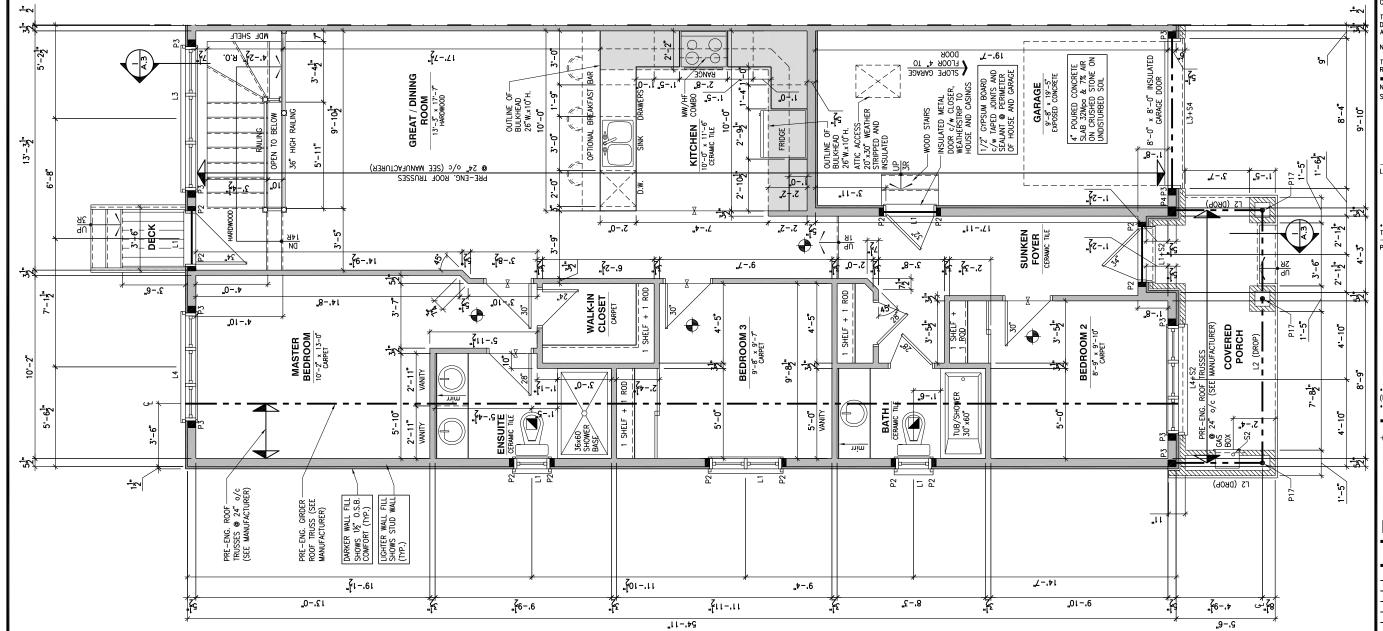
105 - THE MANN 2022 FOOTPRINT

A.7b

- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
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  - PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

LOT: XXXX DATE: XX/XX/XXXX



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#### STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

#### LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

#### TREATED LUMBER

#### POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
  P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
  POST BY USP
  P2 = 2-244 OR 2-2x6
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  P4 = 4-2x4 OR 4-2x6
  P5 = 5-2x4 OR 5-2x6
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  P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

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(EX. P2 = 1 JACK + 1 STUD)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012	O.B.C.	DRA	WINGS	
I					I

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END** 

3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.7c

XX/XX/XXXX

SHEA VILLAGE

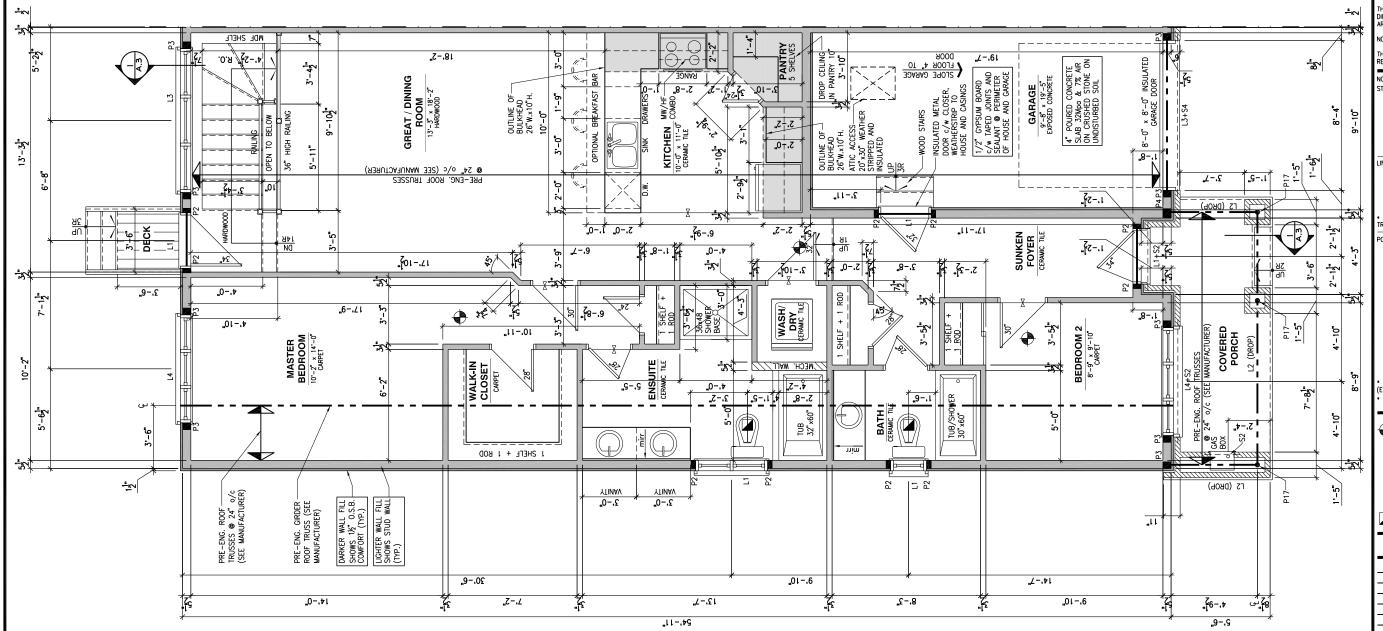
- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



**GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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l	2012 O.B.C. DRAWINGS					
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022				
NO.	DESCRIPTION	MM/DD/YYYY	BY			

DRAWING: GROUND FLOOR-2 BEDROOM STANDARD KITCHEN - PORCH END

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7d

SHEET

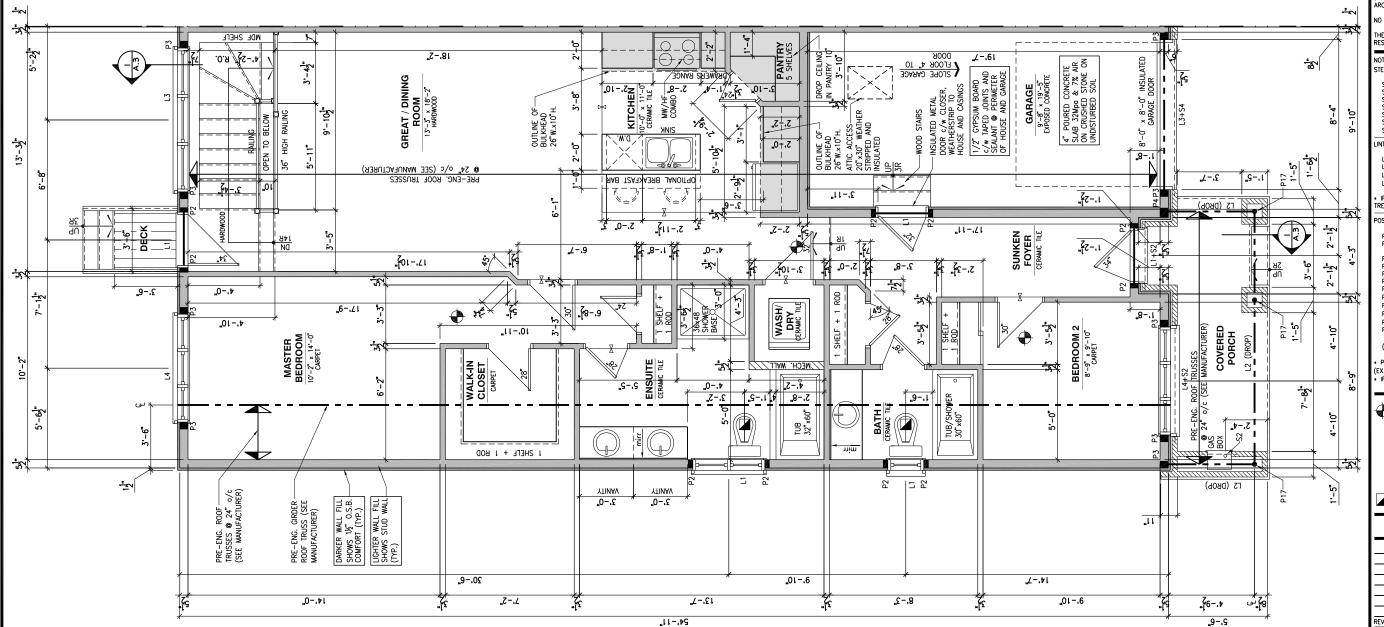
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GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX



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P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

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# 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #1 - PORCH END** 

3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

SHEET A.7e

XX/XX/XXXX

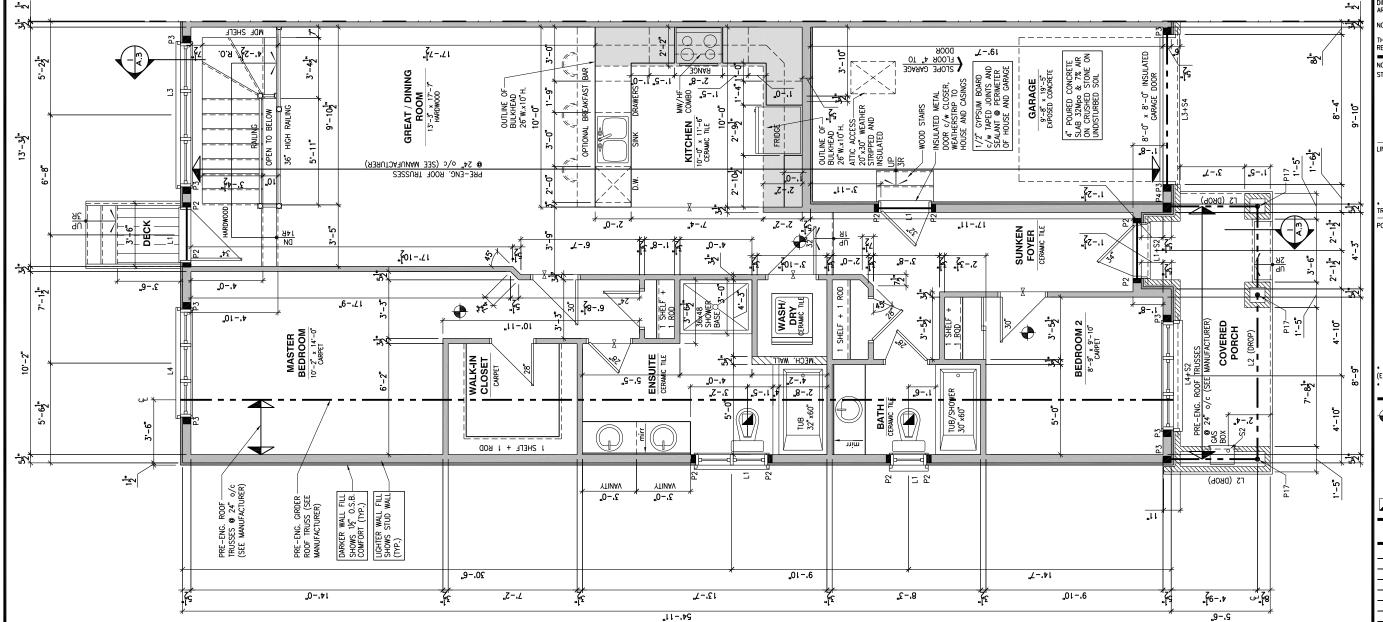
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GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS						
l							
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022					
NO.	DESCRIPTION	MM/DD/YYYY	BY				

RAWING: GROUND FLOOR-2 BEDROOM OPT. KITCHEN #2 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.7f

SHEET

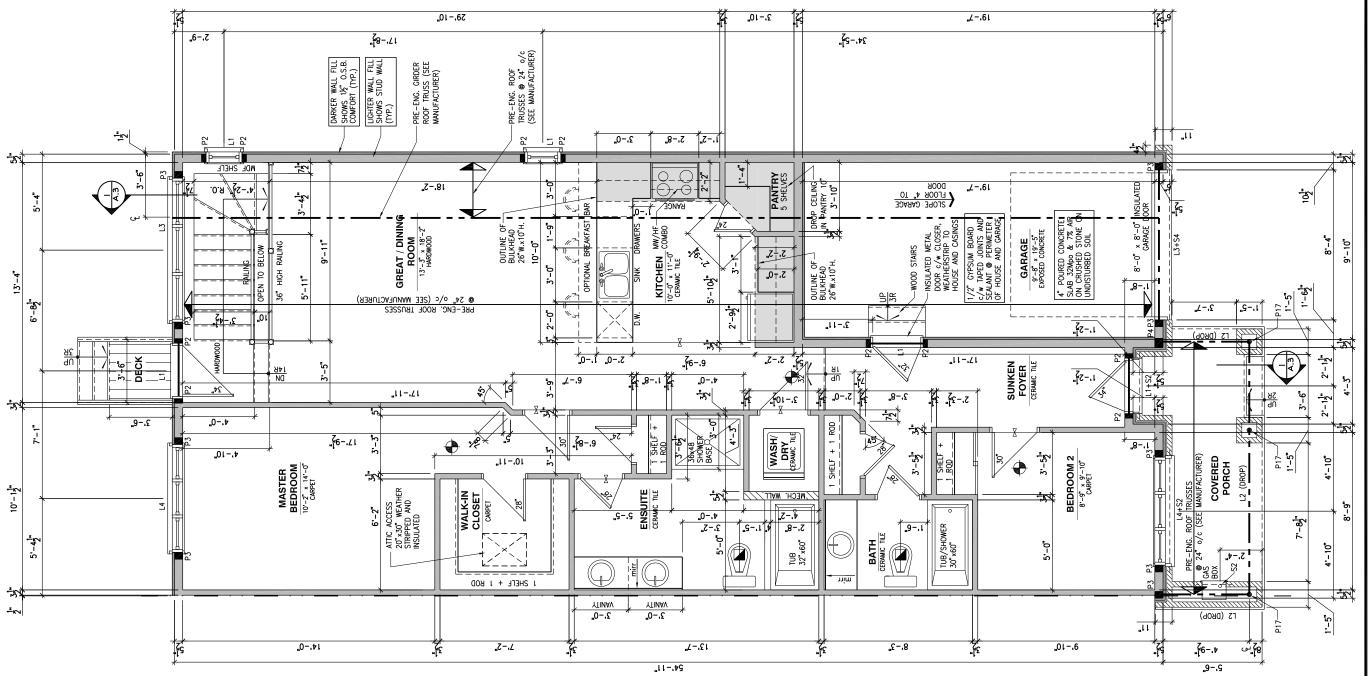
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**GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT** 

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NO. DESCRIPTION PRAWING: GROUND FLOOR-2 BEDROOM STANDARD KITCHEN-GARAGE END

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

SHEET **A.7**g

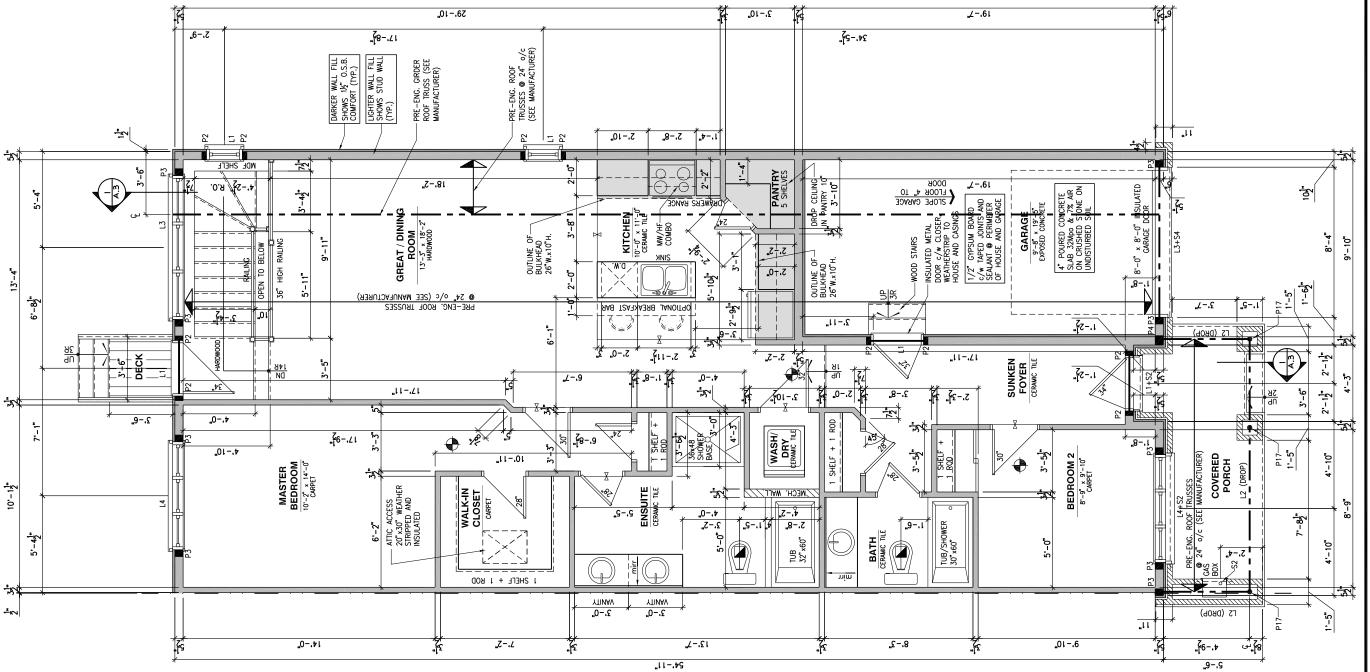
- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY 5HOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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#### NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

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#### LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

#### POST TABLE

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

- POST BY USP = 2-2x4 OR 2-2x6 = 3-2x4 OR 3-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

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  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD) • IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

PRAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #1 - GARAGE END** 

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7h

SHEET

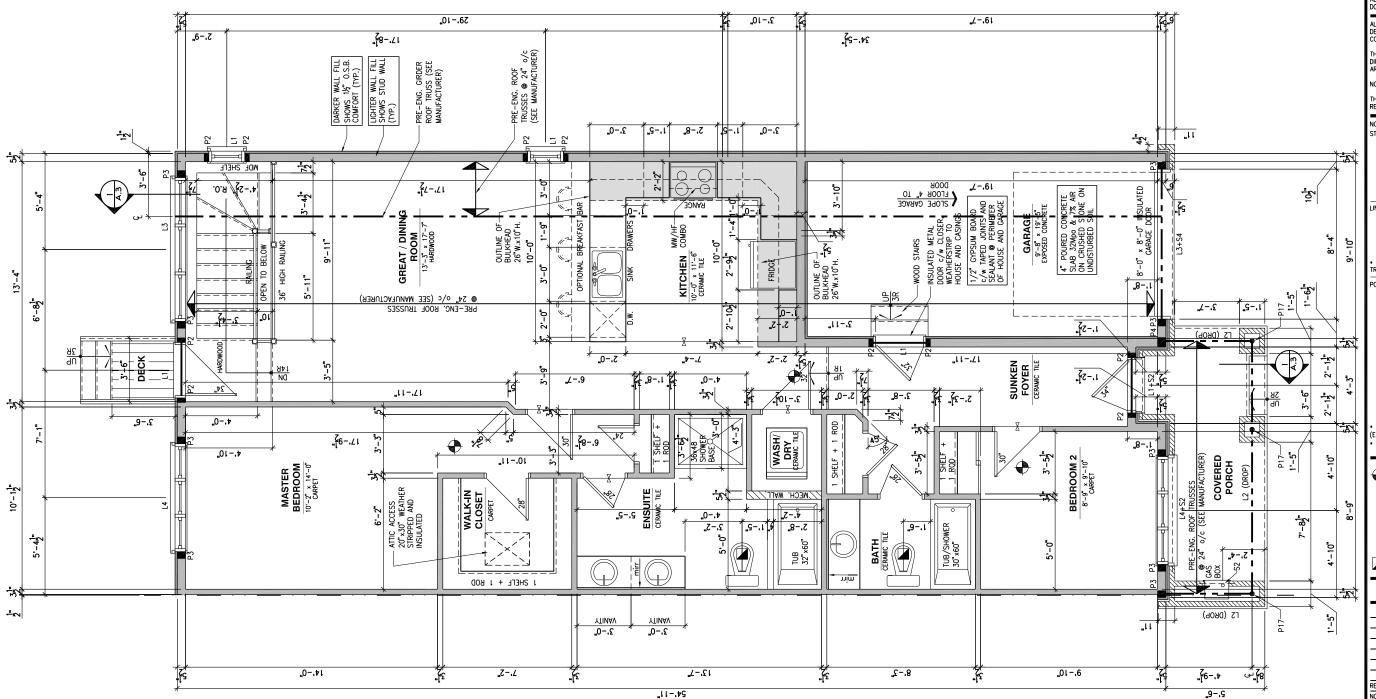
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GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM OPT. KITCHEN #2 - GARAGE END

3/16" = 1'-0" 105 - THE MANN

SHEET

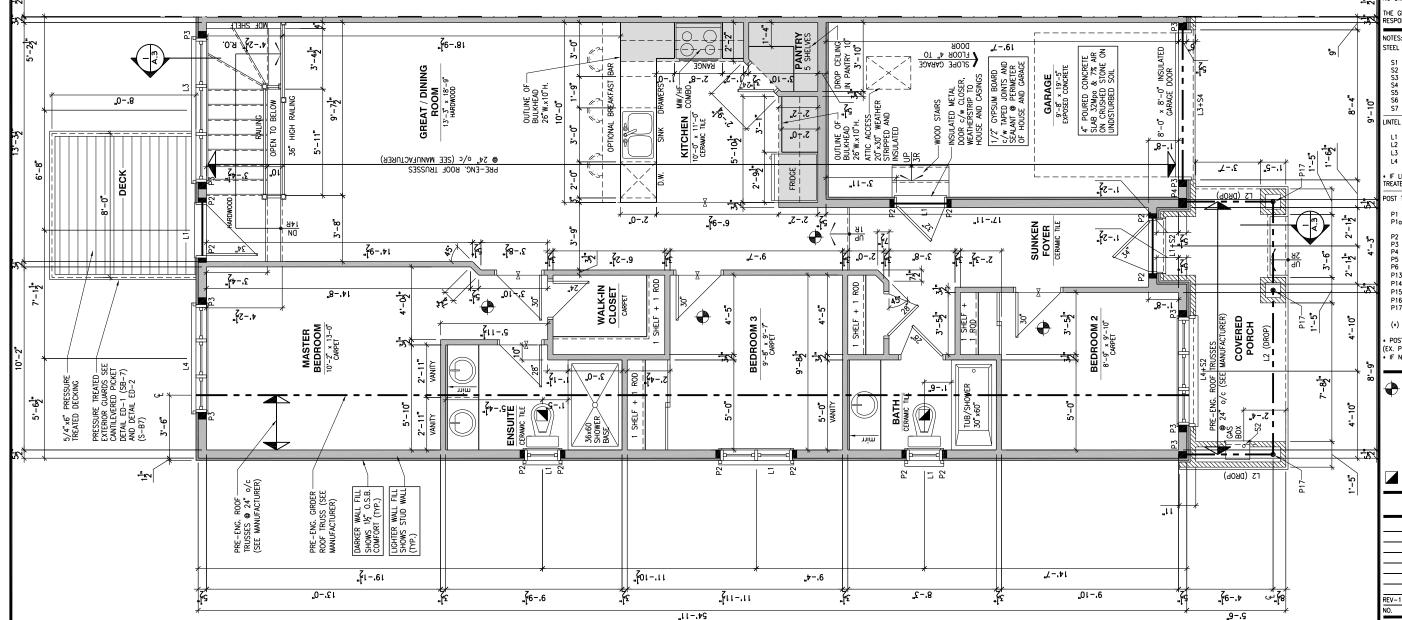
XX/XX/XXXX

2022 FOOTPRINT **A.7i** (STANDARD DRAWINGS)

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RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END 3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT

(STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

XX/XX/XXXX

**A.7**j

SHEET

LOT:

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

- MANUFACTURER)

  (F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- PUNCH CONSINCICION:

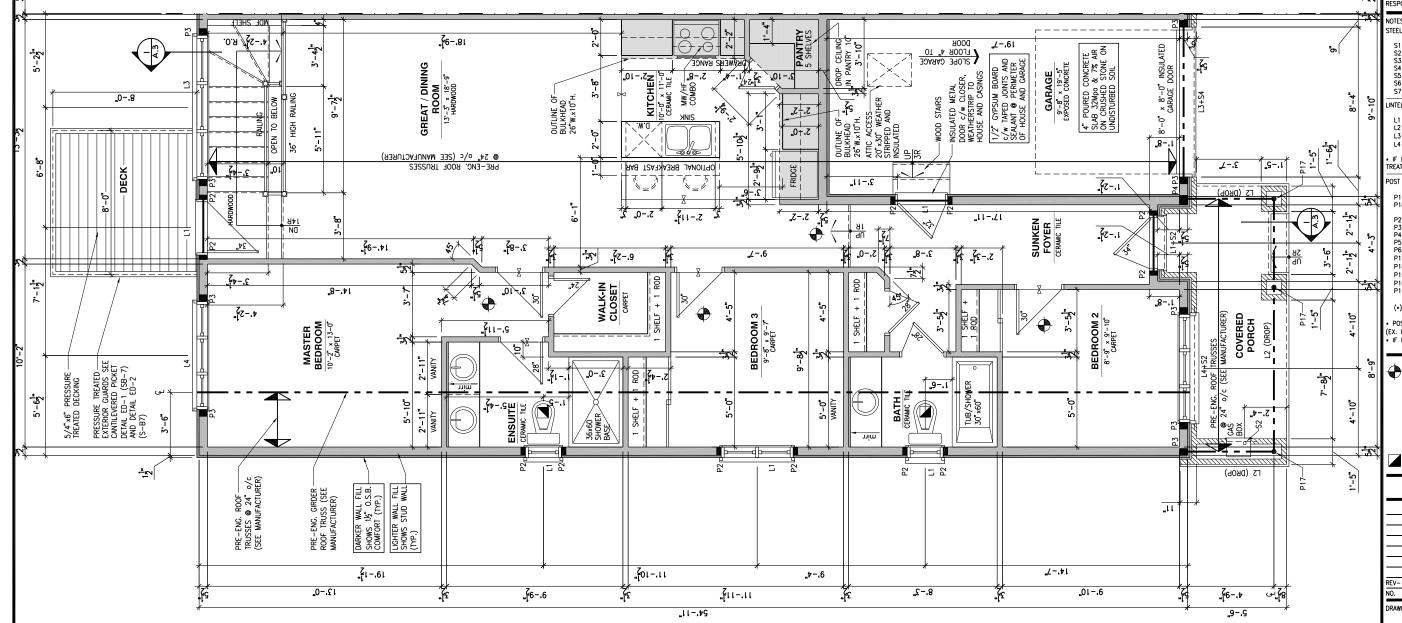
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  S" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M

  BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c

  WALL TO SLAB ON CLEAR STONE ON UNDISTURBED

  SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
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GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \* B-1A AND ANY 680'S AND MAY 5HOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10  $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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CONSTRUCTION SITES:
SHEA VILLAGE

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

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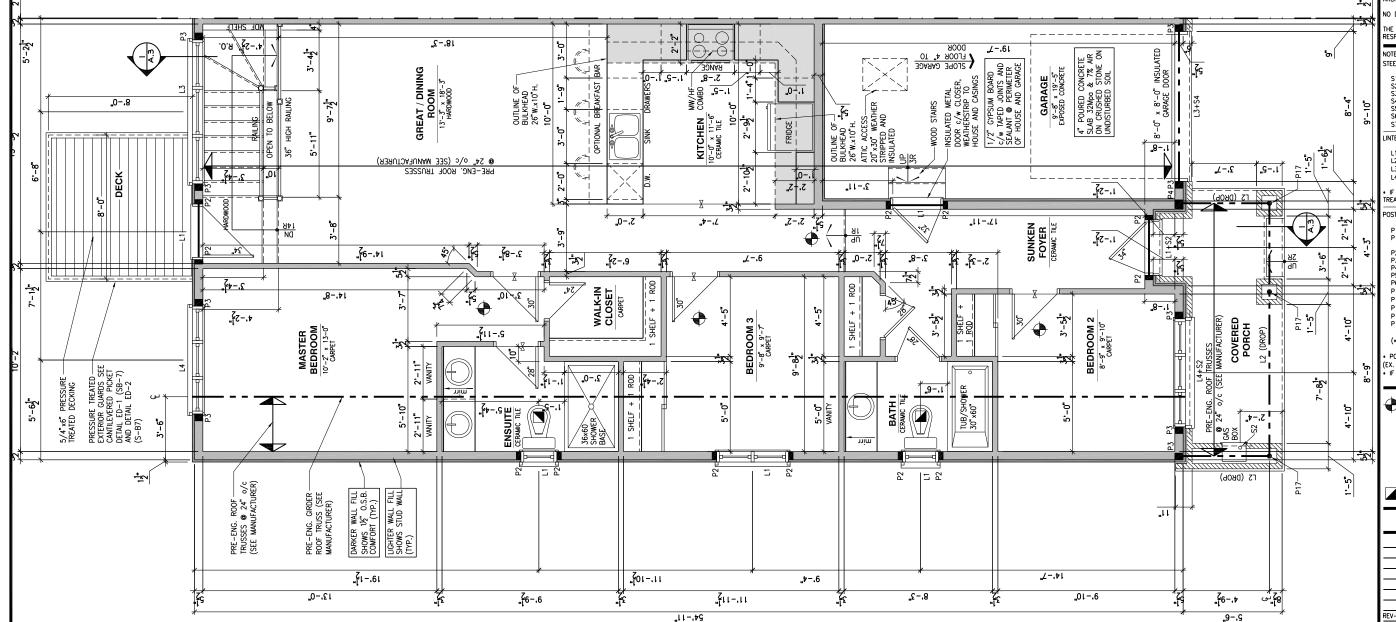
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GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

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- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD)
   IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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   SHALL HAVE A VISUAL SIGNALING DEVICE;

   ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

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   ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
  ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

AWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 -PORCH END

3/16" = 1'-0" XX/XX/XXXX SHEET

105 - THE MANN 2022 FOOTPRINT

**A.7**I

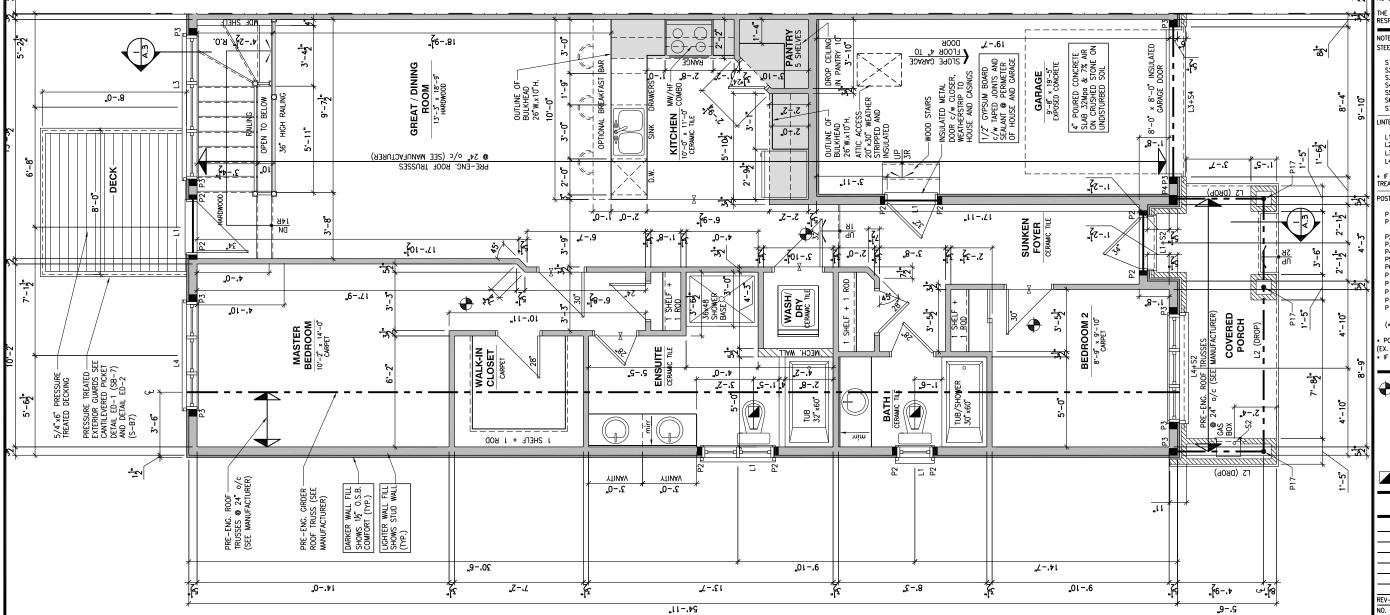
- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



(STANDARD DRAWINGS)

CONSTRUCTION SITES: SHEA VILLAGE DATE: XX/XX/XXXX Homes (2019) Limited

I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

XXXX

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

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### STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

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#### LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

#### POST TABLE:

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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = USS RB 0x8 0x 318 4 100x200x12 TARP P1

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

3/16" = 1'-0" XX/XX/XXXX SHEET

105 - THE MANN 2022 FOOTPRINT

A.7m

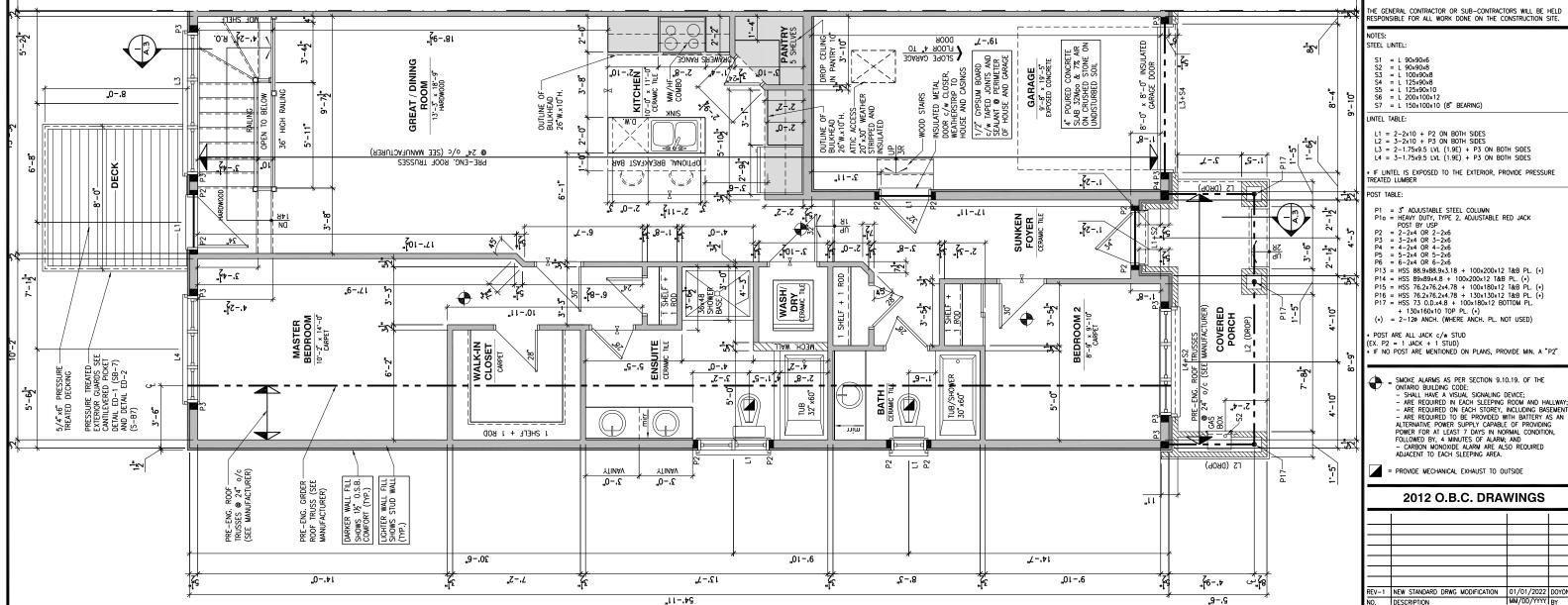
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RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

CONSTRUCTION SITES:

SHEA VILLAGE

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

XXXX

XX/XX/XXXX

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(STANDARD DRAWINGS)

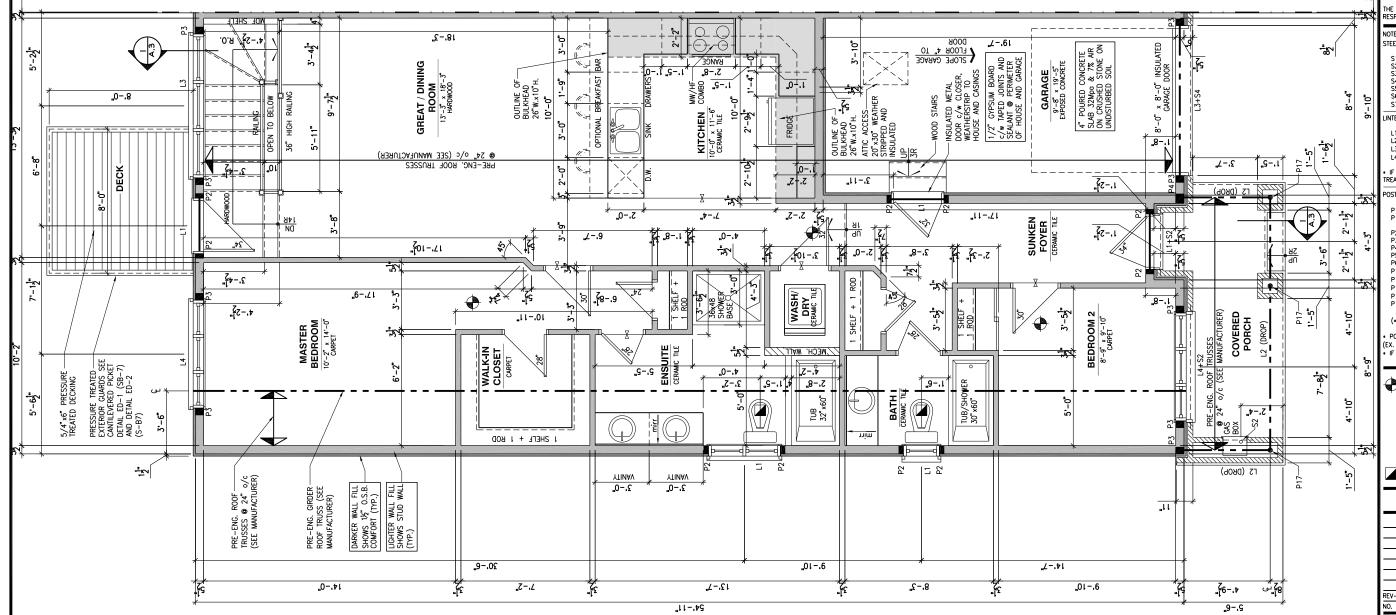
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SHEET

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CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

#### INTEL TABLE:

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#### POST TABLE:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 - PORCH END

(STANDARD DRAWINGS)

3/16" = 1'-0" XX/XX/XXXX SHEET

**105 - THE MANN** 2022 FOOTPRINT

**A.70** 

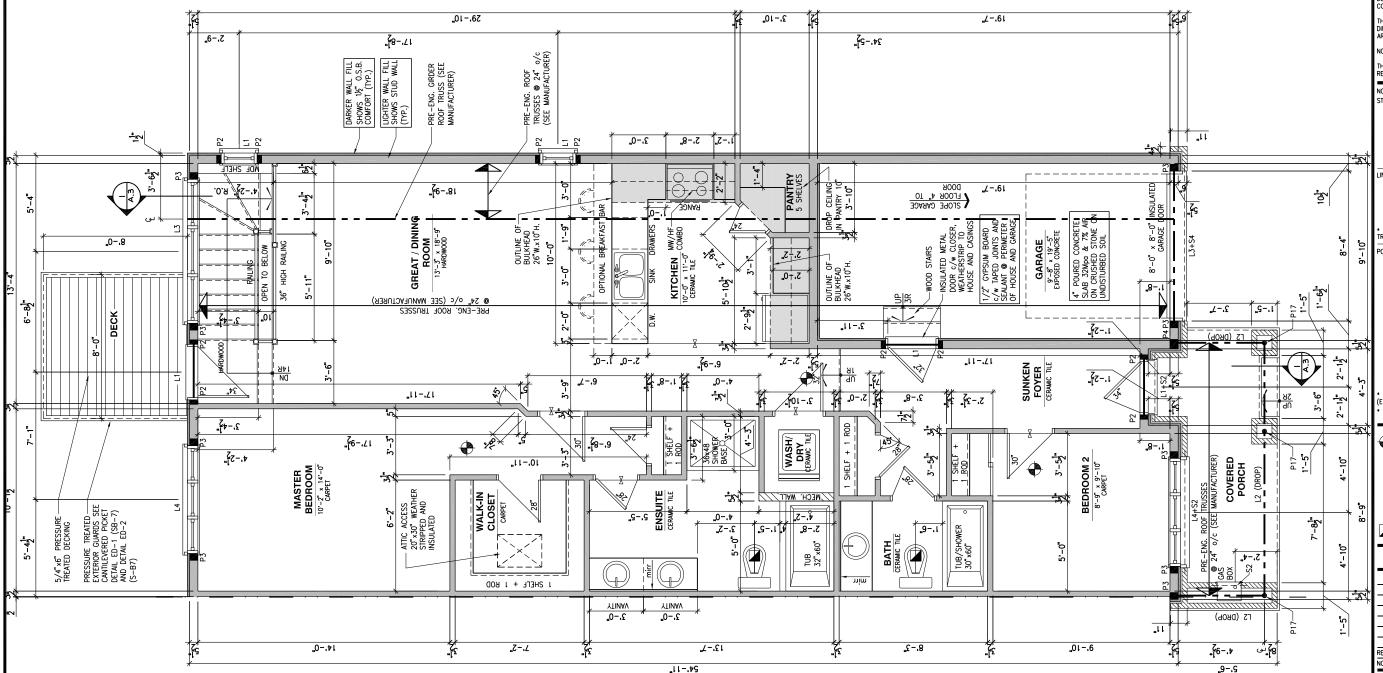
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**GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT** SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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# NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

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P6 = 6-2x4 OR 6-2x6
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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN-GARAGE END

> 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET **A.**7p

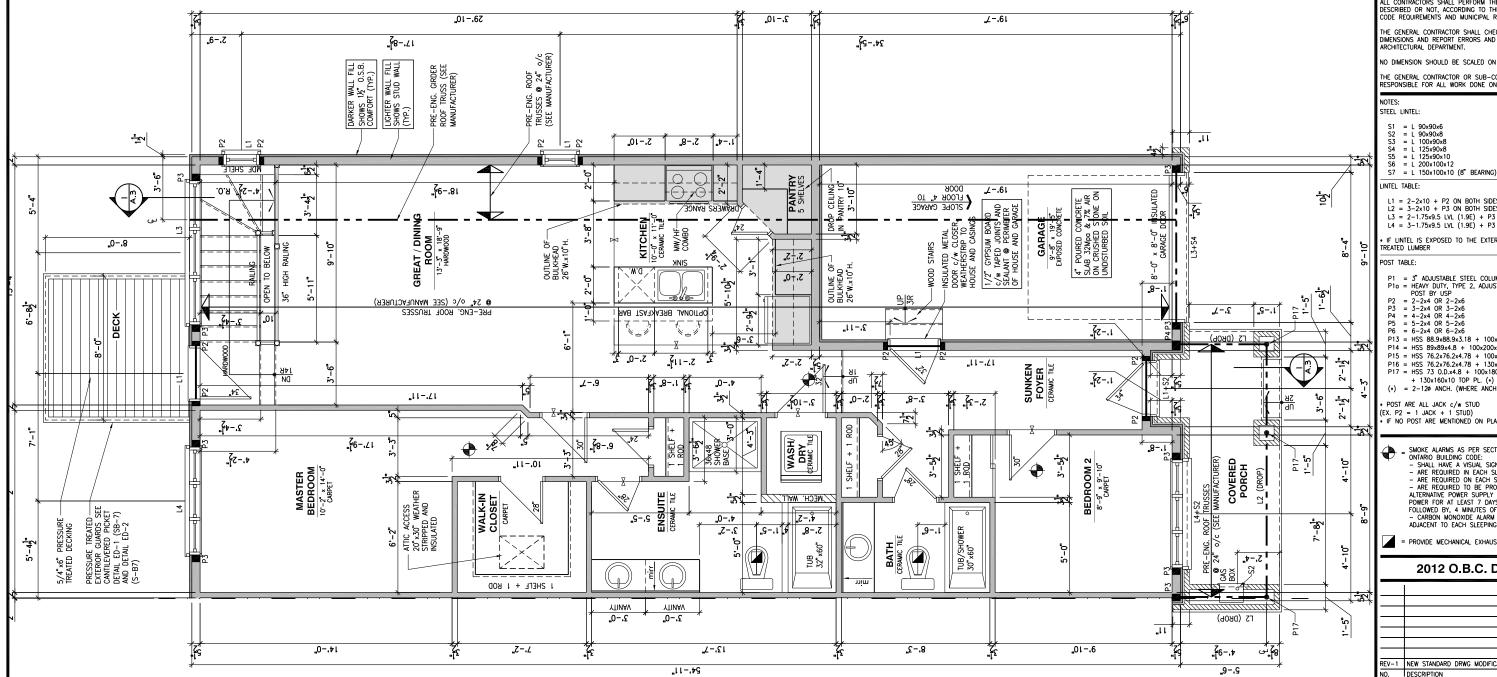
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CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

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P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*) = 2-12¢ ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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 SHALL HAVE A VISUAL SIGNALING DEVICE;
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 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - GARAGE END** 

3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT SHEET A.7q

XX/XX/XXXX

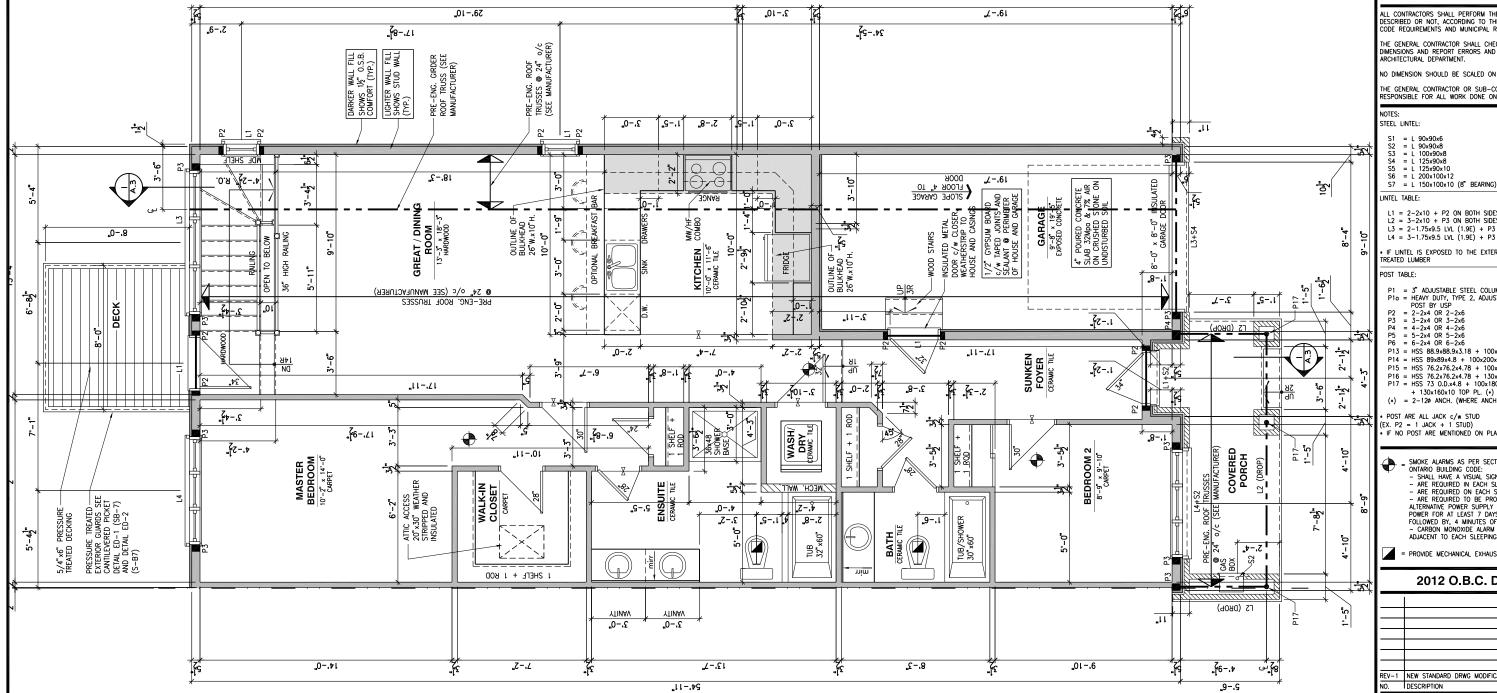
- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- \*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

B-1A AND ANY 680'S AND MAY 5HOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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### NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
  P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
  POST BY USP
  P2 = 2-244 OR 2-2x6
  P3 = 3-2x4 OR 3-2x6
  P4 = 4-2x4 OR 4-2x6
  P5 = 5-2x4 OR 5-2x6
  P6 = 6-2x4 OR 6-2x6
  P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (\*)

  (\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

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	2012 O.B.C. DRAWINGS					
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022				
10	DECCRIPTION	MM /DD /YYYY	DV			

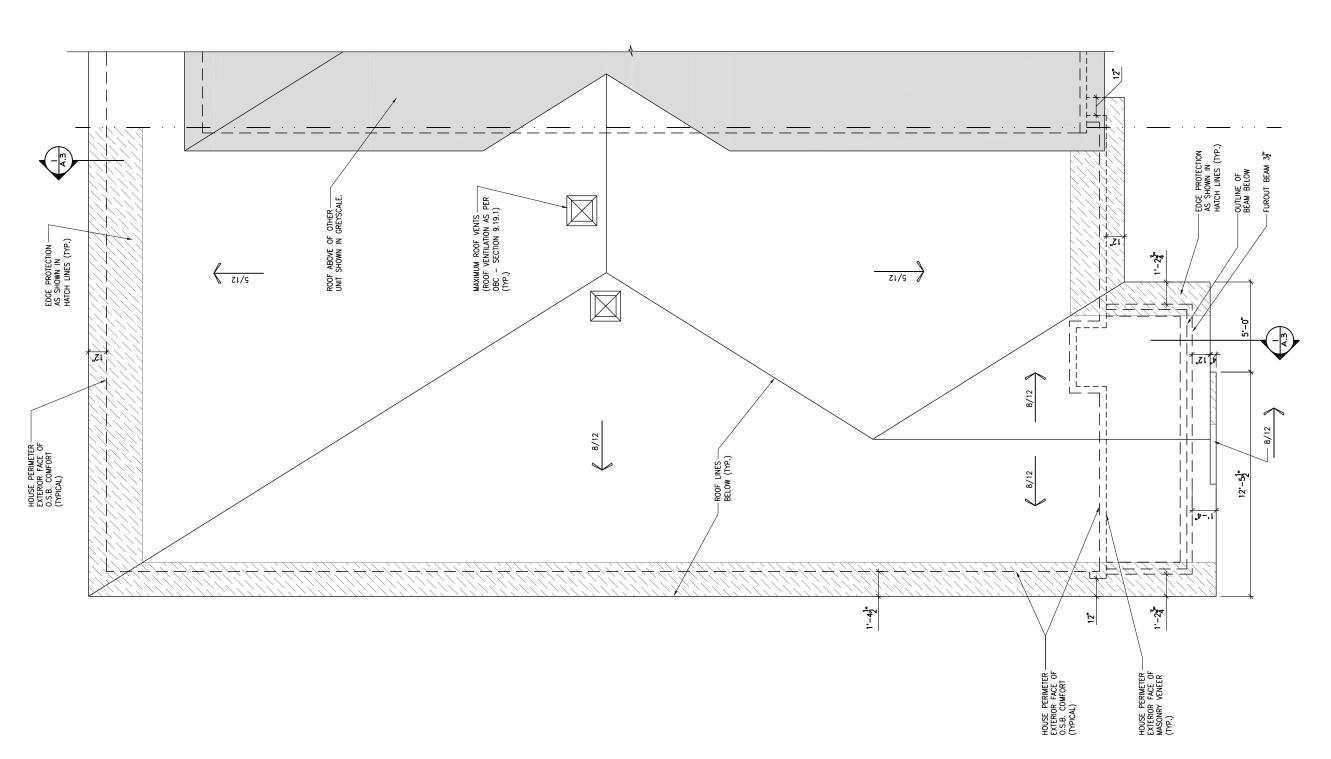
AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END** 

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.7r



LOT: XXXX DATE: XX/XX/XXXX



PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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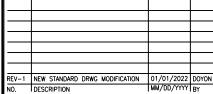
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2012 O.B.C. DRAWINGS



ROOF PLAN - PORCH END UNIT

A.8a

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

105 - THE MANN 2022 FOOTPRINT

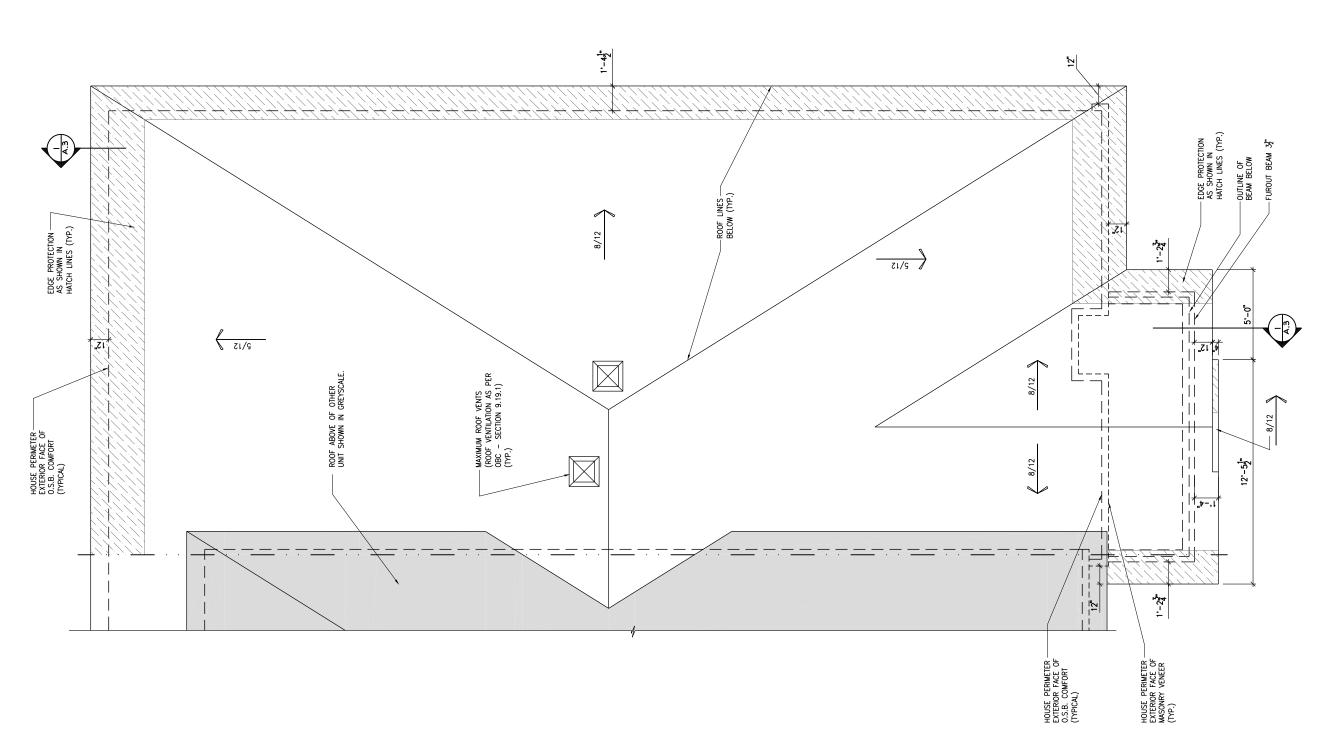
(STANDARD DRAWINGS)



**ROOF PLAN - PORCH END UNIT** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE



CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Valectaft
Homes (2019) Limited

1. DANIEL GUERIN. ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARINA DECISION #19896

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

ROOF PLAN - GARAGE END UNIT

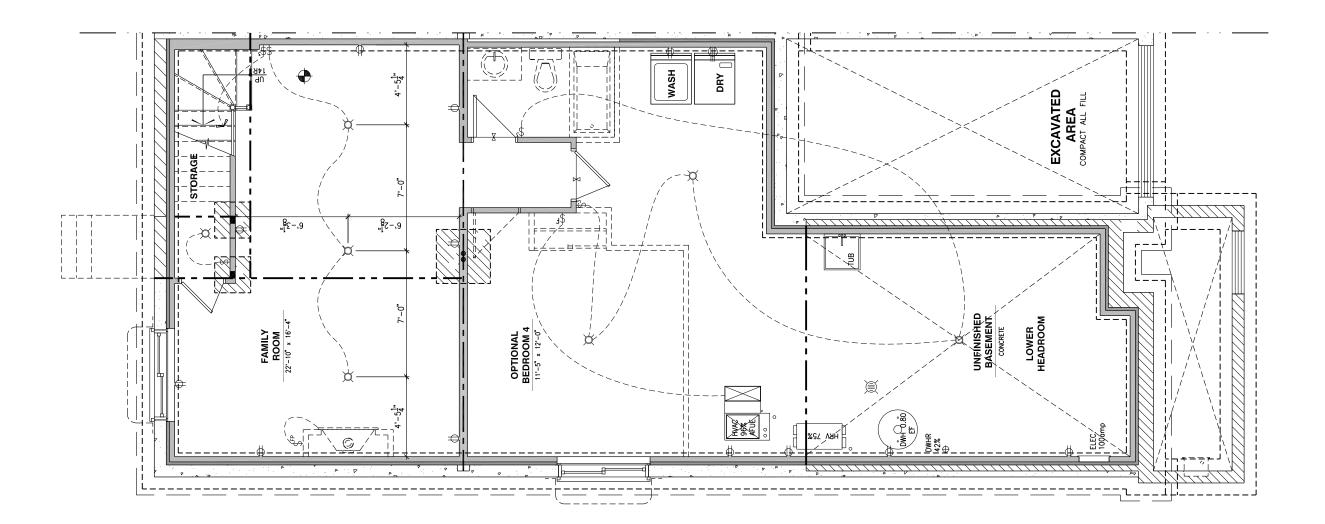
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.8b

**ROOF PLAN - GARAGE END UNIT** (A.8b)

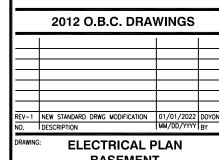
SCALE: 3/16" = 1'-0"



**ELECTRICAL PLAN - BASEMENT** SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 • SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. \$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH \$FP FIREPLACE SWITCH DUPLEX OUTLET (12" HIGH) DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT WP WEATHER PROOF DUPLEX OUTLET SPLIT OUTLET 220 VOLT OUTLET



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

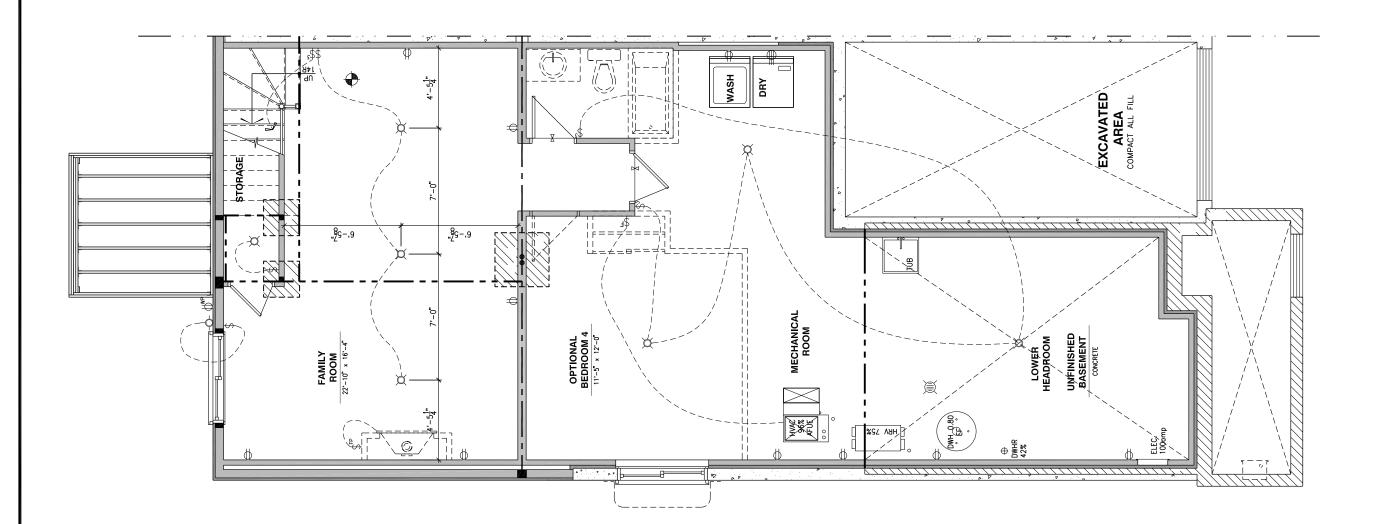
**BASEMENT** 

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

**E.**1a



**ELECTRICAL PLAN - BASEMENT - WALKOUT** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
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- SPLIT OUTLET
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**ELECTRICAL PLAN BASEMENT - WALKOUT** 

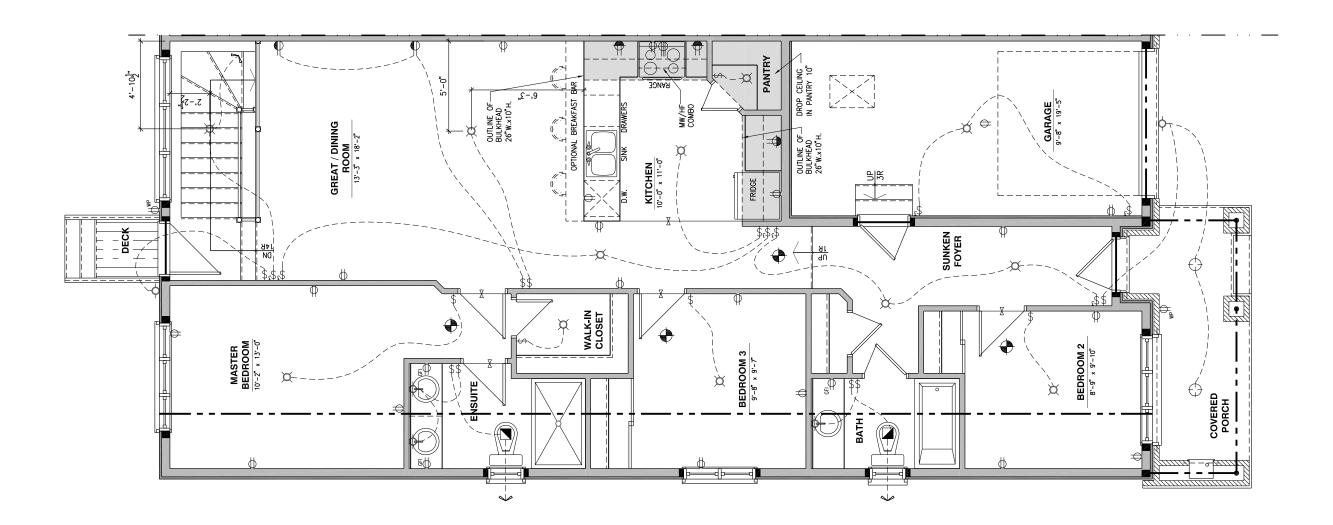
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.1b

SHEET:



E.2a)

**ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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,	SINGLE	POLE	SWITCH
. 7			

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

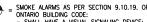


220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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	2012 O.B.C. DRAWINGS					
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022				
NO.	DESCRIPTION	MM/DD/YYYY	BY			
DRAWING	ELECTRICAL I	PIΔN				

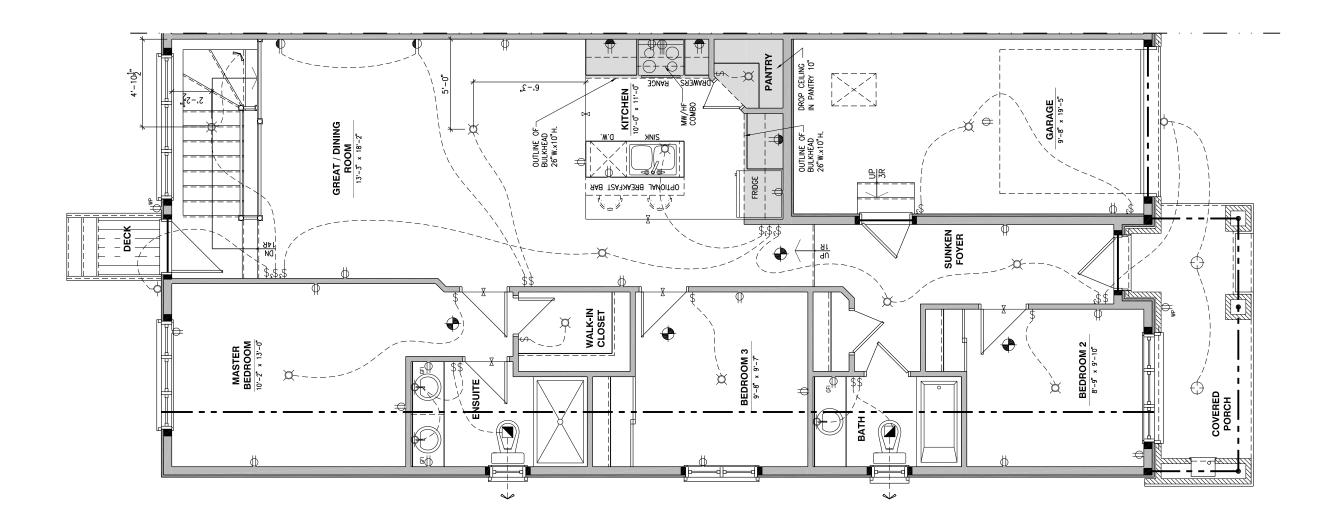
**GROUND FLOOR** 

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.2a



**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
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	2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
NO.	DESCRIPTION	MM/DD/YYYY	BY	

**ELECTRICAL PLAN GROUND FLOOR** 

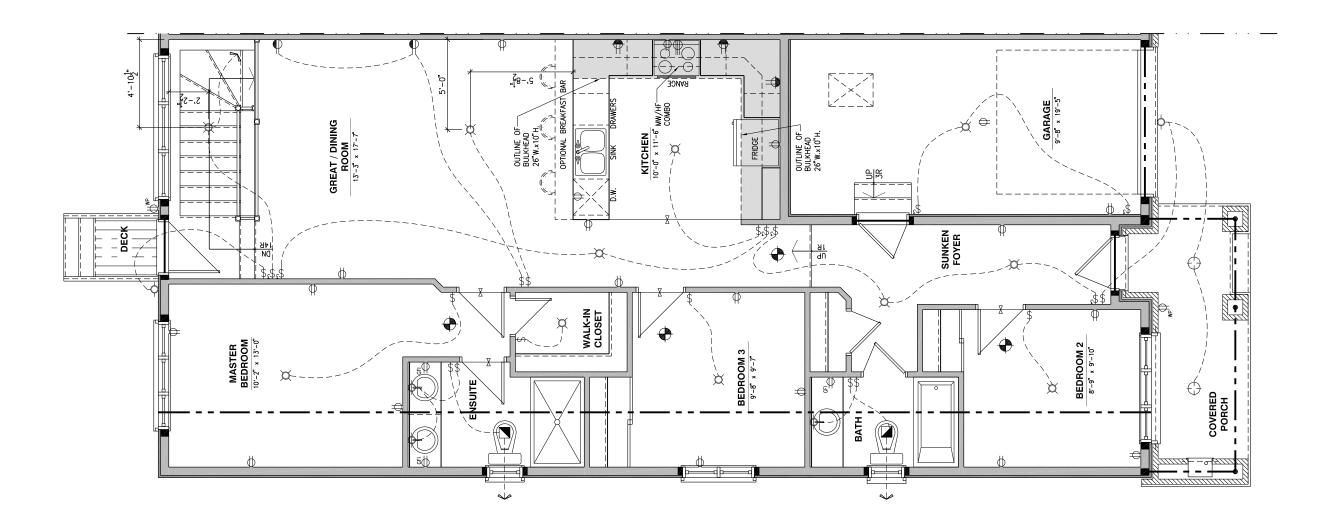
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2b

SHEET:



E.2c/

**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN** 

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAV	VINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

SHEET:

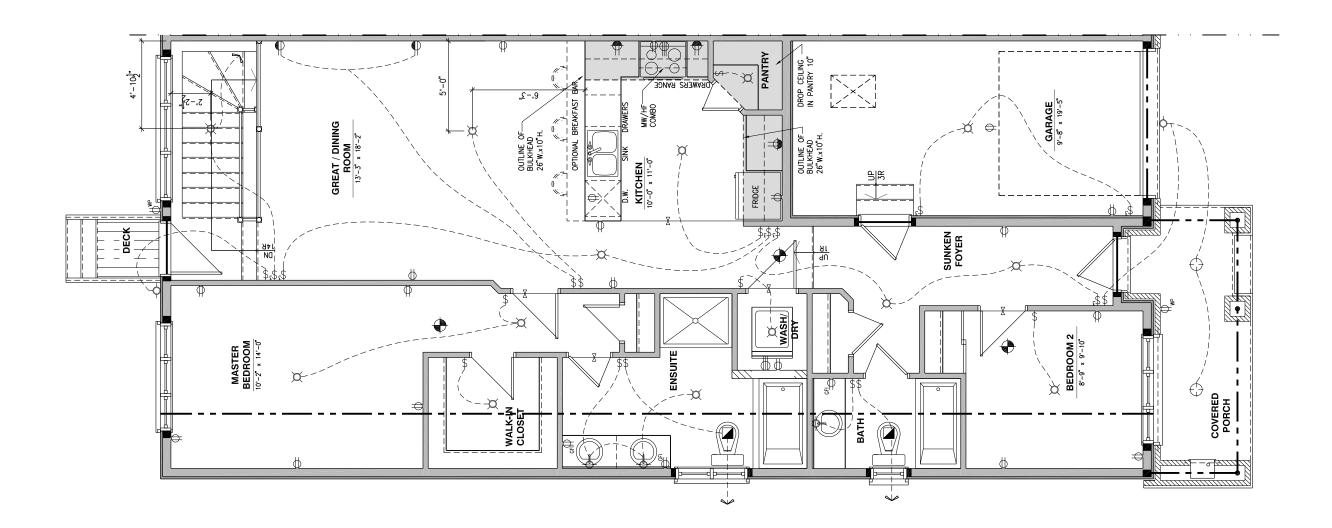
E.2c

**ELECTRICAL PLAN** 

**GROUND FLOOR** | SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)



E.2d/

**ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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   ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**ELECTRICAL PLAN GROUND FLOOR** 

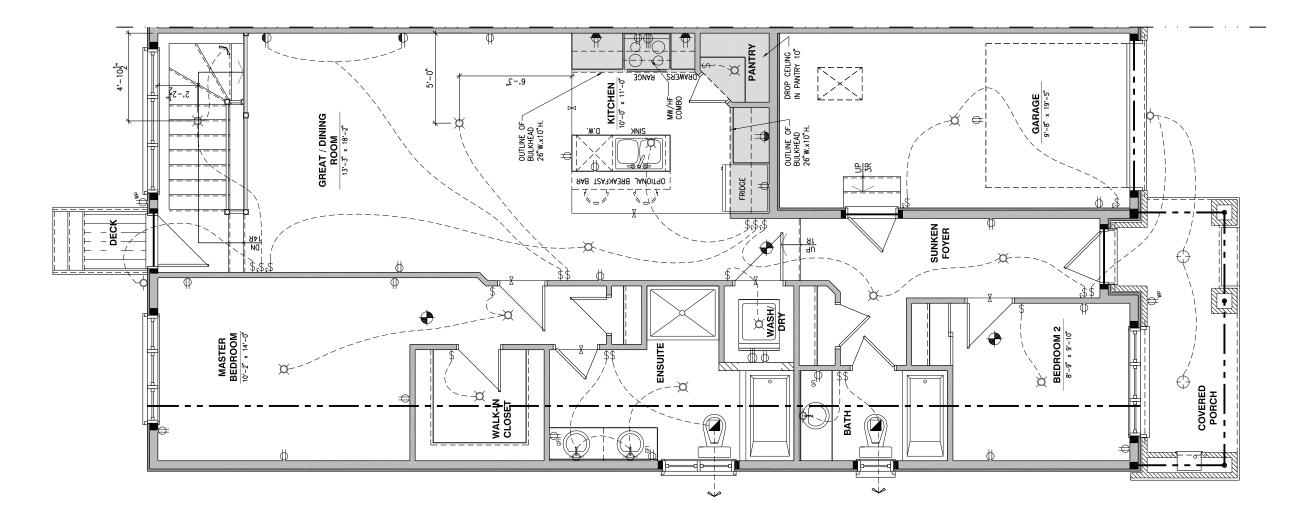
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2d

SHEET:



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. \$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH \$FP FIREPLACE SWITCH DUPLEX OUTLET (12" HIGH) DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT weather proof duplex outlet SPLIT OUTLET 220 VOLT OUTLET - WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE POT LIGHT SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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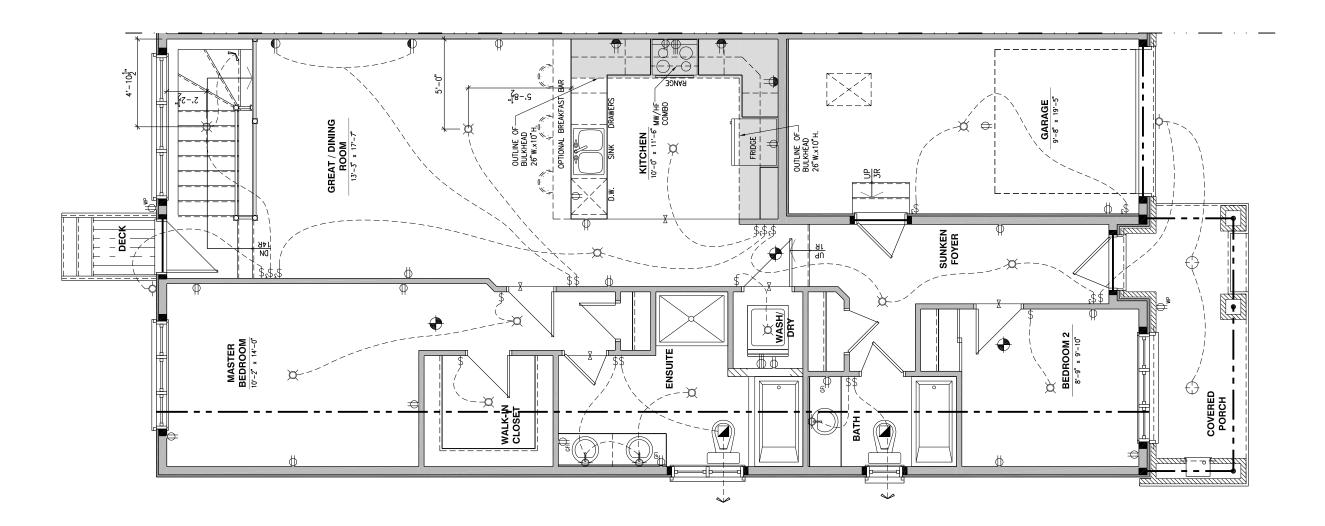
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**ELECTRICAL PLAN GROUND FLOOR** 

E.2e

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET:

105 - THE MANN 2022 FOOTPRINT



**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

**ELECTRICAL PLAN** 

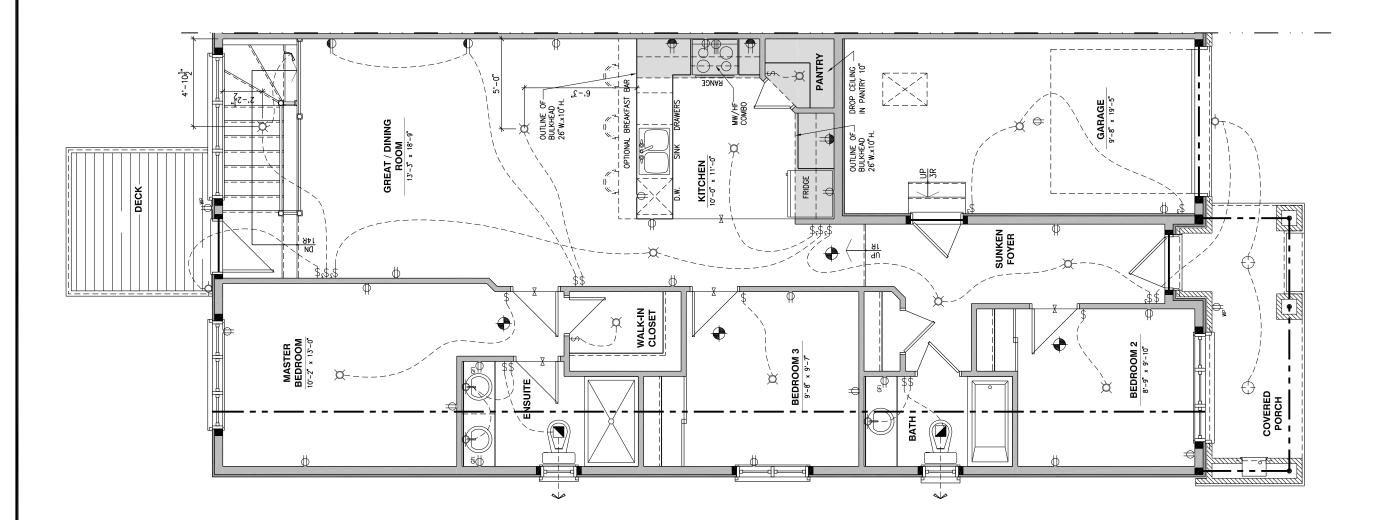
**GROUND FLOOR** SCALE: 3/16" = 1'-0"

105 - THE MANN

SHEET: E.2f

xx/xx/xxxx

2022 FOOTPRINT (STANDARD DRAWINGS)



**ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - WLAKOUT** 

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

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GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

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220 VOLT OUTLET

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CEILING MOUNTED LIGHT FIXTURE

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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**ELECTRICAL PLAN GROUND FLOOR** 

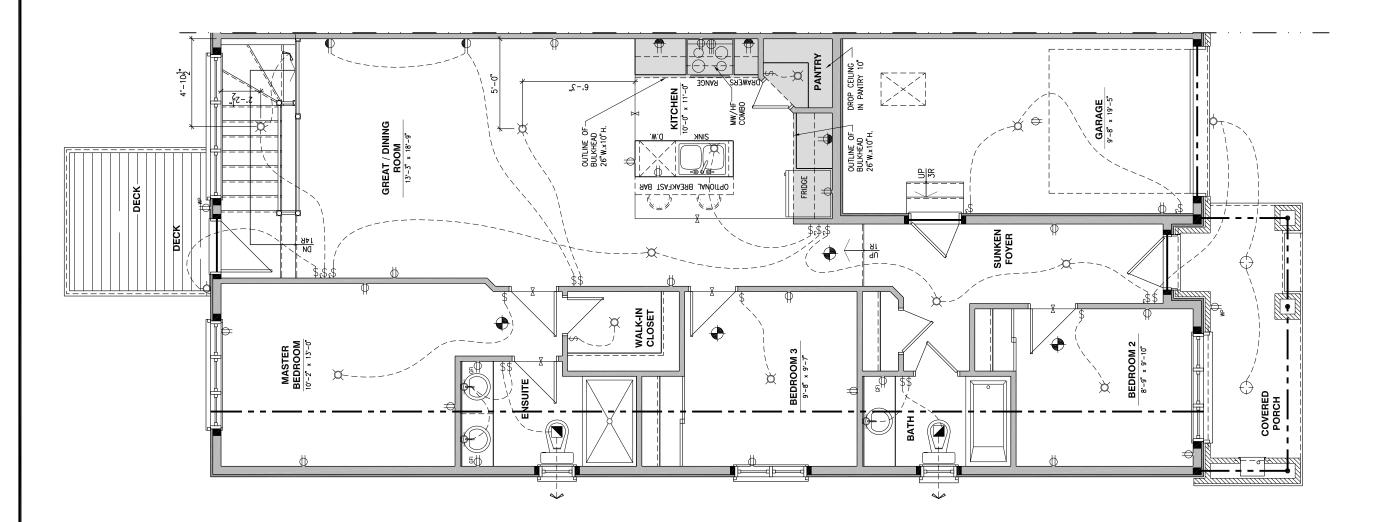
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET

E.2g



**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - WALKOUT** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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	SINGLE POLE SWITCH
3	7 19414 CHITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

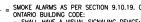


220 VOLT OUTLET

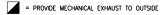
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CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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2012 O.B.C. DRAWINGS				

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

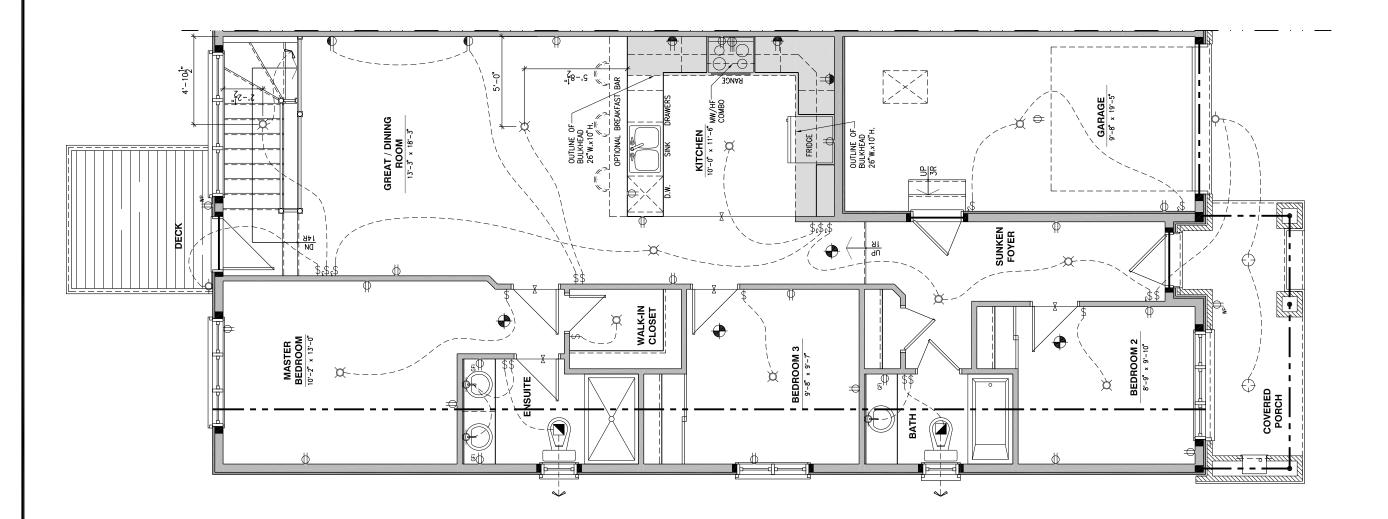
ELECTRICAL PLAN **GROUND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx SHEET:

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2h



**ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - WALKOUT** 

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- weather proof duplex outlet
- SPLIT OUTLET
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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**ELECTRICAL PLAN** 

**GROUND FLOOR** 

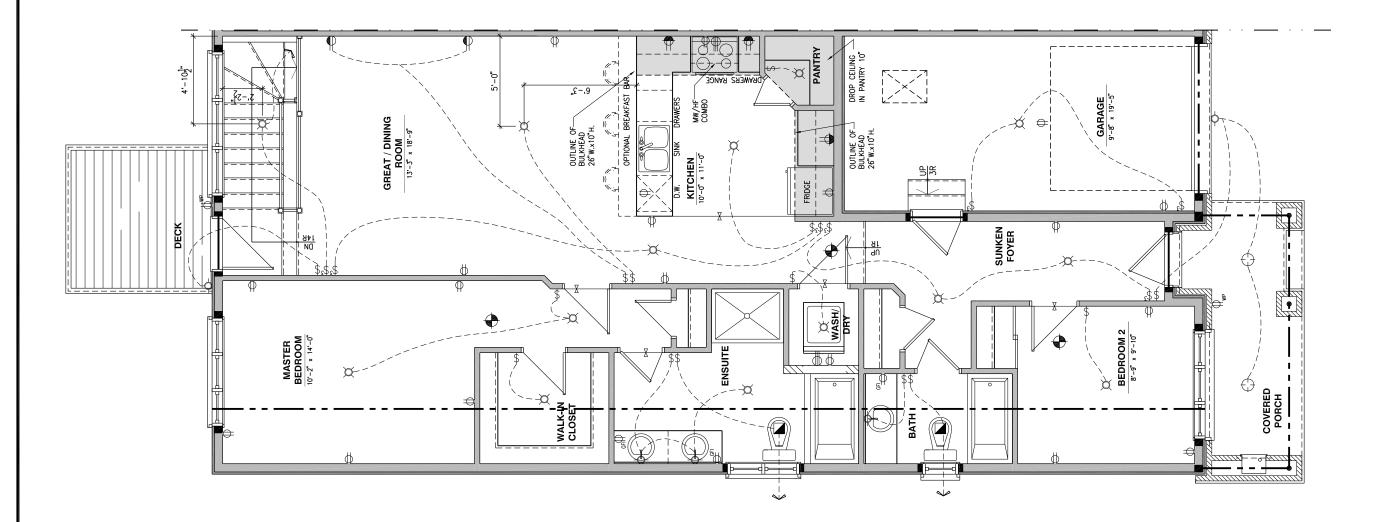
| SCALE: | 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET E.2i

xx/xx/xxxx



**ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - WLAKOUT** 

E.2j SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

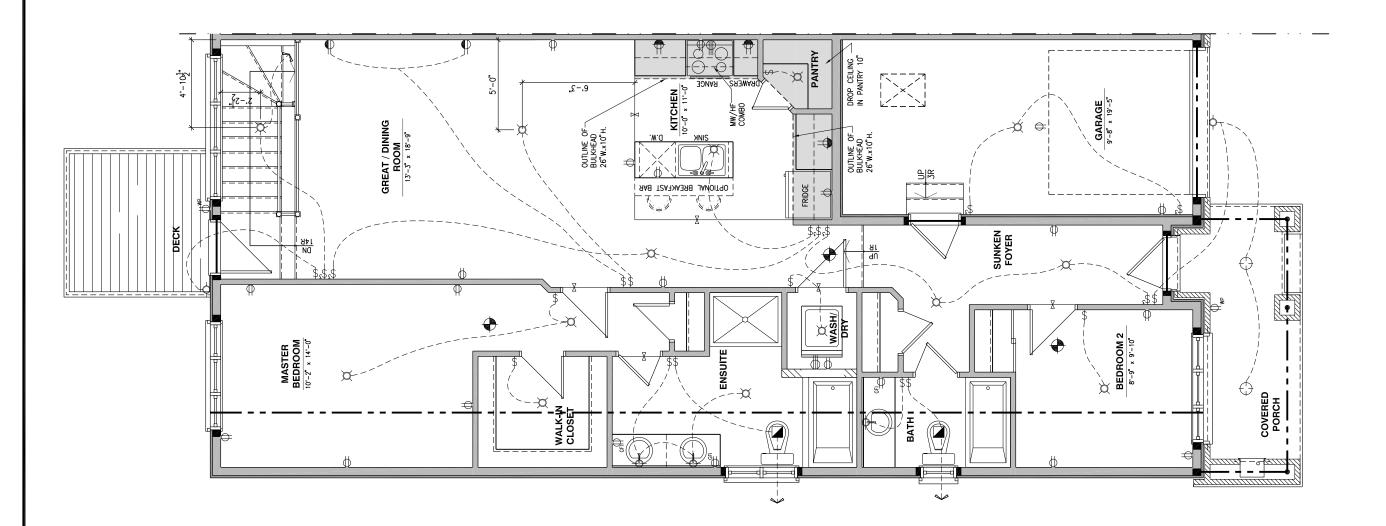
**ELECTRICAL PLAN** 

**GROUND FLOOR** SCALE: 3/16" = 1'-0"

105 - THE MANN

SHEET E.2j

xx/xx/xxxx



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

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DUPLEX OUTLET (12" HIGH)

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	2012 O.B.C. DRAWINGS					
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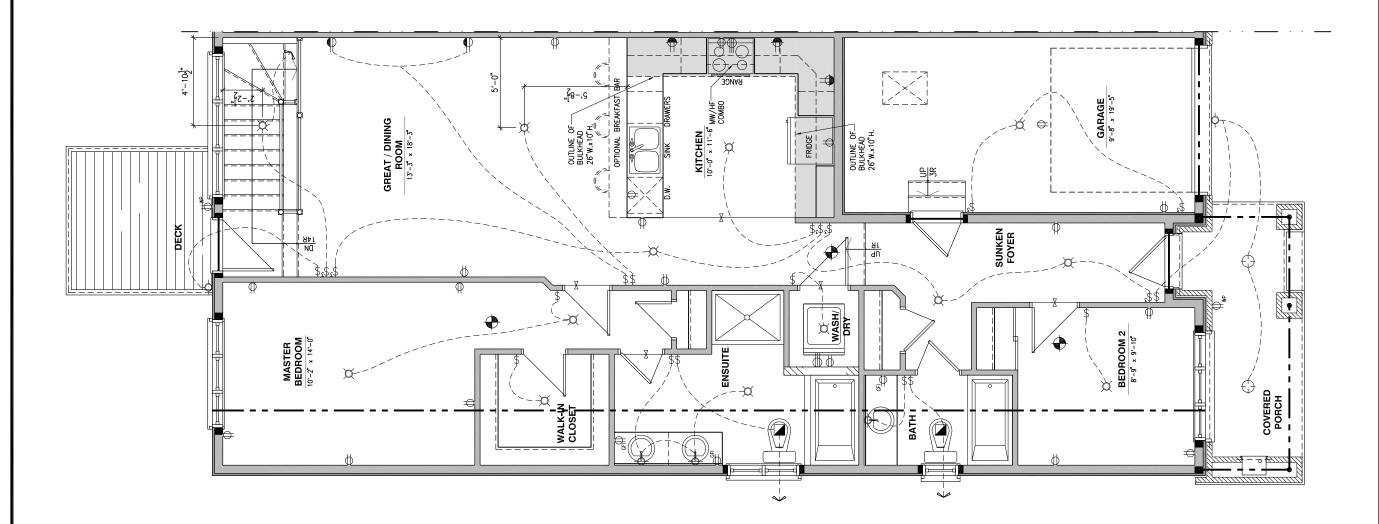
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

ELECTRICAL PLAN **GROUND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx SHEET:

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2k



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - WALKOUT E.21/

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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**ELECTRICAL PLAN GROUND FLOOR** 

SCALE: 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

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