

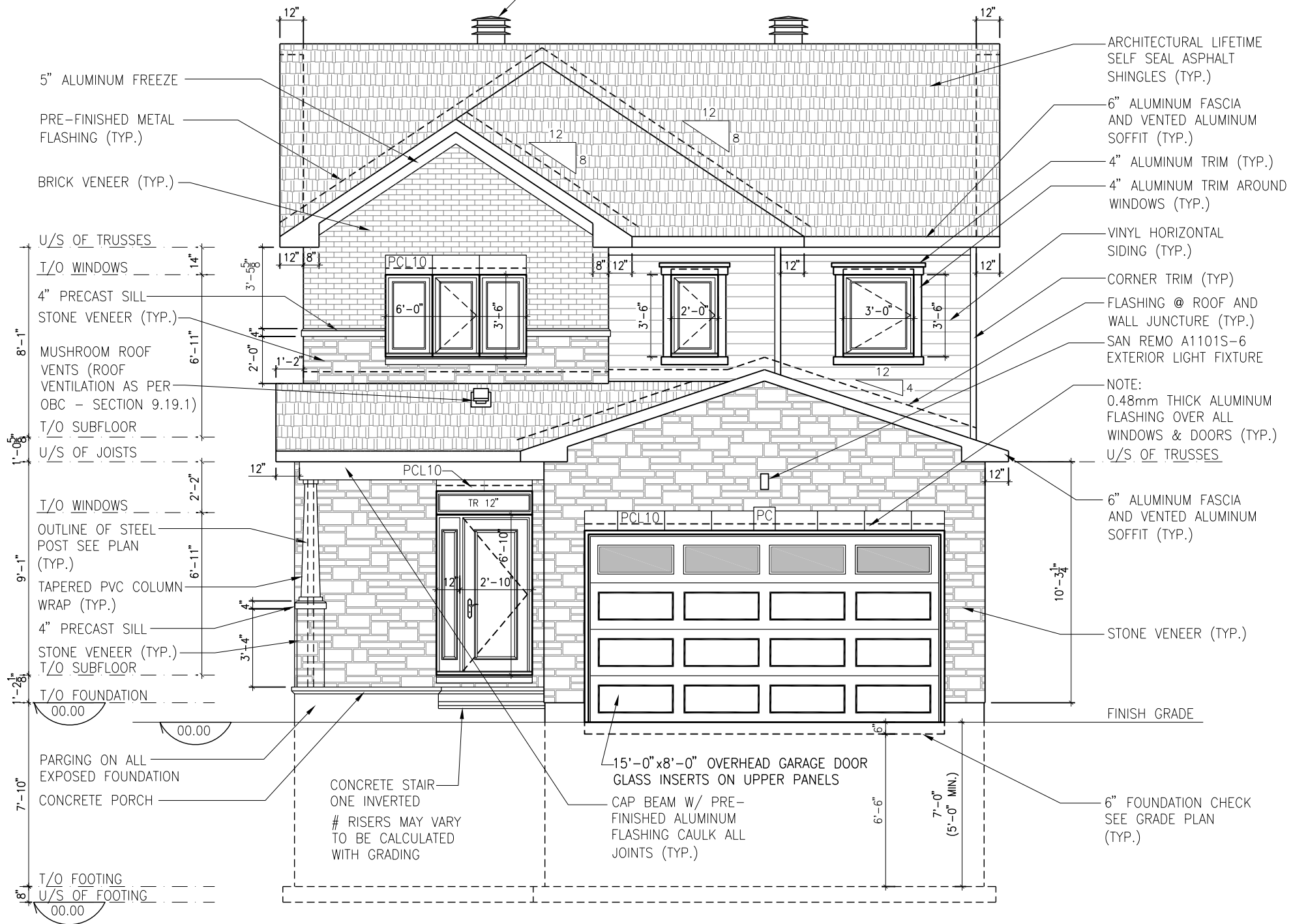
GROSS INSULATED = 253 M. SQ.
WALL AREA

GROSS WINDOW = 19.92 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 7.9%

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

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DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING
CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

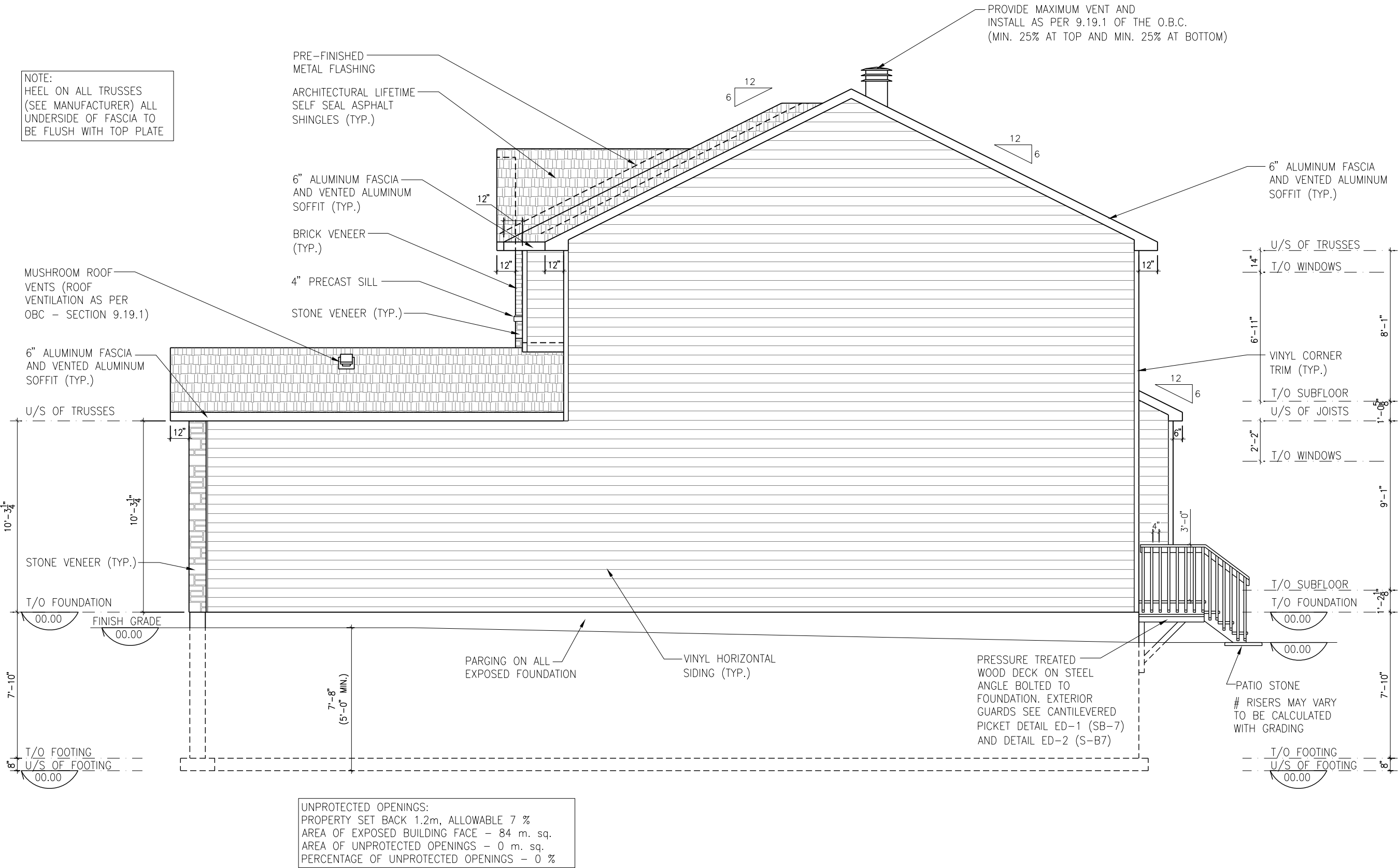
DRAWING: **FRONT ELEVATION
ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A1a**

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

RIGHT ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

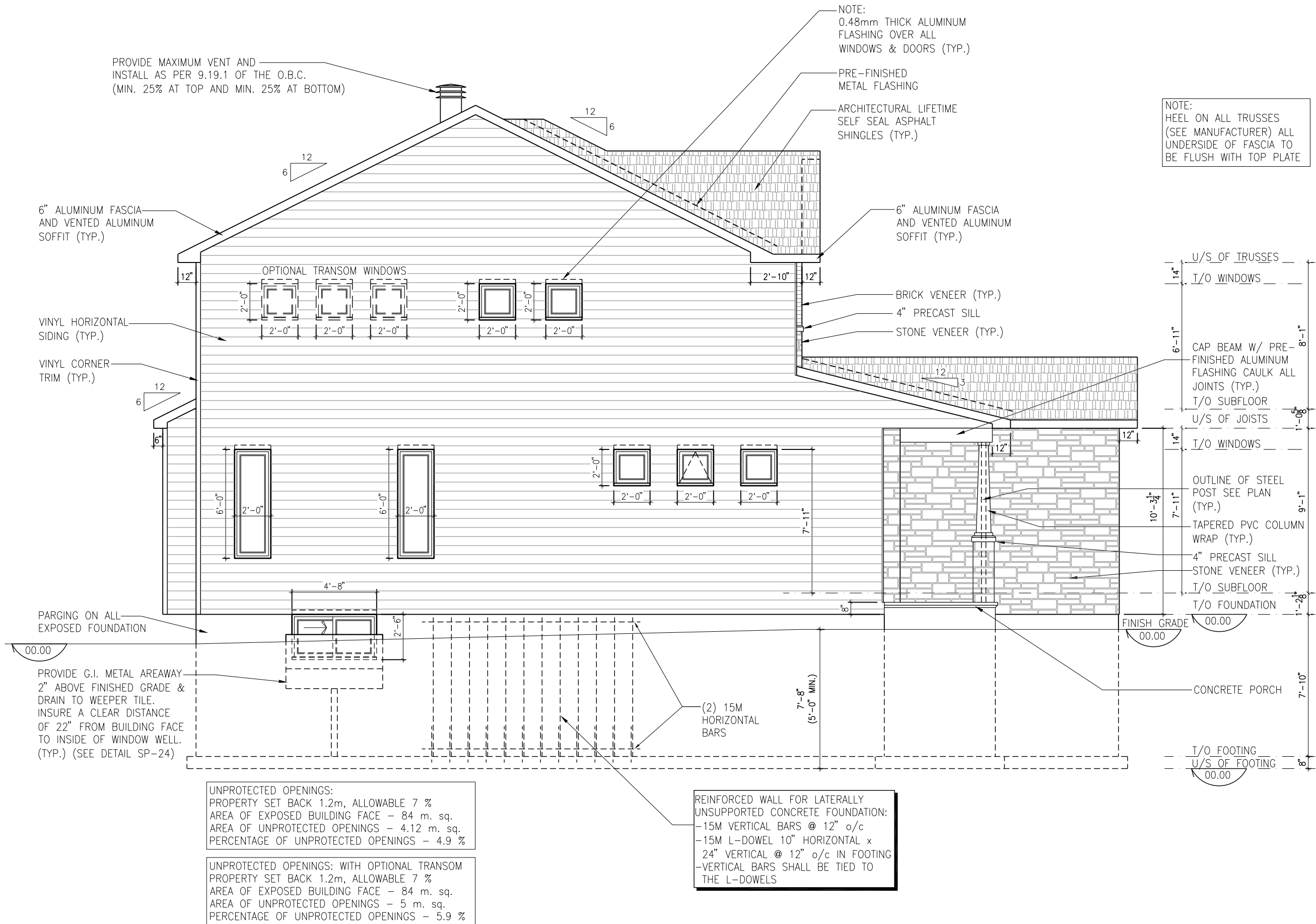
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: RIGHT ELEVATION
ELEVATION A

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2a



LEFT ELEVATION - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A3a



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

— NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

Architectural floor plan showing various rooms and features with dimensions:

- Top left room: 3'-0" x 3'-4"
- Top right room: 5'-0" x 6'-0"
- Left side room: 6'-10" x 6'-0"
- Center room: 6'-0" x 3'-0"
- Right side room: 6'-0" x 3'-0"
- Bottom right room: 3'-0" x 2'-0"
- Overall dimensions: 6'-10 1/2" (5'-0" MIN.) x 12'-0"
- Note: # RISERS MAY VARY TO BE CALCULATED WITH GRADING
- Feature: GAS FIREPLACE EXHAUST VENT

— VINYL HORIZONTAL
SIDING (TYP.)

— VINYL CORNER
TRIM (TYP.)

— PAVING ON ALL
EXPOSED FOUNDATION

GAS FIREPLACE
EXHAUST VENT

— PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

SCALE: 3/16" = 1'-0"

[illegible]DRAWING: **BEAR ELEVATION**

DRAWING: **REAR ELEVATION**
ELEVATION A

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

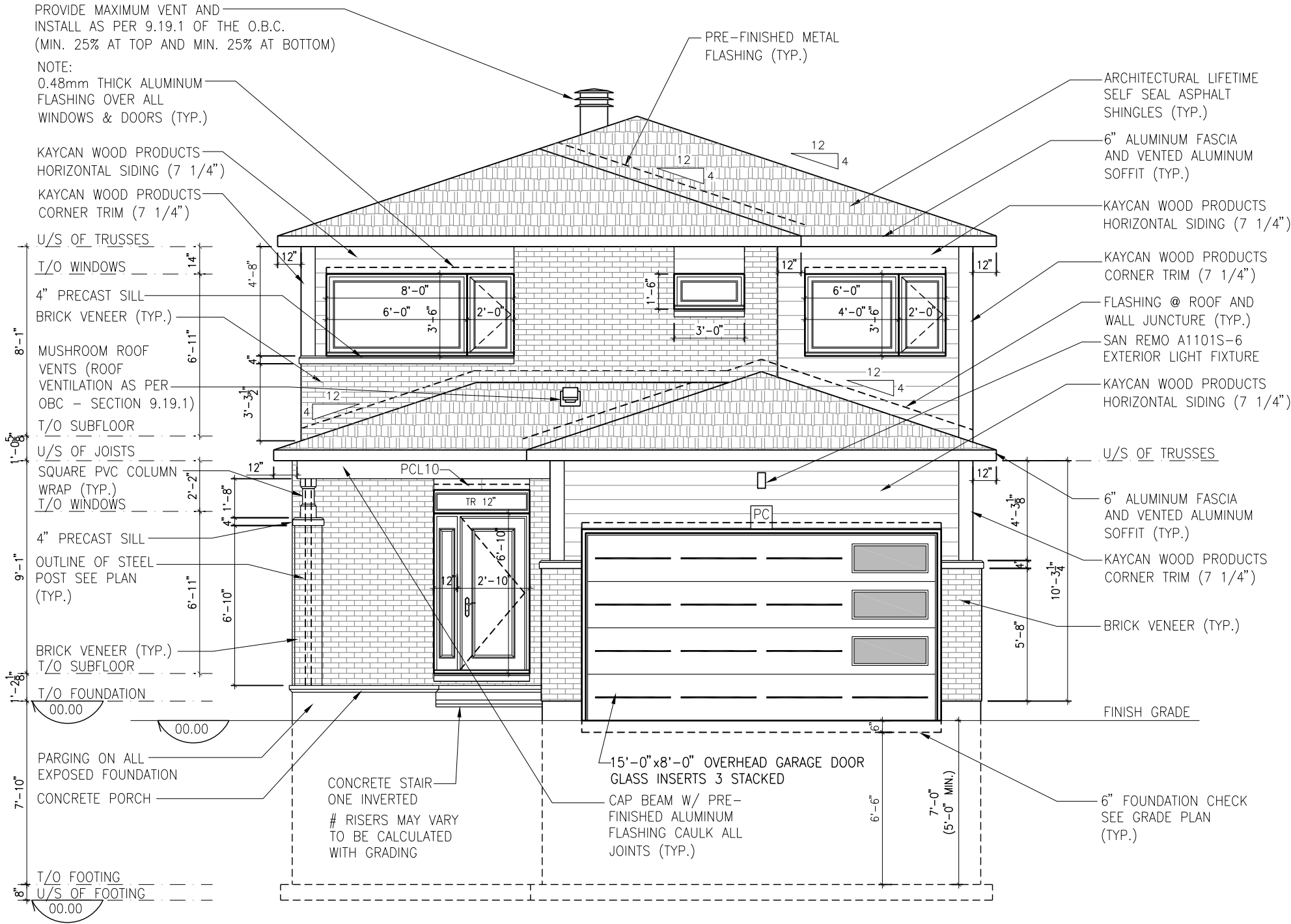
SHEET:
A4a

GROSS INSULATED = 253 M. SQ.
WALL AREA

GROSS WINDOW = 21.35 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 8.4%

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



FRONT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **FRONT ELEVATION
ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A1b**

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PRE-FINISHED
METAL FLASHING

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

KAYCAN WOOD PRODUCTS
HORIZONTAL SIDING (7 1/4")
KAYCAN WOOD PRODUCTS
CORNER TRIM (7 1/4")
BRICK VENEER (TYP.)

MUSHROOM ROOF
VENTS (ROOF
VENTILATION AS PER
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

KAYCAN WOOD
PRODUCTS CORNER
TRIM (7 1/4")

BRICK VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE

T/O FOOTING

U/S OF FOOTING

PARGING ON ALL
EXPOSED FOUNDATION

VINYL HORIZONTAL
SIDING (TYP.)

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PATIO STONE
RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

T/O FOOTING

U/S OF FOOTING

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

VINYL CORNER
TRIM (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

T/O SUBFLOOR

T/O FOUNDATION

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LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION
ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**

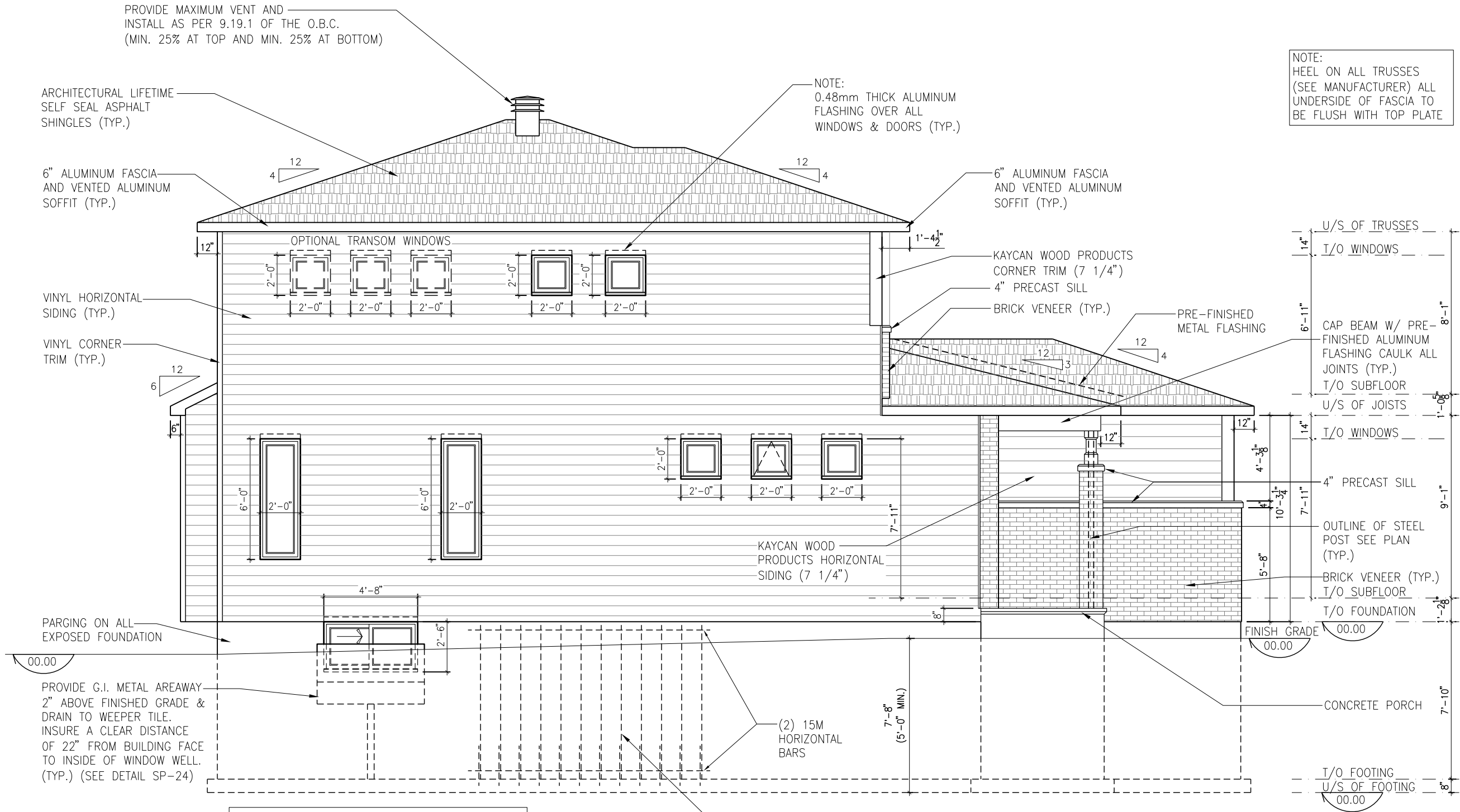
(STANDARD DRAWINGS)

SHEET:

A2b

RIGHT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

REINFORCED WALL FOR Laterally
UNSUPPORTED CONCRETE FOUNDATION:
-15M VERTICAL BARS @ 12" o/c
-15M L-DOWEL 10" HORIZONTAL x
24" VERTICAL @ 12" o/c IN FOOTING
-VERTICAL BARS SHALL BE TIED TO
THE L-DOWELS

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 4.12 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 4.9 %

UNPROTECTED OPENINGS: WITH OPTIONAL TRANSOM
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 5 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 5.9 %

LEFT ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

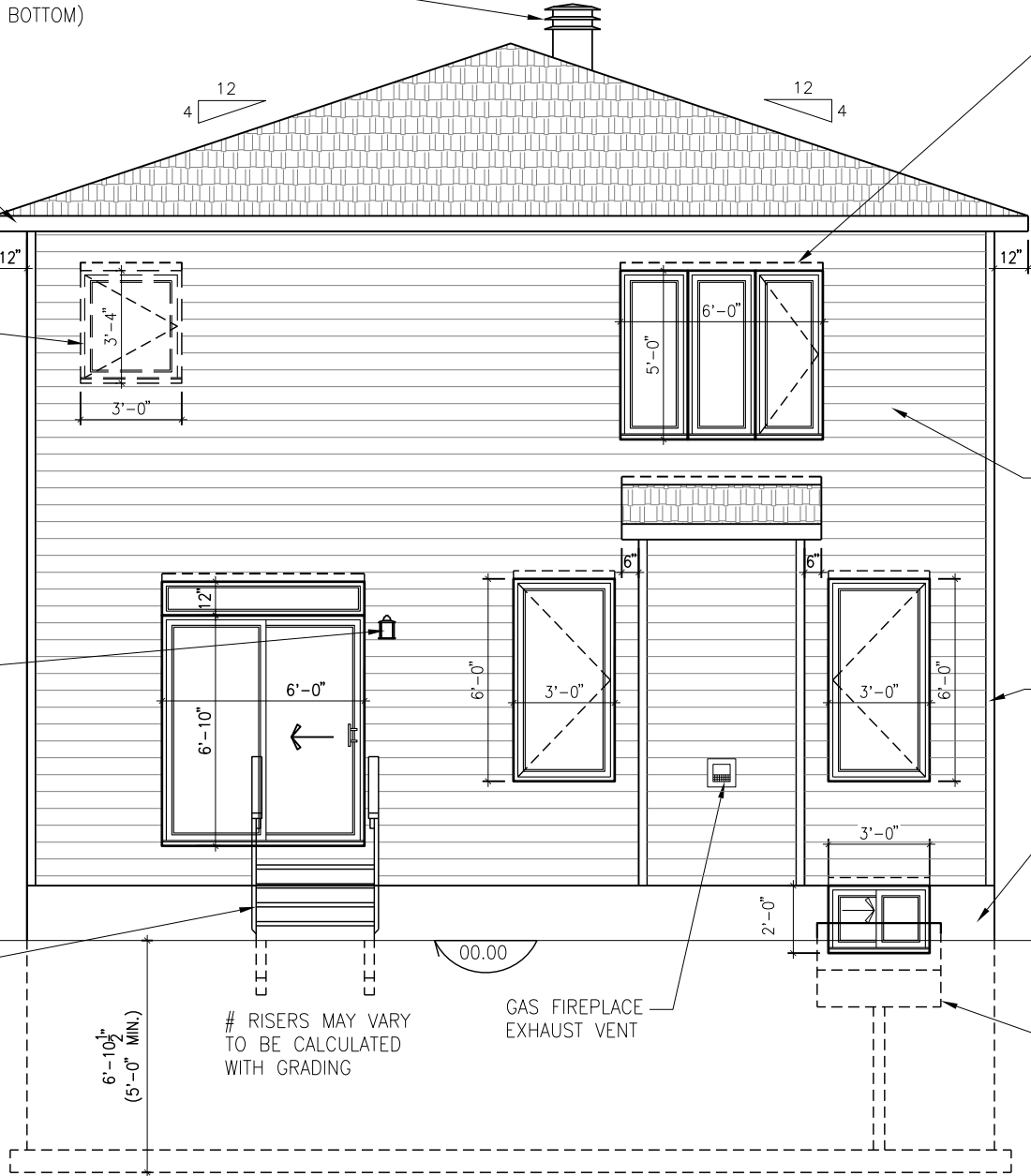
SHEET:
A3b

NOTE:
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PROVIDE MAXIMUM VENT AND
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(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES
T/O WINDOWS
5 PC ENSUITE
UPGRADE
T/O SUBFLOOR
U/S OF JOISTS
T/O WINDOWS
EXTERIOR LIGHT
FIXTURE (TYP.)
T/O SUBFLOOR
T/O FOUNDATION
00.00
FINISH GRADE
7'-10"
PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)
T/O FOOTING
U/S OF FOOTING
00.00



NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

VINYL CORNER
TRIM (TYP.)

PARGING ON ALL
EXPOSED FOUNDATION

PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION
ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:

A4b

REAR ELEVATION - ELEVATION B

SCALE: 3/16" = 1'-0"

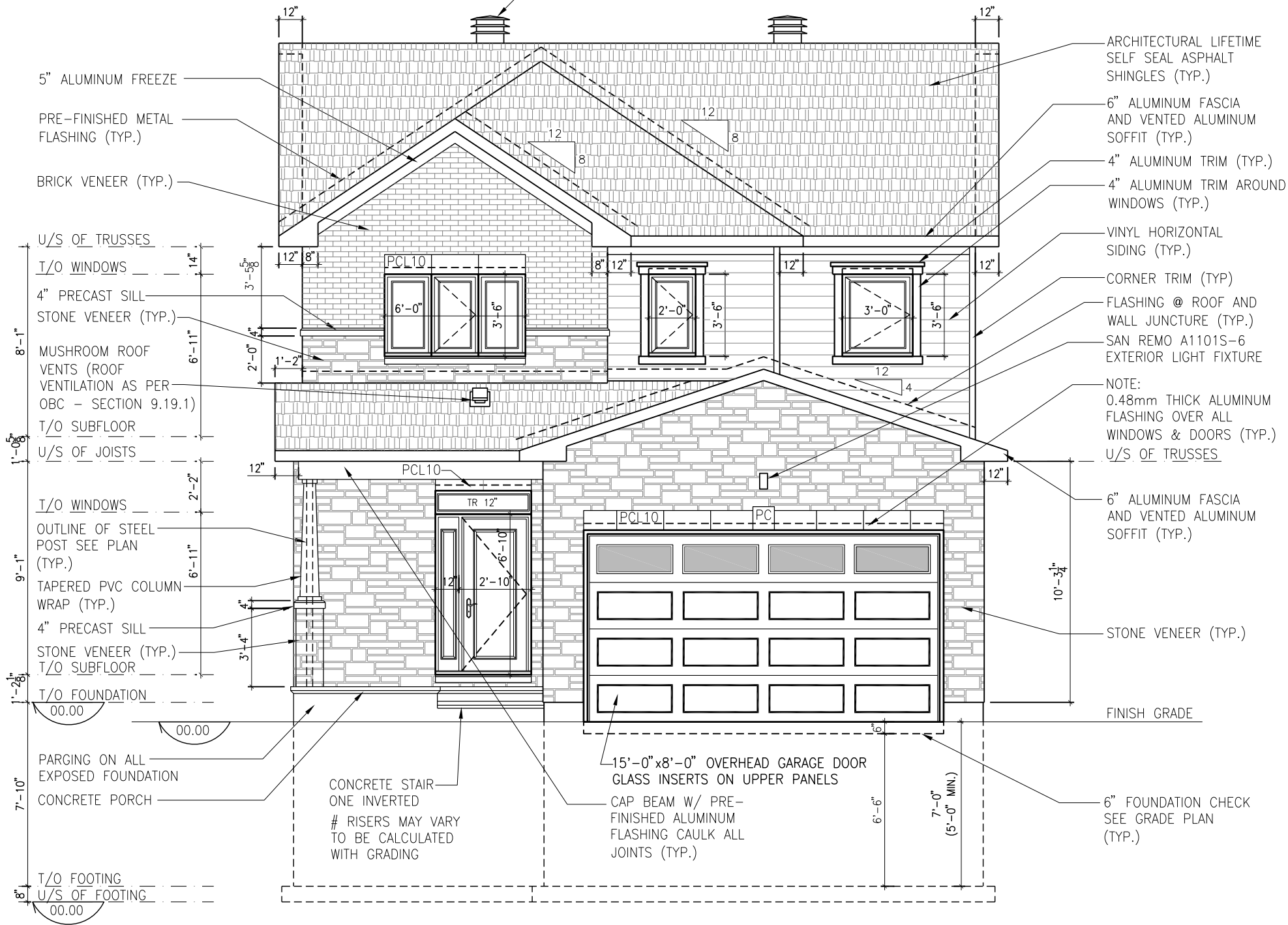
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WALL AREA

GROSS WINDOW = 21.72 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 8.6%

PROVIDE MAXIMUM VENT AND
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NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



LOT: XXXX
DATE: XX/XX/XXXX

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PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **FRONT ELEVATION**
ELEVATION A - 4 BED OPTION

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A1c

FRONT ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PRE-FINISHED
METAL FLASHING

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

BRICK VENEER
(TYP.)

4" PRECAST SILL

STONE VENEER (TYP.)

MUSHROOM ROOF
VENTS (ROOF
VENTILATION AS PER
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

STONE VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE
00.00

T/O FOOTING

U/S OF FOOTING
00.00

PARGING ON ALL
EXPOSED FOUNDATION

VINYL HORIZONTAL
SIDING (TYP.)

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PATIO STONE
RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

T/O SUBFLOOR

T/O FOUNDATION
00.00

00.00

00.00

00.00

00.00

00.00

00.00

00.00

00.00

00.00

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

14"

6'-11"

8'-1"

VINYL CORNER
TRIM (TYP.)

T/O SUBFLOOR

U/S OF JOISTS

1'-0"

2'-2"

T/O WINDOWS

9'-1"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION
ELEVATION A**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**

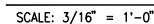
(STANDARD DRAWINGS)

SHEET:

A2c

RIGHT ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"



PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES
T/O WINDOWS
8'-1"
6'-11"
14"
T/O SUBFLOOR
U/S OF JOISTS
1'-0 5/8"
T/O WINDOWS
14"
9'-1"
EXTERIOR LIGHT
FIXTURE (TYP.)
7'-11"
T/O SUBFLOOR
T/O FOUNDATION
1'-2 1/8"
00.00
FINISH GRADE
7'-10"
PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)
T/O FOOTING
U/S OF FOOTING
8'
00.00



NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

VINYL CORNER
TRIM (TYP.)

PARGING ON ALL
EXPOSED FOUNDATION

PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

REAR ELEVATION - ELEVATION A - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION
ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A4c



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611
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PC - PRECAST KEYSTONE
PCI 10 - 10" PRECAST LINTEL

PERCENT GLASS TO WALL AREA = 9.1%

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

— CAP BEAM W/ PRE-FINISHED ALUMINUM FLASHING CAULK ALL JOINTS (TYP.)

SCALE: 3/16" = 1'-0"

[illegible]

DRAWING: **FRONT ELEVATION**
ELEVATION B

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A1d

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PRE-FINISHED
METAL FLASHING

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

KAYCAN WOOD PRODUCTS
HORIZONTAL SIDING (7 1/4")
KAYCAN WOOD PRODUCTS
CORNER TRIM (7 1/4")
BRICK VENEER (TYP.)

MUSHROOM ROOF
VENTS (ROOF
VENTILATION AS PER
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

KAYCAN WOOD
PRODUCTS CORNER
TRIM (7 1/4")

BRICK VENEER (TYP.)

T/O FOUNDATION

FINISH GRADE
00.00

T/O FOOTING

U/S OF FOOTING
00.00

PARGING ON ALL
EXPOSED FOUNDATION

VINYL HORIZONTAL
SIDING (TYP.)

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PATIO STONE
RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

T/O SUBFLOOR
T/O FOUNDATION
00.00

T/O FOOTING
U/S OF FOOTING
00.00

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 0 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

14"
T/O WINDOWS

6'-11"
VINYL CORNER
TRIM (TYP.)

T/O SUBFLOOR
U/S OF JOISTS

2'-2"
T/O WINDOWS

T/O SUBFLOOR

T/O FOUNDATION

00.00

00.00

00.00

RIGHT ELEVATION - ELEVATION B - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **RIGHT ELEVATION
ELEVATION B**

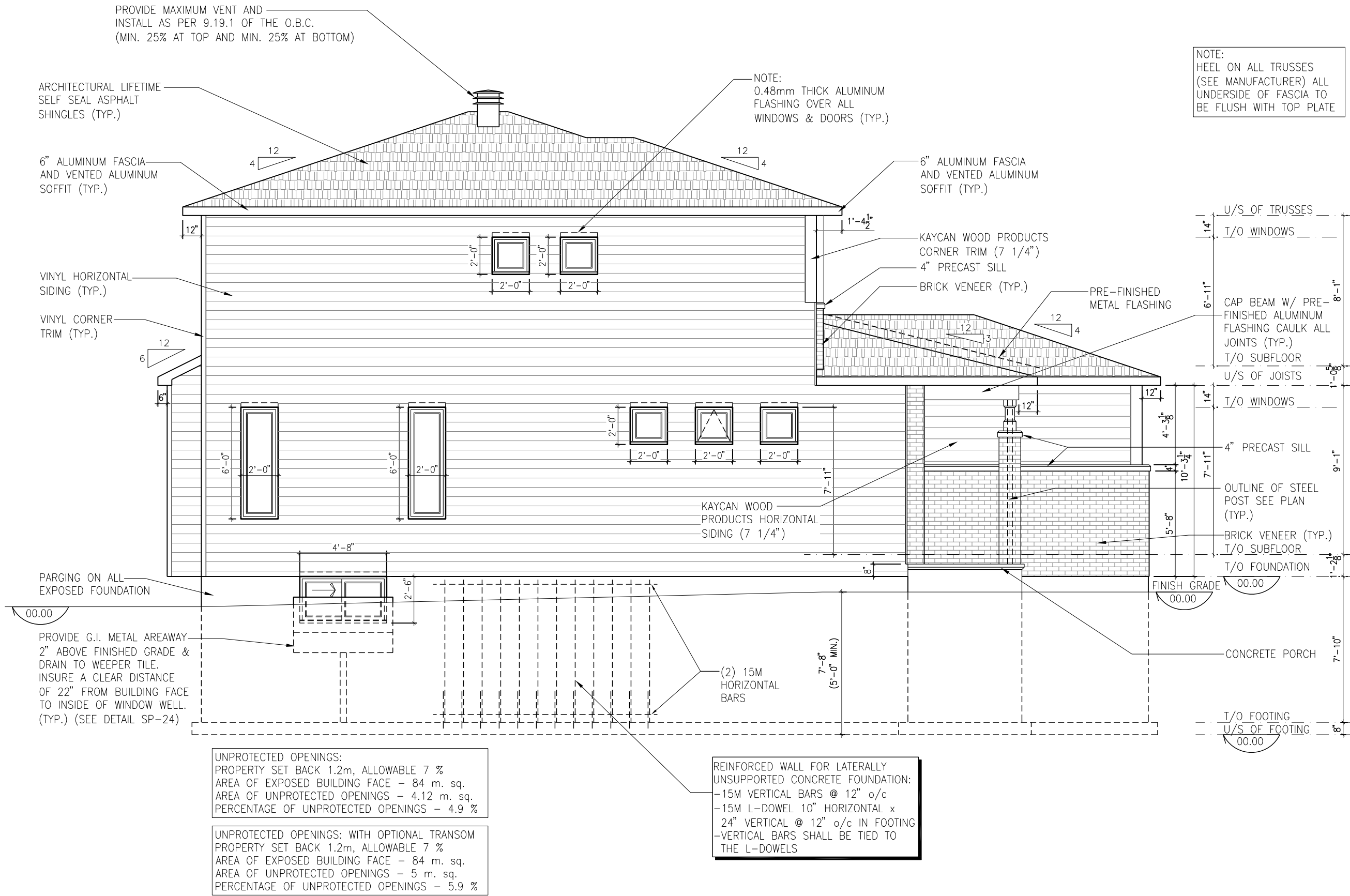
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A2d



LOT: XXXX
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 4.12 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 4.9 %

UNPROTECTED OPENINGS: WITH OPTIONAL TRANSOM
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 84 m. sq.
AREA OF UNPROTECTED OPENINGS - 5 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 5.9 %

REINFORCED WALL FOR Laterally
UNSUPPORTED CONCRETE FOUNDATION:
-15M VERTICAL BARS @ 12" o/c
-15M L-DOWEL 10" HORIZONTAL x
24" VERTICAL @ 12" o/c IN FOOTING
-VERTICAL BARS SHALL BE TIED TO
THE L-DOWELS

LEFT ELEVATION - ELEVATION B - 4 BEDROOM OPTION
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: LEFT ELEVATION
ELEVATION B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

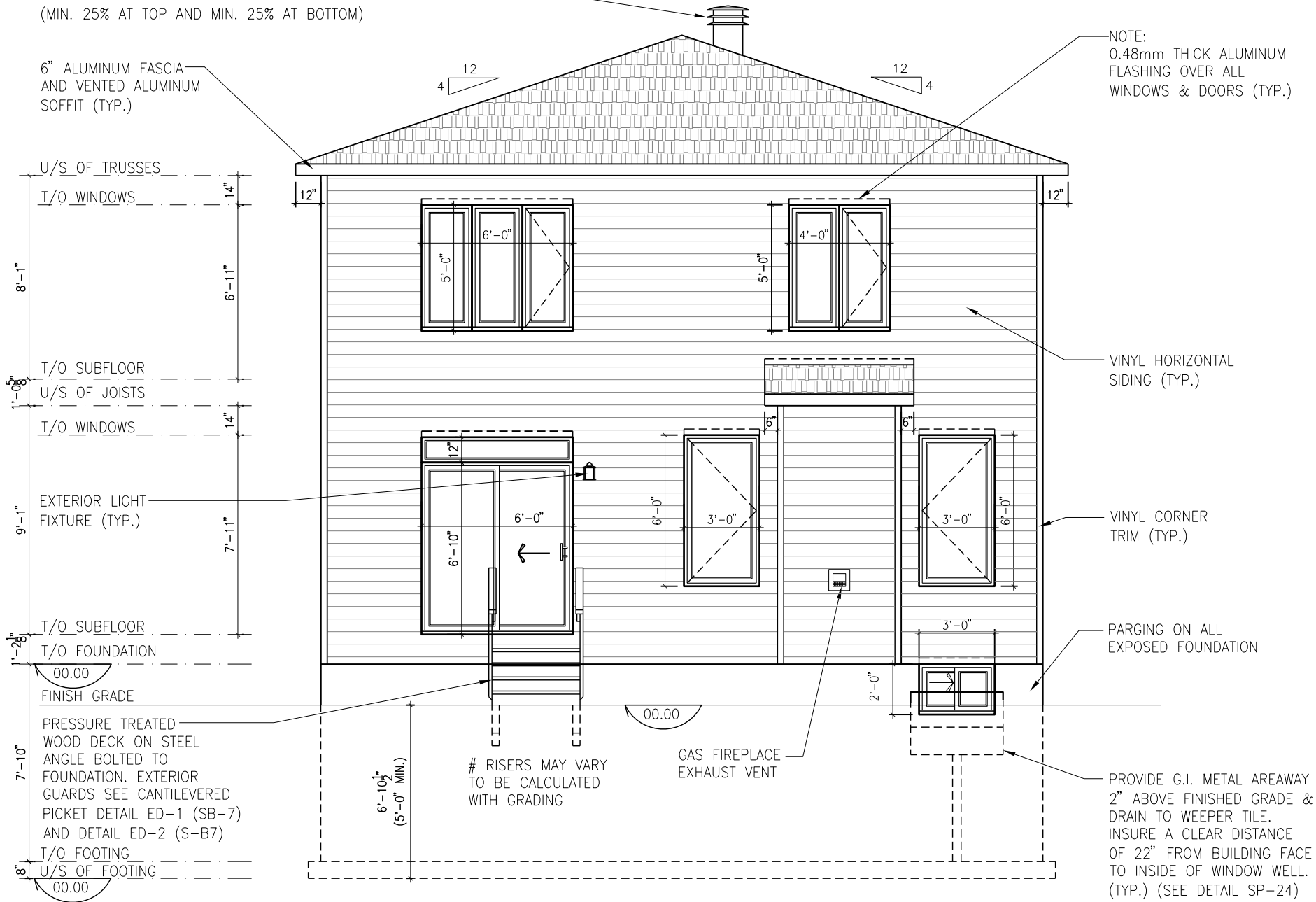
SHEET:
A3d

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)



LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **REAR ELEVATION
ELEVATION B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**810 - THE KEMP
2023 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:

A4d

REAR ELEVATION - ELEVATION B - 4 BEDROOM OPTION

SCALE: 3/16" = 1'-0"



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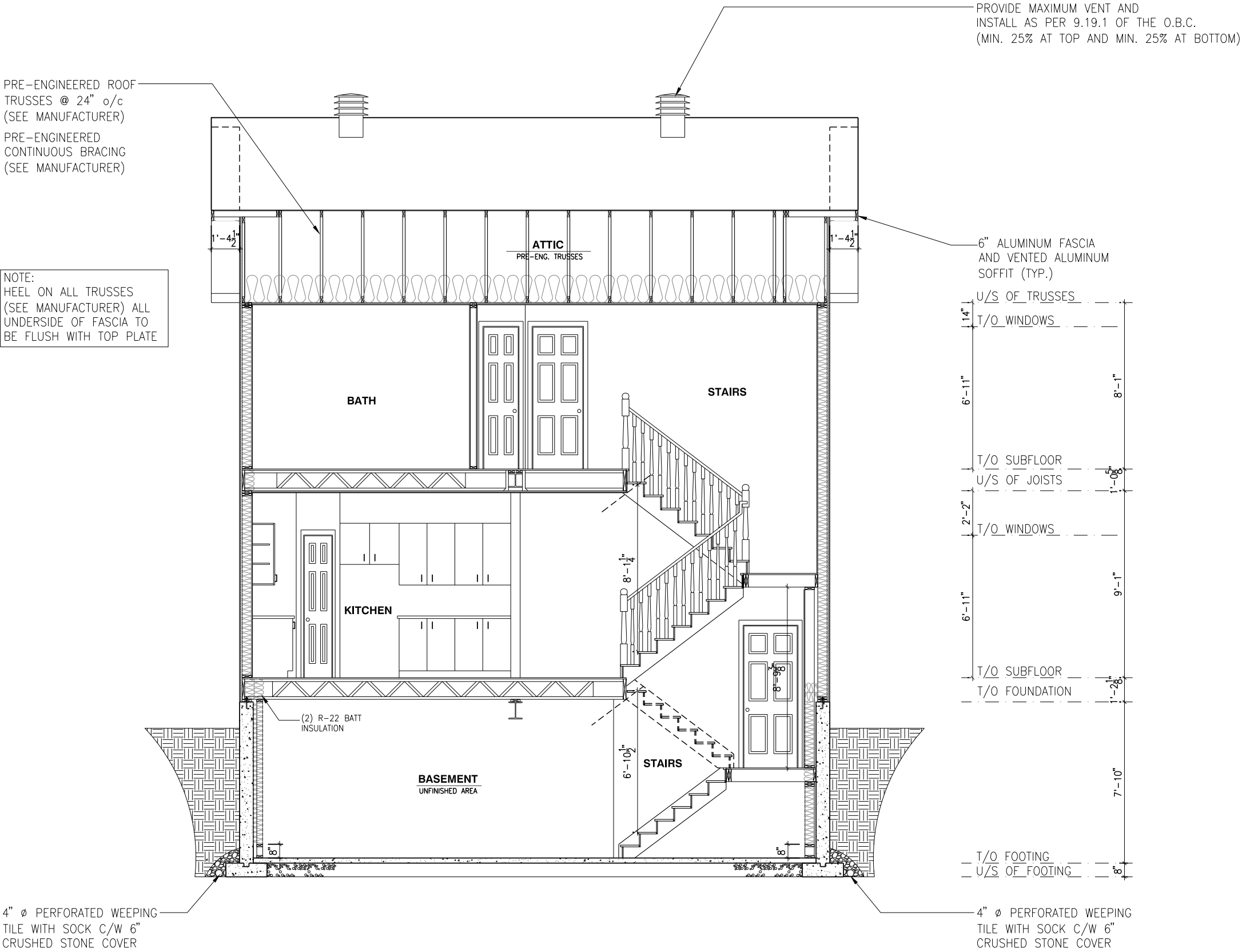
- EXTERIOR FINISH LEGEND:
- B - BRICK (MAIN)
 - B1 - BRICK SOLDIER COURSE (ACCENT)
 - B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
 - B3 - BRICK SLEEPER COURSE
 - B4 - STACK BOND (ACCENT)
 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK COINING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - SV - SIDING (VERTICAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
 - AC - ALUMINUM CLADDING
 - AB - 48" ALUMINUM BAND
 - AS - ASPHALT SHINGLES
 - F - FLASHING
 - V - ROOF VENT (MAXIMUM)
 - P - PARGING
 - PC - PARGING
 - PCH10 - PRECAST HEADER 10"
 - PCH8 - PRECAST HEADER 8"
 - PCS - PRECAST SILL
 - PCB - PRECAST BAND
 - VS - VINYL SHAKES
 - VEC - SIDING (VERTICAL CORNER)
 - KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BUILDING SECTION
ELEVATION A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx



BUILDING SECTION - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

MAXIMUM ROOF VENT
(ROOF VENTILATION AS PER
OBC - SECTION 9.19.1) (TYP.)

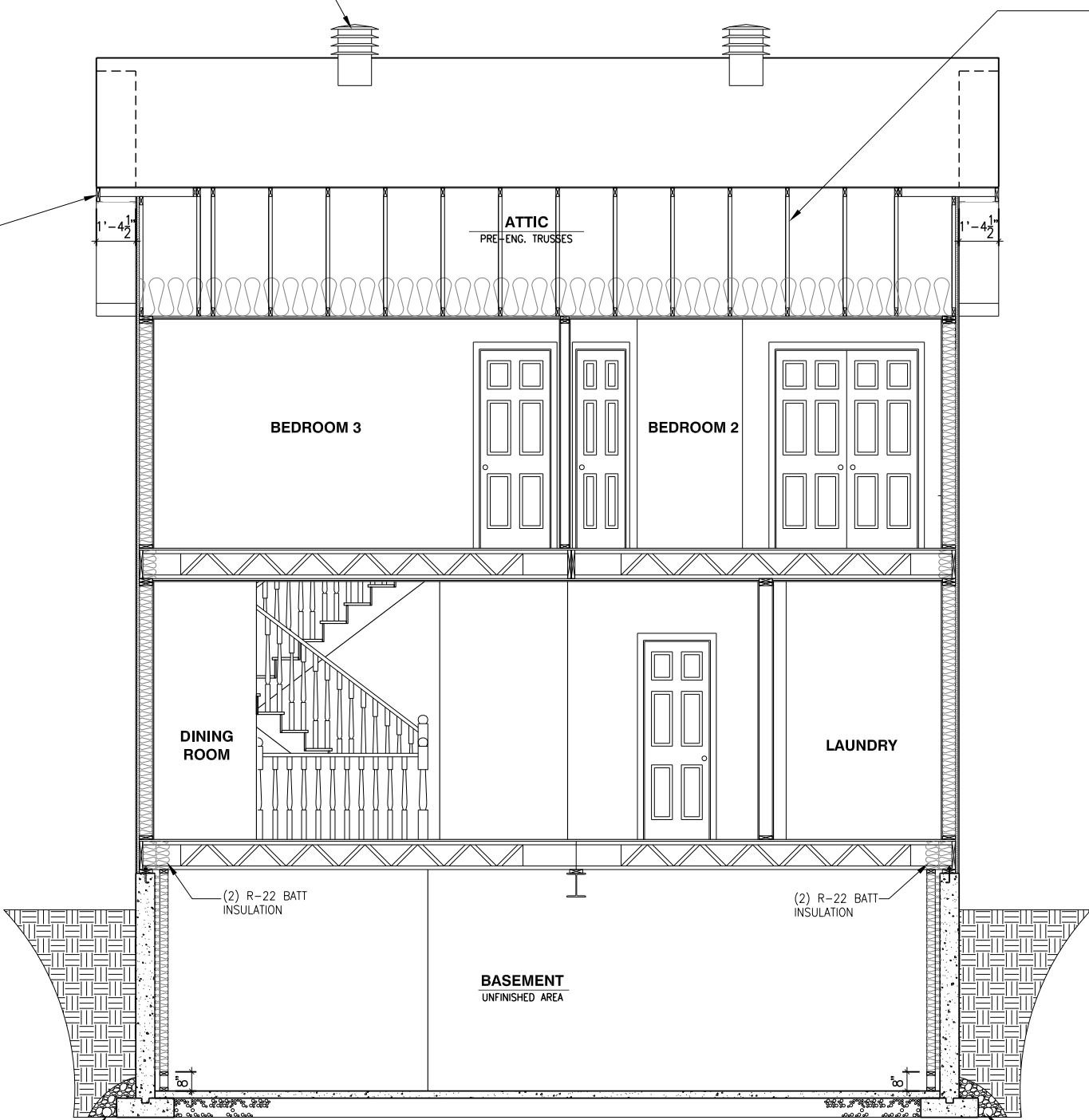
PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)
PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)
U/S OF TRUSSES
T/O WINDOWS
14"
8'-1"
6'-11"
T/O SUBFLOOR
U/S OF JOISTS
2'-2"
9'-1"
6'-11"
T/O WINDOWS
1'-28"
T/O SUBFLOOR
T/O FOUNDATION
7'-10"
8"
T/O FOOTING
U/S OF FOOTING

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

BUILDING SECTION ELEVATION A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A5b

BUILDING SECTION - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

[illegible]

PROVIDE MIN. 1.5"
CONCRETE COVER OVER REBAR

1-10M REBAR
AT STAIR NOSING
(TYP. AT EACH STEP)

1/15M DOWEL @ 12" o/c
(24" HORIZONTAL x 24" VERTICAL)

← SLOPE

CAST IN PLACE
CONCRETE STEPS

INSTALL A BLUESKIN STRIP
OR EQUIVALENT AROUND
SLAB PERIMETER

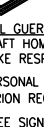
1/15M DOWEL @ 12" o/c
(24" HORIZONTAL x 24" VERTICAL)

- ± 6" REINFORCED CONCRETE SLAB
c/w 1-10M REBAR @ 8" o/c B/W
@ BOTTOM
- CONCRETE TO BE 4650 PSI c/w
SEALER AND HARDNER

3
A.6

CONCRETE PORCH REINFORCING

SCALE: 1/4" = 1'-0"

DATE:	<div style="text-align: right;">XXXX</div> XX/XX/XXXX
	<h1 style="margin: 0;">Valecraft</h1> <h2 style="margin: 0;">Homes (2019) Limited</h2> <p>D. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.</p> <ul style="list-style-type: none"> - PERSONAL BCIN #19896 - TARIION REGISTRATION NUMBER #611 <p style="text-align: center;">** SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **</p>
<p>THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1 AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.</p>	
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<p>THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.</p>	
<p>NOTES:</p> <p>STEEL LINTEL:</p> <ul style="list-style-type: none"> S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12 S7 = L 150x100x10 (8" BEARING) 	
<p>LINTEL TABLE:</p> <p>L1 = 2-2x4 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES</p> <p>IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER</p>	
<p>POST TABLE:</p> <p>P1 = 3" ADJUSTABLE STEEL COLUMN P2 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP</p> <p>P4 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6</p> <p>P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (•) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (•) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (•) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (•) P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. (•) + 130x160x10 TOP PL. (•) (•) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)</p>	
<p>POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)</p> <p>IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"</p>	

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

FOOTING TABLE & DETAILS

ADDRESS:

xx

SCALE:

3/16" = 1'-0"

DATE:

xx/xx/xxxx

810 - THE KEMP

2023 FOOTPRINT

SHEET:

A6

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

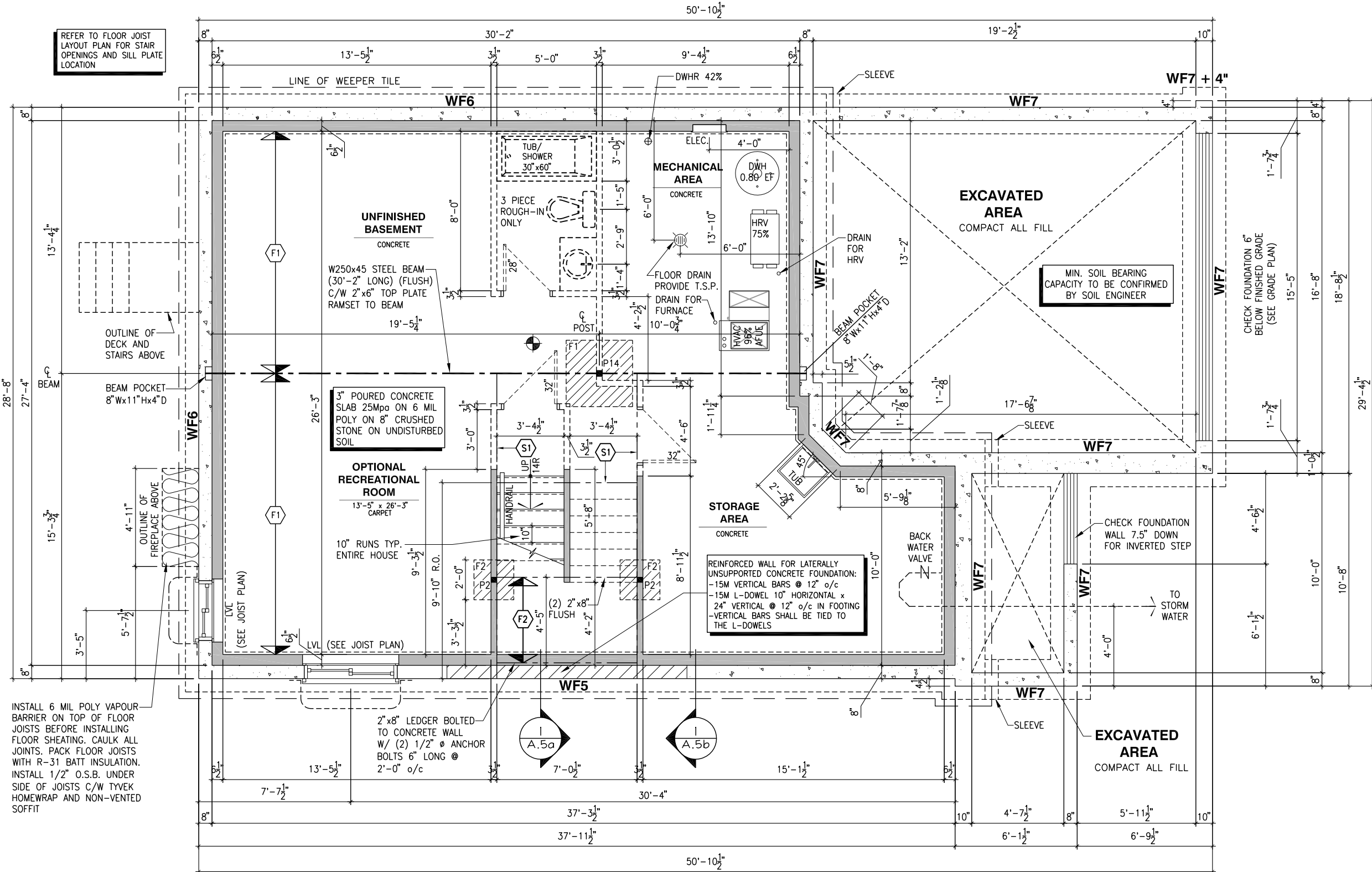
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN



BASEMENT FLOOR PLAN - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARIOR REGISTRATION NUMBER #611

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STEEL LINTEL:

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2012 O.B.C. DRAWINGS

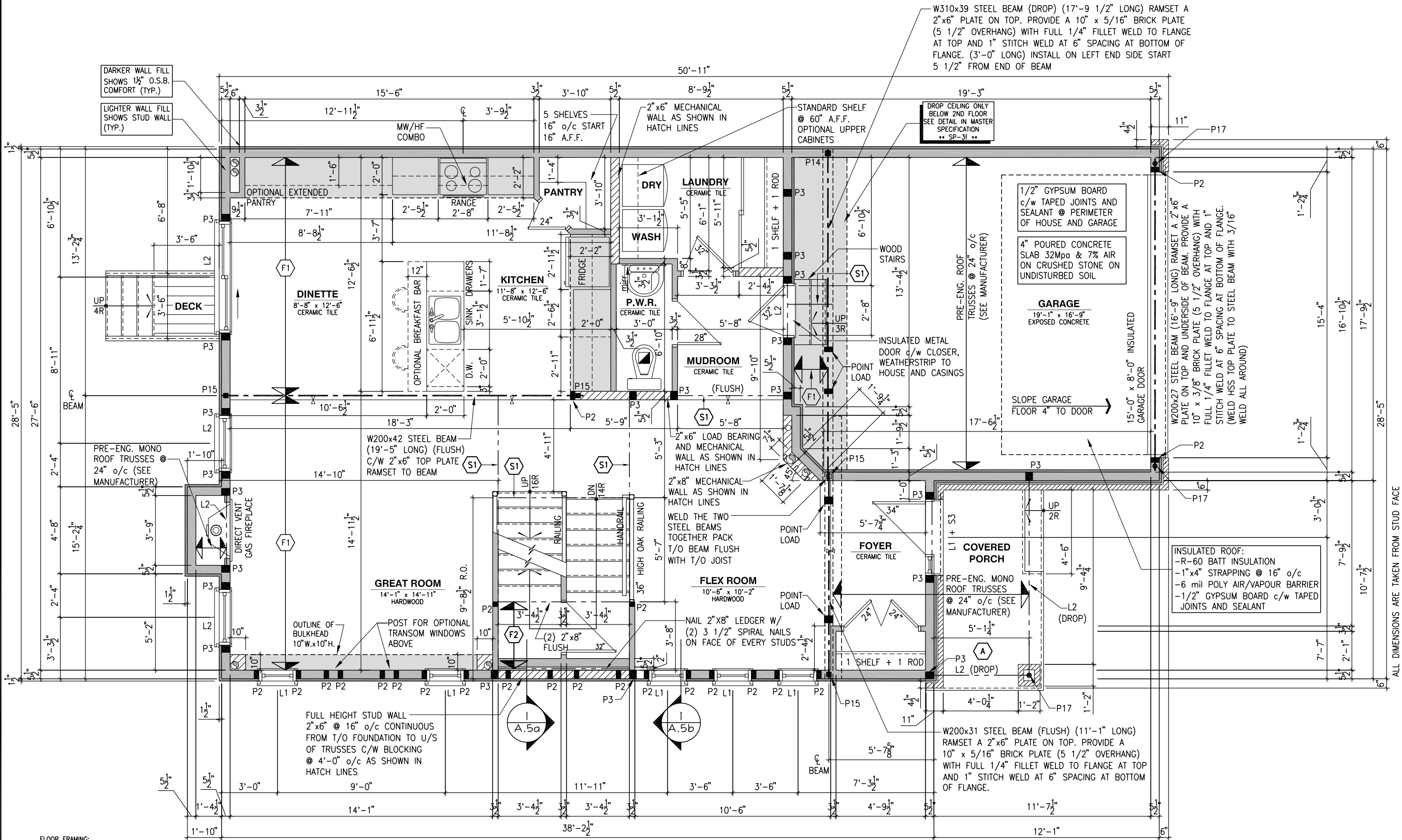
REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: BASEMENT FLOOR PLAN
ELEV. A AND B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT

SHEET: A6a
(STANDARD DRAWINGS)



- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

- GENERAL NOTES:
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SINGLE DWELLING STAIRS:

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HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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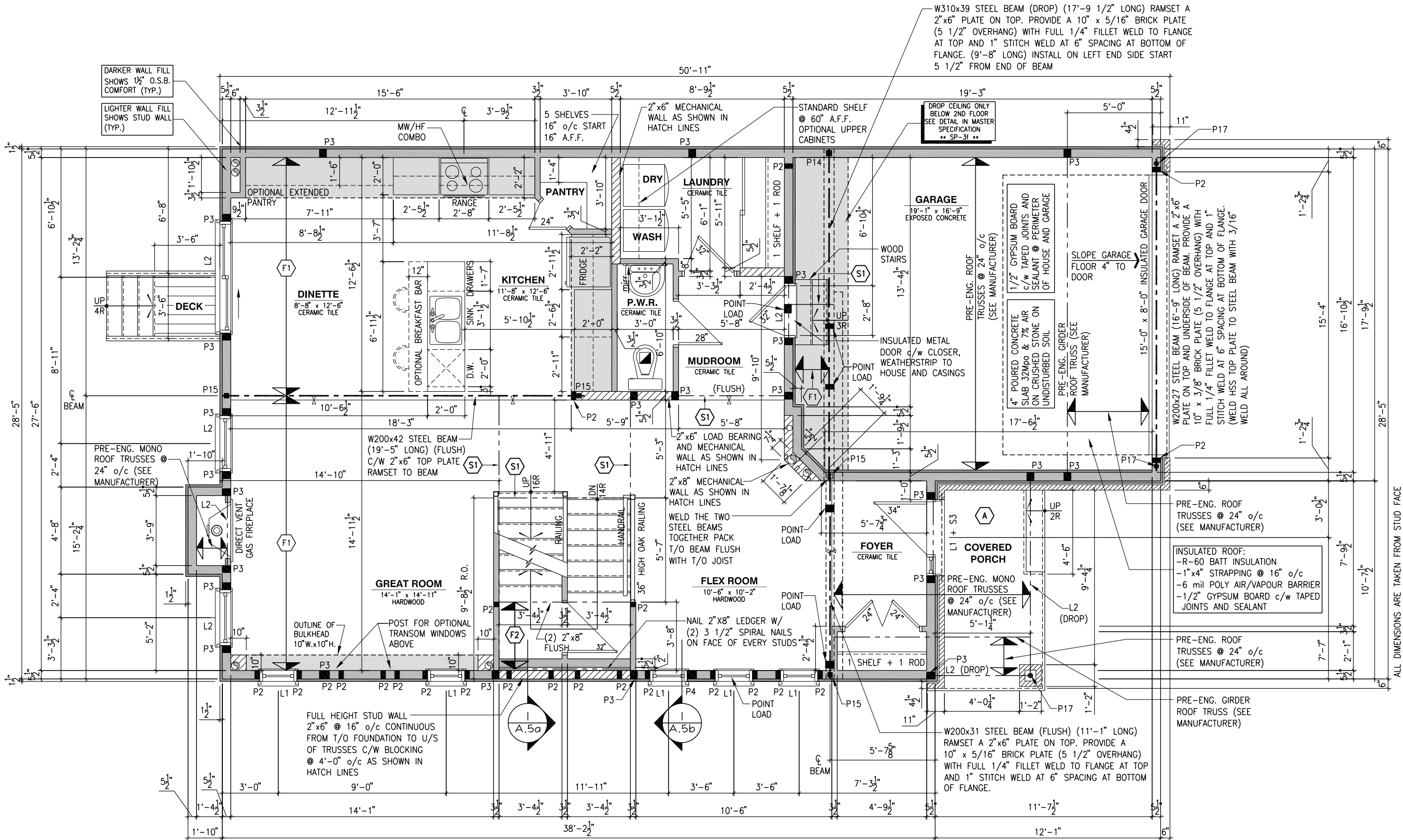
REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - ELEV. A

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7a



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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GROUND FLOOR PLAN - STANDARD KITCHEN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- (+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

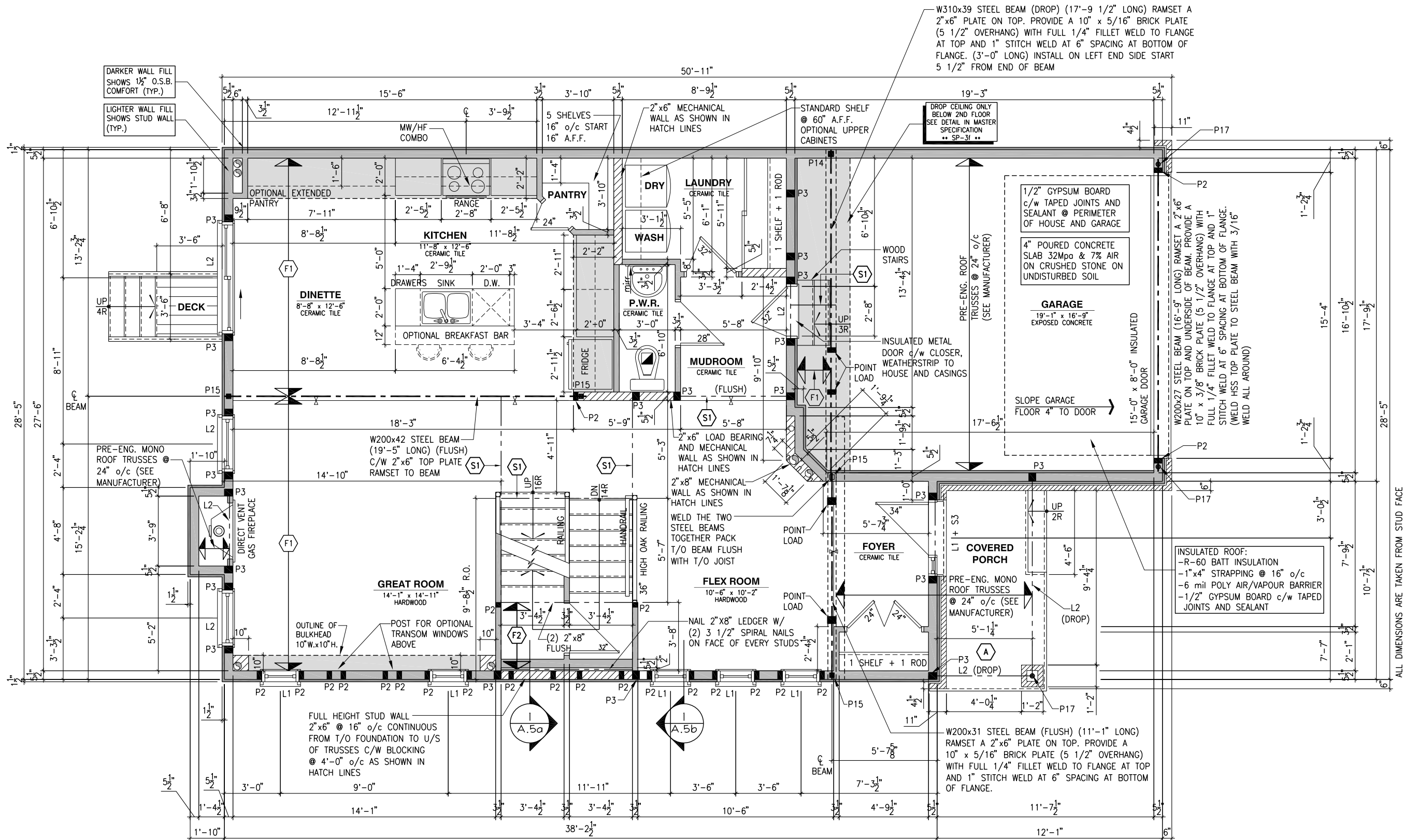
DRAWING: GROUND FLOOR PLAN
STANDARD KITCHEN - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7b



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:
STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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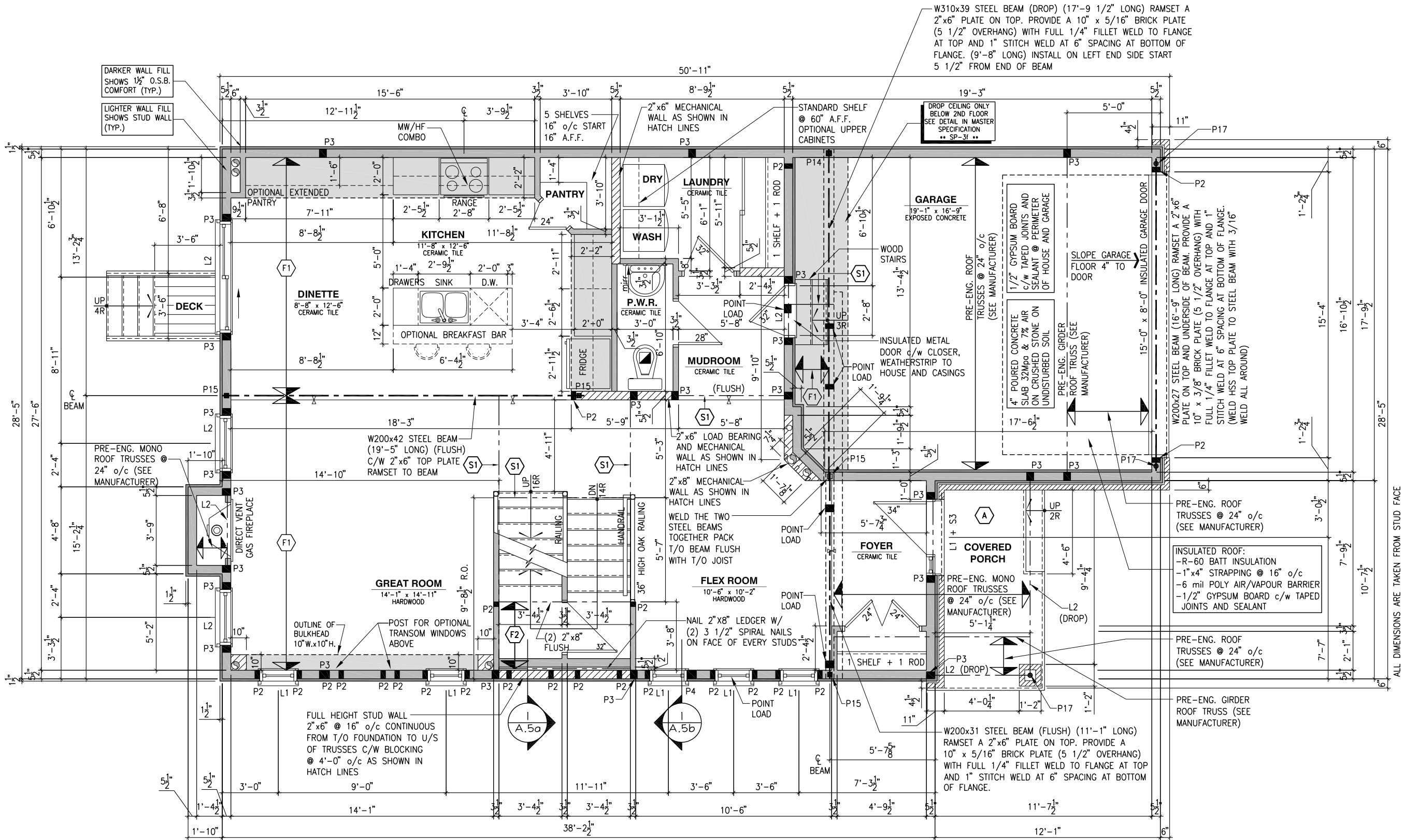
PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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LINTEL TABLE:

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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: GROUND FLOOR PLAN OPT. KITCHEN #1 - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b



Valecraft
Homes (2019) Limited

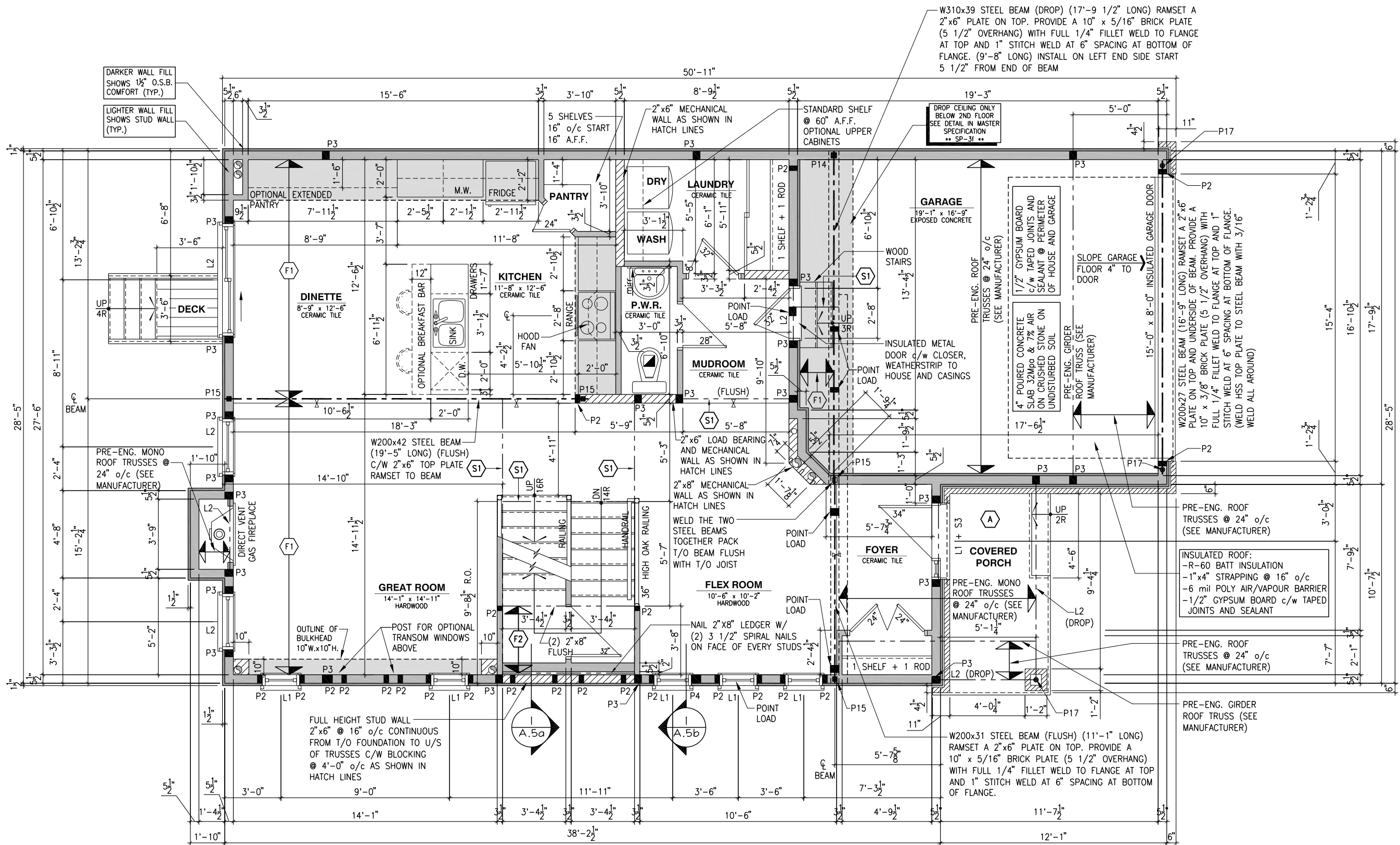
•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)



- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

SCALE: $3/16" = 1'-0"$



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

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HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
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HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- L1 = 2-2x10 + P2 ON BOTH SIDES
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #2 - ELEV. B

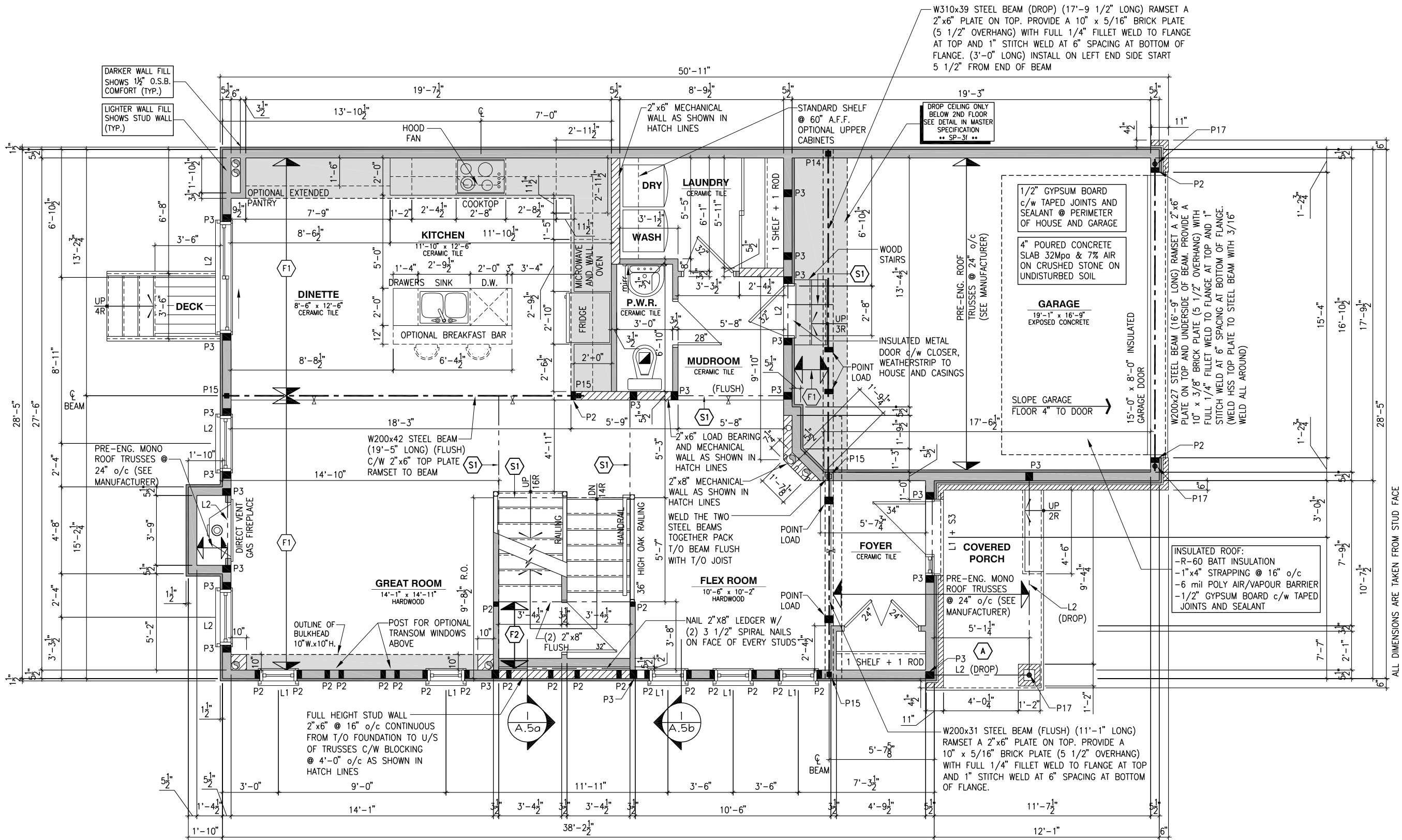
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810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7f



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LOT: XXXX

DATE: XX/XX/XXXX

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Homes (2019) Limited

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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

(+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #3 - ELEV. A

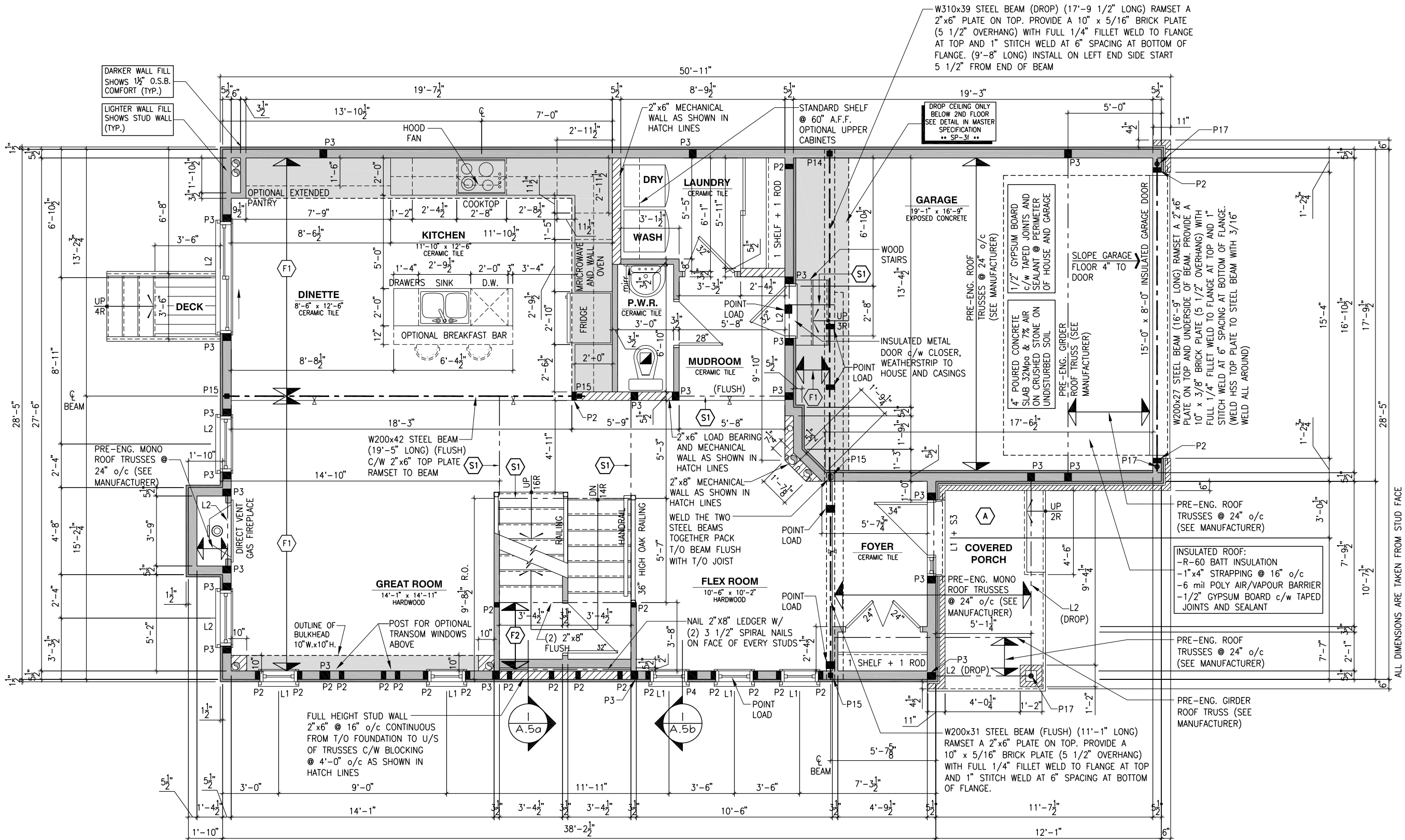
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT

SHEET: A7g

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION A

SCALE: 3/16" = 1'-0"



FLOOR FRAMING:

F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 16" or 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

A PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.E.N.G. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GROUND FLOOR PLAN - OPTIONAL KITCHEN #3 - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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- S4 = L 125x90x8
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- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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POST BY USP

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 02/01/2023 DOYON

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #3 - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

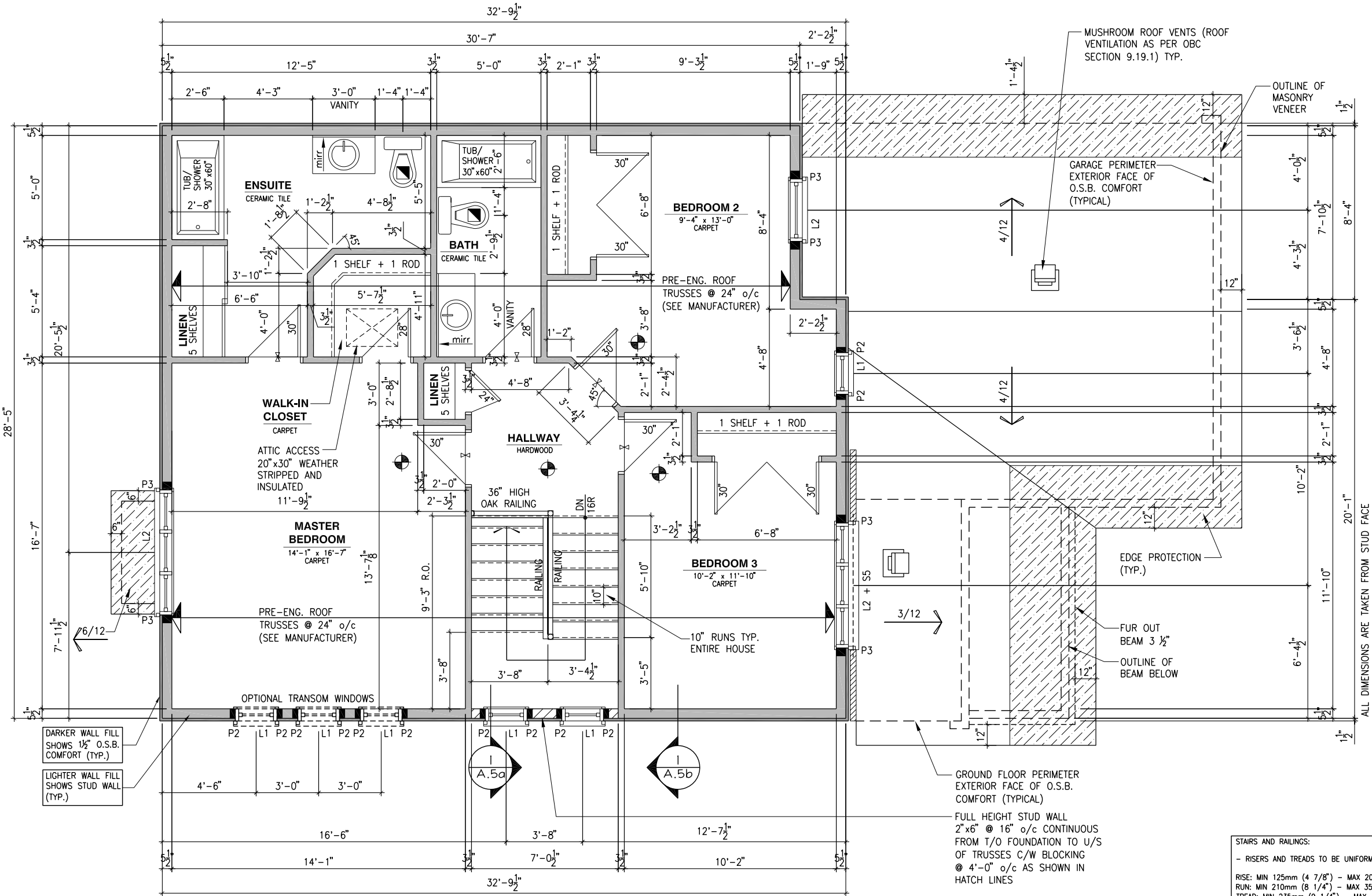
810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A7h

SECOND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:

RISE = 5" MIN / 7'-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

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TREAD: MIN 235mm (9 1/4") – MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
– HANDRAILS: MIN 860mm (34") – MAX 900mm (36");
– GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
– INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
– MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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POST TABLE:

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP 2023 FOOTPRINT

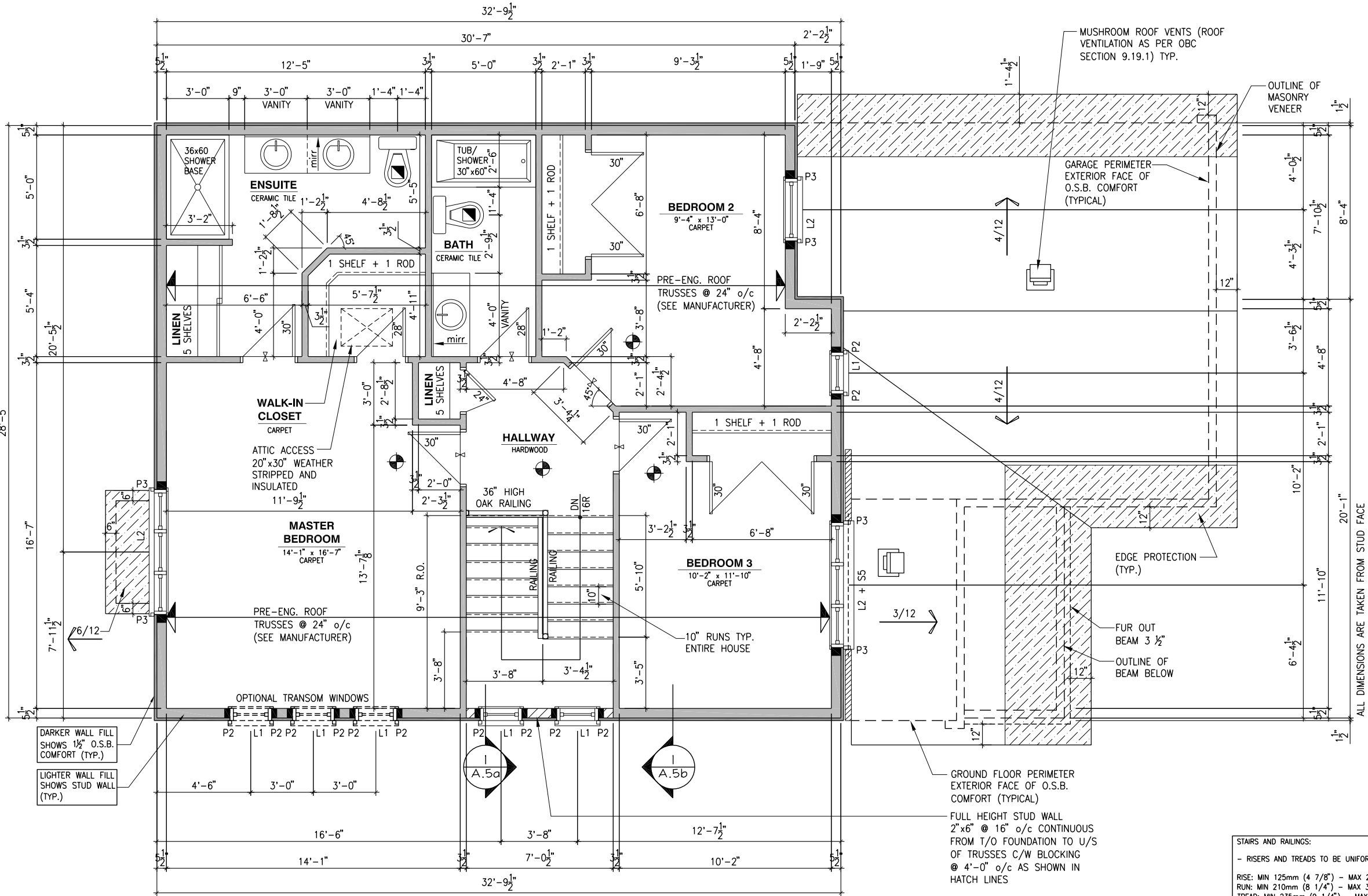
(STANDARD DRAWINGS)

SHEET:

A8a

SECOND FLOOR PLAN - ELEVATION A (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
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LOT:XXXX

DATE:XX/XX/XXXX

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**

ELEV. A (4 PC ENSUITE UPGRADE)

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

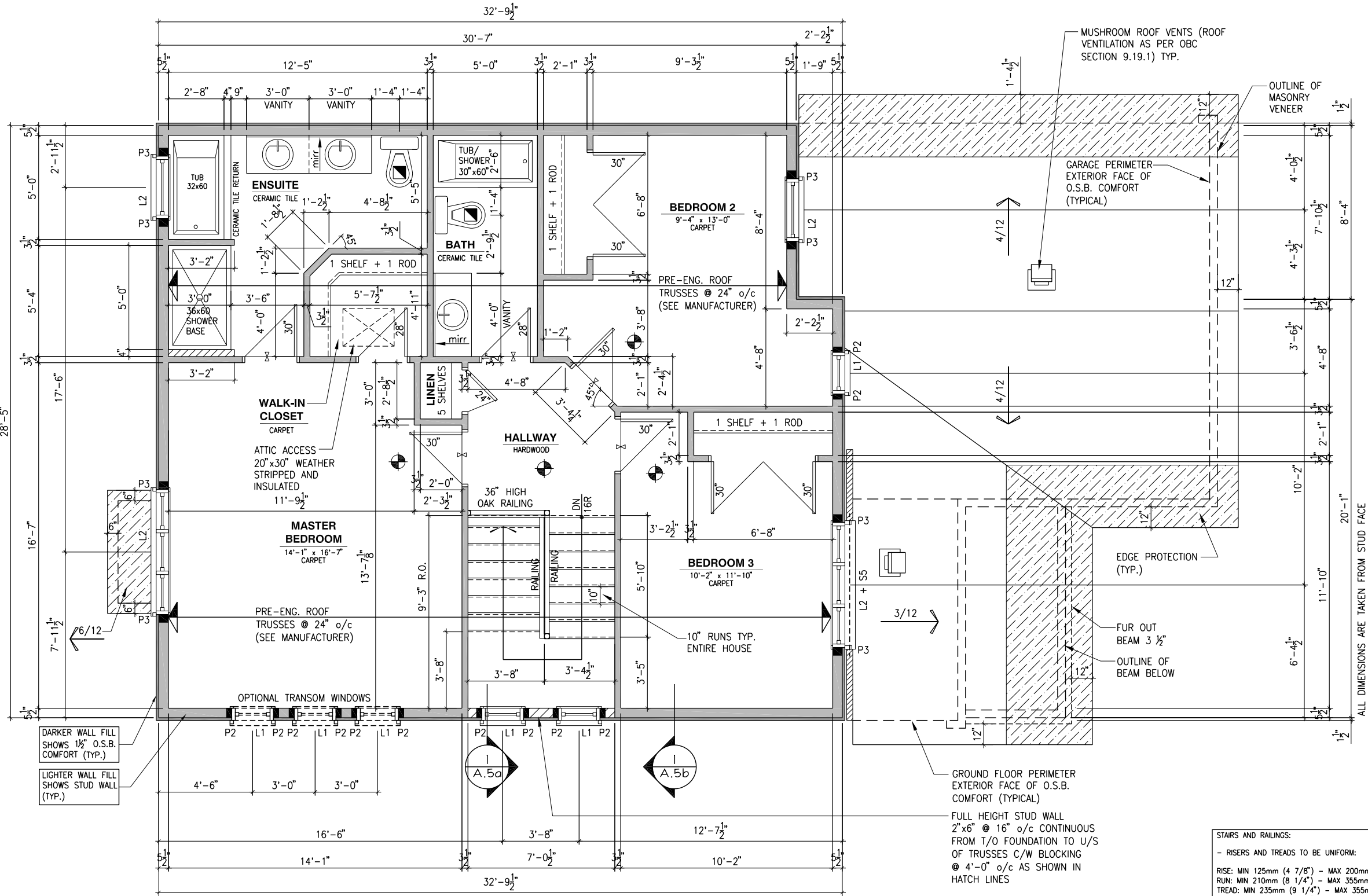
810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

A8b

SECOND FLOOR PLAN - ELEVATION A (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN

P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6

P3 = 3-2x4 OR 3-2x6

P4 = 4-2x4 OR 4-2x6

P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

02/01/2023

DOYON

NO.

DESCRIPTION

DATE

BY

DRAWING: **SECOND FLOOR PLAN**

ELEV. A (5 PC ENSUITE UPGRADE)

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

810 - THE KEMP

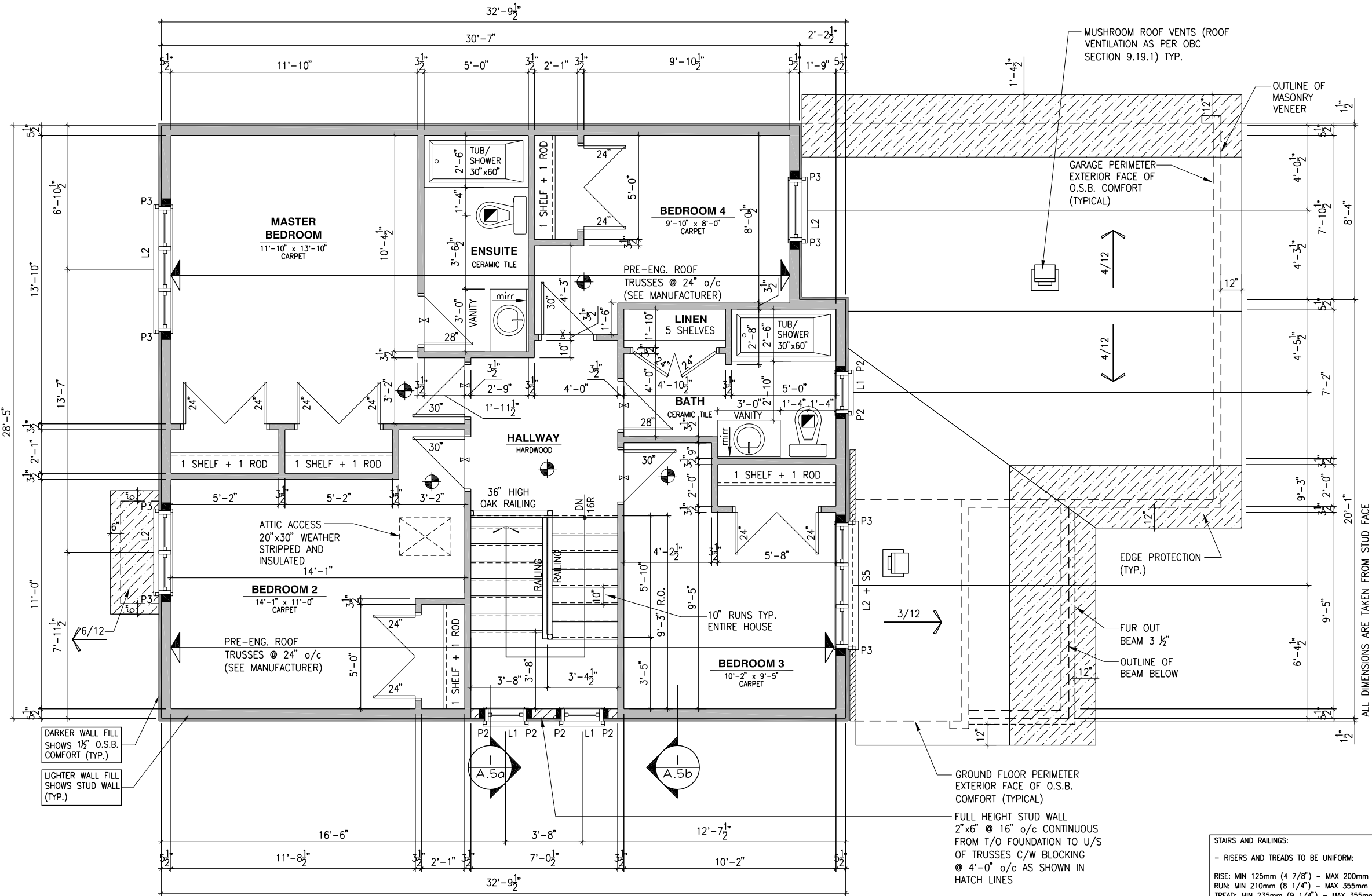
2023 FOOTPRINT

(STANDARD DRAWINGS)

A8c

SECOND FLOOR PLAN - ELEVATION A (4 BEDROOM OPTION)

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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ARCHITECTURAL DEPARTMENT.

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RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

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POST BY USP
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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
ELEV. A (4 BEDROOM OPTION)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

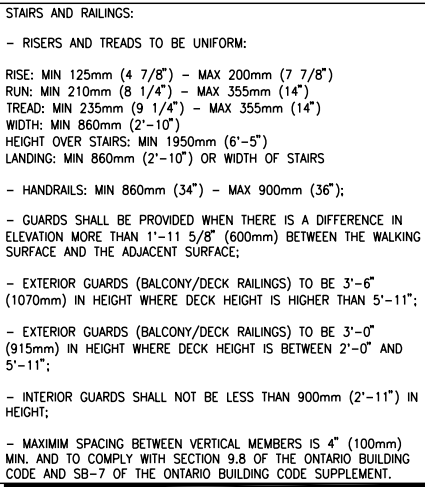
810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

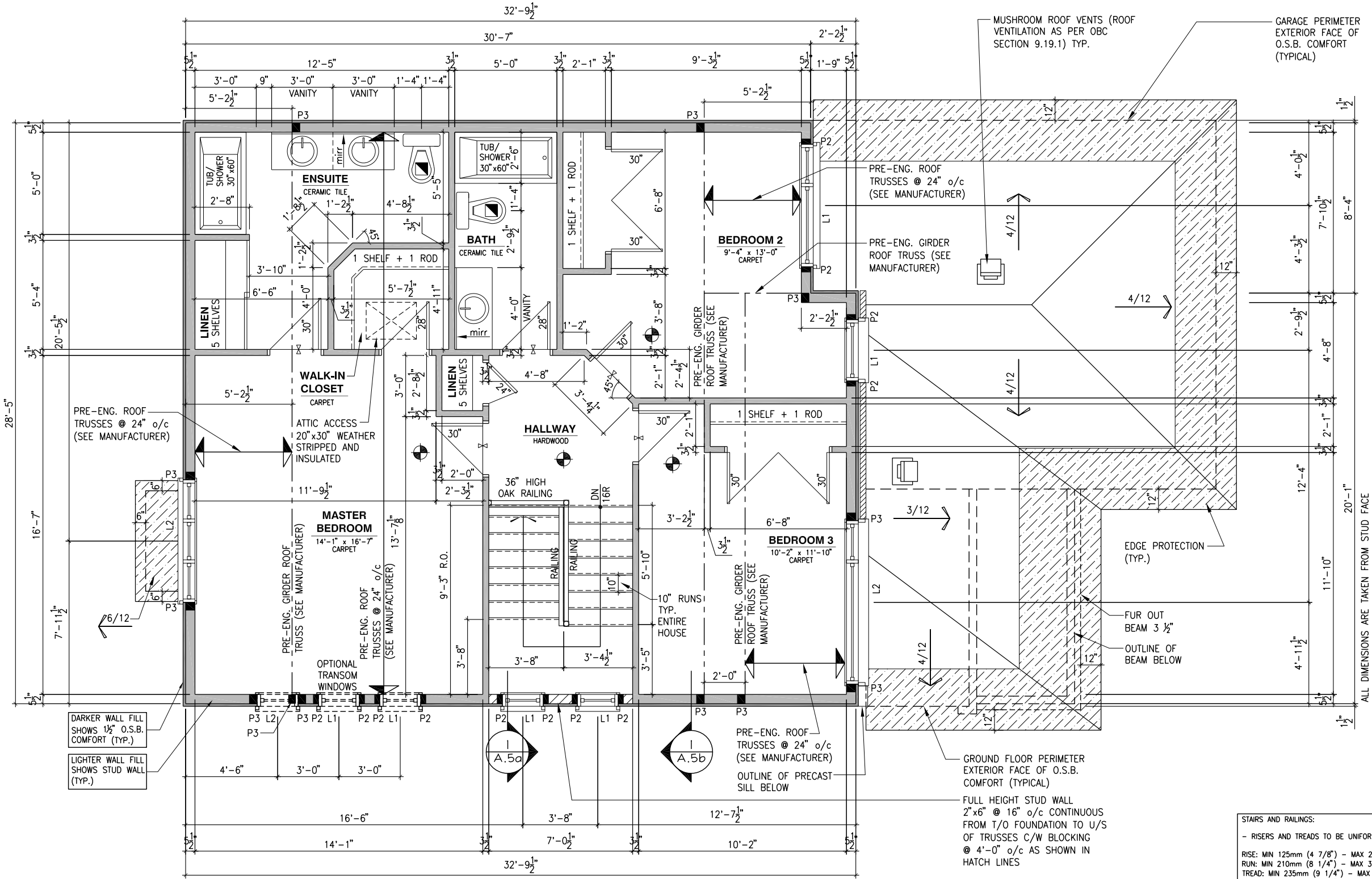
A8d

SHEET:
A8e



SECOND FLOOR PLAN - ELEVATION B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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STAIRS AND RAILINGS:
- RISERS AND TREADS TO BE UNIFORM:
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RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
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LOT:XXXX
DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

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NOTES:
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S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR PLAN**
ELEV. B (4 PC ENSUITE UPGRADE)

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

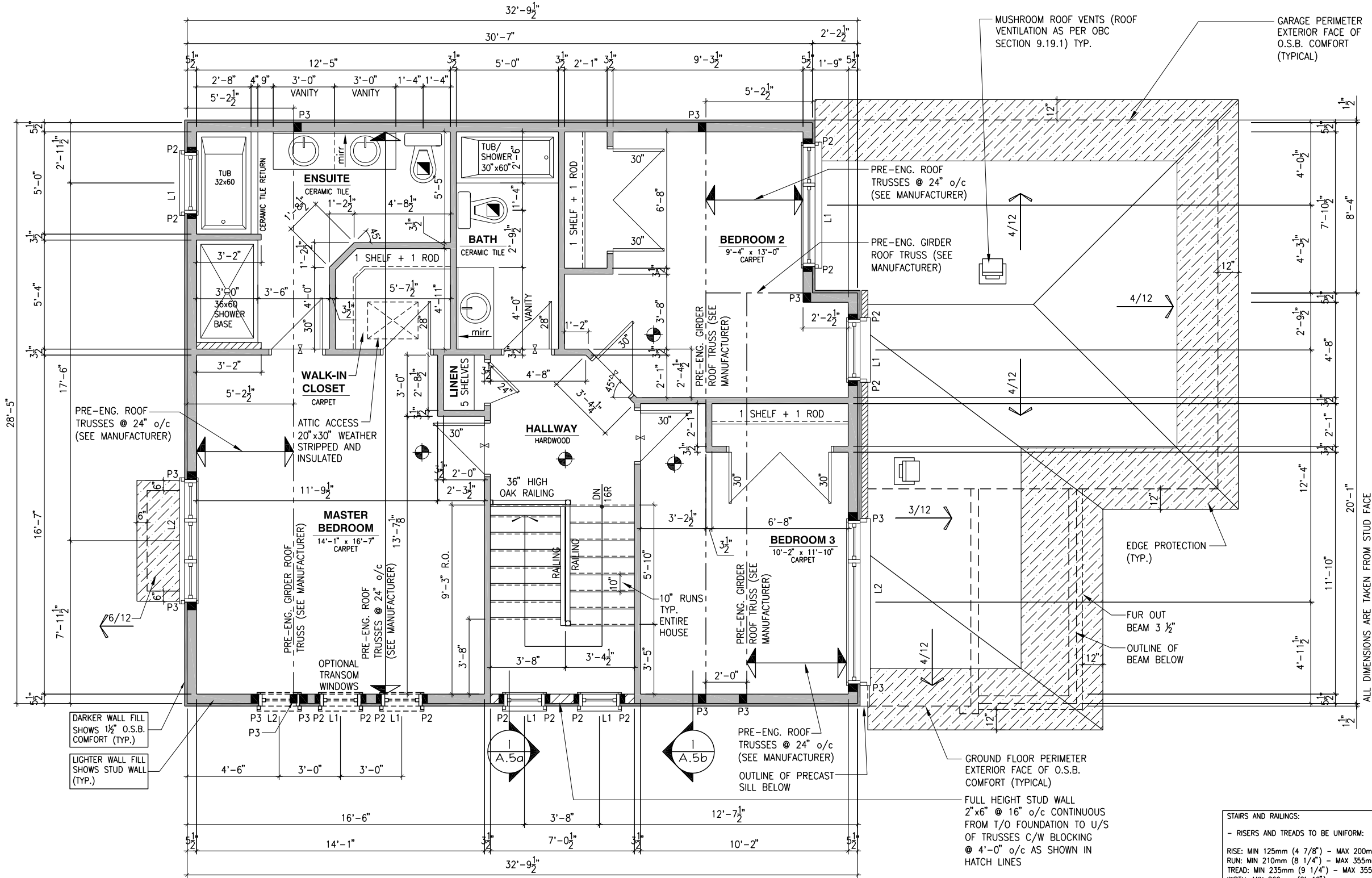
810 - THE KEMP
2023 FOOTPRINT

SHEET:**A8f**

(STANDARD DRAWINGS)

SECOND FLOOR PLAN - ELEVATION B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



SINGLE DWELLING STAIRS:
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: **SECOND FLOOR PLAN**
ELEV. B (5 PC ENSUITE UPGRADE)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)



ALL DIMENSIONS ARE TAKEN FROM STUD FACE

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
- RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
- TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
- WIDTH: MIN 860mm (2'-10")
- HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
- LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECFRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.E.N.G. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECFRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

– DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

SINGLE DWELLING STAIRS:

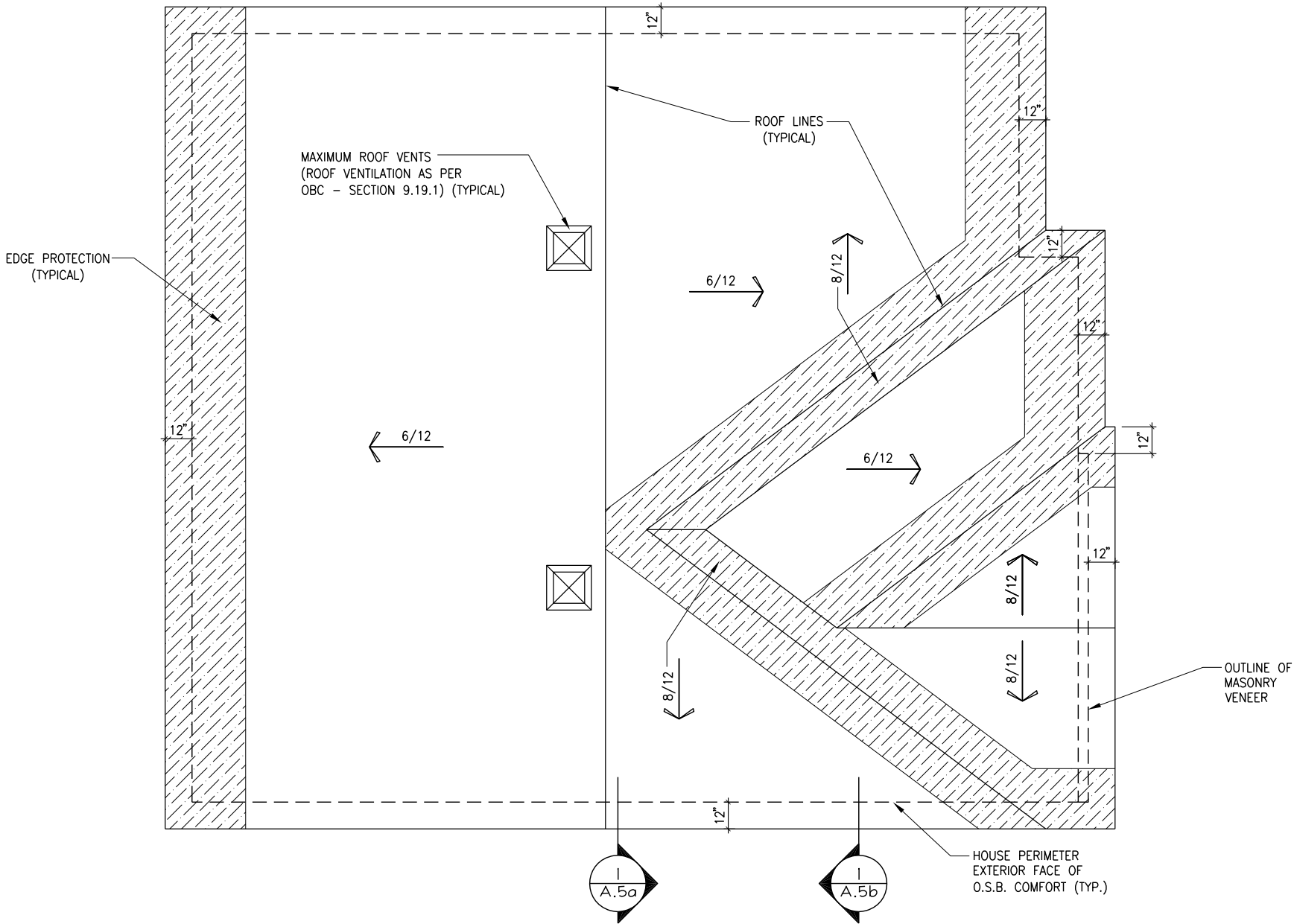
RISER = 5" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

SECOND FLOOR PLAN - ELEVATION B (4 BEDROOM OPTION)

SCALE: $3/16'' = 1'-0''$

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON

DRAWING: **ROOF PLAN ELEVATION A**

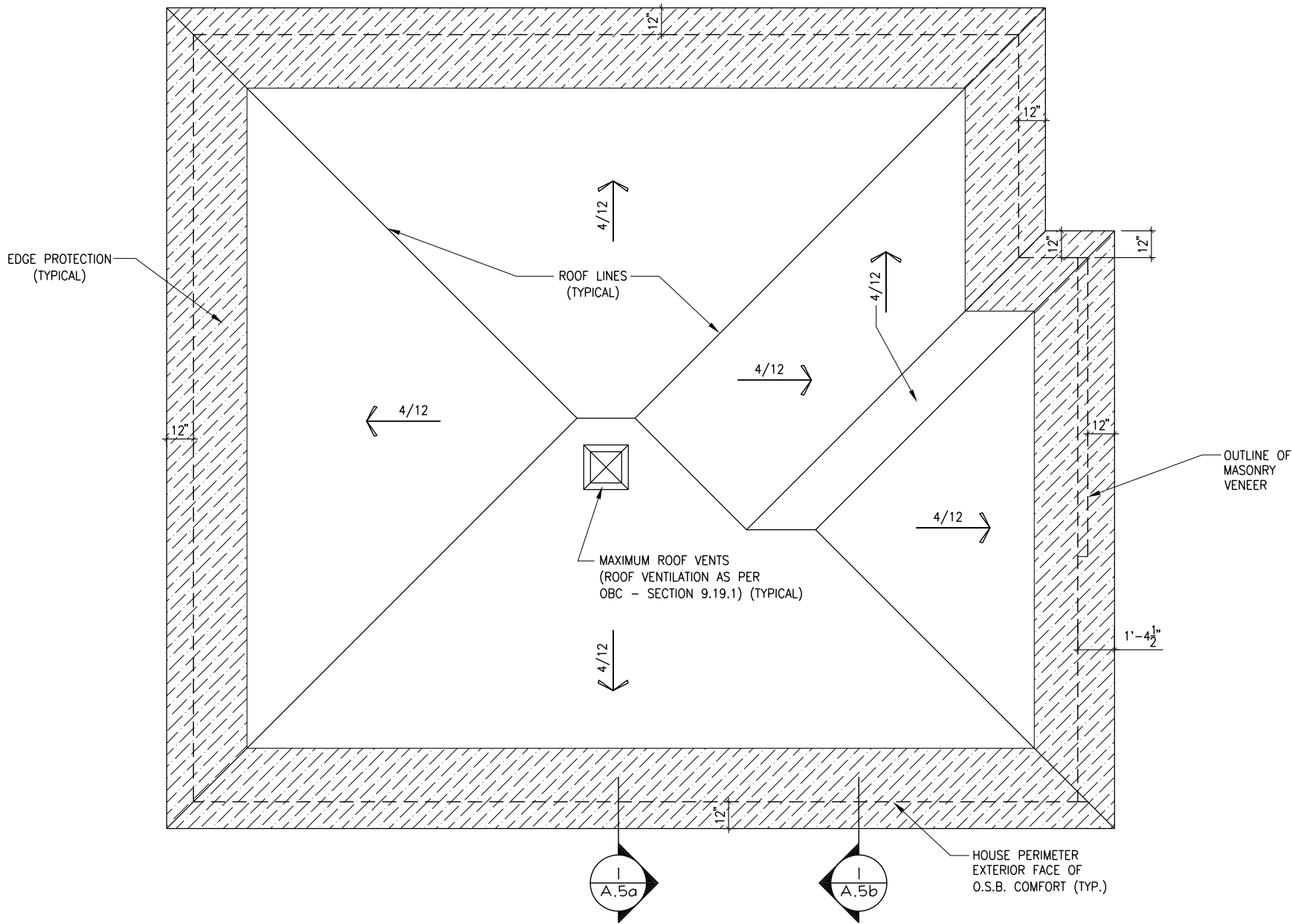
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A9a**

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

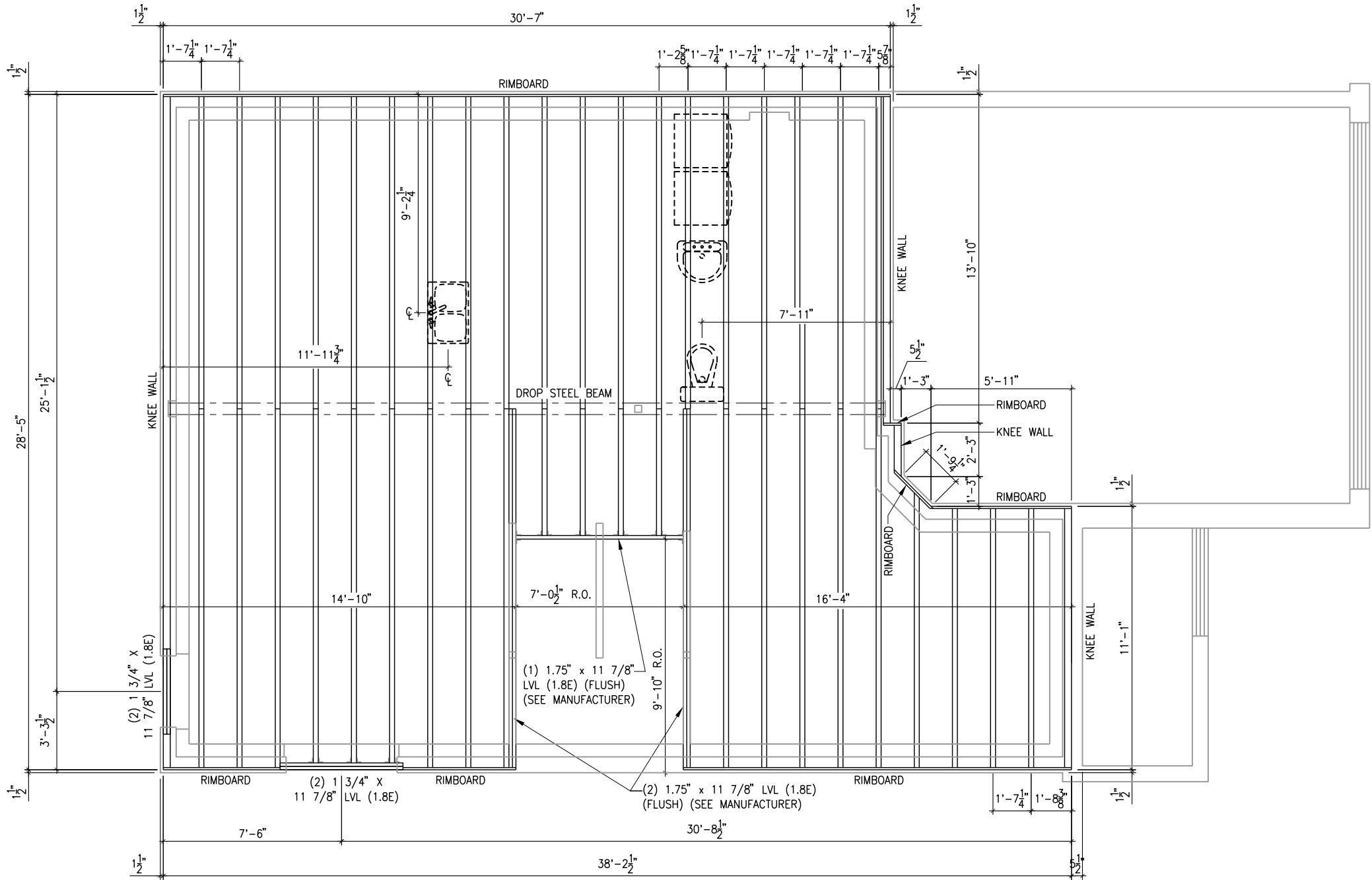
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **ROOF PLAN
ELEVATION B**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A9b**



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DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND - JOIST LAYOUT
ELEV. A AND B

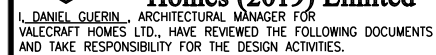
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A10a

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

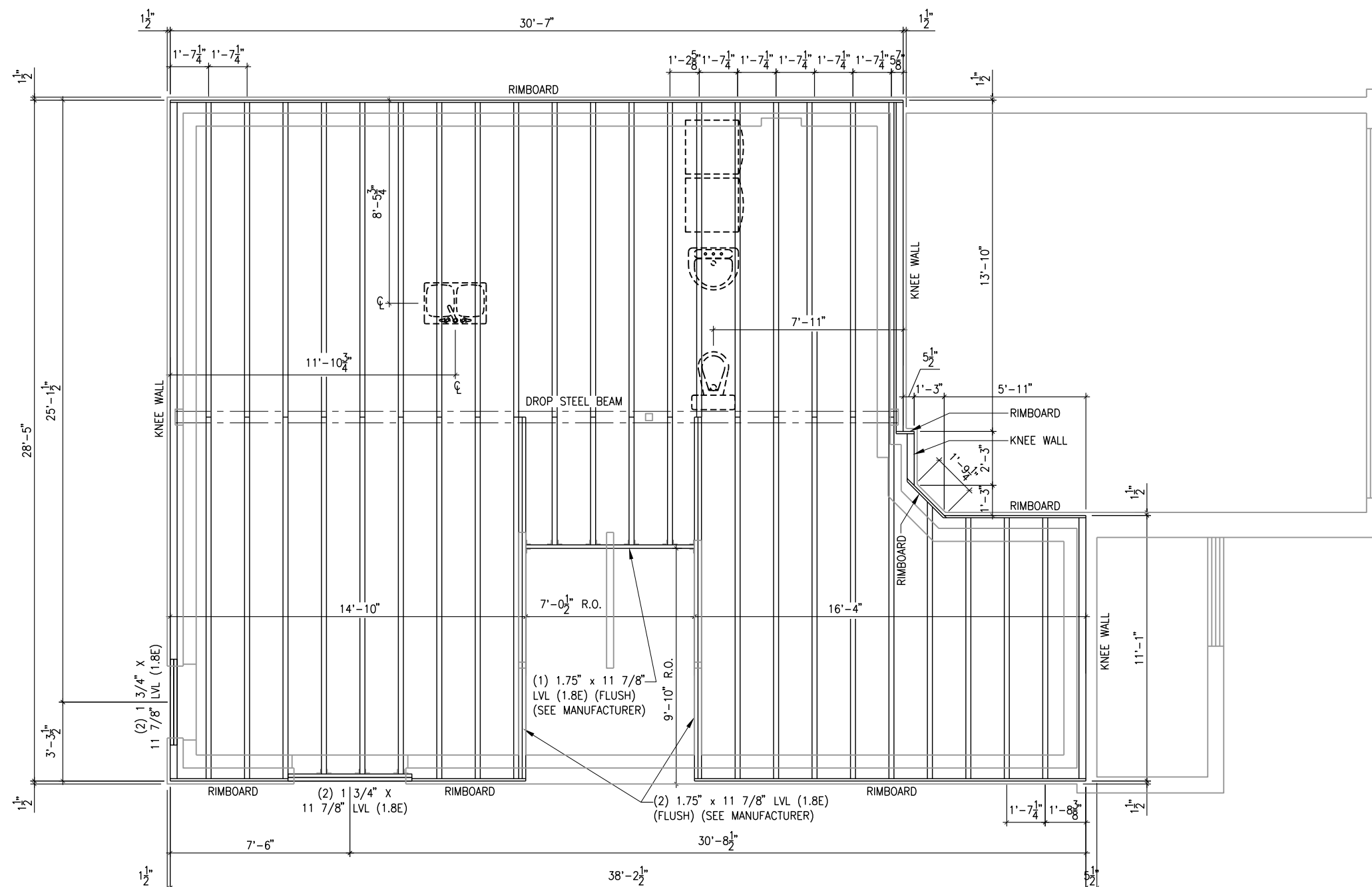
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SCALE: 3/16" = 1'-0"

[illegible]

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND - JOIST LAYOUT**
ELEV. A AND B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

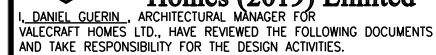
810 - THE KEMP
2023 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10b

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

.. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ..

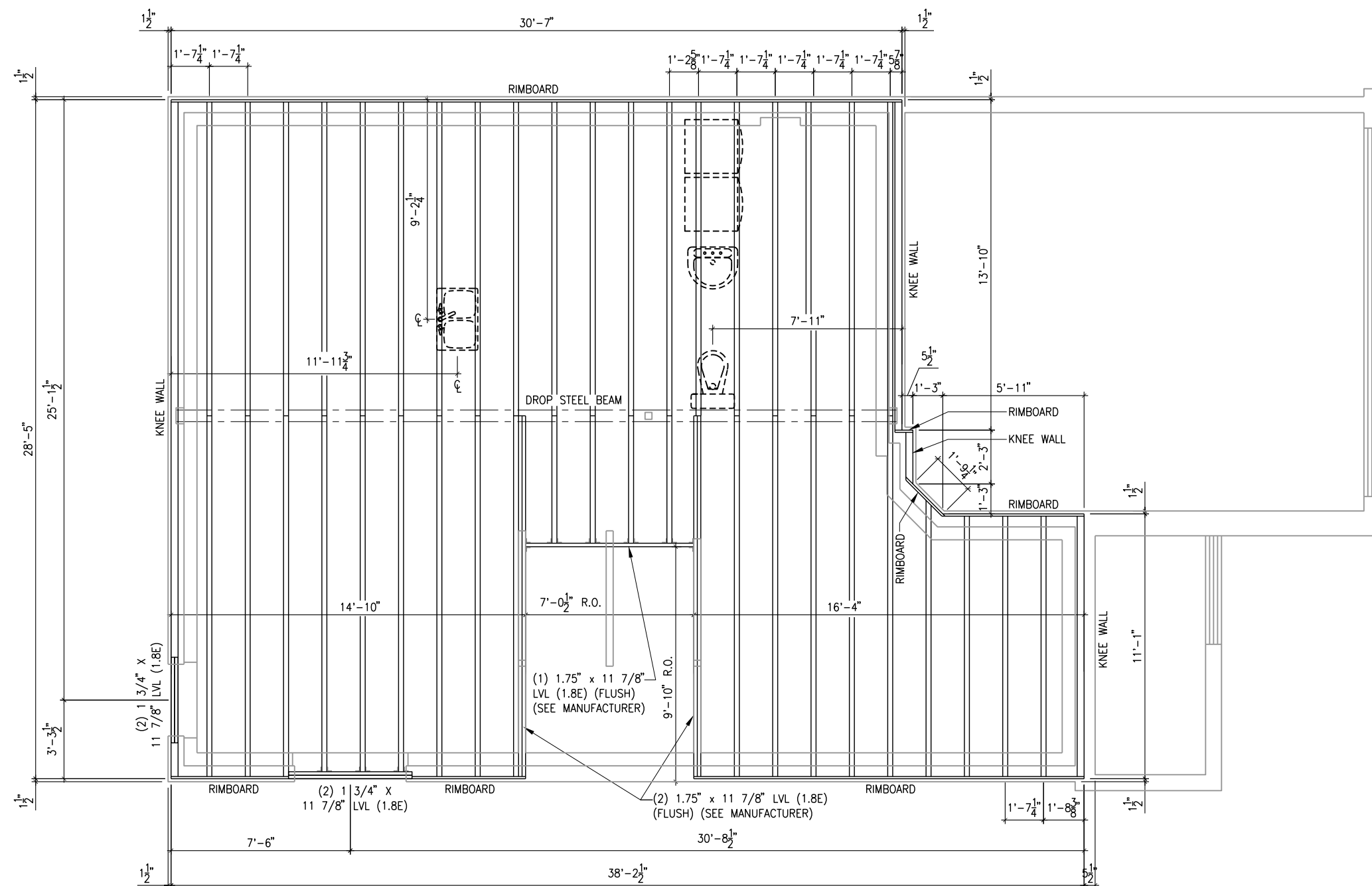
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SCALE: 3/16" = 1'-0"

[illegible]

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NO.	DESCRIPTION	DATE	BY

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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(STANDARD DRAWINGS)

SHEET:

A10c



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
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SCALE: $3/16" = 1'-0"$

[illegible]

DRAWING: **GROUND - JOIST LAYOUT**
ELEV. A AND B

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A10d



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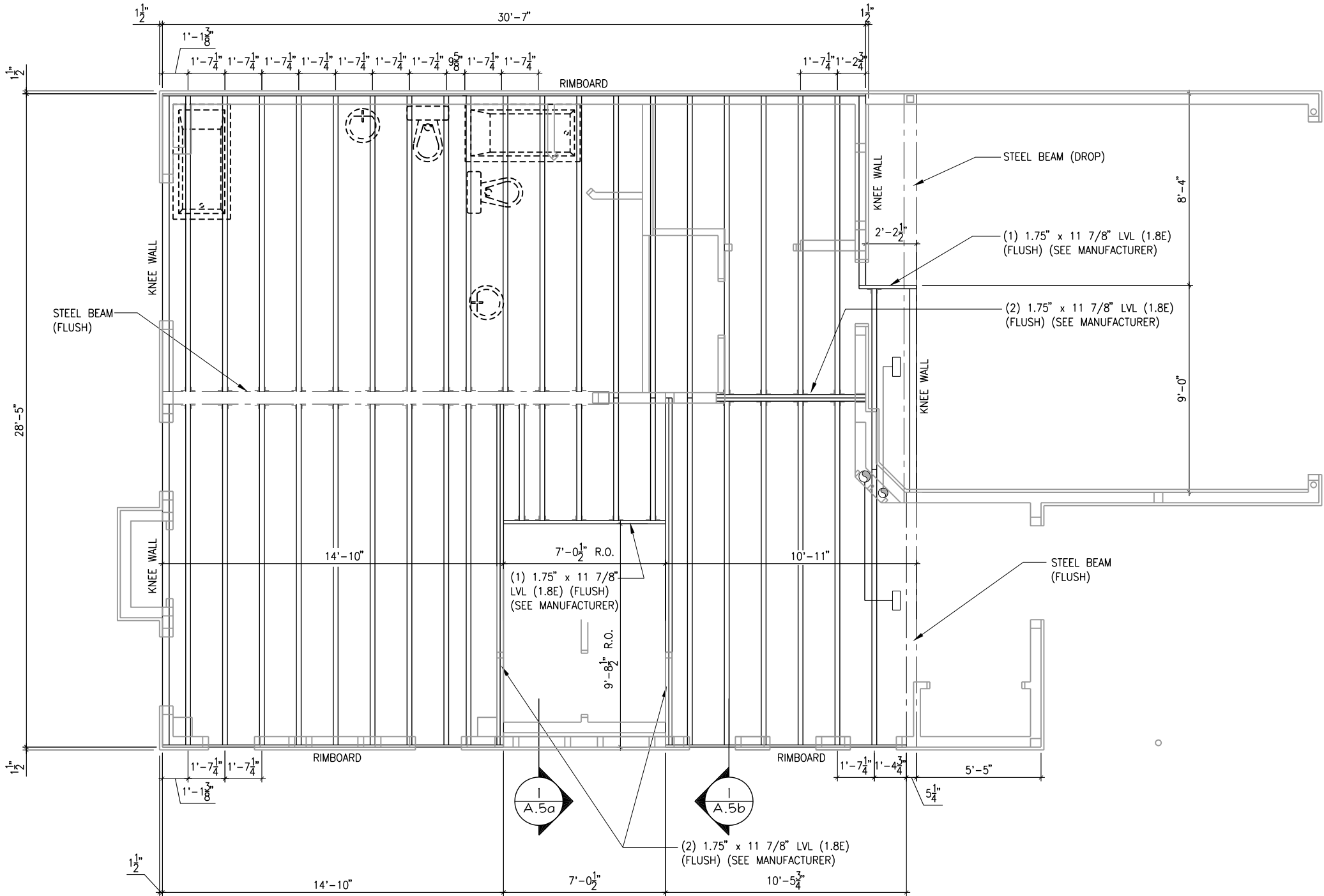
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SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

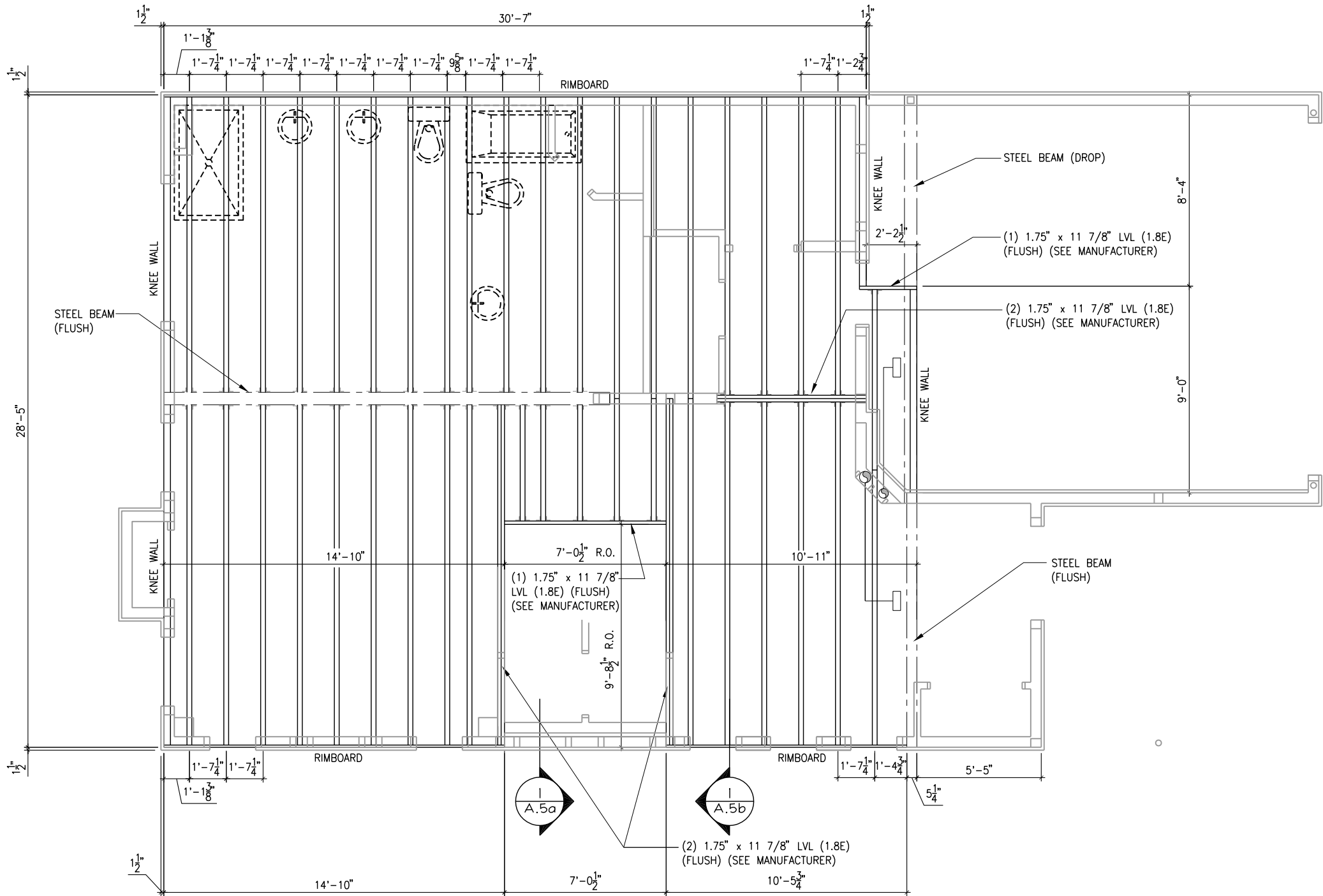
REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
ELEV. A AND B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B (4 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
ELEV. A AND B

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT

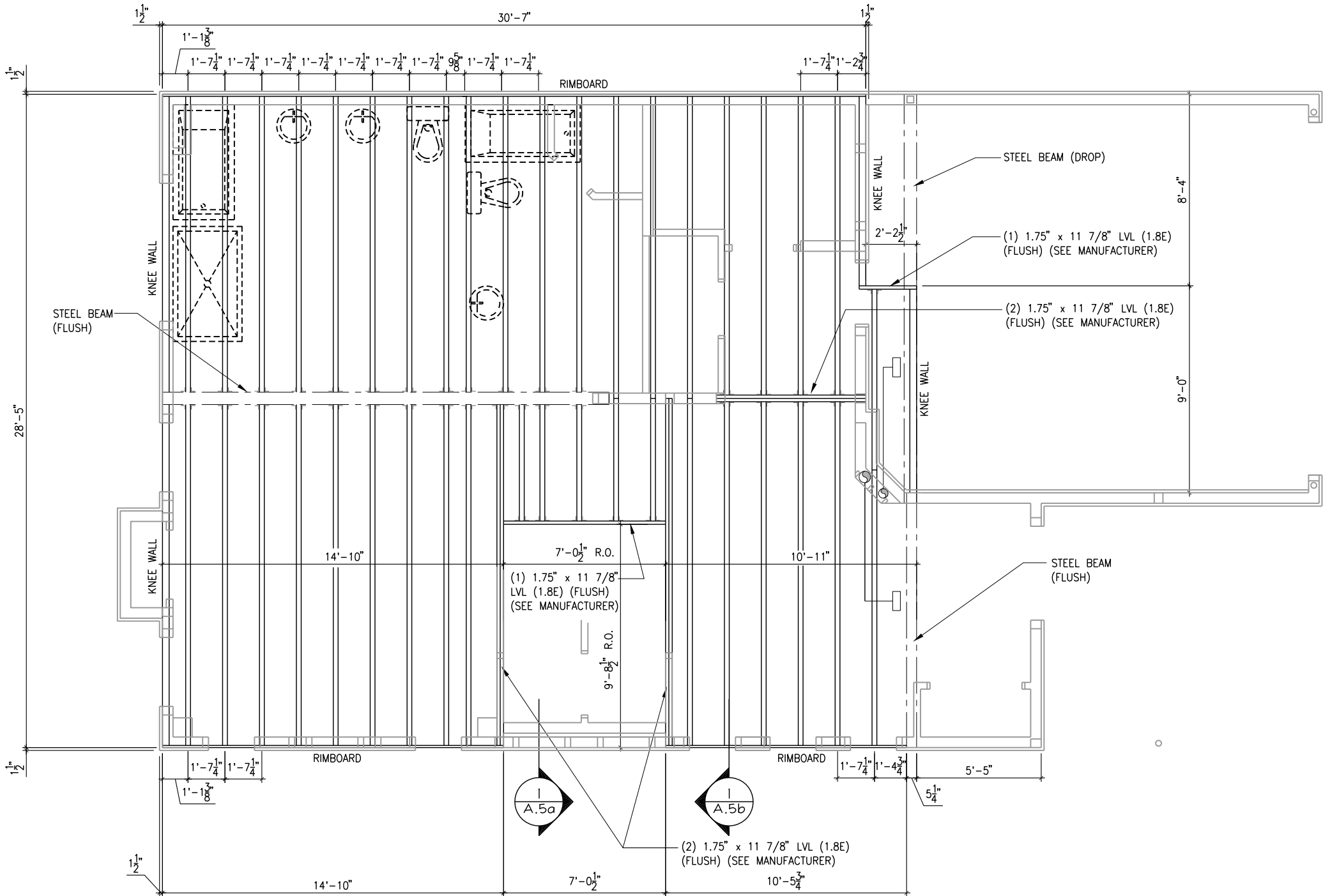
(STANDARD DRAWINGS)

SHEET:

A11b

SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B (5 PC ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"



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LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	02/01/2023	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2nd FLOOR-JOIST LAYOUT
ELEV. A AND B

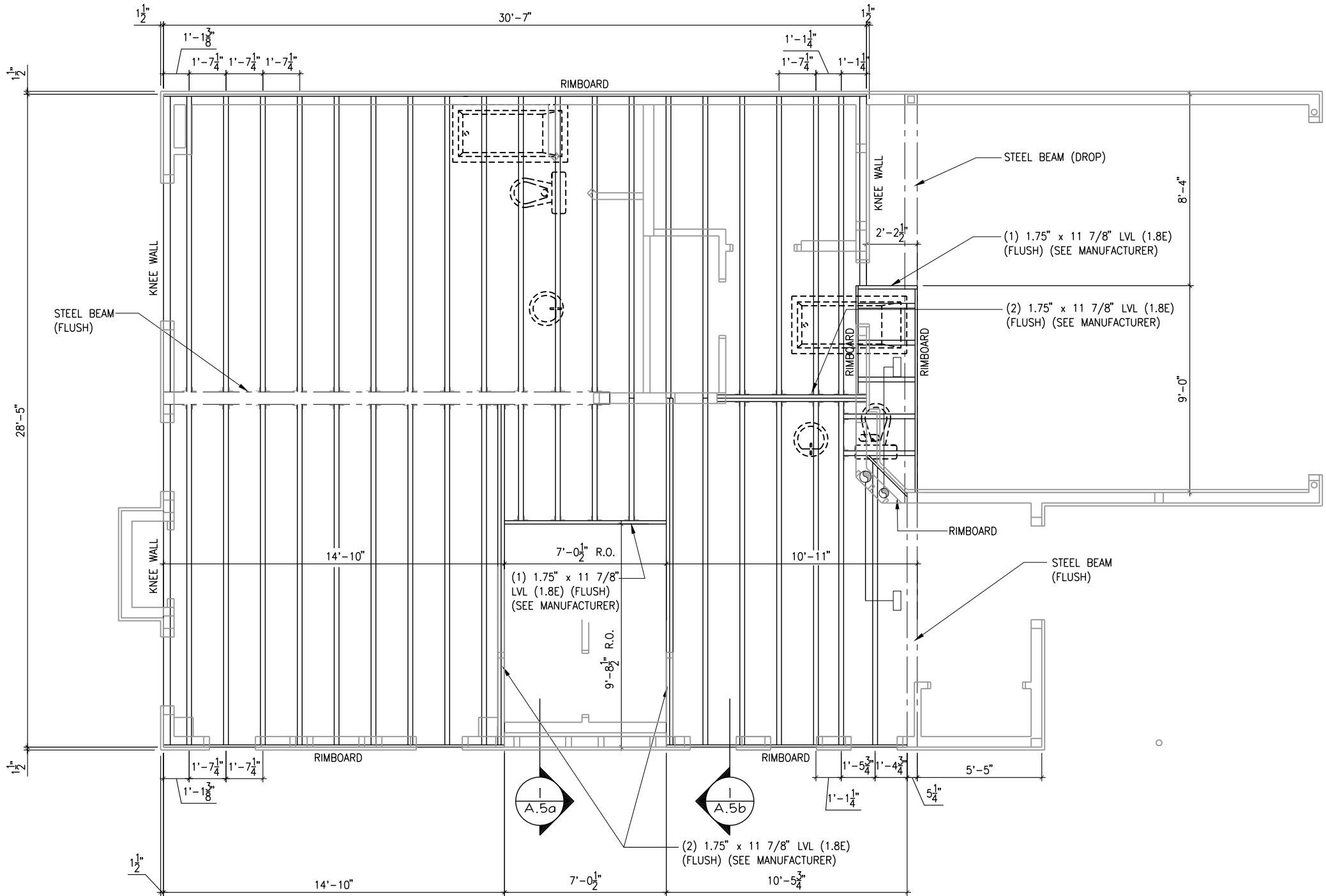
ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A11c

SECOND FLOOR - JOIST LAYOUT - ELEVATION A AND B (4 BEDROOM OPTION)

SCALE: 3/16" = 1'-0"



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LOT: XXXX
DATE: XX/XX/XXXX

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NO.	DESCRIPTION	DATE	BY

DRAWING: **2nd FLOOR-JOIST LAYOUT
ELEV. A AND B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810 - THE KEMP
2023 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A11d