

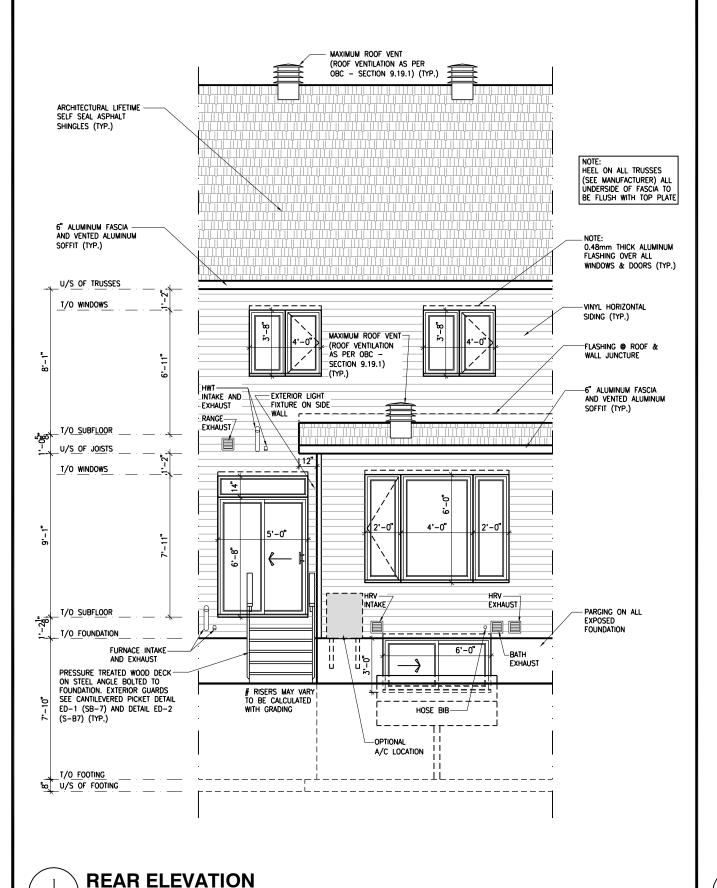
FRONT ELEVATION SCALE: 3/16" = 1'-0"

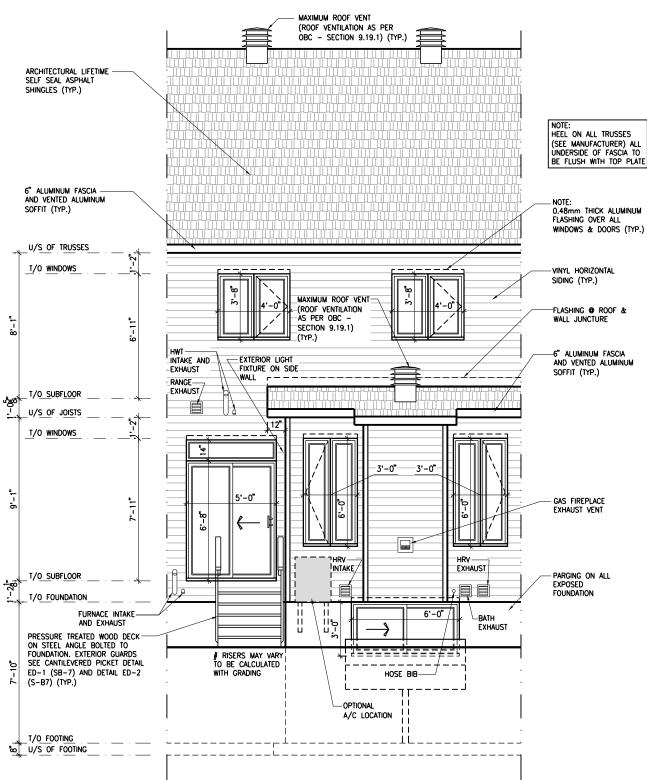
LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited DANIEL CUERIN , ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL 2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION **FRONT ELEVATION** | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET: 160 - THE STANLEY **A.**1

CONSTRUCTION SITES:

SHEA VILLAGE

2022 FOOTPRINT (STANDARD DRAWINGS)





LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR
ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

CONSTRUCTION SITES:

SHEA VILLAGE

REAR ELEVATION

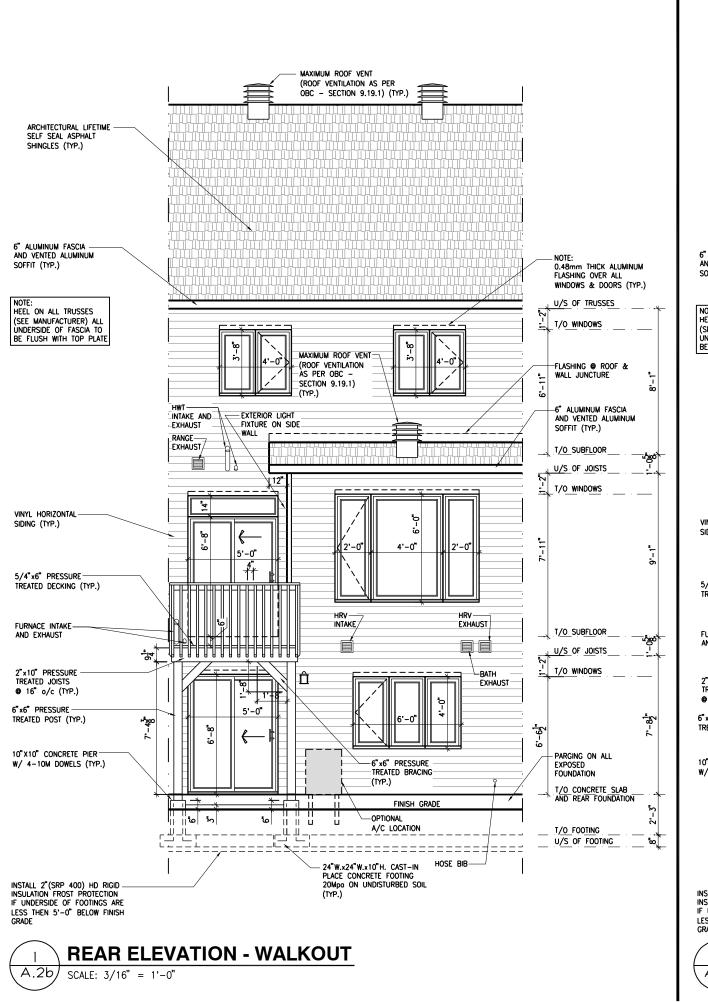
ADDRESS: 3/16" = 1'-0" xx/xx/xxxx

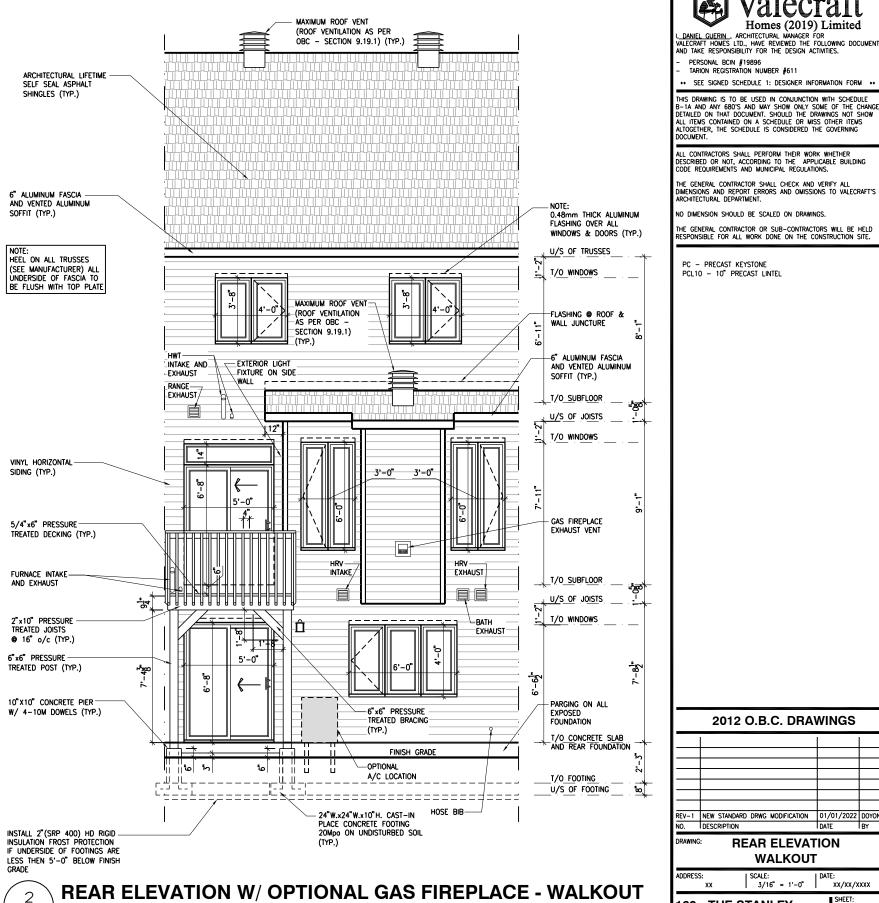
160 - THE STANLEY 2022 FOOTPRINT

SHEET: A.2a (STANDARD DRAWINGS)

(A.2a) SCALE: 3/16" = 1'-0"

REAR ELEVATION WITH OPTIONAL GAS FIREPLACE





LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

<u>Daniel Querin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

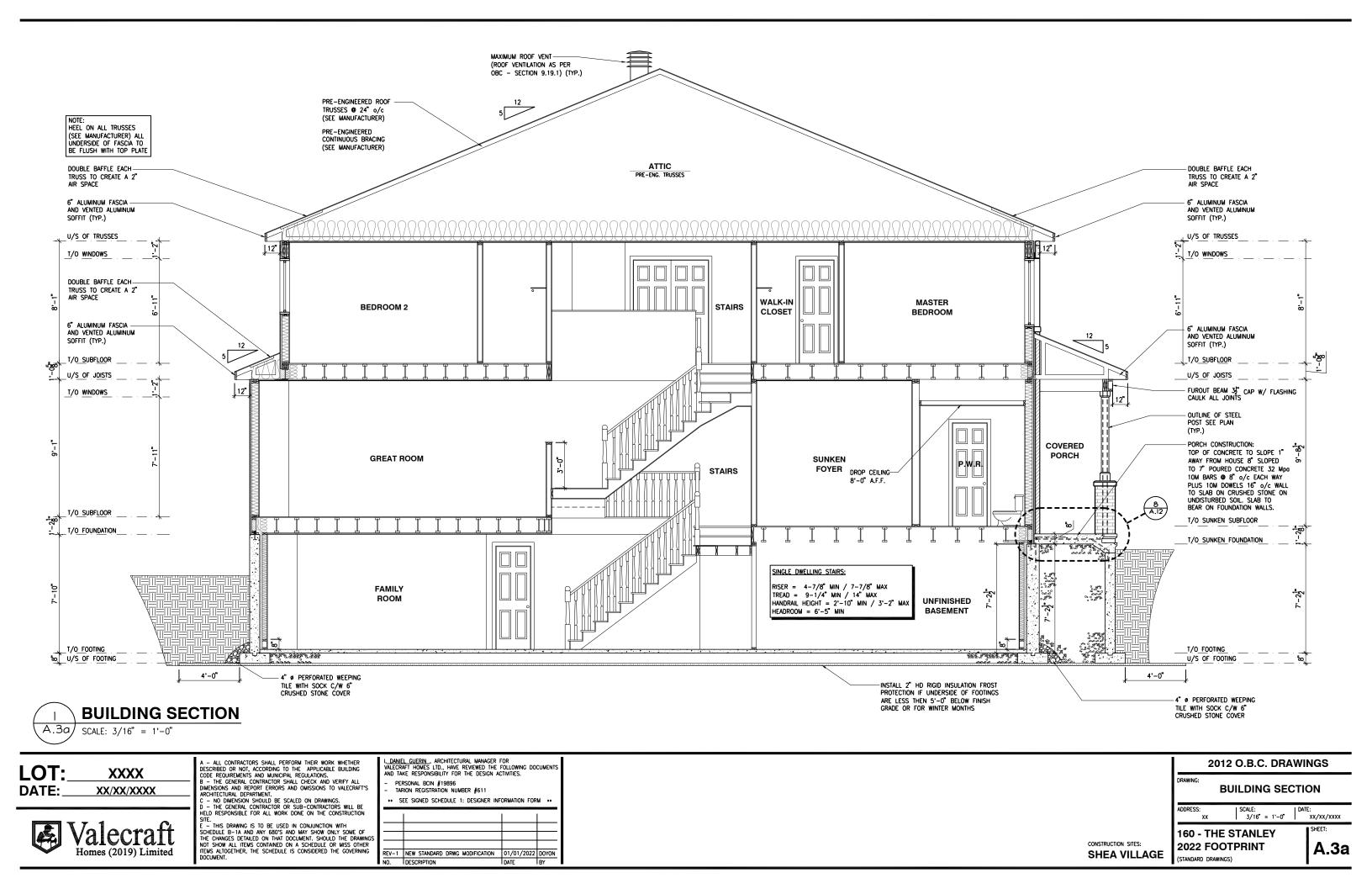
NO. DESCRIPTION **REAR ELEVATION**

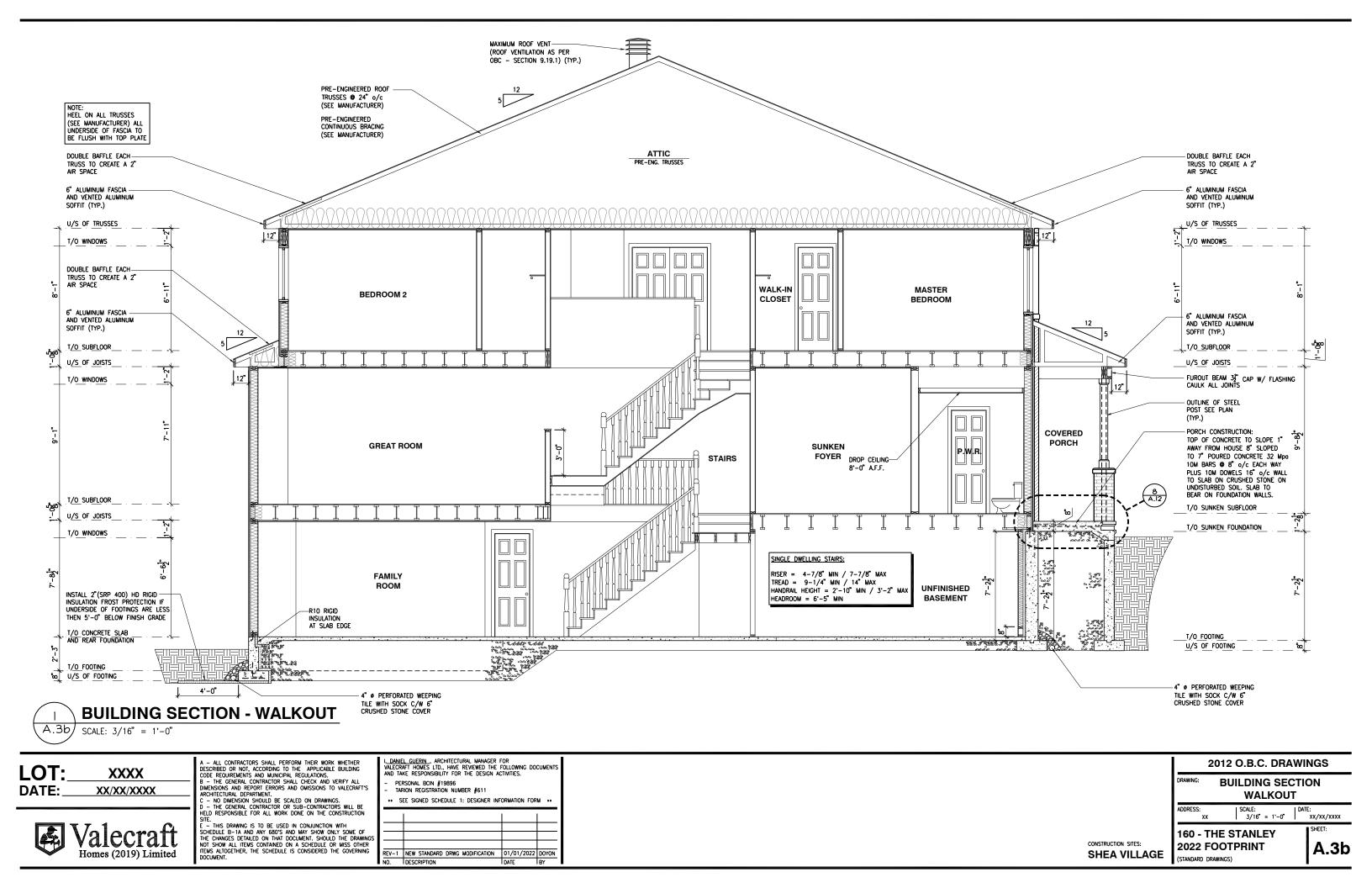
> **WALKOUT** 3/16" = 1'-0"

160 - THE STANLEY 2022 FOOTPRINT

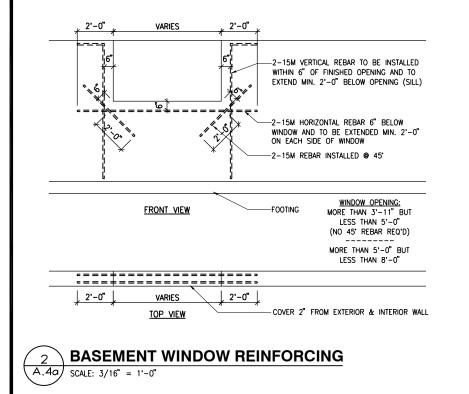
SHEET: A.2b

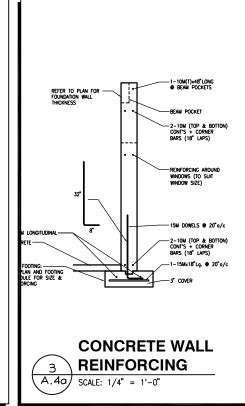
xx/xx/xxxx

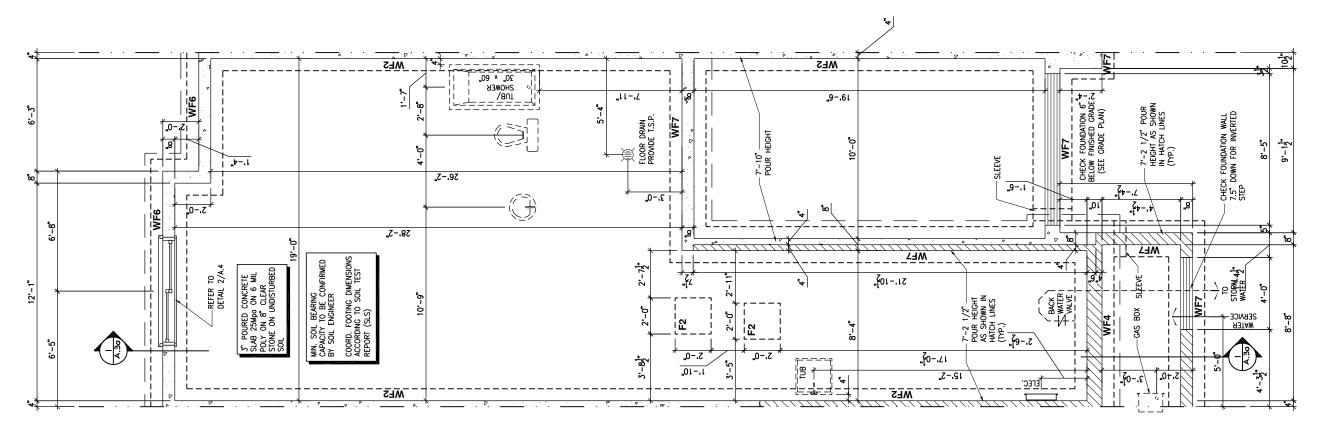




FOOTING SCHEDULE					
	ALLOWABLE SOIL BEAR	ING CAPACITY / BEARING RESISTA	ANCE AT SLS FOR «SITE CLASS:D)»	
WALL FOOTINGS	60KPa	40KPa			
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H, 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. × 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
		PAD FOO	TING SCHEDULE		
	ALLOWABLE SOIL BEAR	ING CAPACITY / BEARING RESISTA	ANCE AT SLS FOR «SITE CLASS:D)»	
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. × 28"W. × 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY









CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX



DANIEL GUERIN., ARCHITECTURAL MANAGER FOR
ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
UND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611

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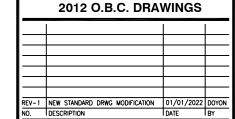
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil bearing capacity or bearing resistance at SLS and design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT CARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER CECTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH 0 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



FOOTING PLAN

ADDRESS: SCALE: 3/16" = 1'-0"

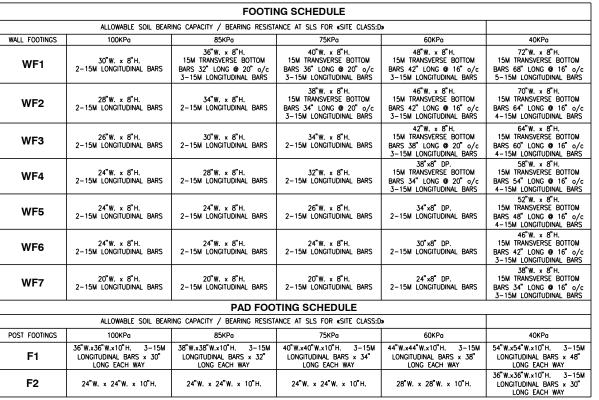
160 - THE STANLEY 2022 FOOTPRINT

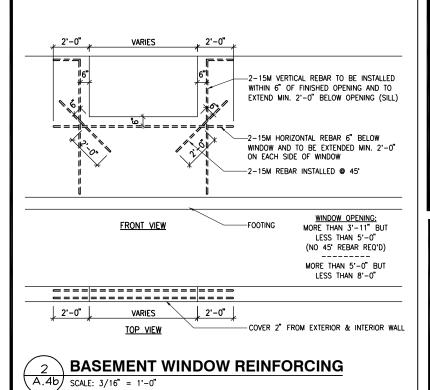
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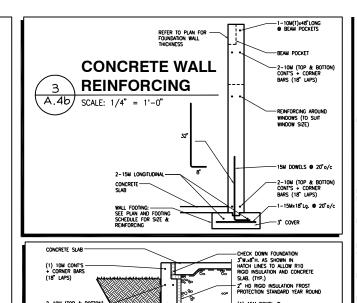
(STANDARD DRAWINGS)

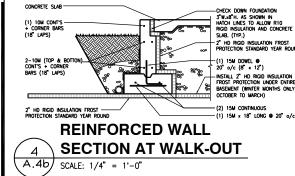
A.4a

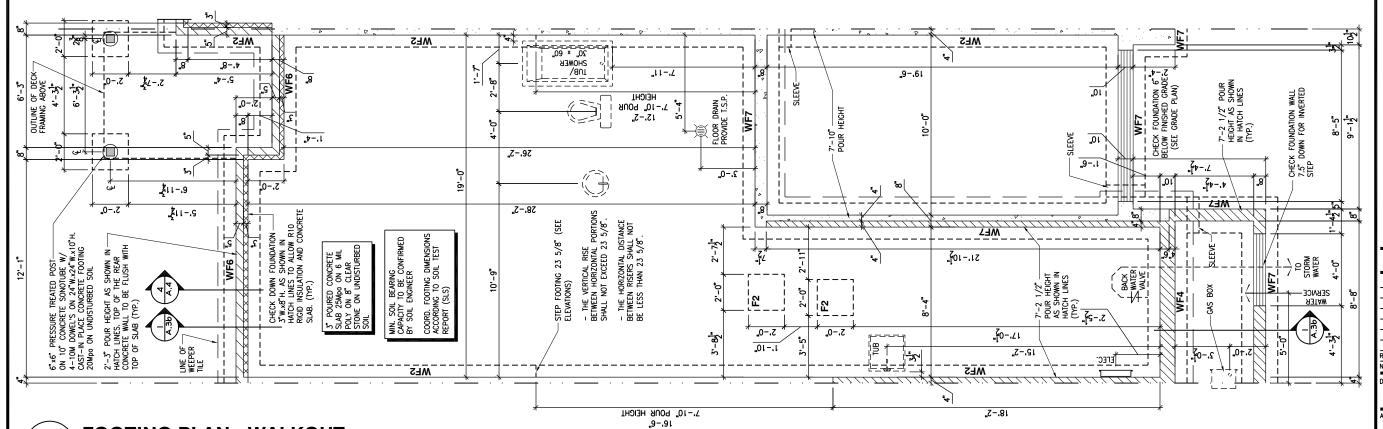
DATE: XX/XX/XXXX











FOOTING PLAN - WALKOUT

DATE: XXXX

Valecraft
Homes (2019) Limited

I. <u>DANIEL CUERIN</u>. ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

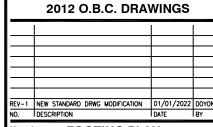
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
 THE TIME OF EXCAMATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



FOOTING PLAN
WALKOUT

NDDRESS: | SCALE: | 3/16" = 1'-0"

160 - THE STANLEY 2022 FOOTPRINT A.4b

DATE: XX/XX/XXXX

CONSTRUCTION SITES: 2022 FOOT SHEA VILLAGE (STANDARD DRAWINGS)

(A.4b)

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c F1) 11 % PRE-ENG. OPEN JUIST INTURCE W 13.2 c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

WALK-OUT DECK FRAMING NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

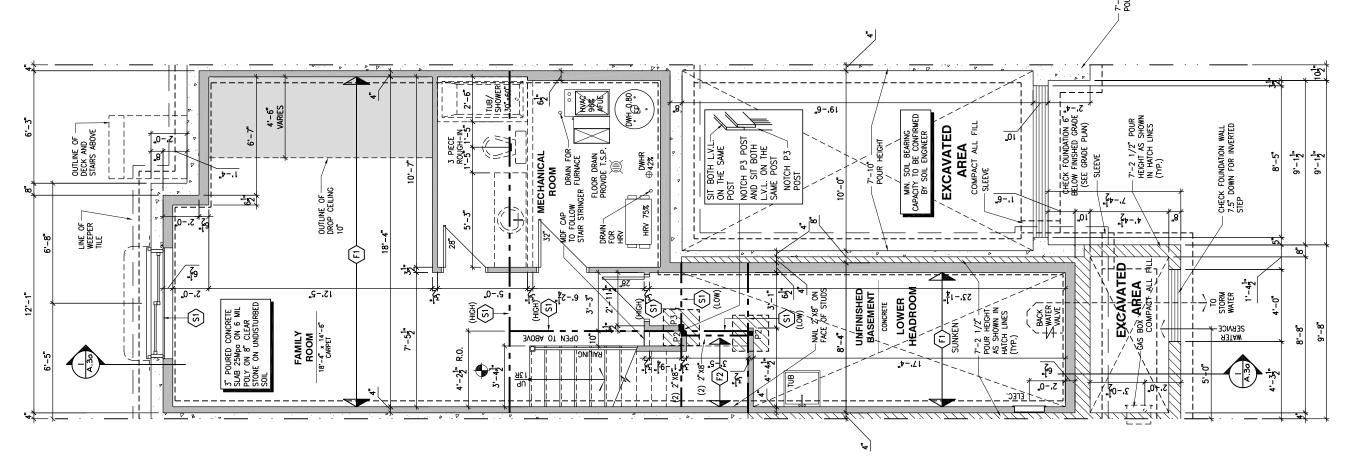
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



BASEMENT FLOOR PLAN - 2x6 FROST WALL

SCALE: 3/16" = 1'-0"

A.5a,

/alecraft Homes (2019) Limited

DATE:

LOT:

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR
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XX/XX/XXXX

PERSONAL BCIN #19896

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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

 $L1 = 2-2\times10 + P2$ ON BOTH SIDES $L2 = 3-2\times10 + P3$ ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

• POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD). IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYC	
NO.	DESCRIPTION	DATE	BY	

RAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL

3/16" = 1'-0" XX/XX/XXXX SHEET:

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.5a

CONSTRUCTION SITES: **SHEA VILLAGE**

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

÷×4

÷2

(S)

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install typek homewrap or equivalent continuous over solid blocking
- THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

WALK-OUT DECK FRAMING NOTES:

2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM

 $\langle 4 \rangle$

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

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FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY

BASEMENT NOTE:

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LOT: **XXXX** DATE: XX/XX/XXXX

'alecratt Homes (2019) Limited

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PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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- S7 = L 150x100x10 (8" BEARING)

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

3/16" = 1'-0"

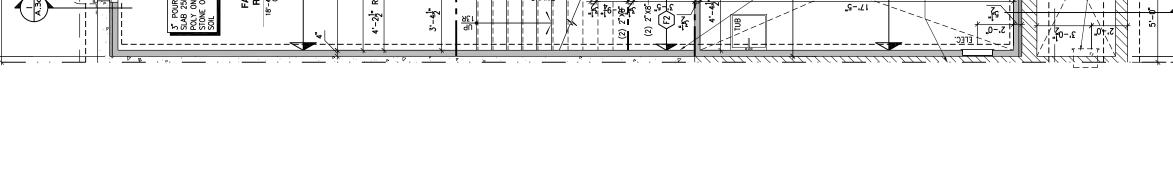
RAWING: BASEMENT FLOOR PLAN

ENERGY STAR

160 - THE STANLEY 2022 FOOTPRINT

SHEET: A.5b

XX/XX/XXXX



(08.0) (19.80)

돌

78"

OPEN TO ABOVE

.9-.61

UNFINISHED BASEMENT

CH P3 POST

SIT BOTH

ON THE

E POST

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2FKAICF →

MATER

1

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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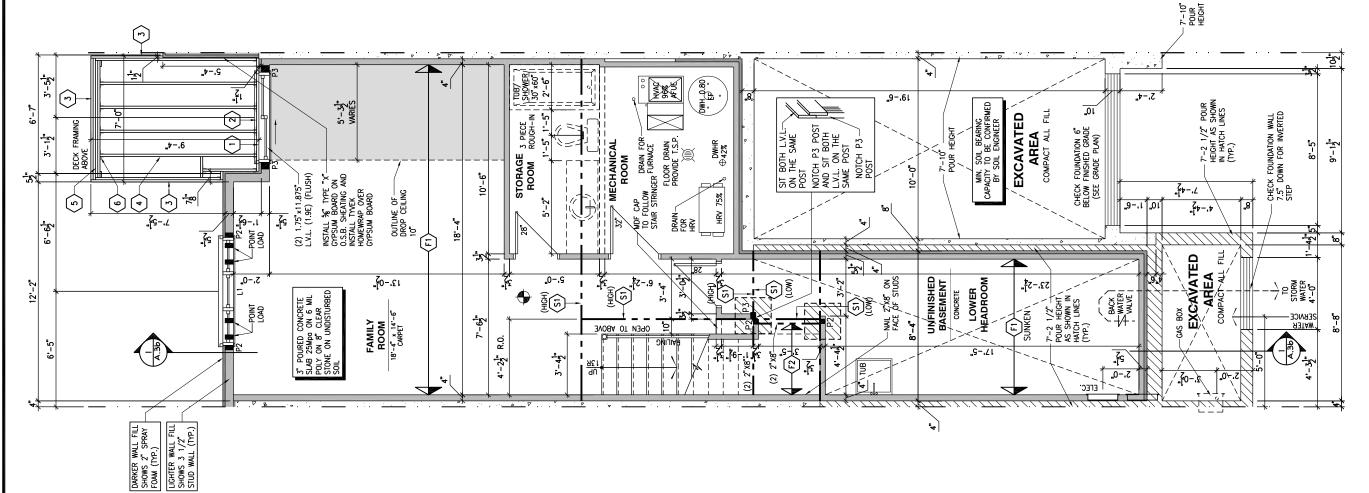
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A.5c

BASEMENT FLOOR PLAN - WALKOUT

SCALE: 3/16" = 1'-0"

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION DATE

RAWING: BASEMENT FLOOR PLAN WALKOUT

3/16" = 1'-0"

160 - THE STANLEY

2022 FOOTPRINT (STANDARD DRAWINGS)

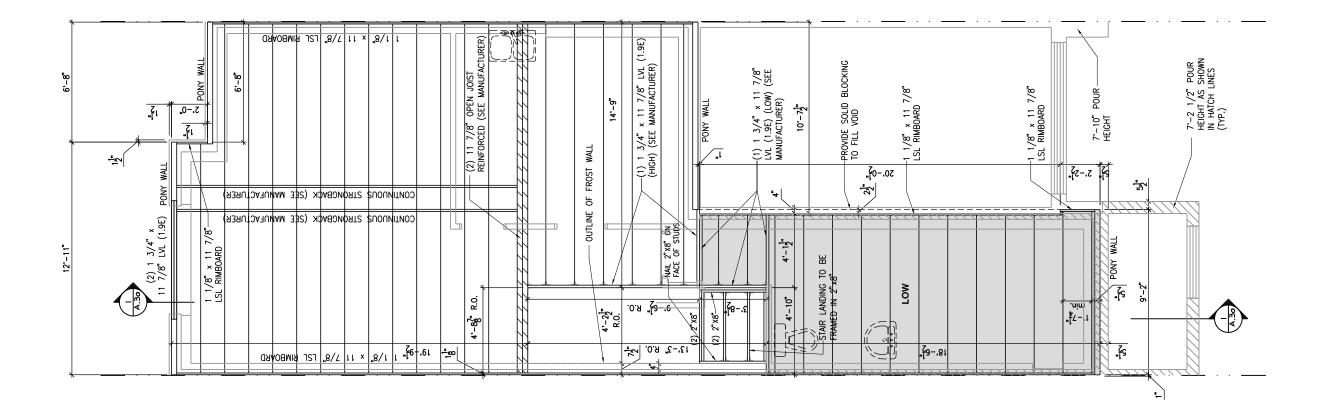
CONSTRUCTION SITES:

SHEA VILLAGE

A.5c

XX/XX/XXXX

SHEET:



(A.6a)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

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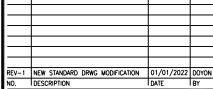
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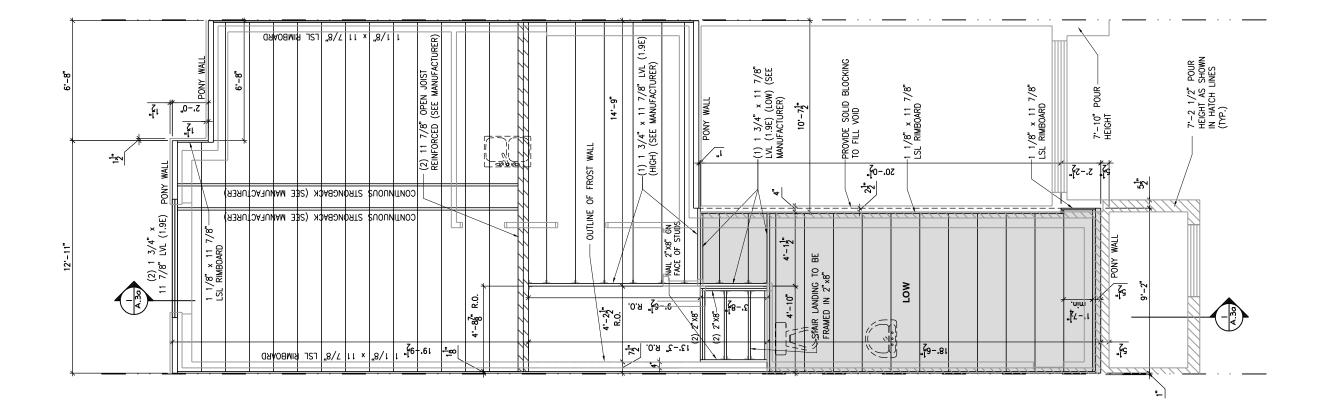
DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6a



(A.6b)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 AND 2

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

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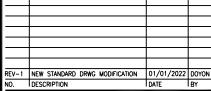
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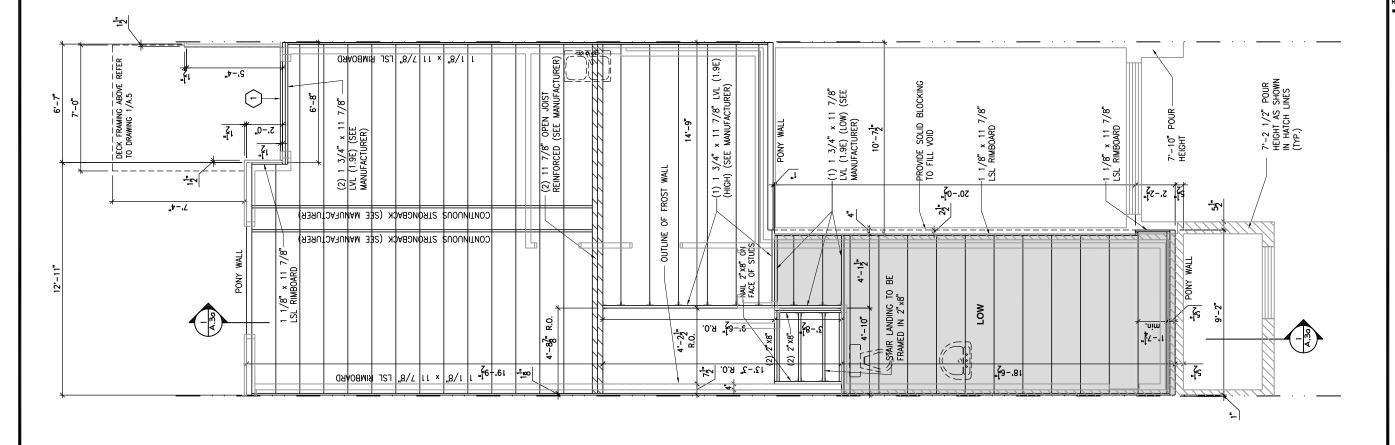
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DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT

(STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

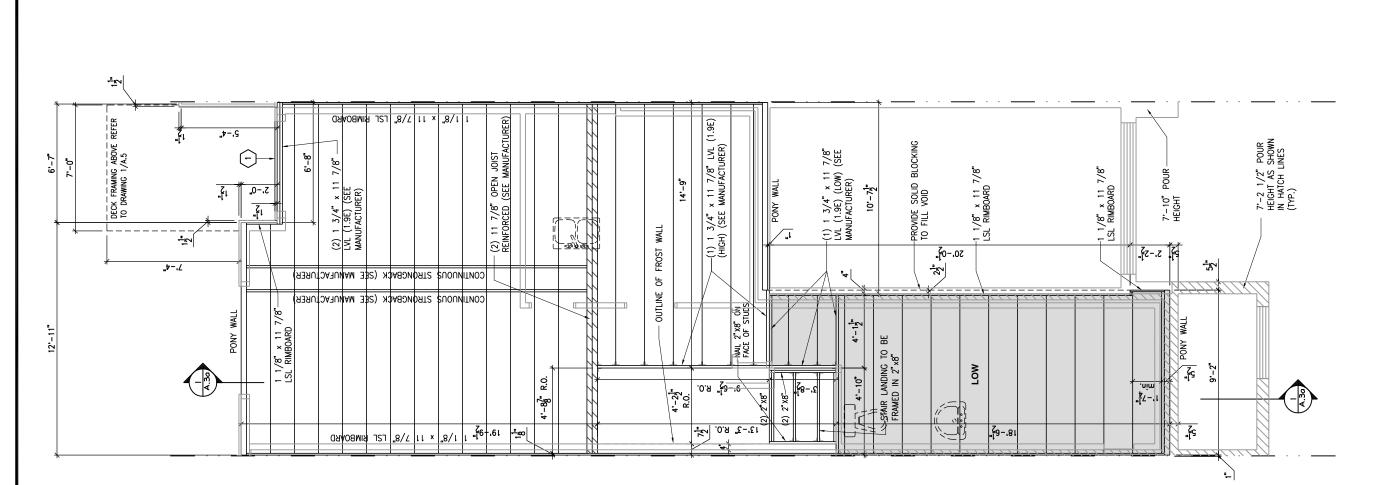
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160 - THE STANLEY 2022 FOOTPRINT

SHEET: A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN

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| SCALE: | 3/16" = 1'-0"

160 - THE STANLEY 2022 FOOTPRINT

SHEET: A.6d

DATE: XX/XX/XXXX

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 AND 2

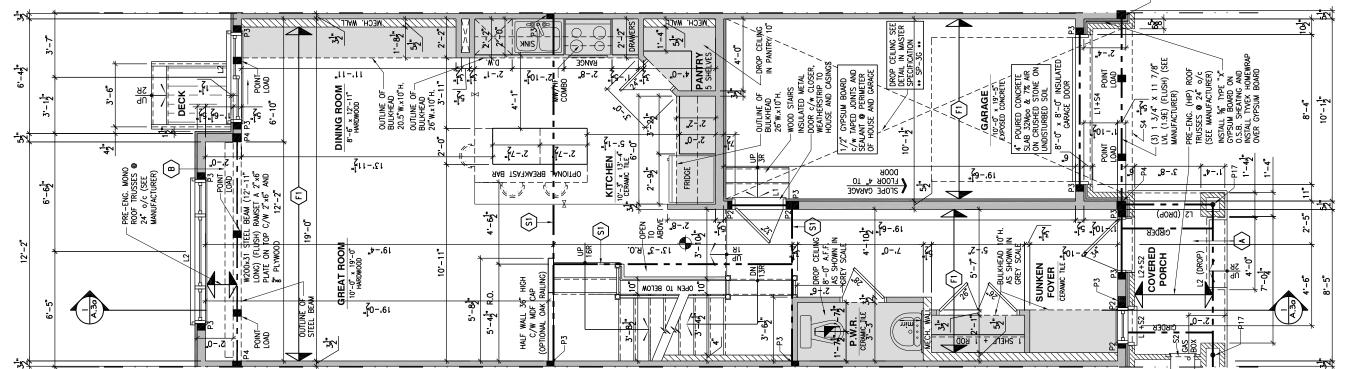
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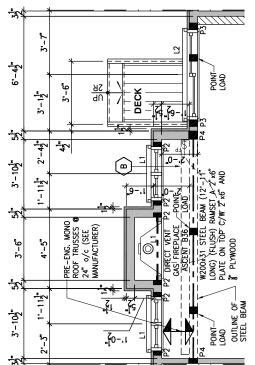
PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN

A.7a, SCALE: 3/16" = 1'-0"



OPTIONAL GAS FIREPLACE

(A.7a) SCALE: 3/16" = 1'-0"

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DOCUMENT

NOTES:

STEEL LINTEL:

XXXX

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/alecraft

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P13 = HSS RB 0x8 0x 18 x 100x 200x 12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) 13 63 63 63 63 74 100 200 12 1 28 PL. (4) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 28 PL. (4) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 28 PL. (4) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 28 PL. (4) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 80 TIOM PL. (4)

+ 130x160x10 TOP PL. (*)

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

GROUND FLOOR PLAN STANDARD KITCHEN

3/16" = 1'-0" XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7a

SHEET:

CONSTRUCTION SITES: **SHEA VILLAGE**

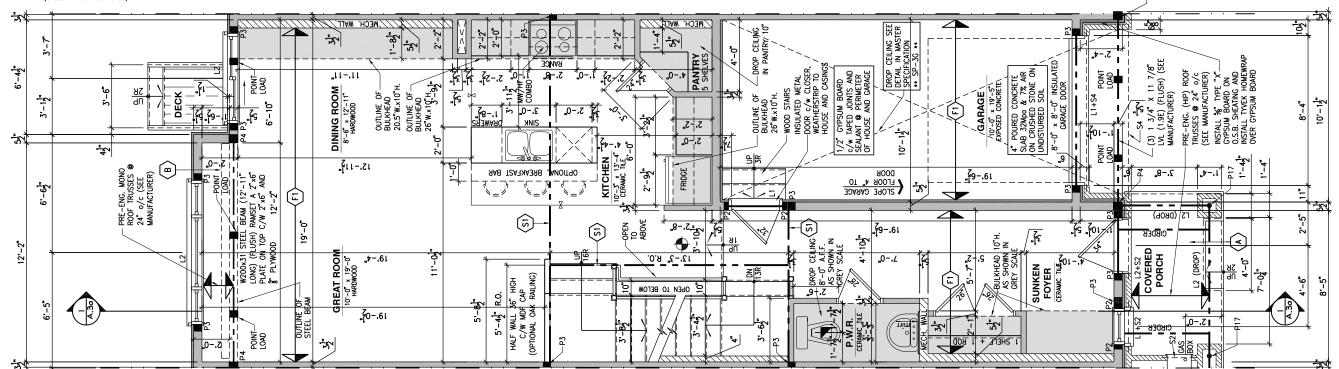
- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

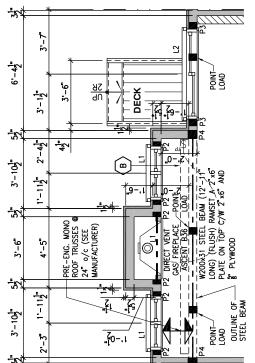
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1

A.7b, SCALE: 3/16" = 1'-0"



OPTIONAL GAS FIREPLACE

(A.7b) SCALE: 3/16" = 1'-0"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

COLO O DO DO DO AMINOC

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SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET:

2022 FOOTPRINT

(STANDARD DRAWINGS)

CONSTRUCTION SITES: **SHEA VILLAGE**

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DATE:_
The state of the s
I. DANIEL GUERIN , AI VALECRAFT HOMES LTI AND TAKE RESPONSIB - PERSONAL BCIN ; - TARION REGISTRA* •• SEE SIGNED SC
THIS DRAWING IS TO B-1A AND ANY 680'S DETAILED ON THAT DO ALL ITEMS CONTAINED ALTOGETHER, THE SCHOOLUMENT.
ALL CONTRACTORS SH DESCRIBED OR NOT, A CODE REQUIREMENTS
THE GENERAL CONTRA DIMENSIONS AND REP ARCHITECTURAL DEPAR
NO DIMENSION SHOUL
THE GENERAL CONTRA RESPONSIBLE FOR ALI
NOTES: STEEL LINTEL:
S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90xi S4 = L 125x90x S5 = L 125x90x S6 = L 200x100 S7 = L 150x100
LINTEL TABLE:
$\begin{array}{rcl} L1 &=& 2-2x10 &+& F\\ L2 &=& 3-2x10 &+& F\\ L3 &=& 2-1.75x9.5\\ L4 &=& 3-1.75x9.5 \end{array}$
IF LINTEL IS EXPOSE TREATED LUMBER
POST TABLE:
P1 = 3" ADJUSTA P1a = HEAVY DUT

XX/XX/XXXX /alecraft Homes (2019) Limited

XXXX

ARCHITECTURAL MANAGER FOR
T.D., HAVE REVIEWED THE FOLLOWING DOCUMENTS
BILLITY FOR THE DESIGN ACTIVITIES.

#19896

ATION NUMBER #611

CHEDULE 1: DESIGNER INFORMATION FORM •

D BE USED IN CONJUNCTION WITH SCHEDULE 'S AND MAY SHOW ONLY SOME OF THE CHANGE! DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ID ON A SCHEDULE OR MISS OTHER ITEMS CHEDULE IS CONSIDERED THE GOVERNING

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ILD BE SCALED ON DRAWINGS.

RACTOR OR SUB-CONTRACTORS WILL BE HELD LL WORK DONE ON THE CONSTRUCTION SITE.

0x10 (8" BEARING)

P2 ON BOTH SIDES P3 ON BOTH SIDES

LVL (1.9E) + P3 ON BOTH SIDES

LVL (1.9E) + P3 ON BOTH SIDES

SED TO THE EXTERIOR, PROVIDE PRESSURE

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-246
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 3-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
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SMOKE	ALARMS	AS PER	SECTION	9.10.19.	OF	THE
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-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DO			
	DESCRIPTION	DATE	BY			
WING	MING: GROUND FLOOR PLAN					

OPTIONAL KITCHEN #1

160 - THE STANLEY

A.7b

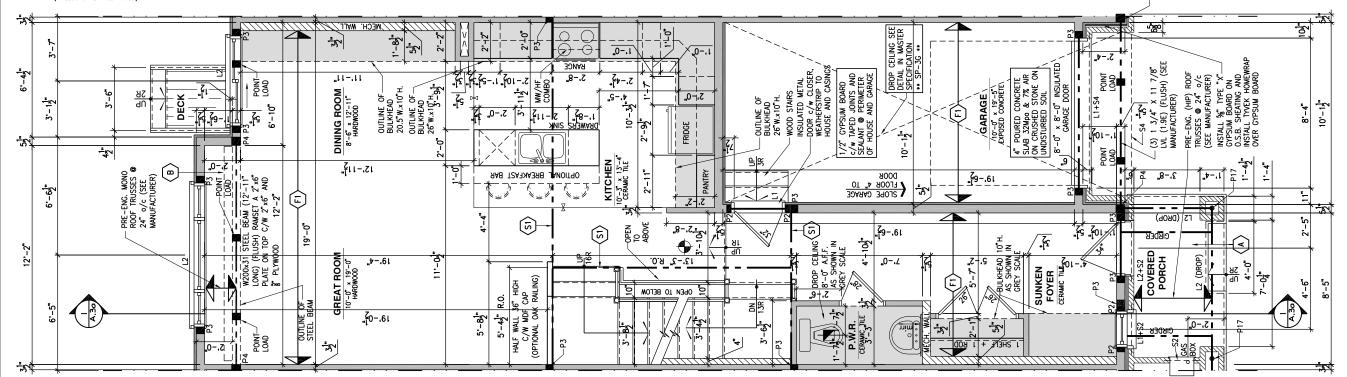
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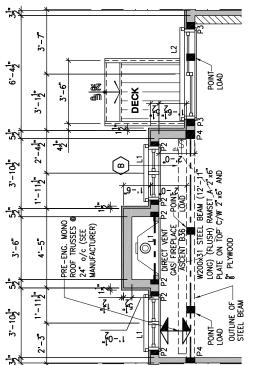
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2

A.7c SCALE: 3/16" = 1'-0"



OPTIONAL GAS FIREPLACE

(A.7c SCALE: 3/16" = 1'-0"

S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: $L1 = 2-2\times10 + P2$ ON BOTH SIDES $L2 = 3-2\times10 + P3$ ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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POST BY USP
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LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 8-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

DATE:

DOCUMENT

NOTES:

STEEL LINTEL:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12

XXXX

XX/XX/XXXX

Valecraft

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

PRAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2**

3/16" = 1'-0" 160 - THE STANLEY

2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A.7c**

XX/XX/XXXX

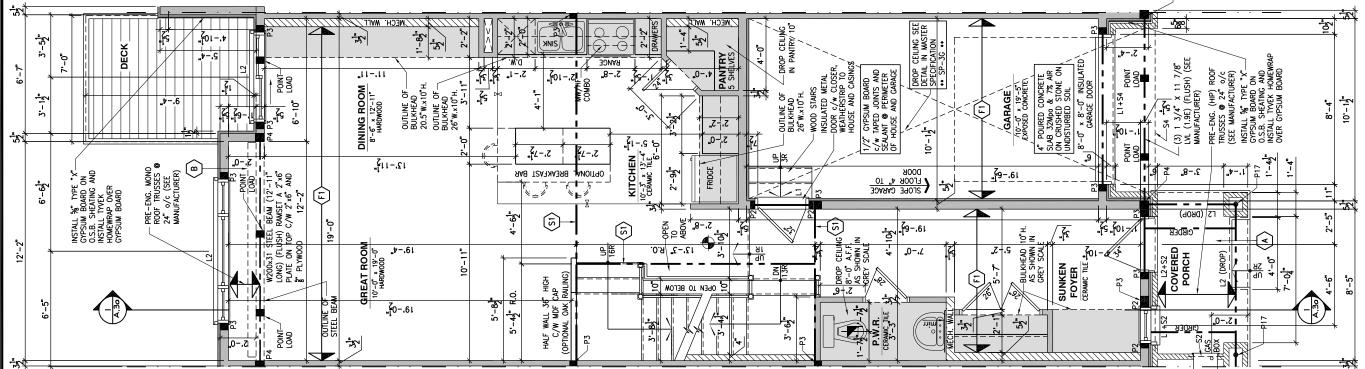
CONSTRUCTION SITES: **SHEA VILLAGE**



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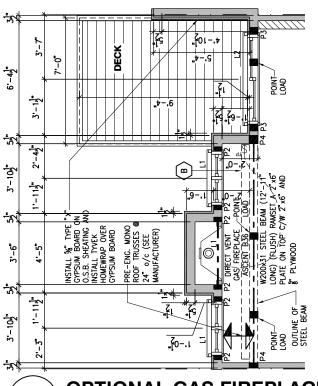
GENERAL NOTES:

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GROUND FLOOR PLAN - STANDARD KITCHEN - WALKOUT

A.7d, SCALE: 3/16" = 1'-0"



OPTIONAL GAS FIREPLACE

、A.7d, SCALE: 3/16" = 1'-0"

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 DOCUMENT NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12 LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES TREATED LUMBER POST TABLE:

LOT:	XXXX
DATE:_	XX/XX/XXXX
	Valecraft

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

Homes (2019) Limited

- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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- S7 = L 150x100x10 (8" BEARING)

- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75×9.5 LVL (1.9E) + P3 ON BOTH SIDES
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 POST BY USP
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION DATE

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN

3/16" = 1'-0"

(STANDARD DRAWINGS)

160 - THE STANLEY

2022 FOOTPRINT

SHEET: A.7d

XX/XX/XXXX

SHEA VILLAGE

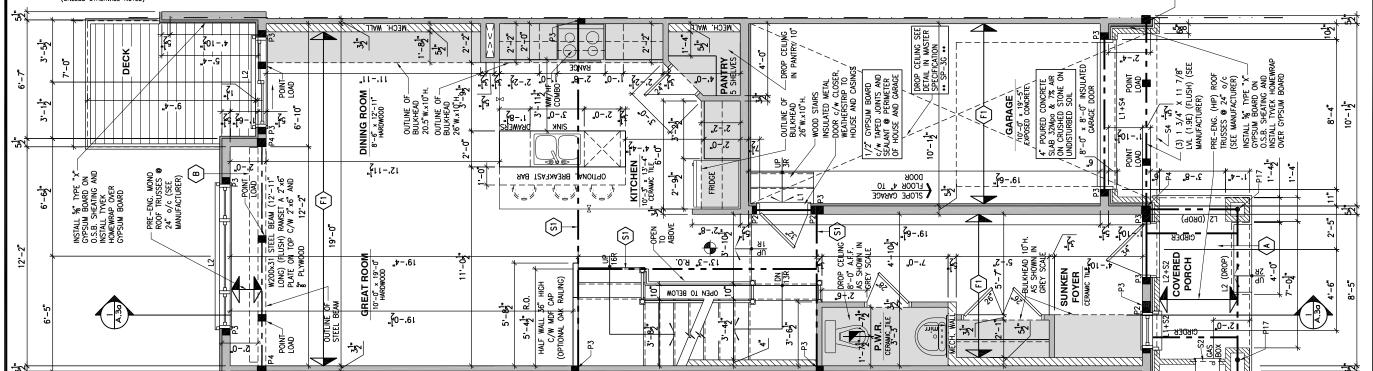
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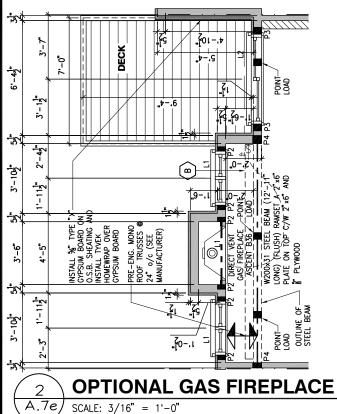
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - WALKOUT

A.7e, SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
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 (EX. P2 = 1 JACK + 1 STUD)
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= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #1**

3/16" = 1'-0" 160 - THE STANLEY

SHEET: **A.7e**

XX/XX/XXXX

SHEA VILLAGE

CONSTRUCTION SITES: 2022 FOOTPRINT (STANDARD DRAWINGS)

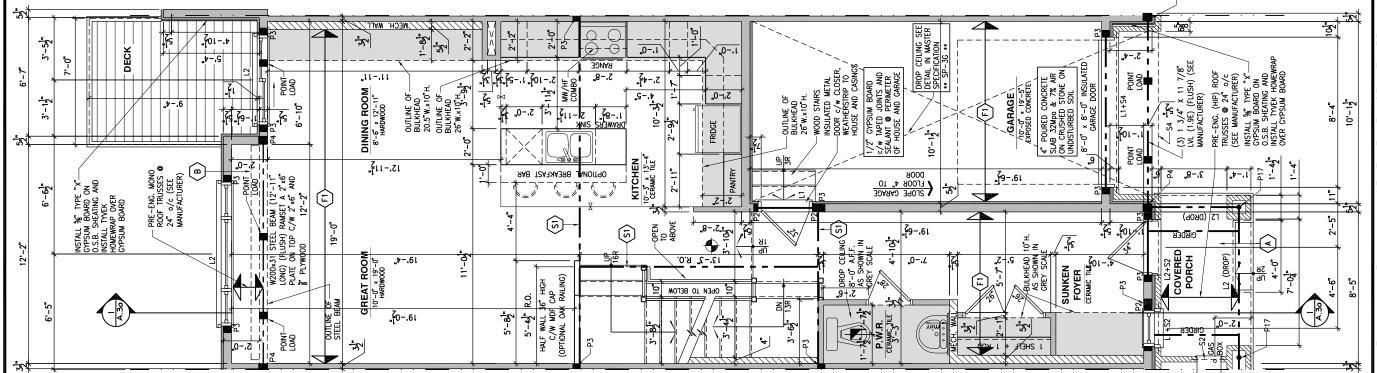
- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMBER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

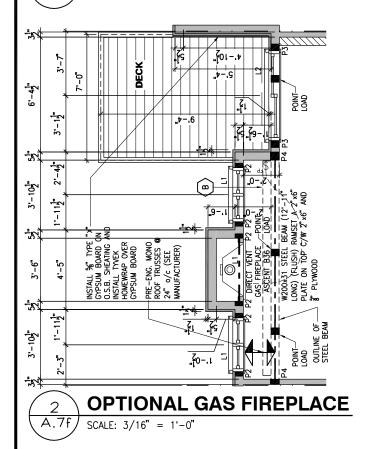
PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - WALKOUT

A.7f SCALE: 3/16" = 1'-0"



REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #2**

3/16" = 1'-0" XX/XX/XXXX SHEET:

(STANDARD DRAWINGS)

2022 FOOTPRINT

CONSTRUCTION SITES: **SHEA VILLAGE** DATE: XX/XX/XXXX /alecraft Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

XXXX

LOT:

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

IIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75×9.5 LVL (1.9E) + P3 ON BOTH SIDES

 IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 63 63 63 63 74 100 200 12 1 28 PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 28 PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 28 PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 28 PL. (*) P17 = HSS 3 0.0 x4.8 + 100 x180 x12 1 80 TION PL. (*)

+ 130x160x10 TOP PL. (*)

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
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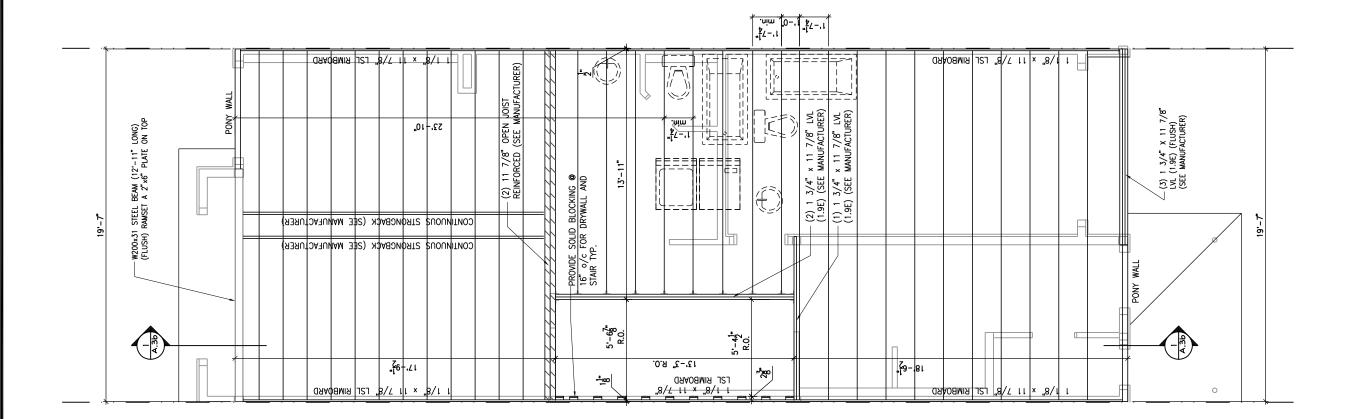
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				

160 - THE STANLEY

A.7f



(A.8a)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u> ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DO
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8a SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE

A.8b SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN**

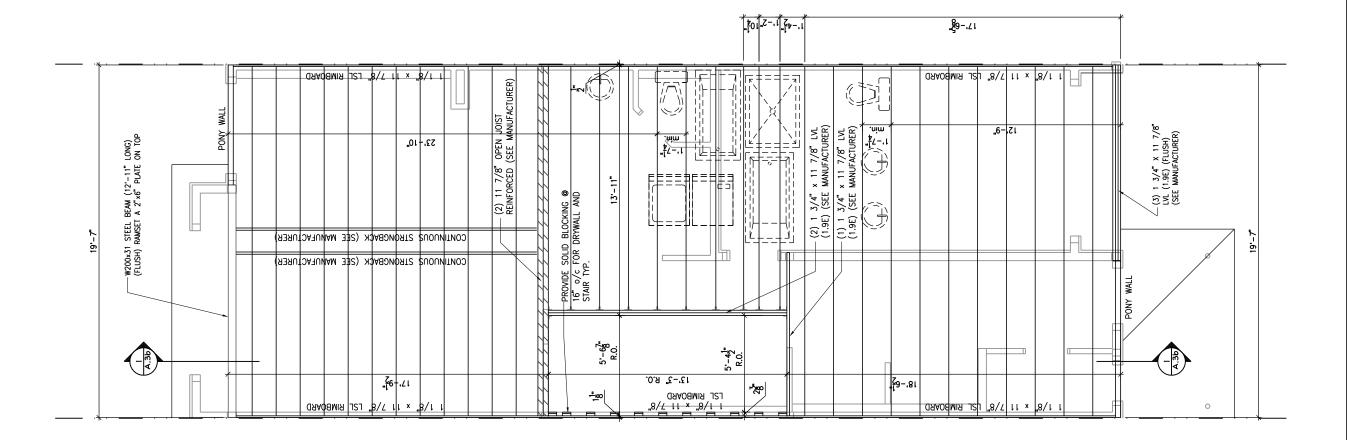
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8b

CONSTRUCTION SITES: SHEA VILLAGE



(A.8c

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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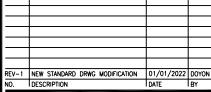
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SECOND FLOOR - FLOOR JOIST FRAMING PLAN

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

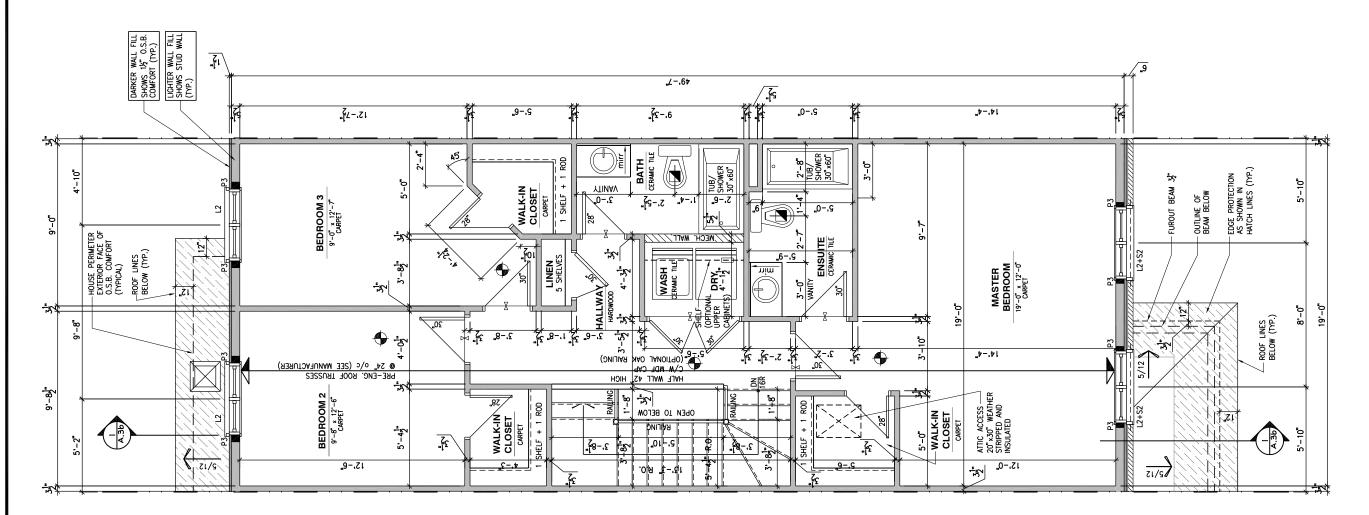
160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8c

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

(A.9a)

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
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- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD

NOTES:		
	MTE	
STEEL	NIEL:	
S1	= L 90x90x6	
S2	= L 90x90x8	
S3	= L 100x90x8	
S4	= L 125x90x8	
S5	= L 125x90x10	
S6	= L 200x100x12	
S7	= L 150x100x10 (8" BEARING)	

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88,9x88,9x18 + 100x200x12 T&B PL (*)

- 13 63 63 63 63 74 100 200 12 1 28 PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 28 PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 28 PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 28 PL. (*) P17 = HSS 3 0.0 x4.8 + 100 x180 x12 1 80 TION PL. (*) + 130x160x10 TOP PL. (*)

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2012 O B C DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	ZOTZ GIBIOI BITATTITAG				
		l			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY		
NO.	DESCRIPTION	DATE	BY		

SECOND FLOOR PLAN STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

160 - THE STANLEY

2022 FOOTPRINT

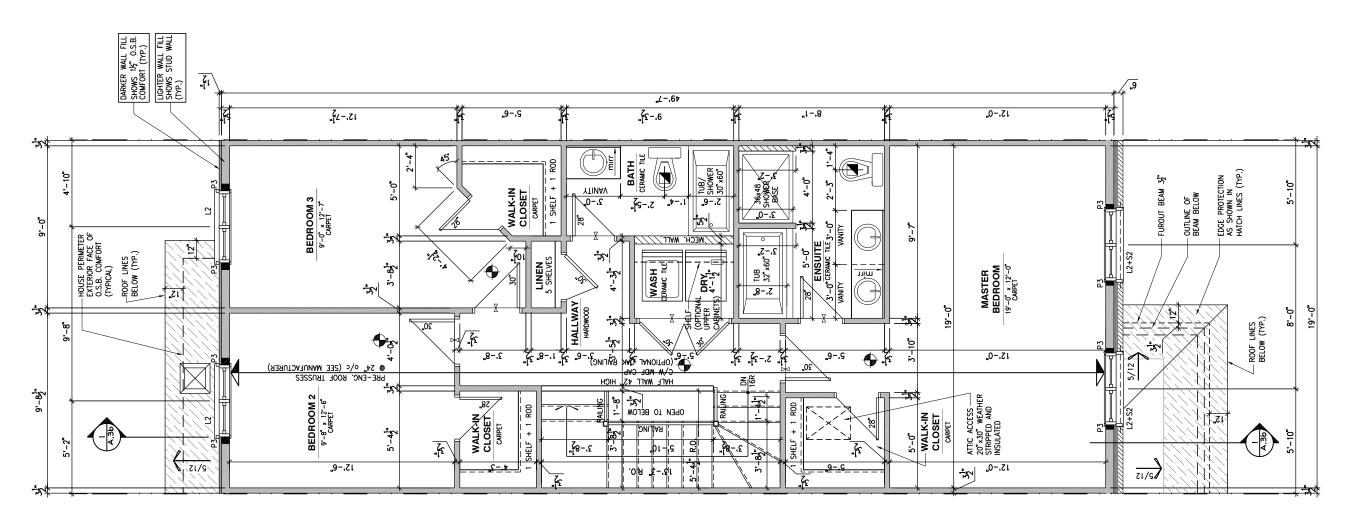
(STANDARD DRAWINGS)

SHEET A.9a

xx/xx/xxxx

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE (A.9b)

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD

STEEL	LINTEL:
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S2	= L 90x90x8
	= L 100x90x8
S4	= L 125x90x8
S5	= L 125×90×10
S6	= L 200×100×12
S7	= L 150x100x10 (8" BEARING)
LINTEL	TABLE:

 $L2 = 3-2\times10 + P3$ ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x8 0x 18 x 100x 200x 12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 63 63 63 63 74 100 200 12 1 28 PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 28 PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 28 PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 28 PL. (*) P17 = HSS 3 0.0 x4.8 + 100 x180 x12 1 80 TION PL. (*)

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY

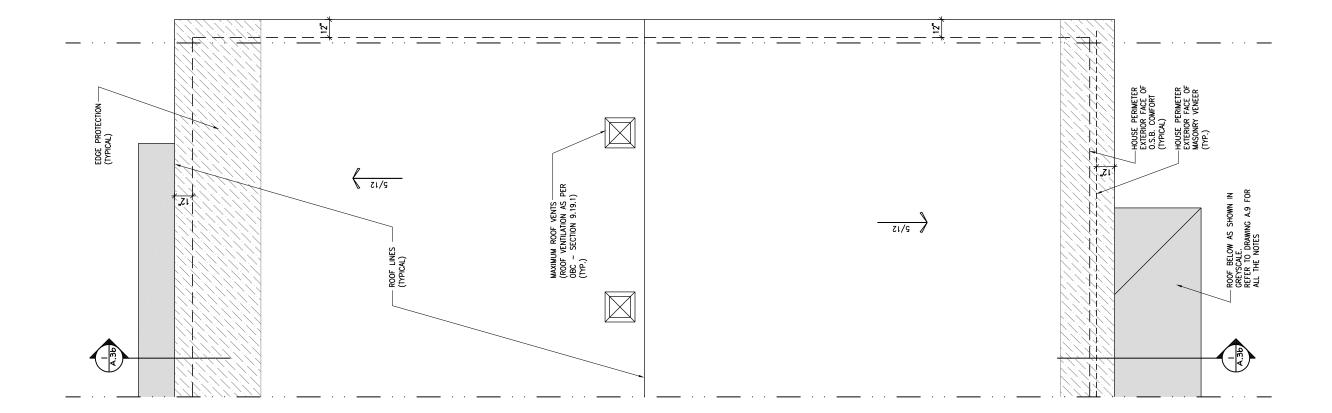
SECOND FLOOR PLAN **OPTIONAL 5 PC ENSUITE**

SCALE: 3/16" = 1'-0" xx/xx/xxxx

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.9b





CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Valectaft
Homes (2019) Limited

I. DANIEL GUERIN. ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION DECISION 18986

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION DATE BY

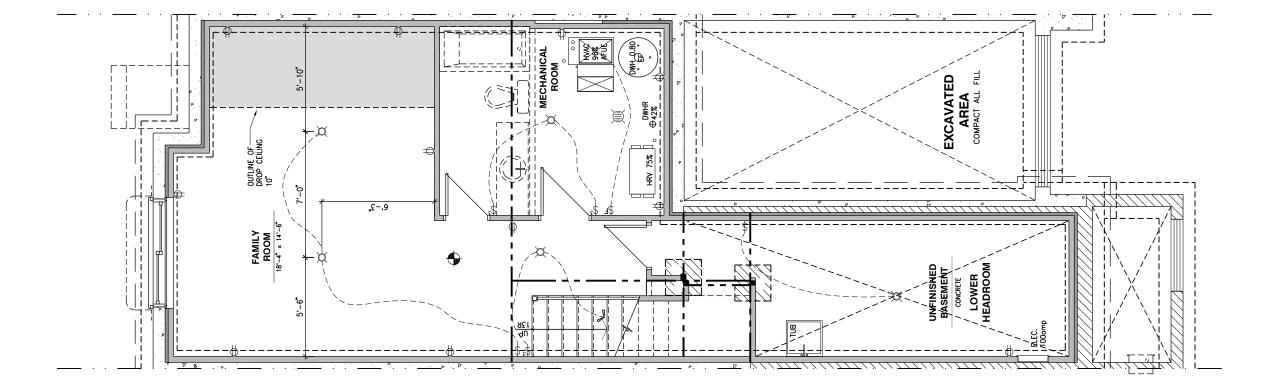
ROOF PLAN

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

A.10

SHEET:



ELECTRICAL PLAN - BASEMENT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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TARION REGISTRATION NUMBER #611

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\$ SINGLE POLE SWITCH

 $\3 3 way switch

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS		
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	DATE	BY
DRAWING: FLECTRICAL PLAN			

BASEMENT

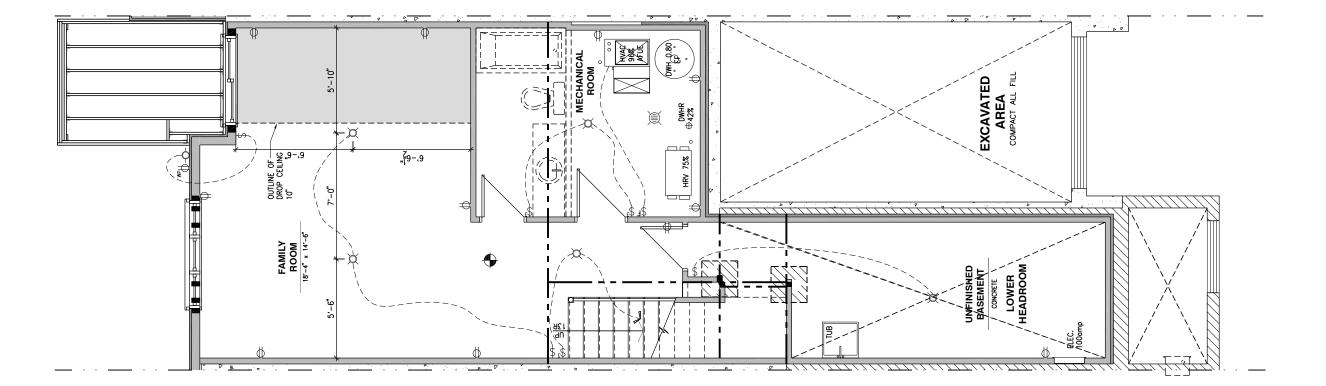
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.1a

SHEET:



ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE RECULRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE RECULRED ON EACH SICHED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

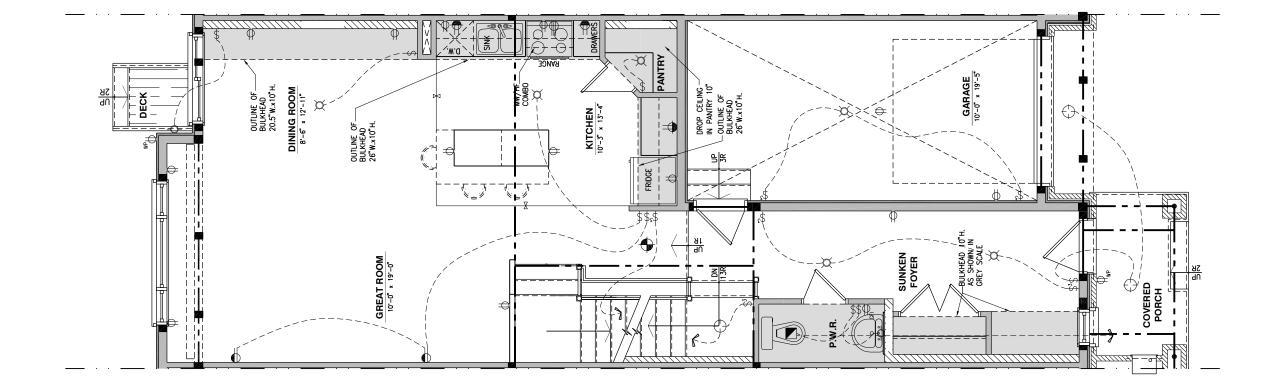
ELECTRICAL PLAN BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.1b



E.2a)

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

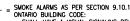


220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
SHALL HAVE A VISUAL SIGNALING DEVICE;
ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS		
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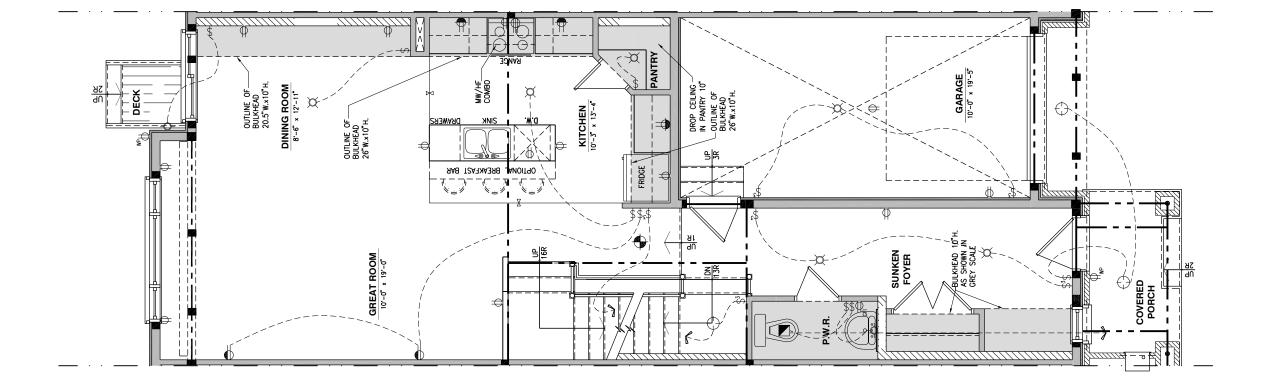
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

160 - THE STANLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2a



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, acchitectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYC
NO.	DESCRIPTION	DATE	BY
DRAWING	ELECTRICAL	DI A NI	

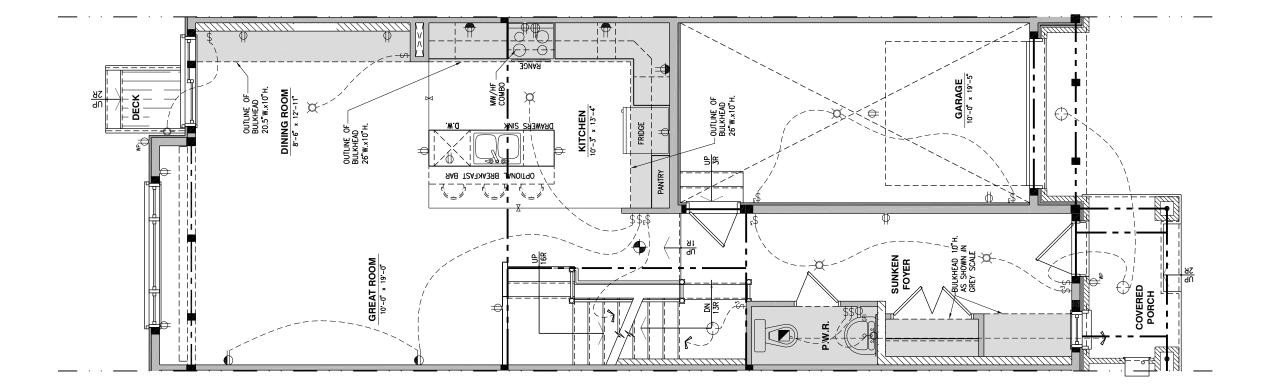
ELECTRICAL PLAN **GROUND FLOOR**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2b



E.2c

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS		

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0"

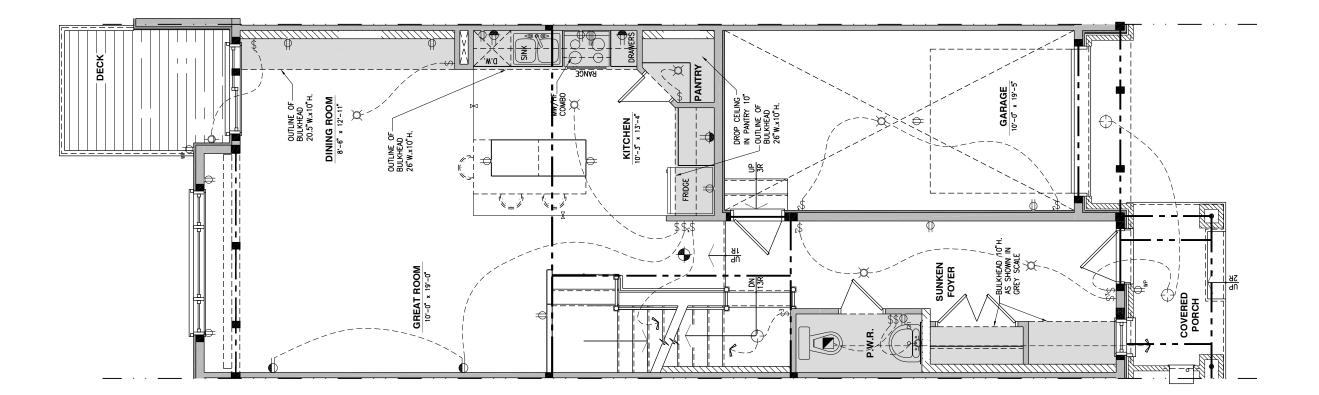
160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.2c

DATE: XX/XX/XXXX

CONSTRUCTION SITES:



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
		<u> </u>	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	DATE	BY
DRAWING	ELECTRICAL I	PLAN	

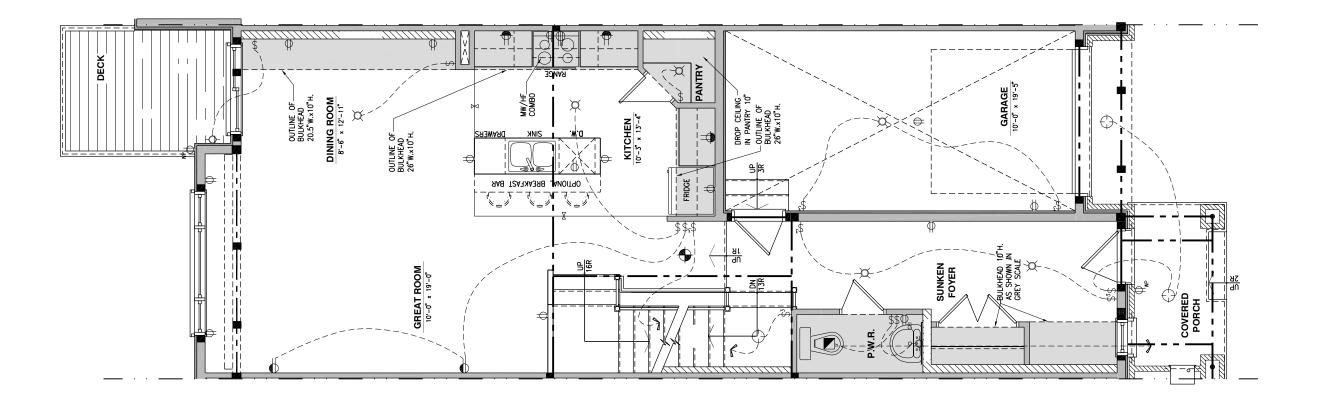
GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2d



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX



I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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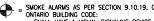
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	DATE	BY
DRAWING	ELECTRICAL	DI ANI	

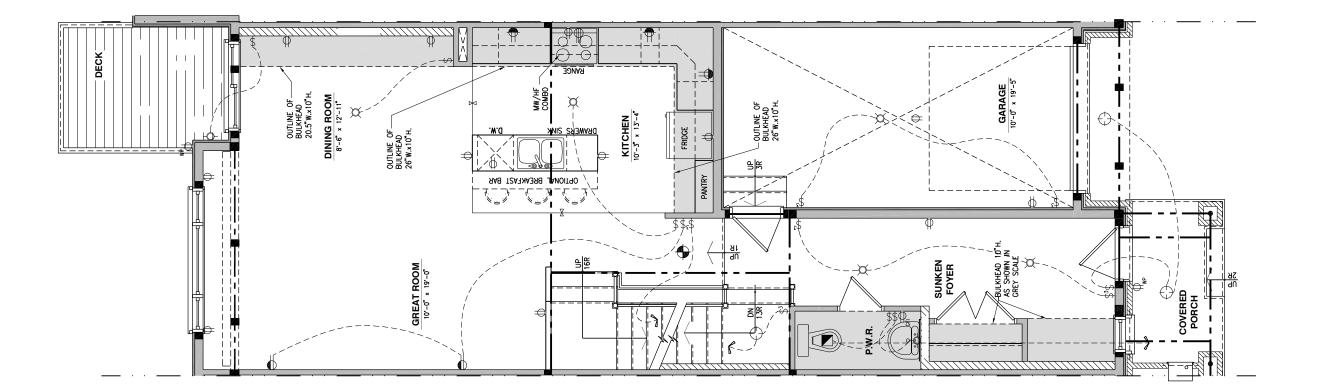
ELECTRICAL PLAN **GROUND FLOOR**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2e



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAV	VINGS	
Ī			

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

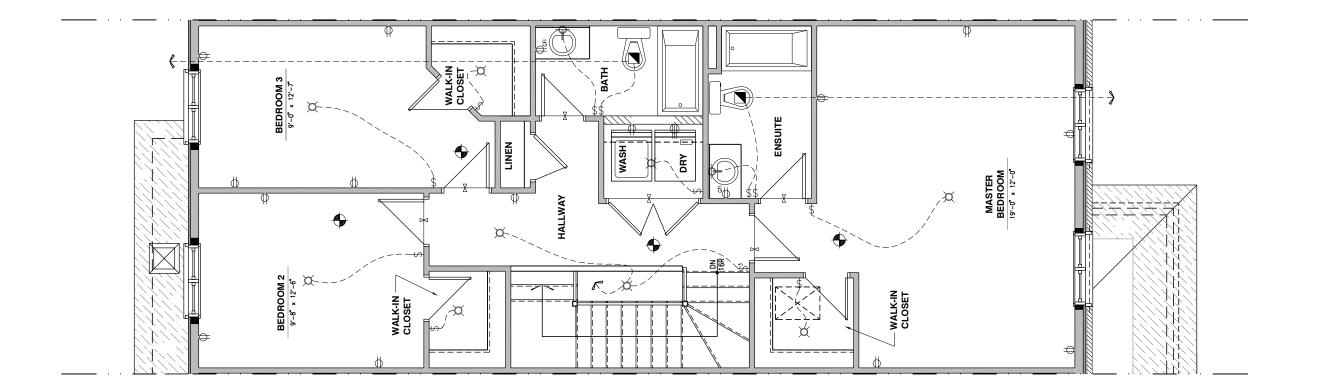
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2f

SHEET:



E.3a)

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



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TARION REGISTRATION NUMBER #611

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\$	SINGLE POLE SWITCH
\$3	3 WAY SWITCH
\$4	4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

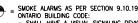
WP WEATHER PROOF DUPLEX OUTLET



220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRA\	VINGS

V-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
).	DESCRIPTION	DATE	BY

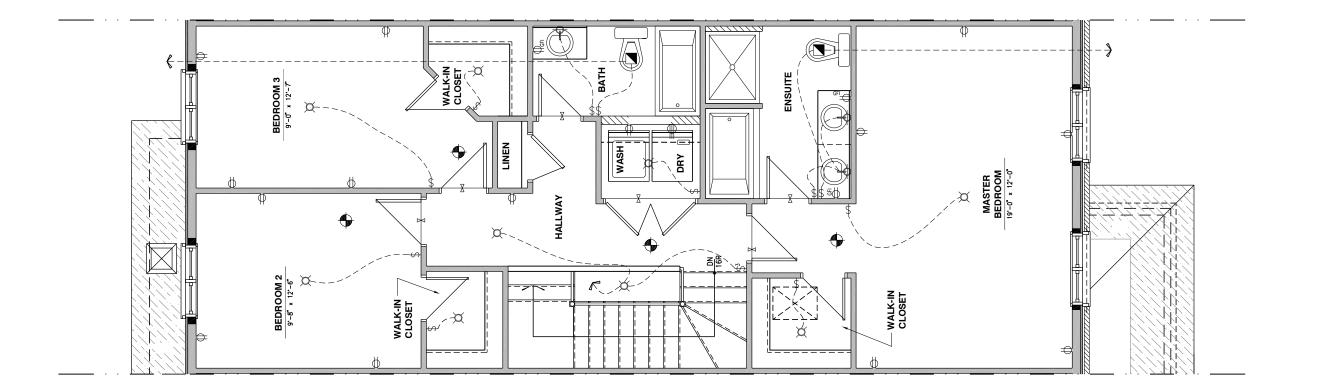
ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.3a



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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	SINGLE	POLE SWITCH
3	Z WAV	CWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

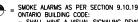
WP WEATHER PROOF DUPLEX OUTLET



220 VOLT OUTLET

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
SHALL HAVE A VISUAL SIGNALING DEVICE;
ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	DATE	BY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

160 - THE STANLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

E.3b

SHEET: