

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- +20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

ELEVATION A - FRONT

| | | |
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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A1a



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7½" LAP

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| REV-1 | NEW STANDARD DRWG. MODIFICATION | 01/01/2022 | --- | | |
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DRAWING:

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1010 - THE FERRIS 2022 FOOTPRINT

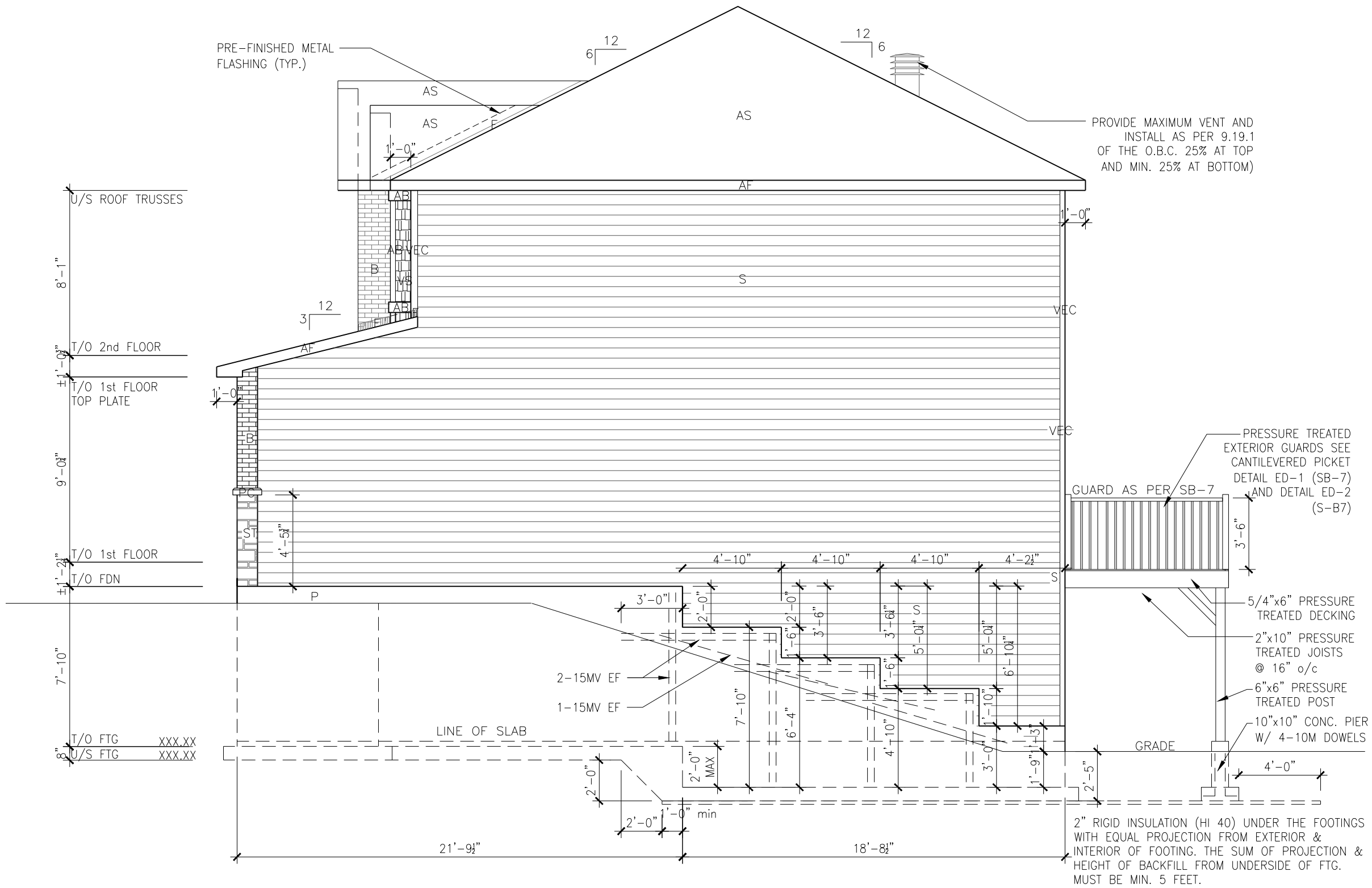
(STANDARD DRAWINGS)

SHEET:

A2a

ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"



ELEVATION A - RIGHT - WALKOUT BASEMENT
SCALE: 3/16" = 1'-0"

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| +20 | - BRICK 20mm PROUD |
| -20 | - BRICK 20mm RECESSED |
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| SV | - SIDING (VERTICAL) |
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| AS | - ASPHALT SHINGLES |
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| VEC | - SIDING (VERTICAL CORNER) |
| KC | - KAYCAN WOOD SIDING - 74" LAP |

2012 O.B.C. DRAWINGS

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DRAWING: **ELEVATION A - RIGHT WALKOUT BASEMENT**

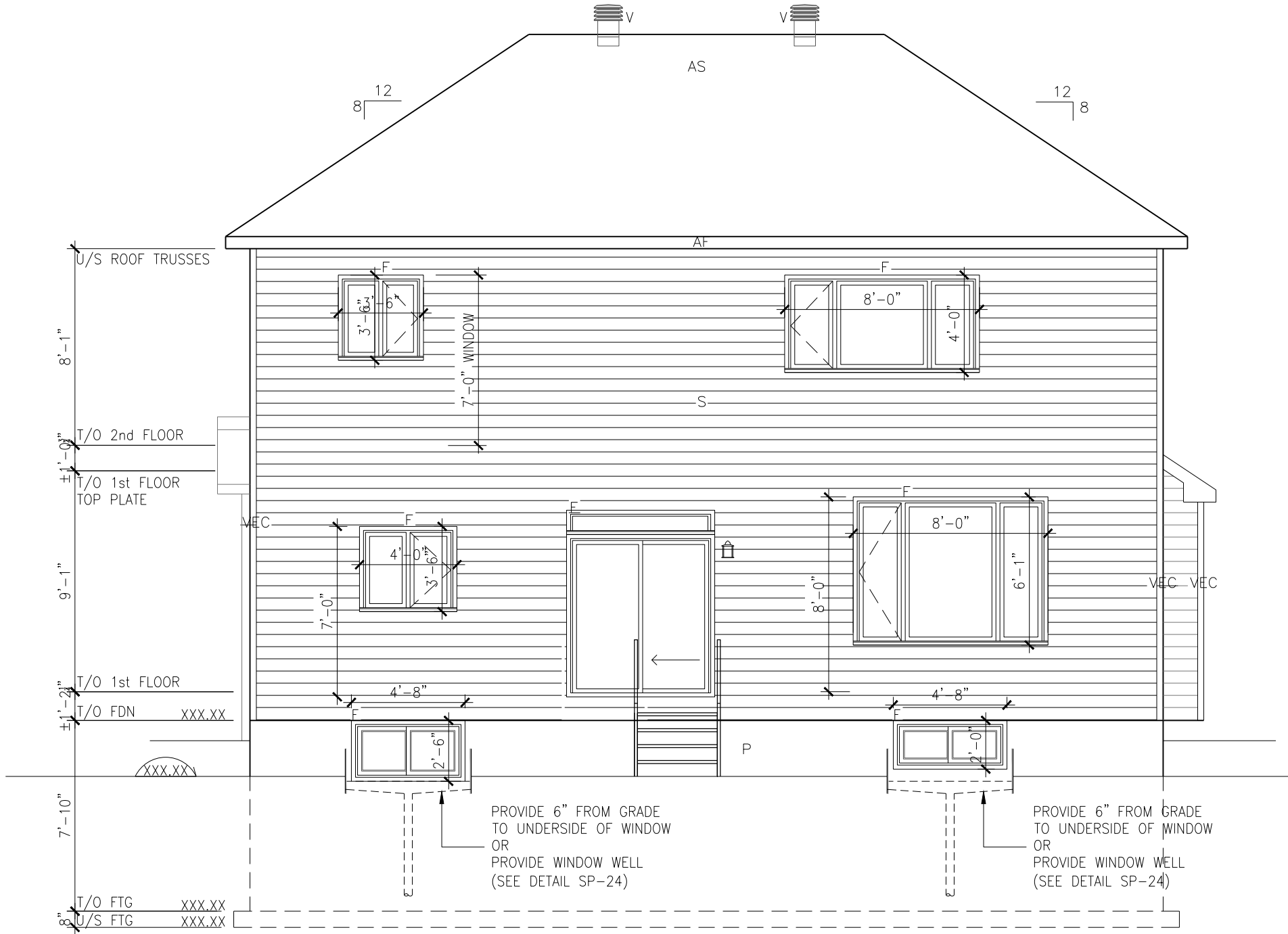
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1010 - THE FERRIS 2022 FOOTPRINT
(STANDARD DRAWINGS)

A2a

ELEVATION A - REAR

SCALE: 3/16" = 1'-0"



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DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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1010 - THE FERRIS
2022 FOOTPRINT

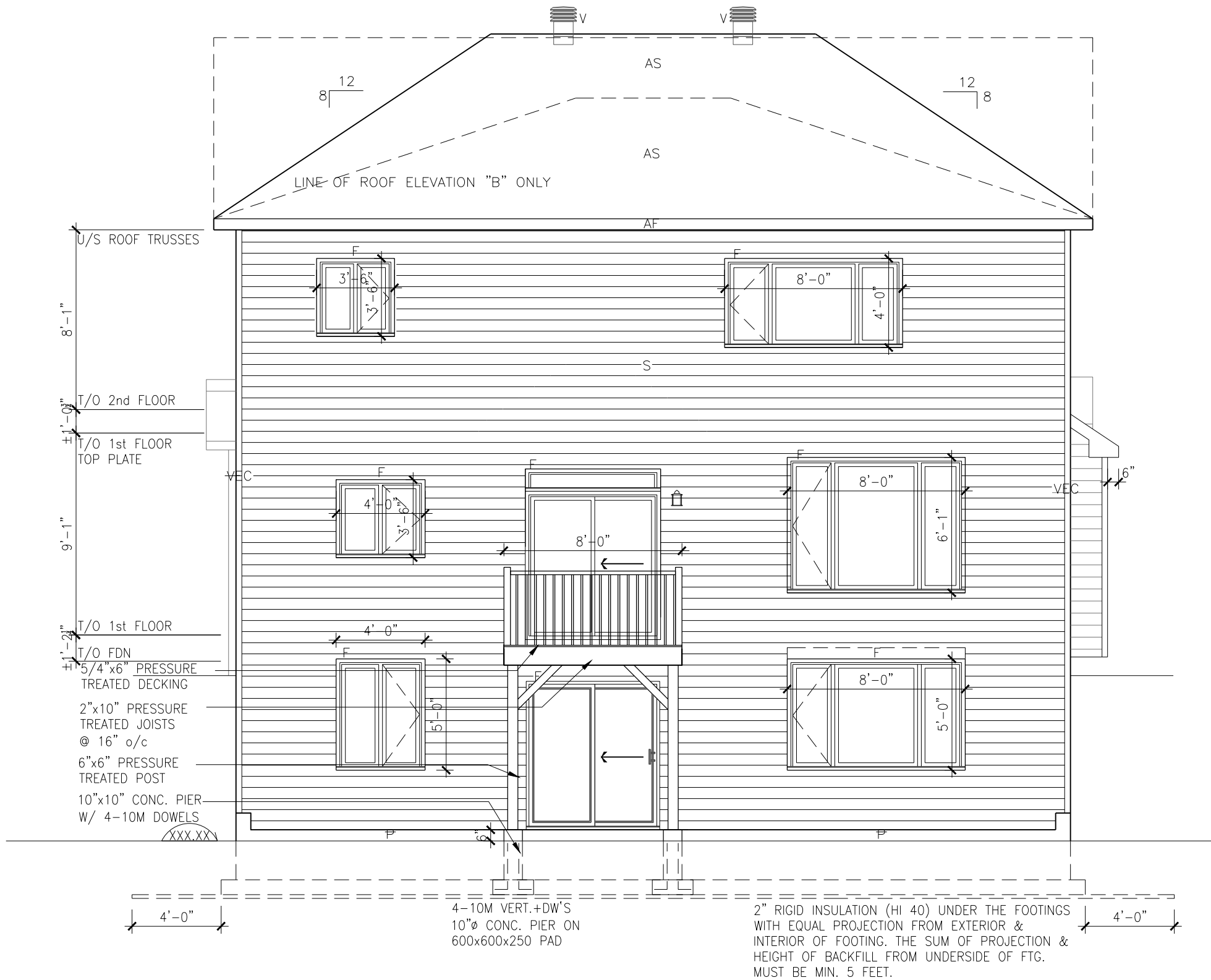
(STANDARD DRAWINGS)

SHEET:

A3a

ELEVATION A - REAR - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



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2012 O.B.C. DRAWINGS

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1010 - THE FERRIS
2022 FOOTPRINT

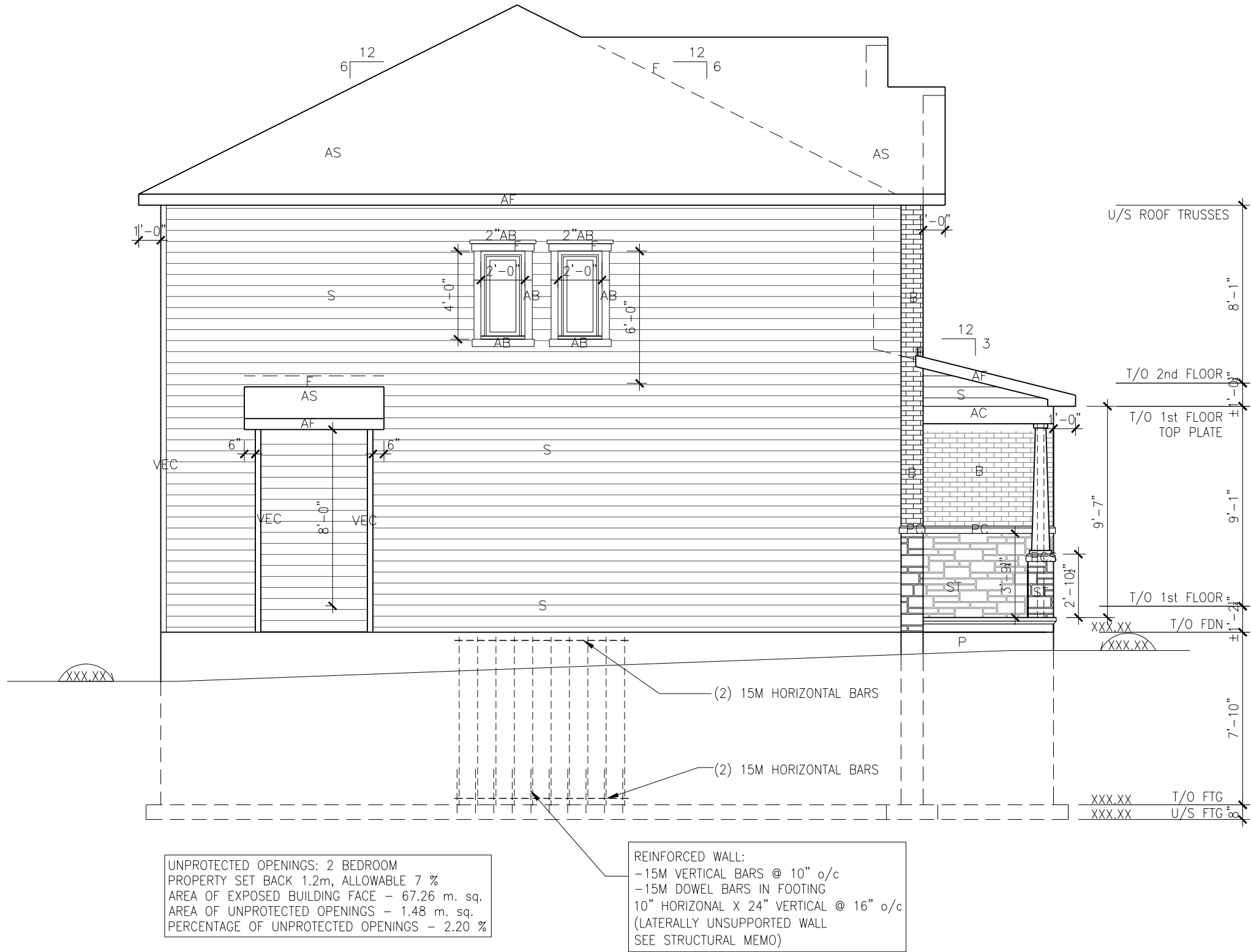
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SHEET:

A3a

ELEVATION A - LEFT

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2012 O.B.C. DRAWINGS

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1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4a

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DRAWING: **ELEVATION A - LEFT WALKOUT BASEMENT**

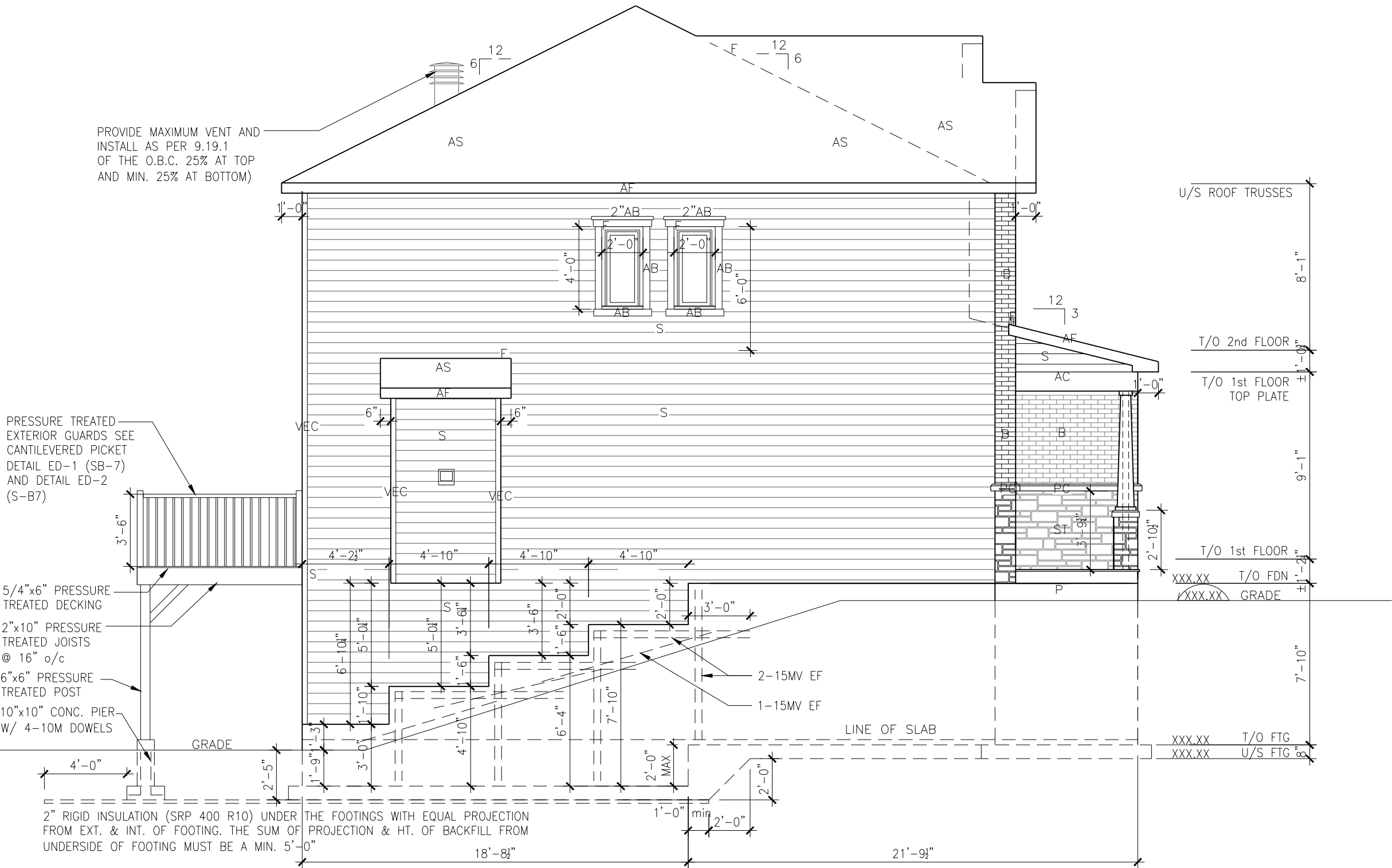
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SHEET:

A4a

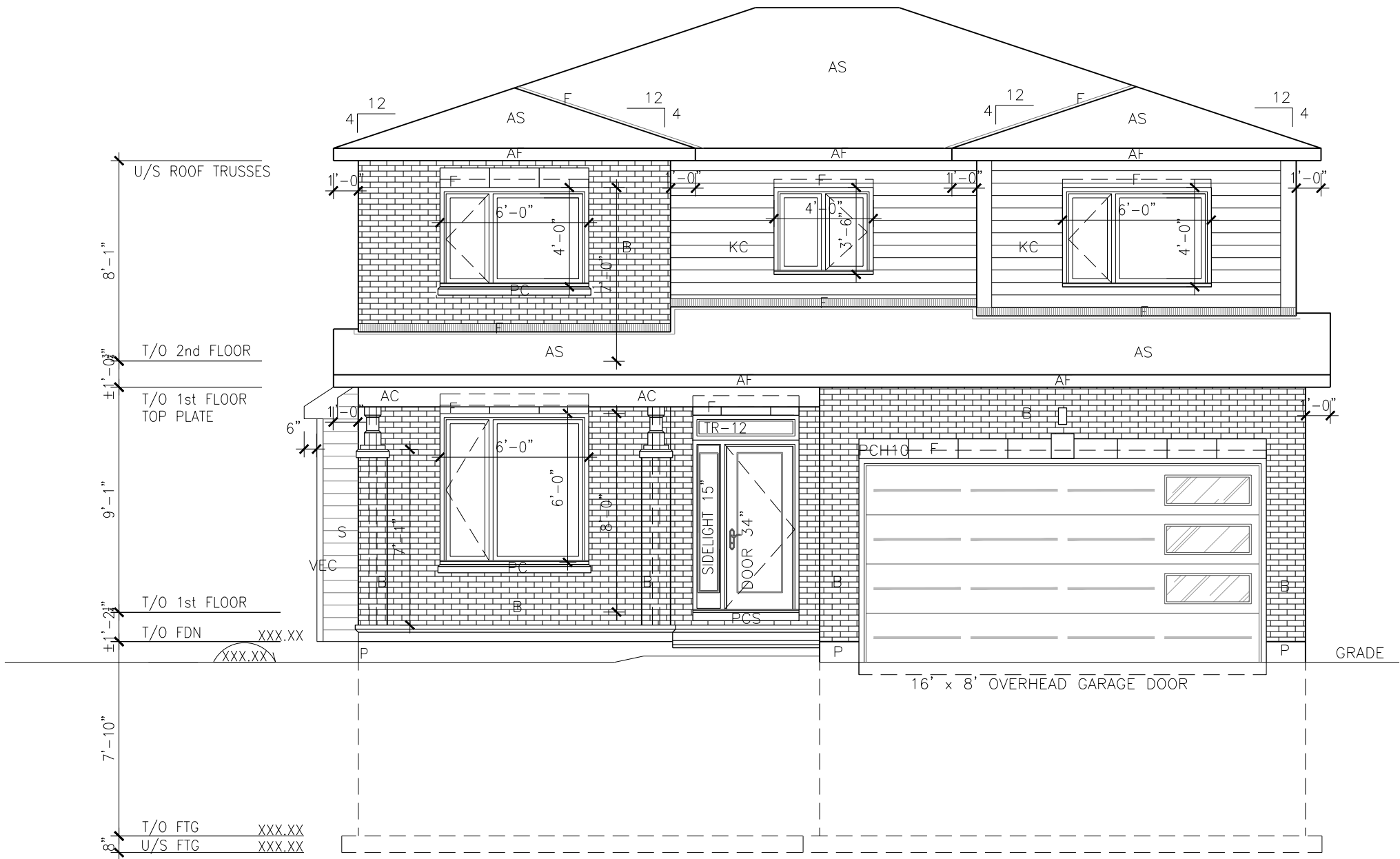


ELEVATION A - LEFT - WALKOUT BASEMENT

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ELEVATION B - FRONT

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2012 O.B.C. DRAWINGS

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A1b



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

[illegible]

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

ELEVATION B - RIGHT

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|----------------|-------------------------|---------------------|
| ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX |
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1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A2b

SCALE: $3/16" = 1'-0"$



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
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- F - FLASHING
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- P - PARGING
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- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELEVATION B - RIGHT
WALKOUT BASEMENT

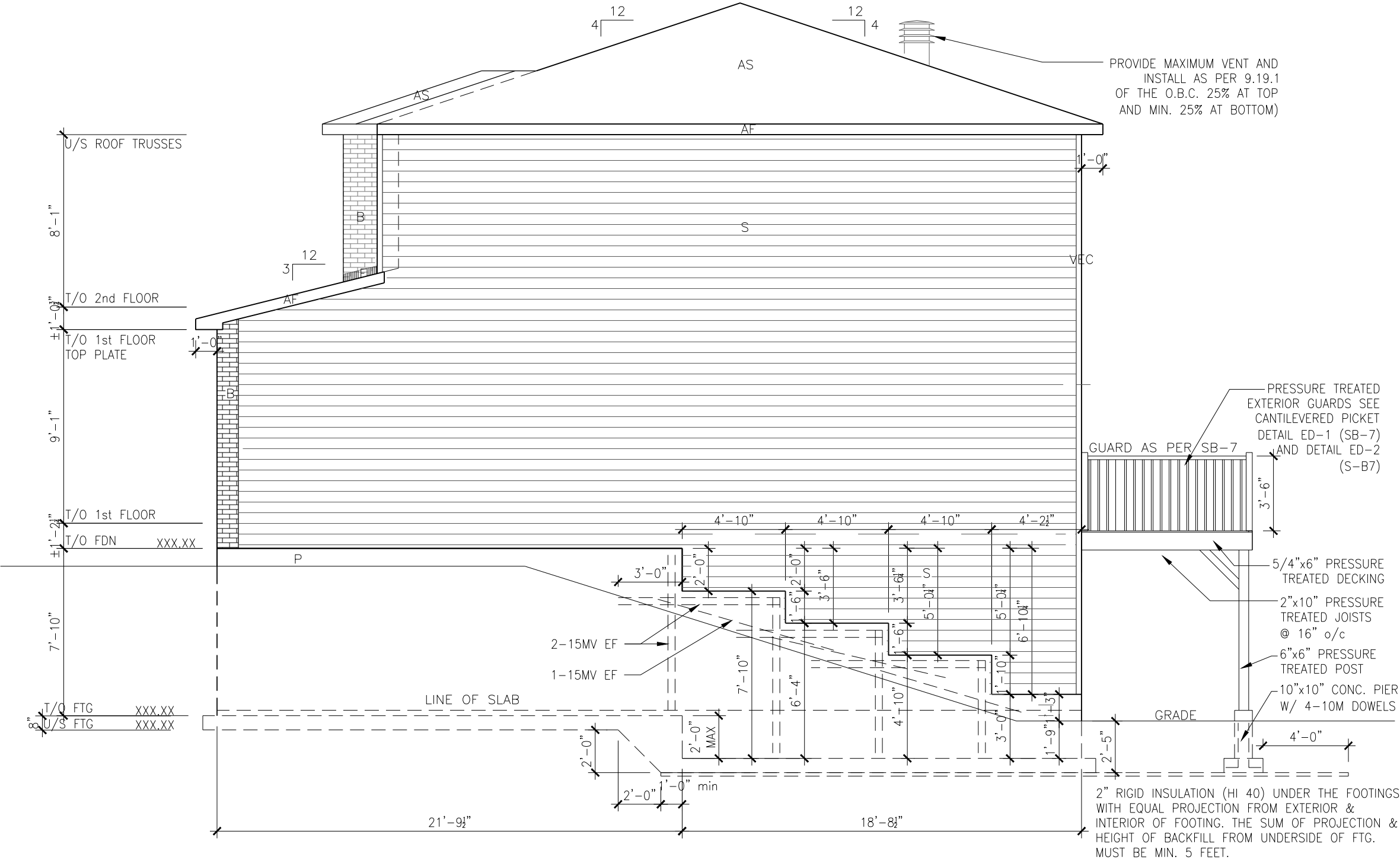
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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2b

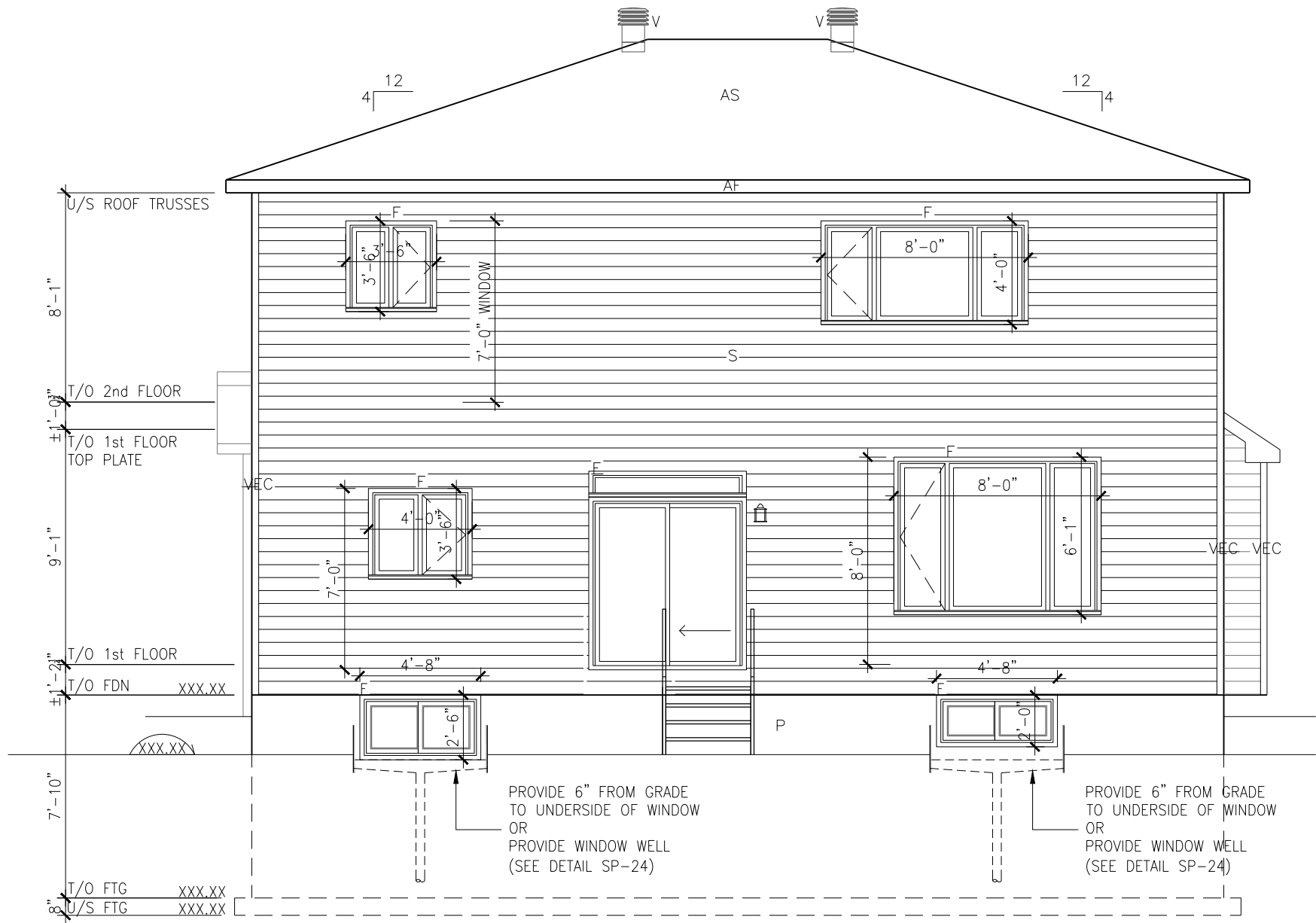


ELEVATION B - RIGHT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| NO. | DESCRIPTION | DATE | BY |

ELEVATION B - REAR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3b

ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: **ELEVATION B - REAR
WALKOUT BASEMENT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT

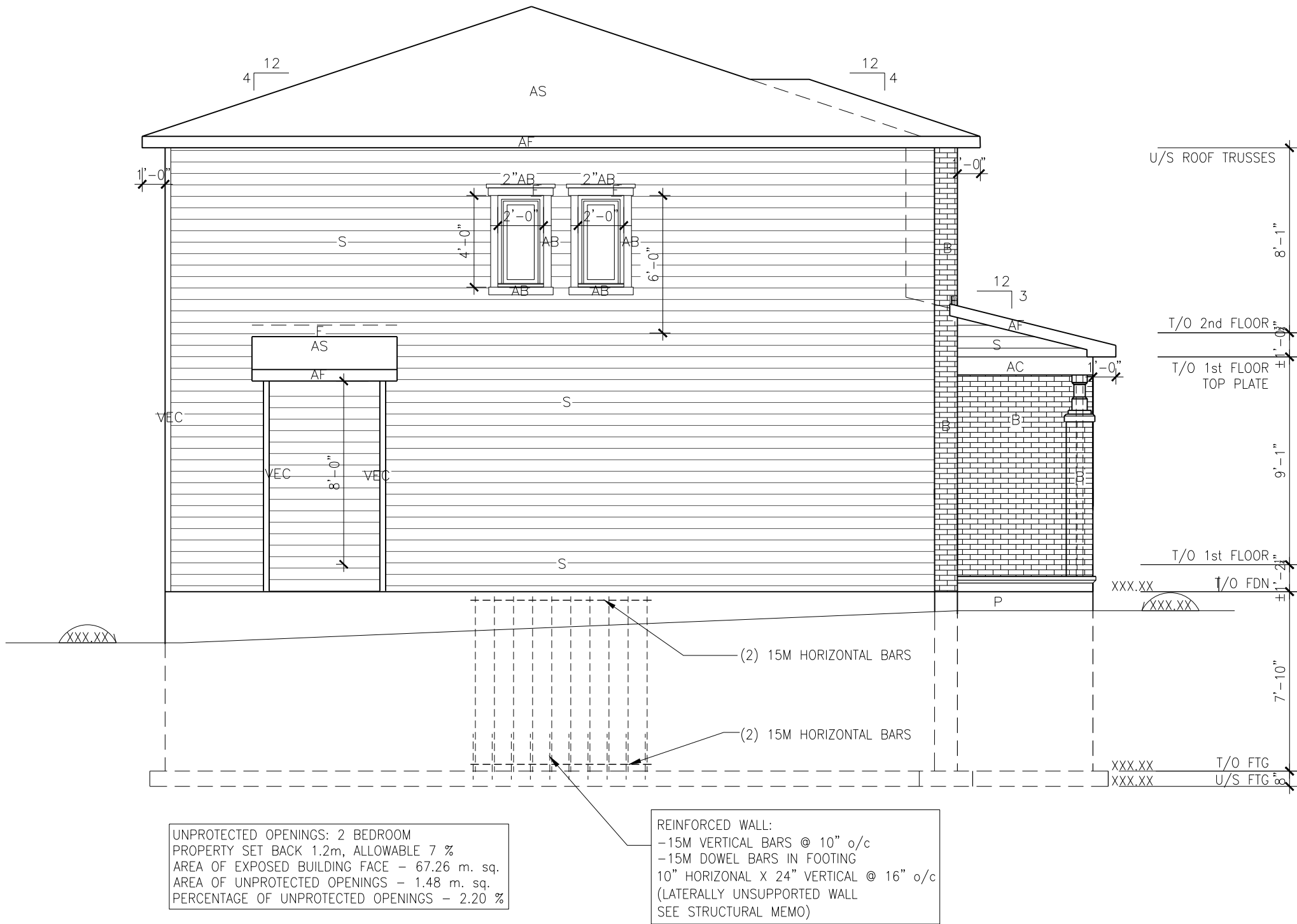
(STANDARD DRAWINGS)

SHEET:

A3b

ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

ELEVATION B - LEFT

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|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4b



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- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

| REV-1 | NO. | DESCRIPTION | DATE | BY |
|-------|-----|-------------|------|----|
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DRAWING:

ELEVATION B - LEFT

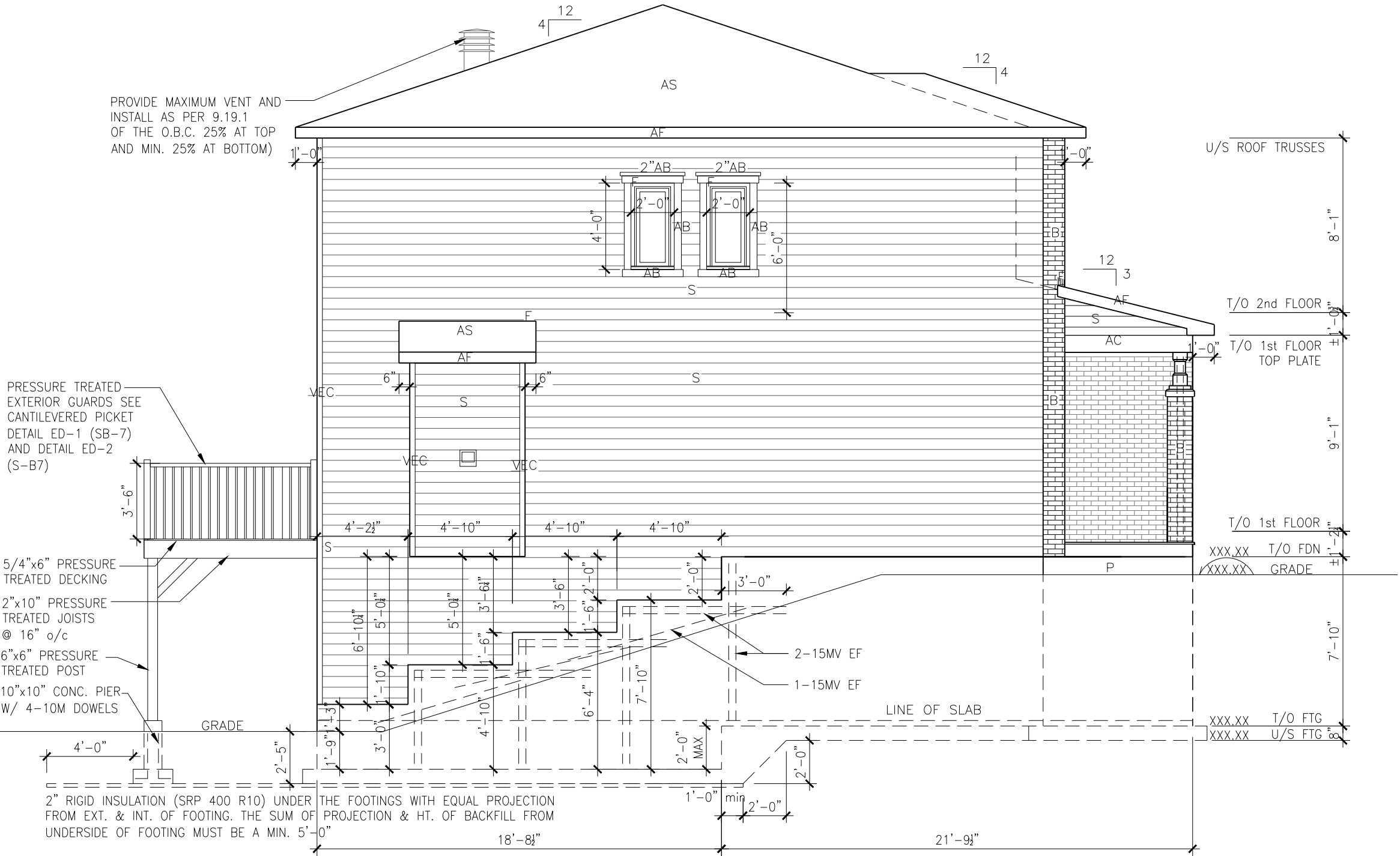
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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

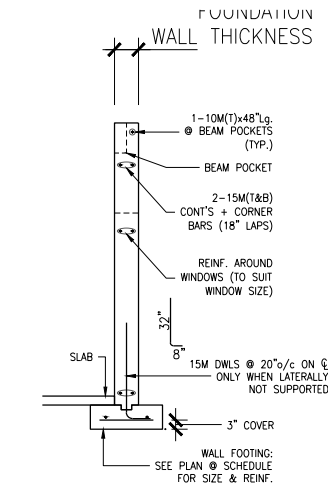
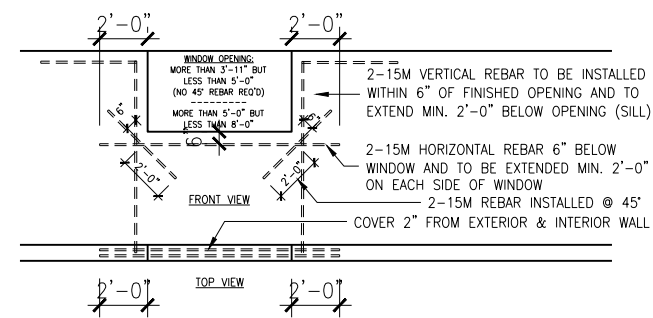
A4b



ELEVATION B - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

| FOOTING SCHEDULE | | | | | |
|--|--------------------------------------|--|--|--|--|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» | | | | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| WF1 | 30"x8" DP. 2-15M(B) LONG. | 36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG. | 40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG. | 48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. | N/A |
| WF2 | 28"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG. | 46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. | N/A |
| WF3 | 26"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG. | 48"x10" W/ 4-15M LONG. REBARS & 15M TRANSVERSE REBAR @ 15" O.C. |
| WF4 | 24"x8" DP. 2-15M(B) LONG. | 28"x8" DP. 2-15M(B) LONG. | 32"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG. | N/A |
| WF5 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 26"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 42"x10" W/ 4-15M LONG. REBARS AND 15M TRANSVERSE REBARS @ 15" O.C. |
| WF6 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | N/A |
| WF7 | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 30"x10" W/ 3-15M LONG. REBARS AND 15M TRANSVERSE REBARS @ 15" O.C. |
| PAD FOOTING SCHEDULE | | | | | |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» | | | | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| F1 | 36"x36"x10" DP. 3-15M(B)x 30"L.G. | 40"x40"x10" DP. 3-15M(B)x 34"L.G. | 44"x44"x10" DP. 4-15M(B)x 38"L.G. | 48"x48"x10" DP. 4-15M(B)x 42"L.G. | 60"x60"x10" DP 6-15M(B)x54" LG. |
| F2 | 24"x24"x10" DP. | 24"x24"x10" DP. | 24"x24"x10" DP. | 28"x28"x12" DP. | 36"x36"x12" DP. 3-15M(B)x30"L.G. |



PLAN - FOOTING
ELEVATION A & B - STANDARD
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- NOTES:
- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
 - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
 - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
 - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
 - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
 - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: FOOTING TABLE

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A5a



Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

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- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ($\pm 1\%$) AIR ENTRAINMENT

– REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION

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DRAWING: **FOOTING PLAN**
ELEVATION A,B - STANDARD

1010 - THE FERRIS 2022 FOOTPRINT

SHEET:
A5a

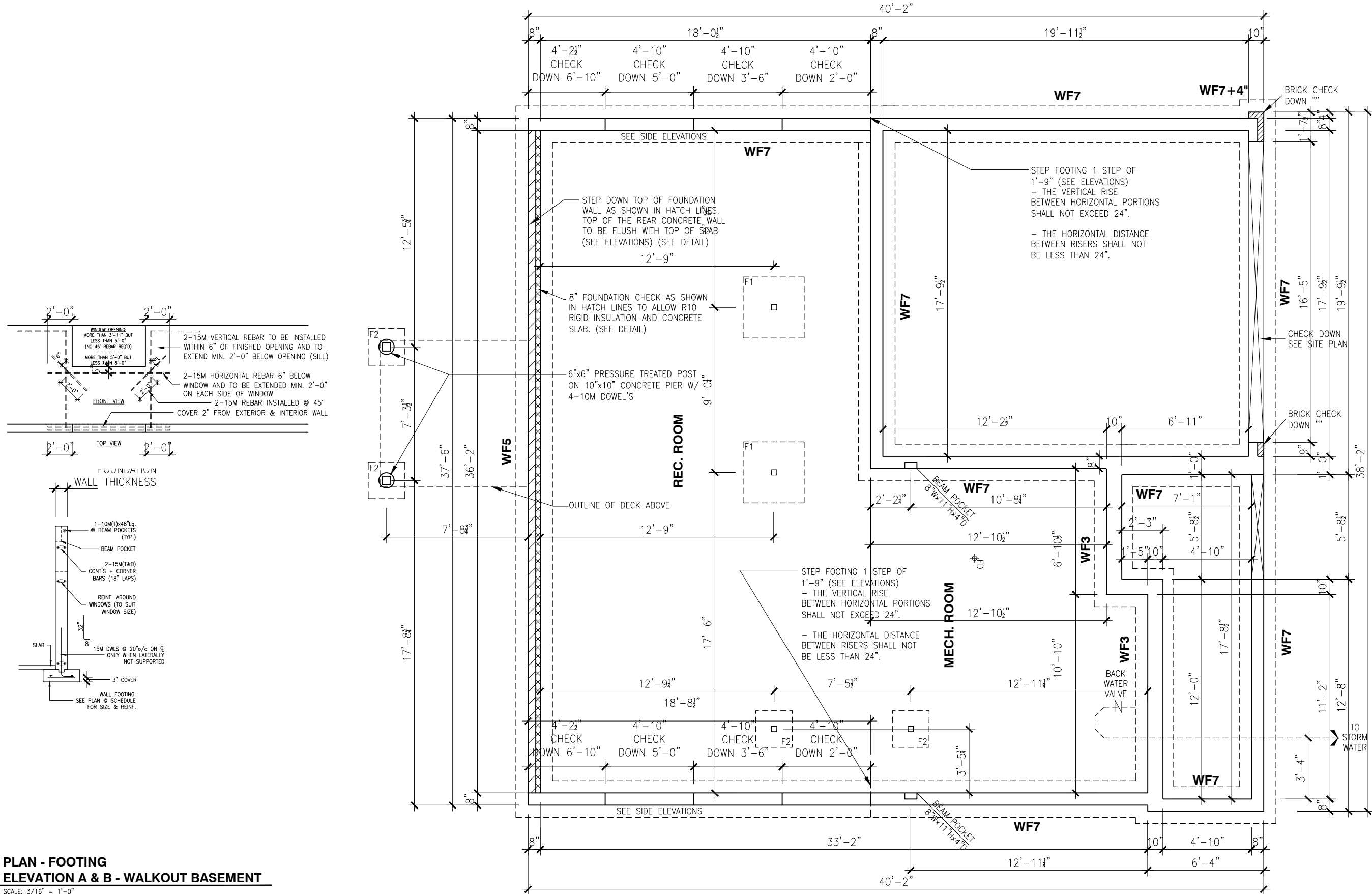


PLAN - FOOTING
ELEVATION A & B - STANDARD

SCALE: 3/16" = 1'-0"

PLAN - FOOTING
ELEVATION A & B - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

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- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
|-------|--------------------------------|------------|-----|
| NO. | DESCRIPTION | DATE | BY |

DRAWING: FOOTING PLAN
ELEVATION A,B - WOB

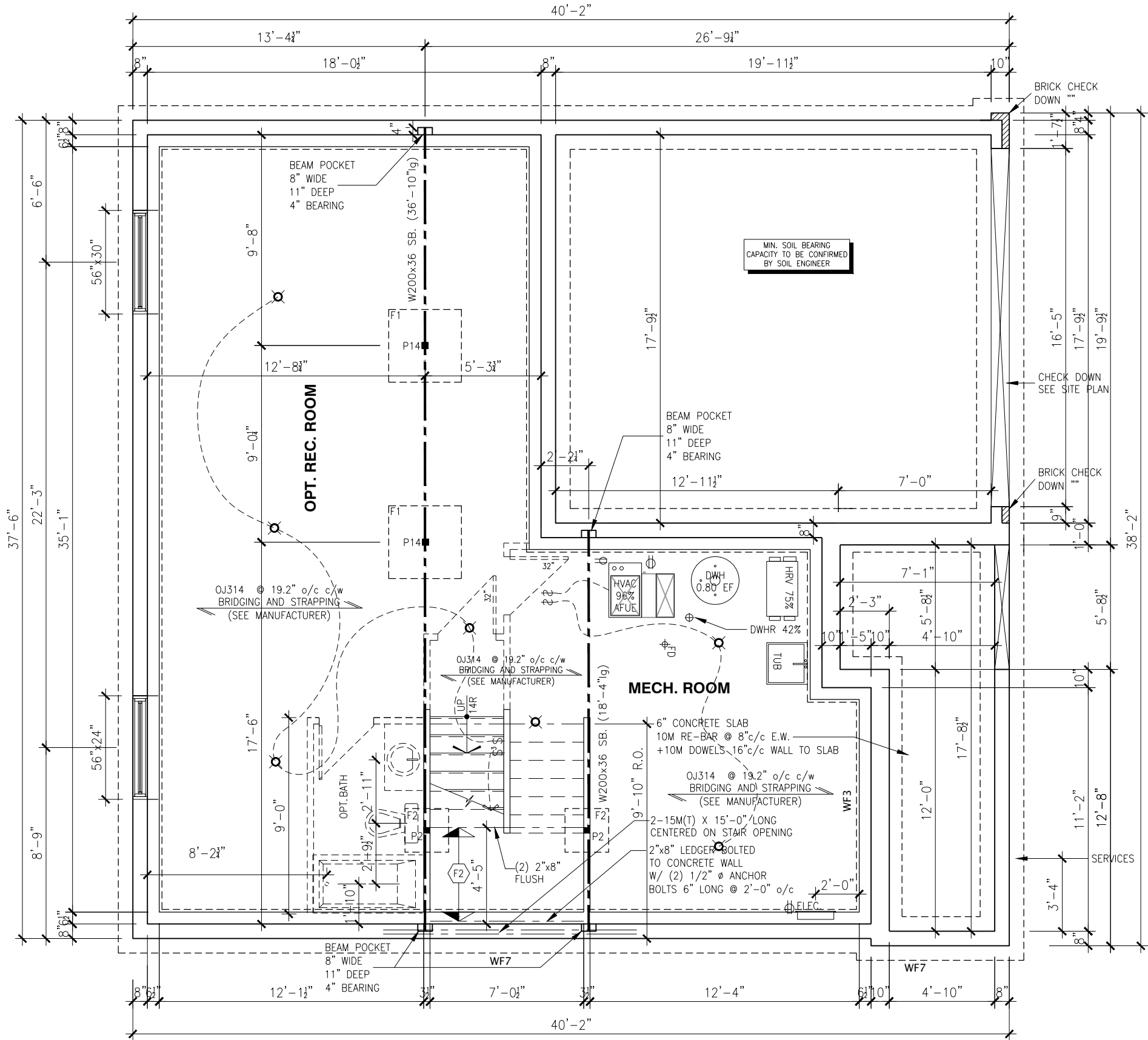
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT

SHEET: A5a

PLAN - FOUNDATION - ELEVATION A/B (STANDARD)

SCALE: 3/16" = 1'-0"



NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

| | |
|----|-----------------------------|
| S1 | = L 90x90x6 |
| S2 | = L 90x90x8 |
| S3 | = L 100x90x8 |
| S4 | = L 125x90x8 |
| S5 | = L 125x90x10 |
| S6 | = L 200x100x12 |
| S7 | = L 150x100x10 (8" BEARING) |

LINTEL TABLE:

| | |
|----|--|
| L1 | = 2-2x10 + P2 ON BOTH SIDES |
| L2 | = 3-2x10 + P3 ON BOTH SIDES |
| L3 | = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES |
| L4 | = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES |

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

| | |
|-------------|--|
| P1 | = 3" ADJUSTABLE STEEL COLUMN |
| P1o | = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK |
| POST BY USP | |
| P2 | = 2-2x4 OR 2-2x6 |
| P3 | = 3-2x4 OR 3-2x6 |
| P4 | = 4-2x4 OR 4-2x6 |
| P5 | = 5-2x4 OR 5-2x6 |
| P6 | = 6-2x4 OR 6-2x6 |
| P13 | = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) |
| P14 | = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) |
| P15 | = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) |
| P16 | = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) |
| P17 | = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*) |
| (*) | = 2-12# ANCH. (WHERE ANCH. PL. NOT USED) |

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

FOUNDATION PLAN - STANDARD

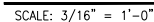
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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A6a

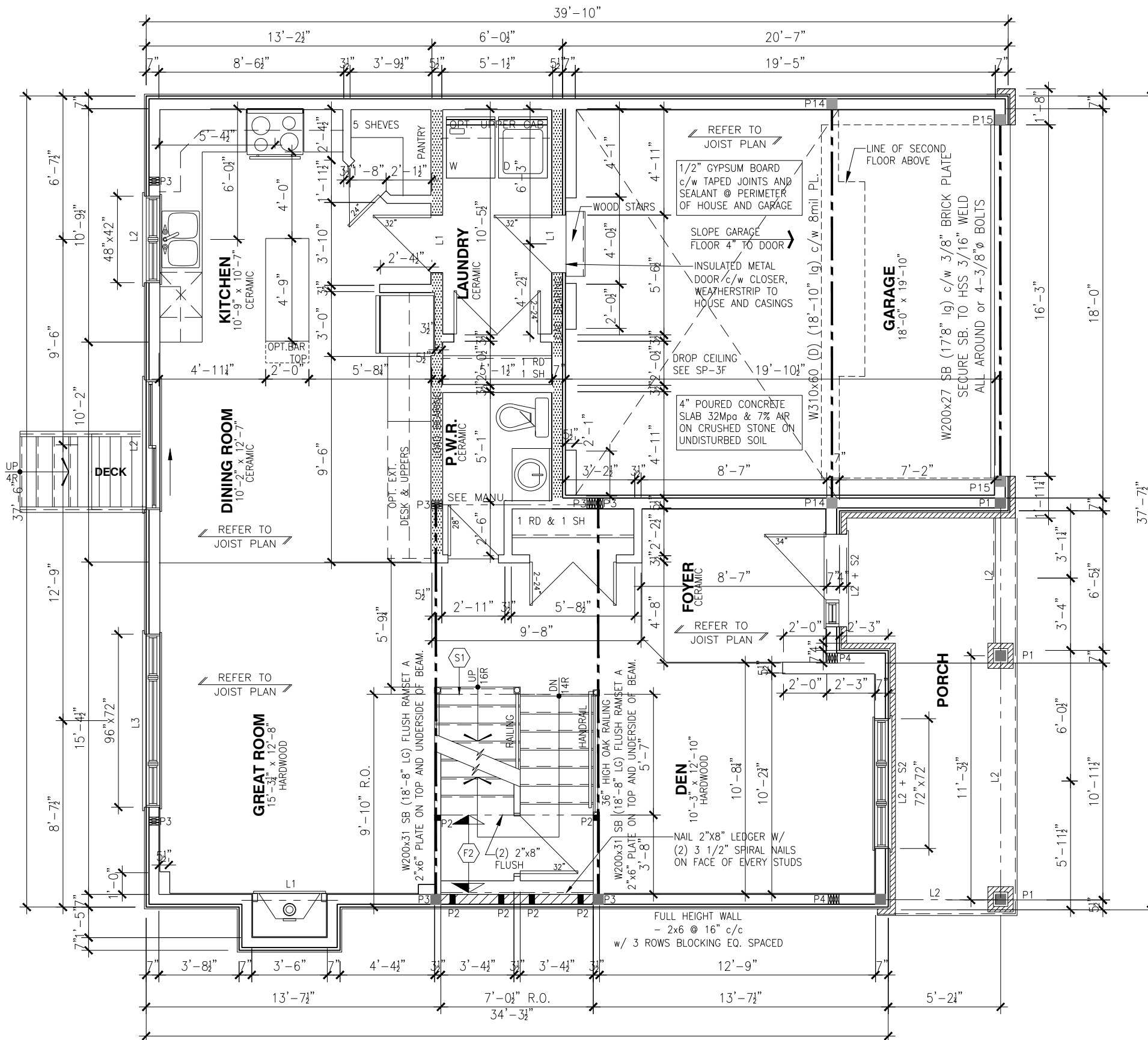
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.



SHEET:

A6a

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



SCALE: $3/16" = 1'-0"$

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A FZ

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

(STANDARD DRAWINGS)

A7a

STAIRS AND RAILINGS:

– RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") – MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") – MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") – MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

– HANDRAILS: MIN 860mm (34") – MAX 900mm (36");

– GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

– EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

– INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

– MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

– FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

– INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

– WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

– COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

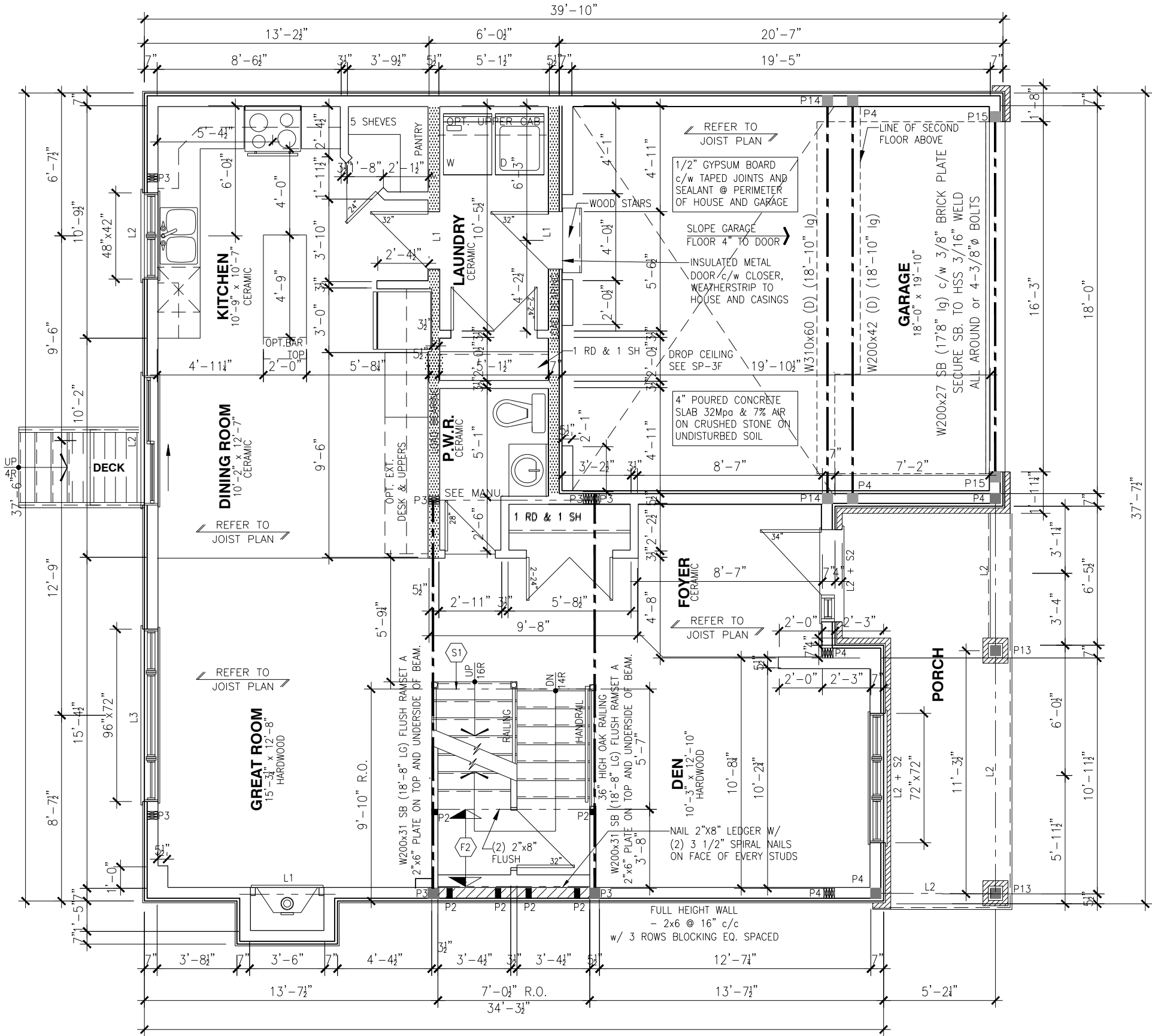
– COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

– DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

PLAN - GROUND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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– TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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S2 = 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
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L2 = 3-2x10 + P3 ON BOTH SIDES
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POST TABLE:

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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

GROUND FLOOR - STANDARD

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|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b

NOTES:

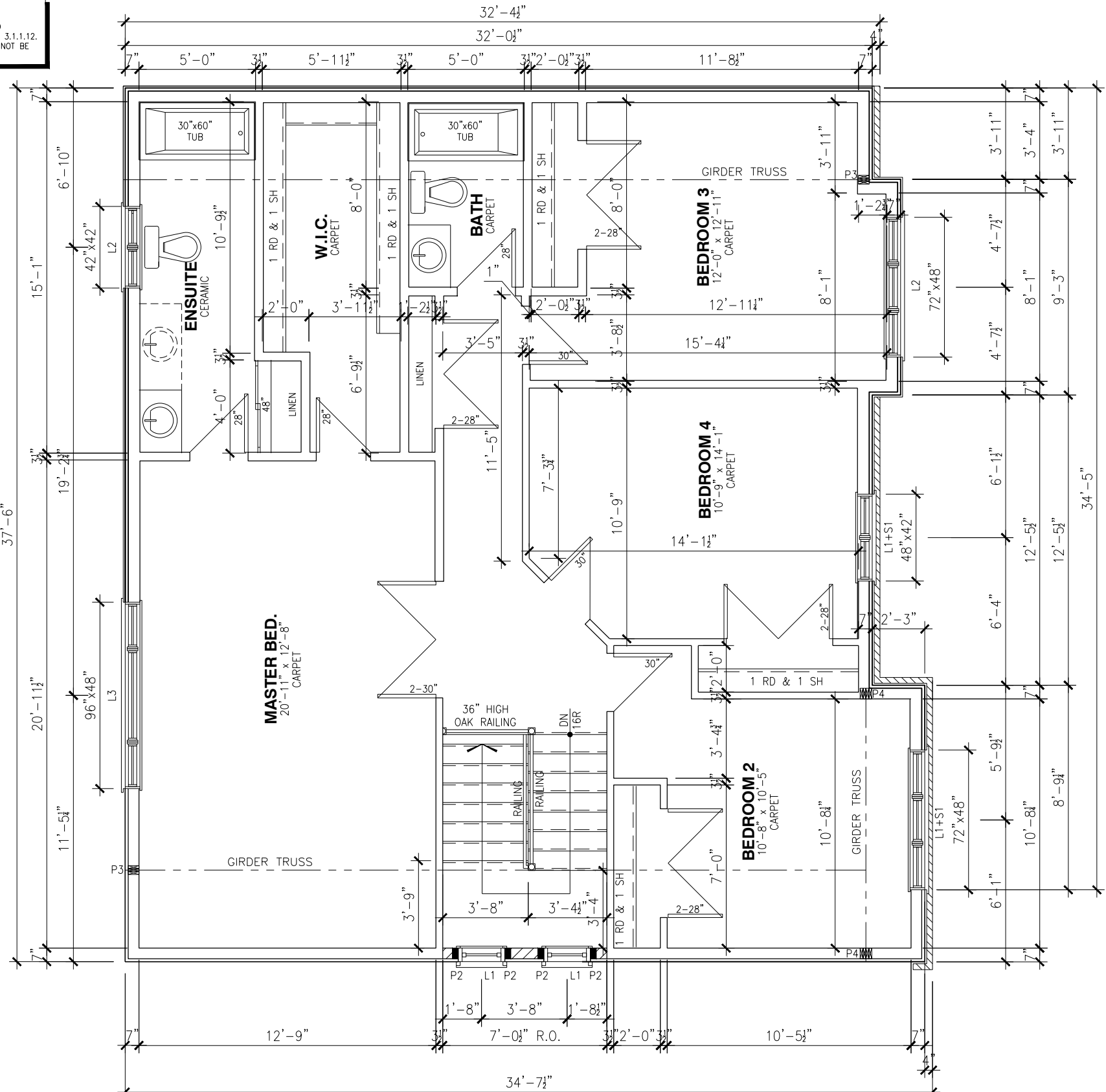
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NOTE:

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PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

SECOND FLOOR - STANDARD

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8a

NOTES:

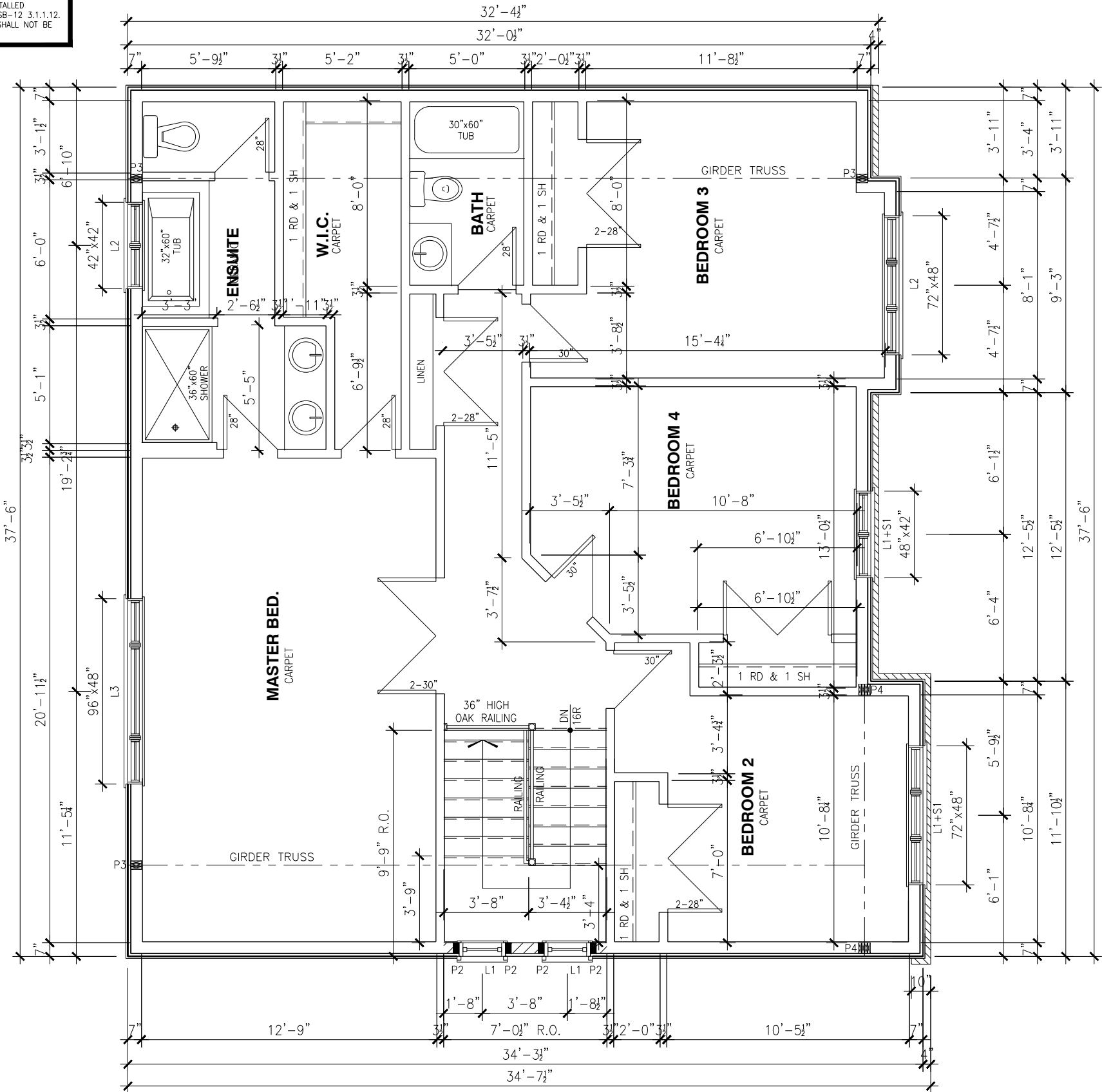
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ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: SECOND FLOOR
ENSUITE UPGRADE

| | | |
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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

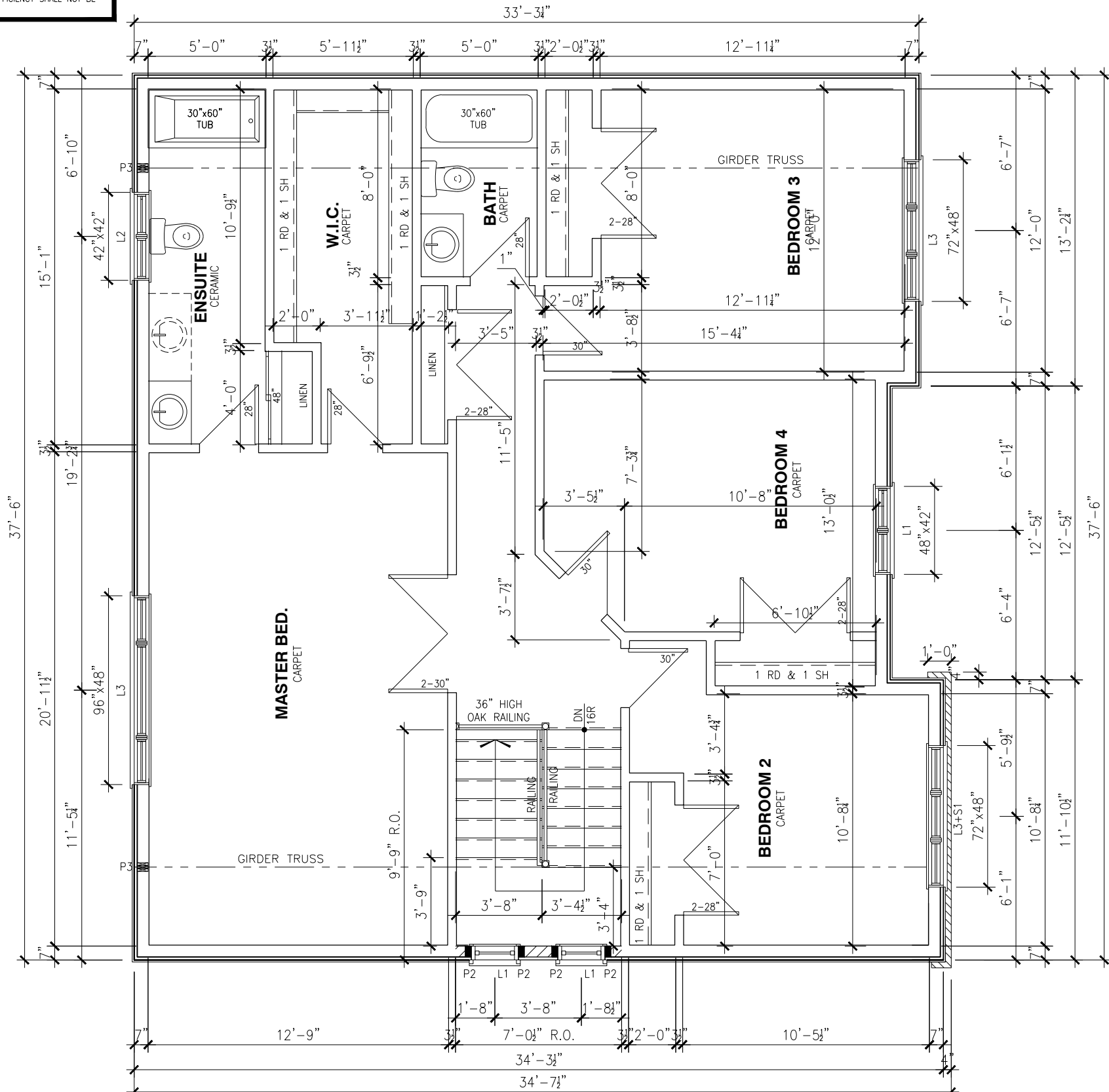
1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A8a

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

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SCALE: $3/16" = 1'-0"$

SHEET:
A8b

NOTES:

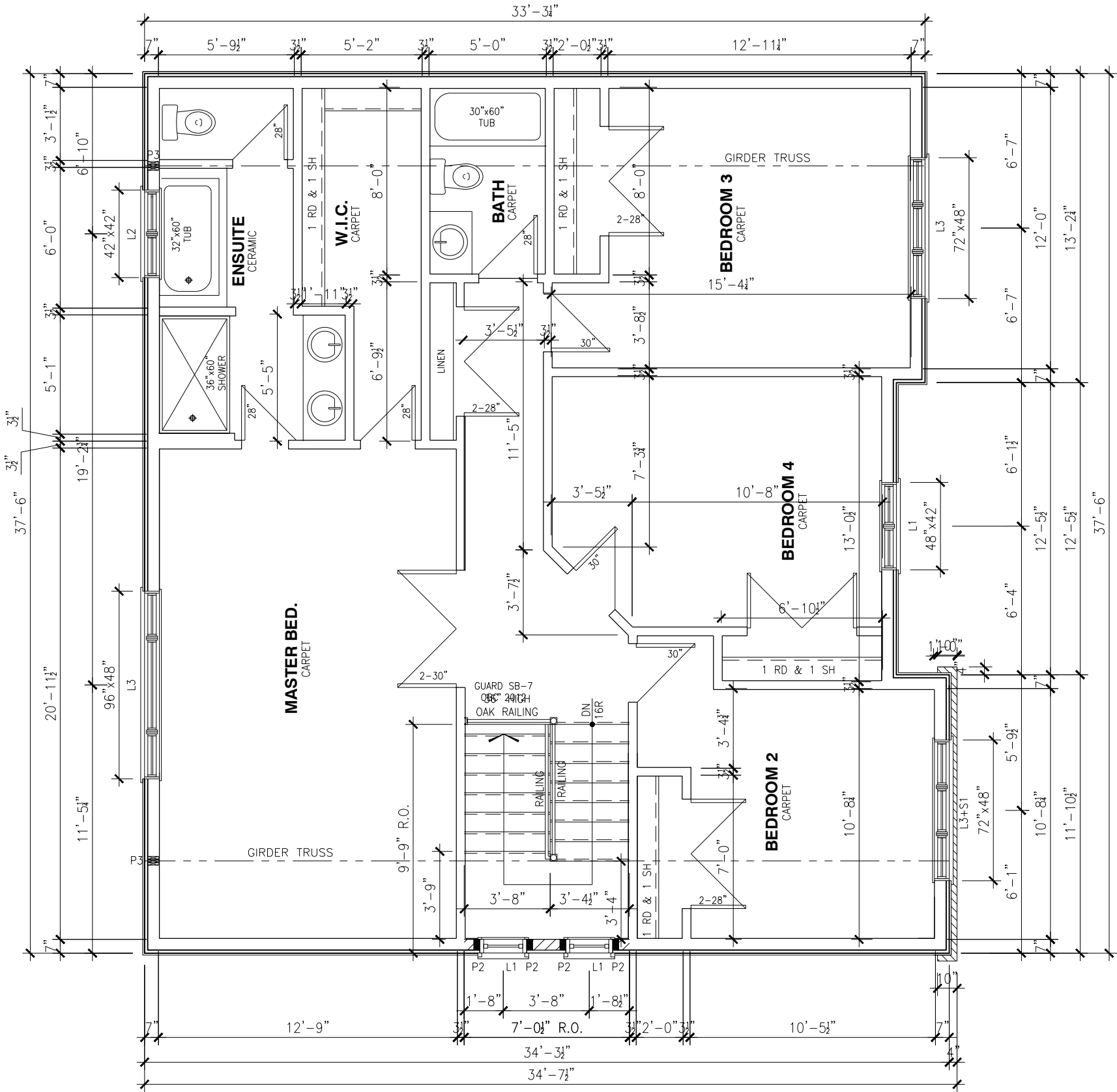
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PLAN - SECOND FLOOR - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: SECOND FLOOR
ENSUITE UPGRADE

| | | |
|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A8b

NOTES:

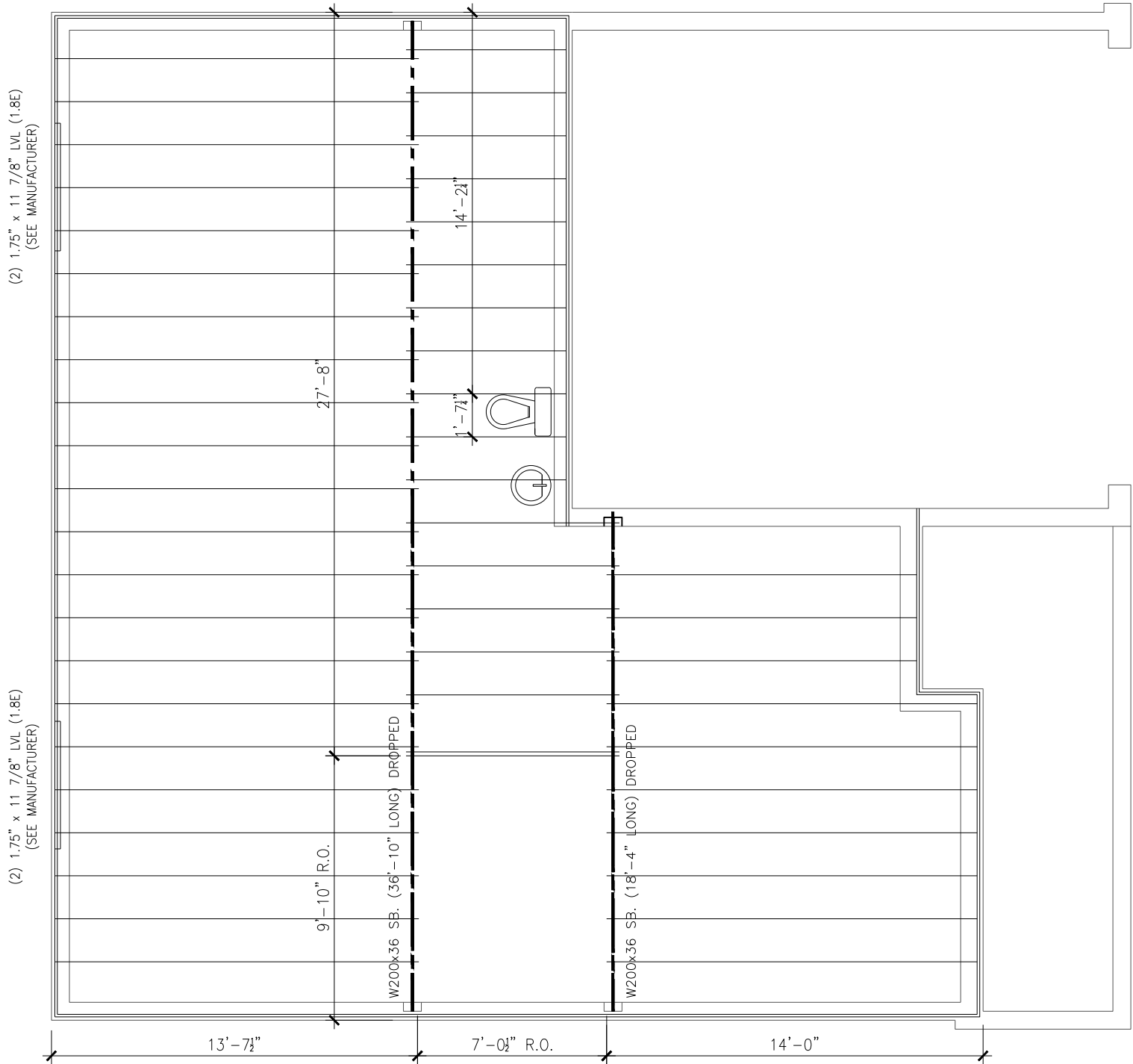
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FIRST FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
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| NO. | DESCRIPTION | DATE | BY |
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DRAWING:
FIRST FLOOR JOIST PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A9a

NOTES:

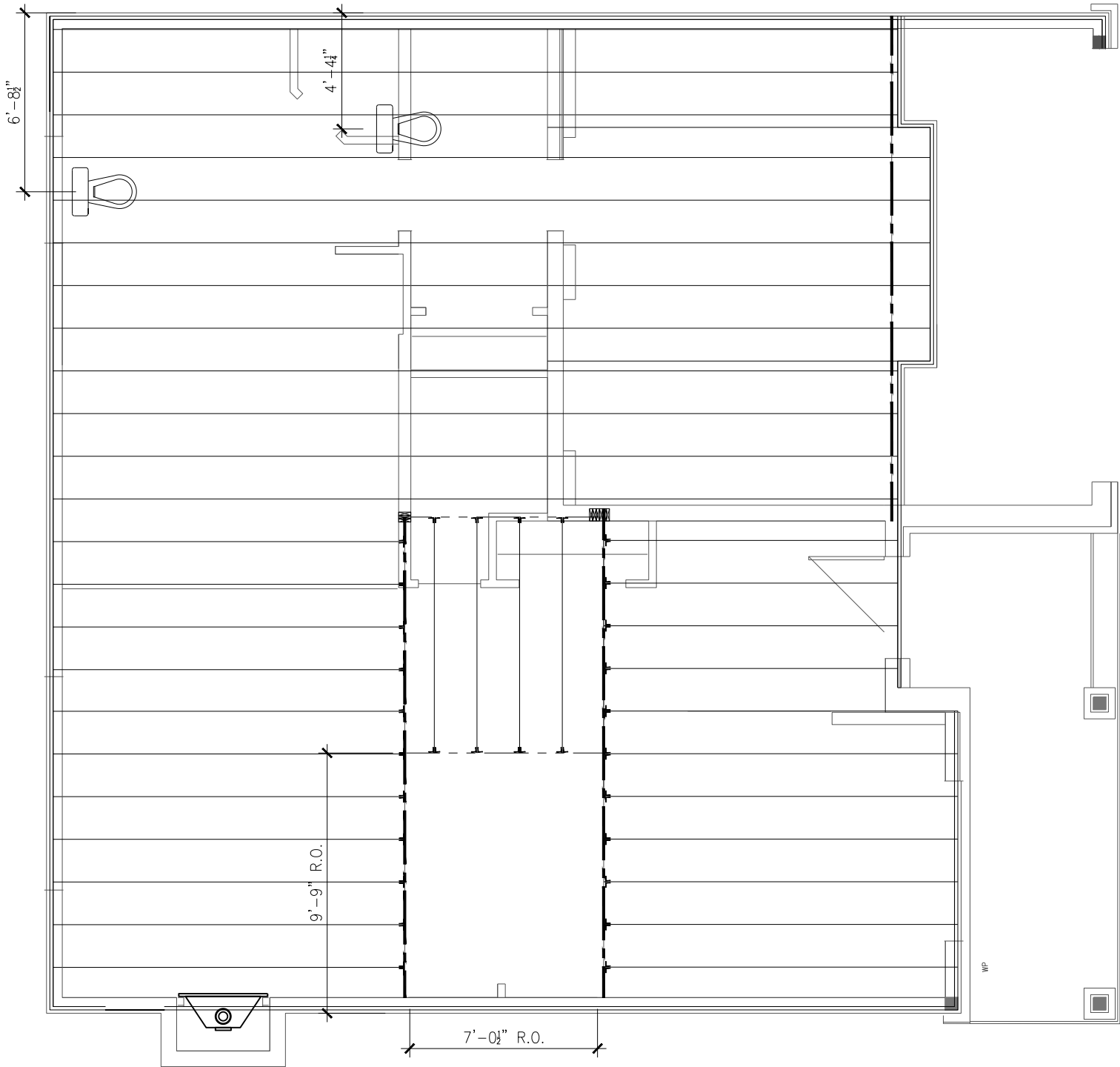
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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



SECOND FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
- POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

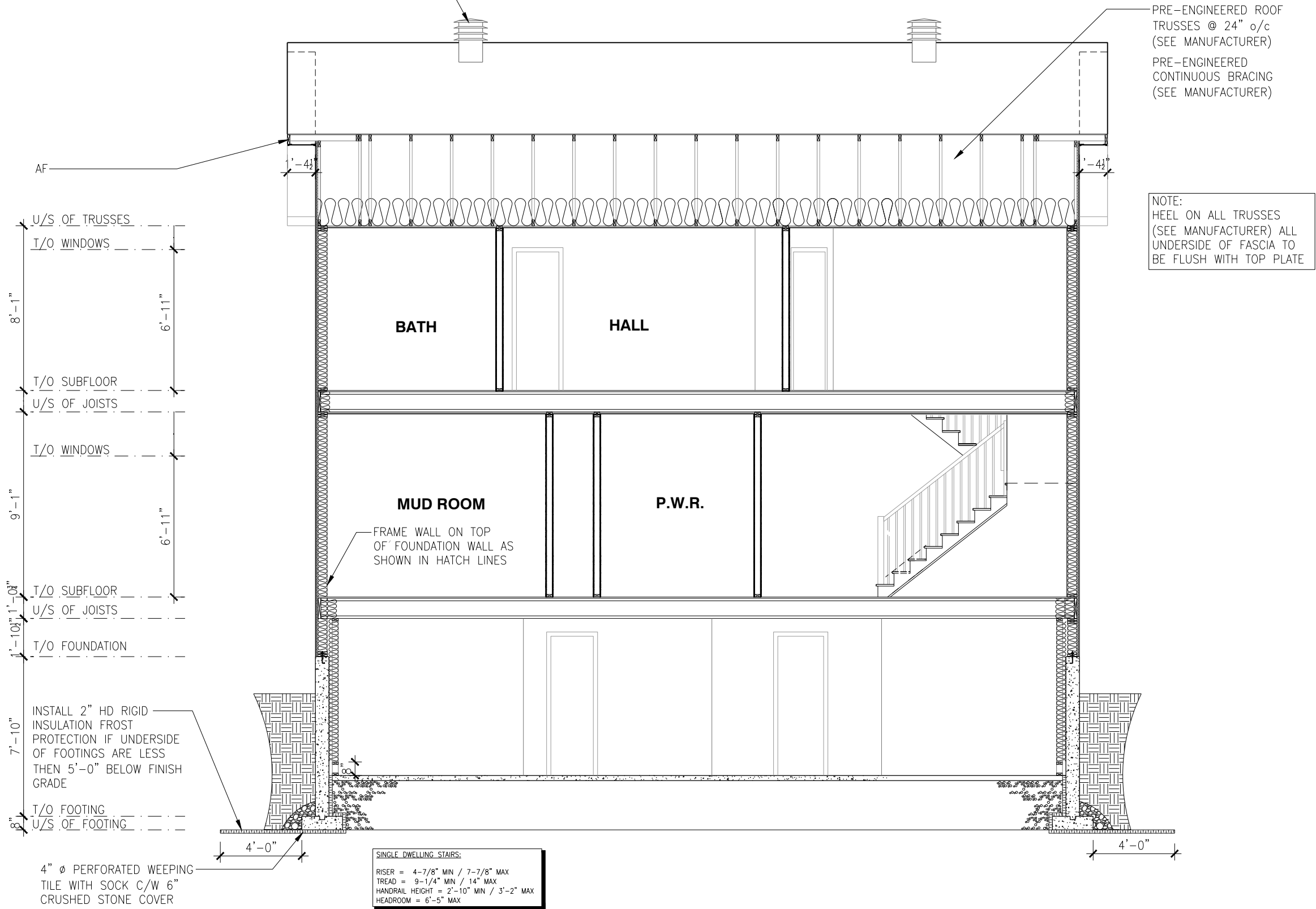
SECOND FLOOR JOIST PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A9b

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
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| NO. | DESCRIPTION | DATE | BY |
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DRAWING:
SECTION - WALKOUT BASEMENT

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

A10

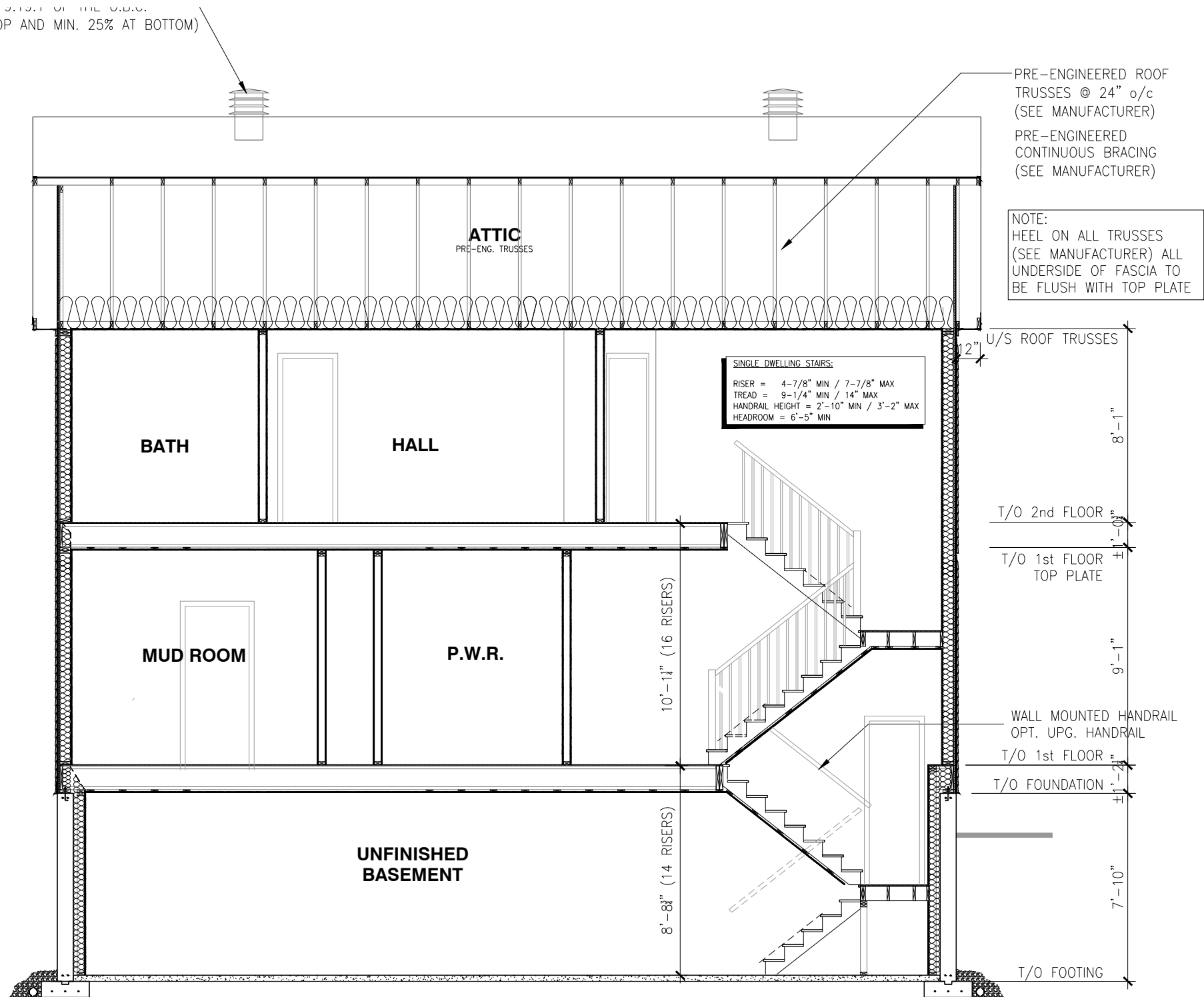
SECTION - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

SECTION

SCALE: 3/16" = 1'-0"

INSTALL AS PER S.I.S.T. OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

SECTION

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| ADDRESS: | SCALE: | DATE: |
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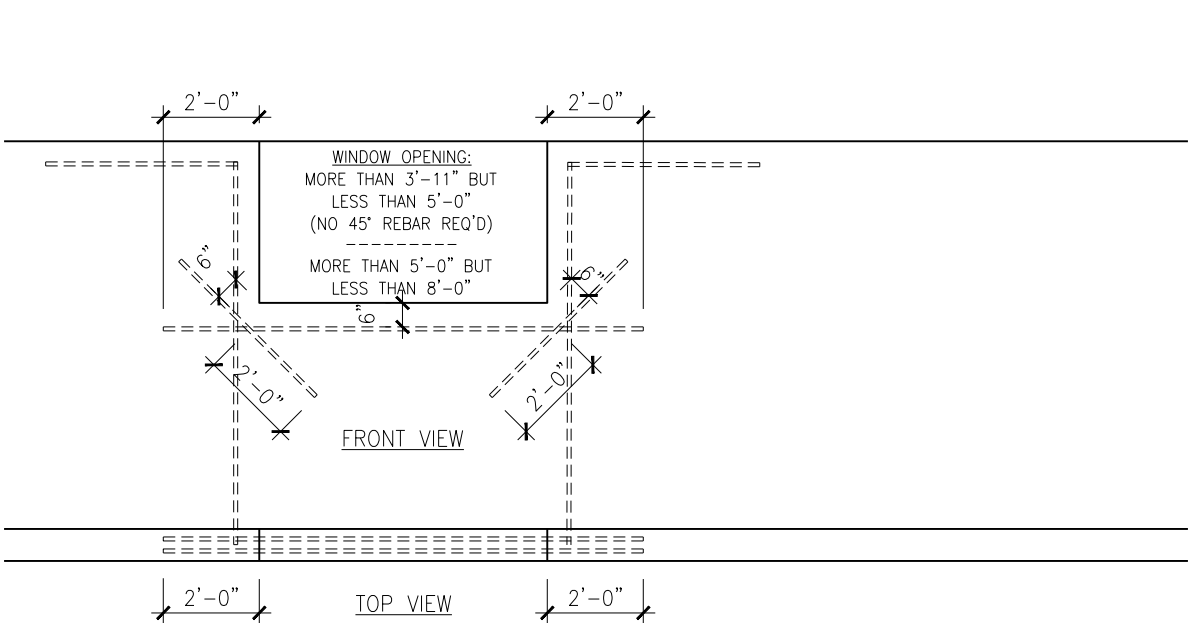
1010 - THE FERRIS
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

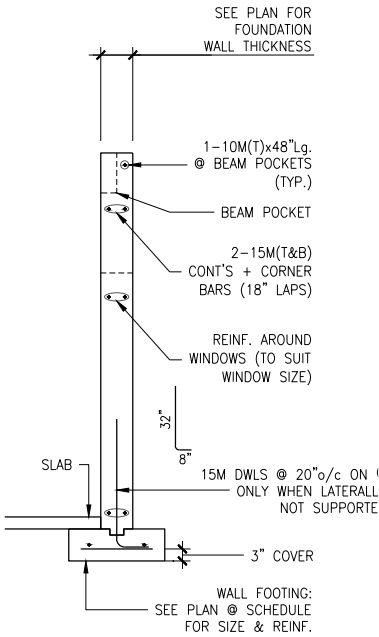
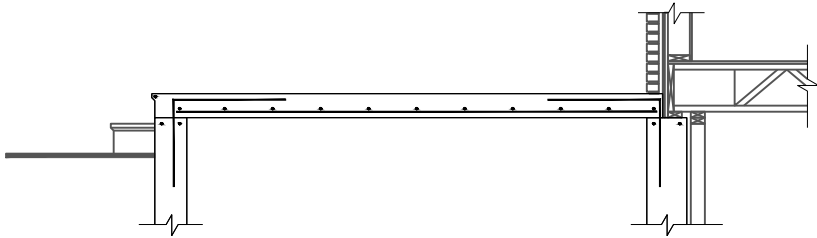
A10

TYPICAL DETAILS

SCALE: 1/4" = 1'-0"



PROVIDE MIN. 1.5" CONCRETE COVER OVER REBAR



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING:

TYPICAL DETAIL

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| ADDRESS: | SCALE: | DATE: |
| XX | AS INDICATED | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

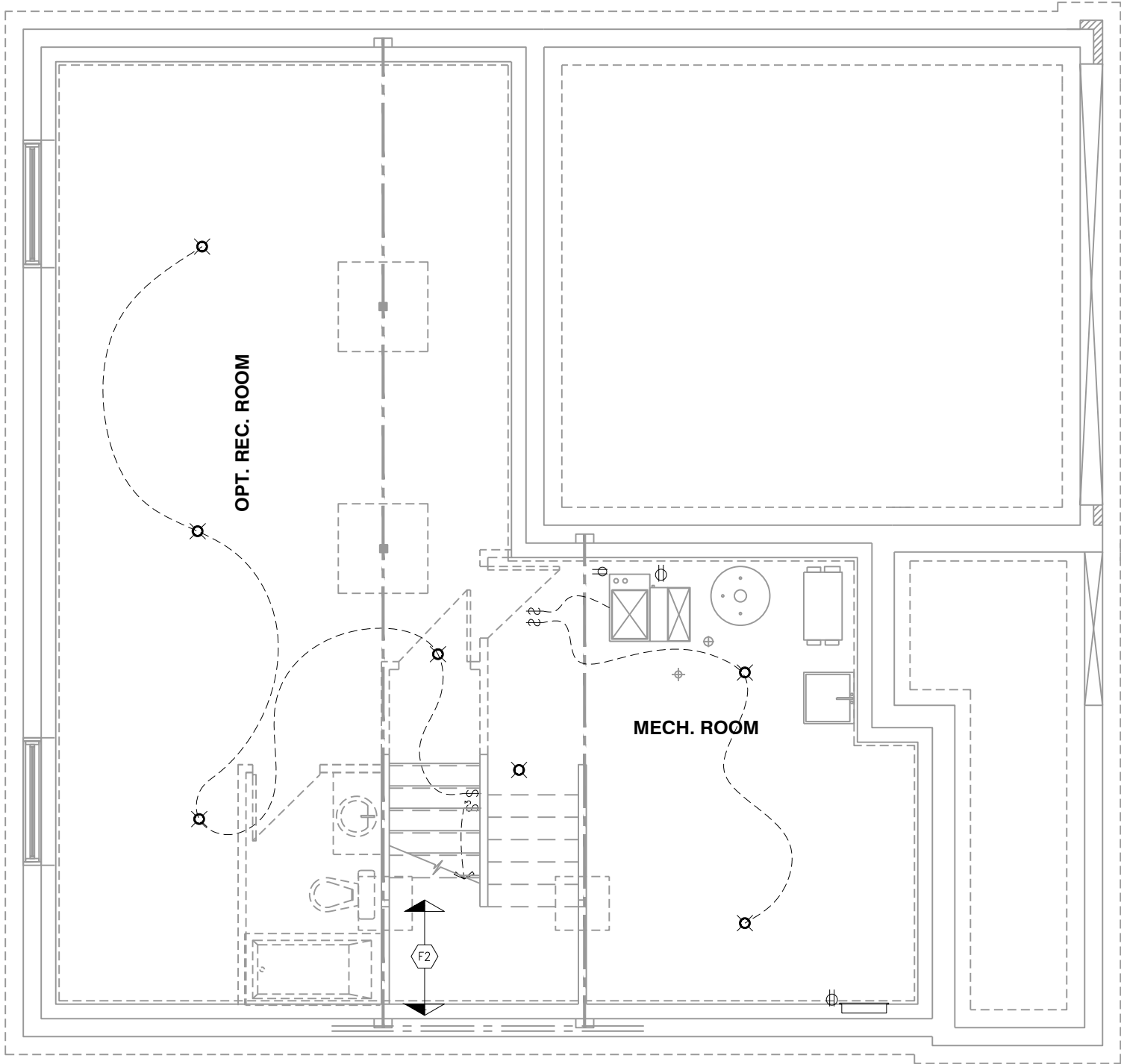
(STANDARD DRAWINGS)

SHEET:

A10b

PLAN - ELECTRICAL
FOUNDATION - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: **ELECTRICAL**
FOUNDATION PLAN - STANDARD

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| ADDRESS: | SCALE: | DATE: |
| xx | 3/16" = 1'-0" | xx/xx/xxxx |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E1a

PLAN - ELECTRICAL
GROUND FLOOR - ELEVATION (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL
GROUND FLOOR - STANDARD

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

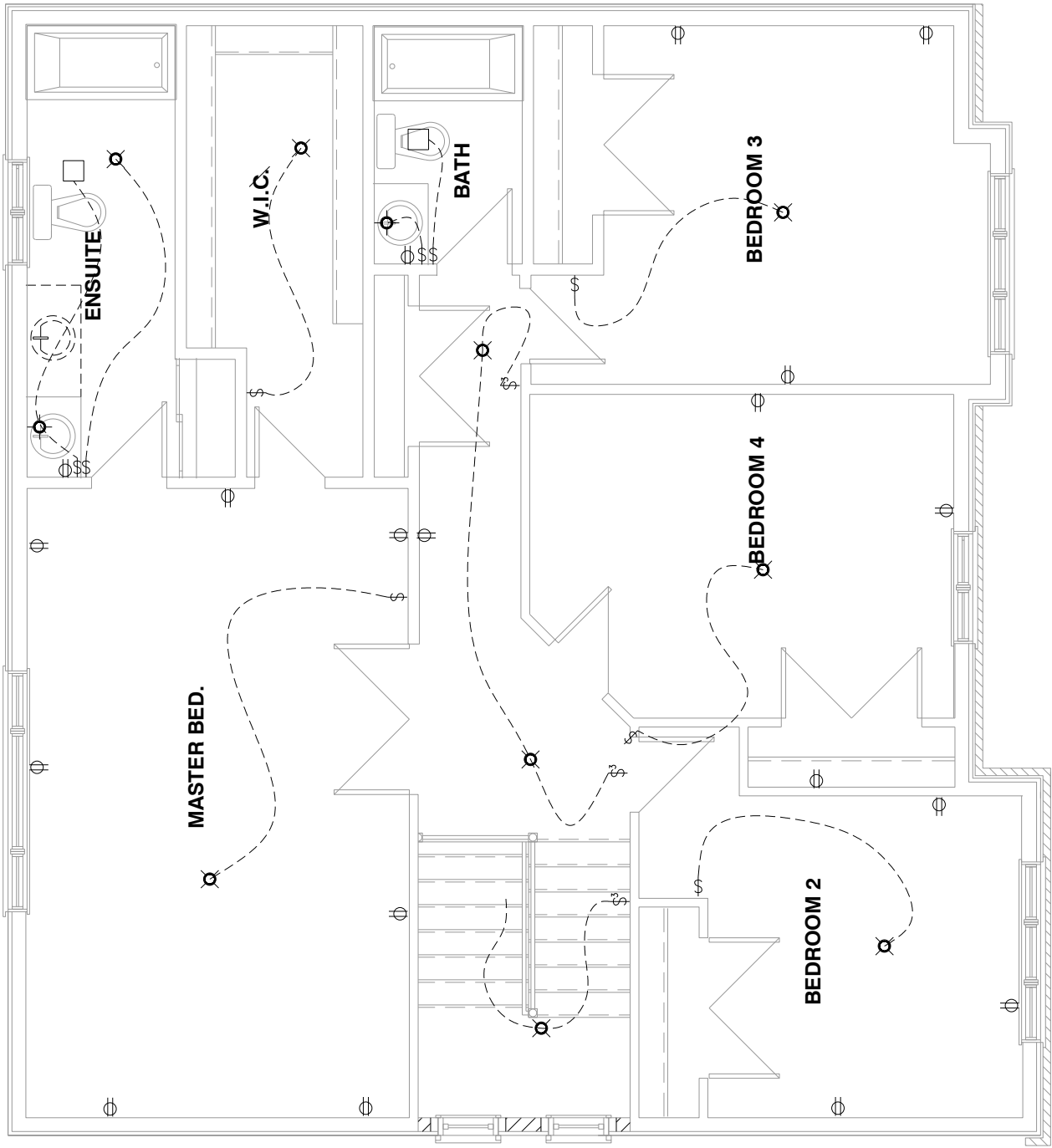
(STANDARD DRAWINGS)

SHEET:

E2a

PLAN - ELECTRICAL
SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL
SECOND FL. - STANDARD ENS.

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| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

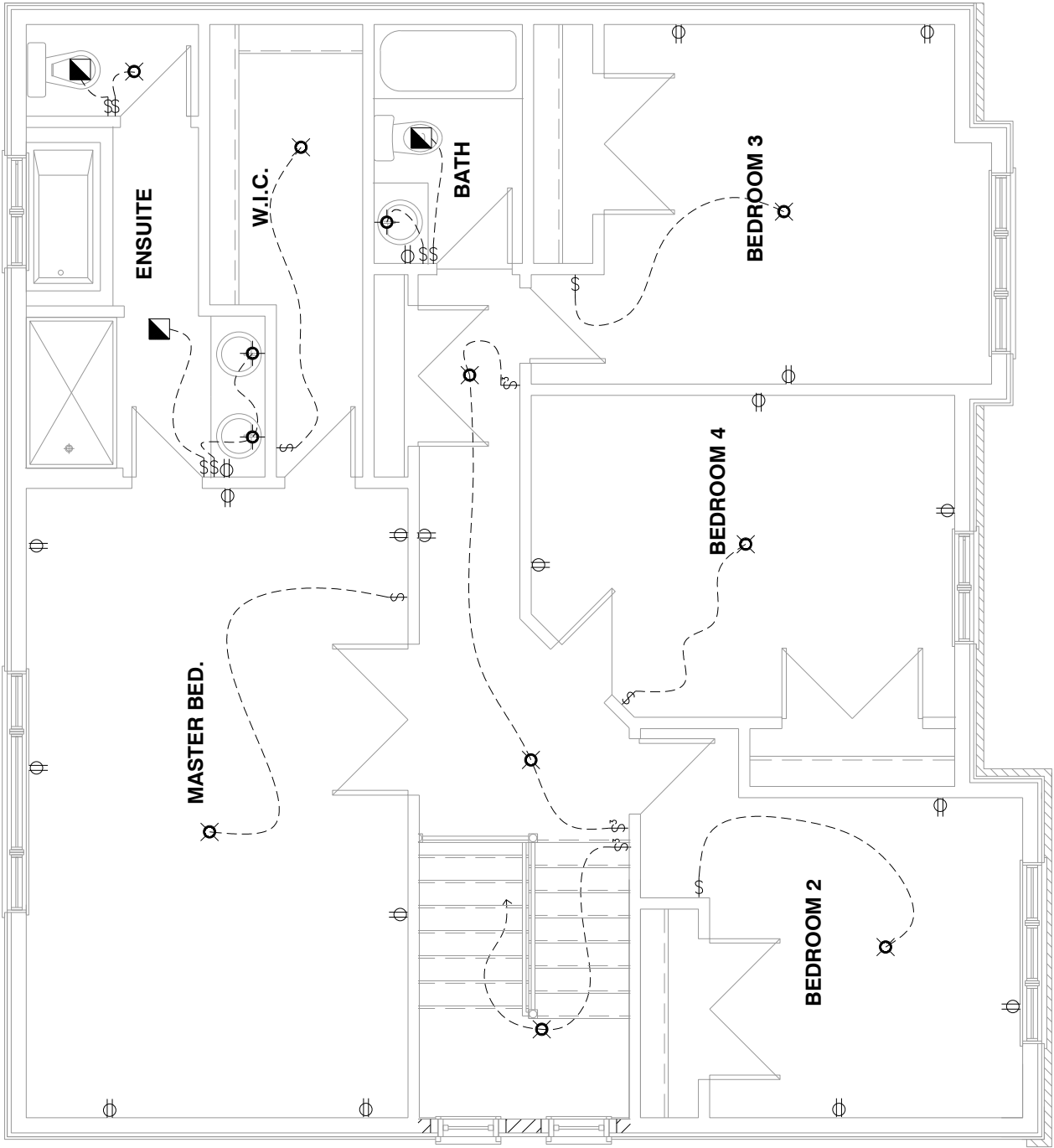
(STANDARD DRAWINGS)

SHEET:

E3a

PLAN - ELECTRICAL
SECOND FLOOR - ENSUITE UPGRADE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | --- |
| NO. | DESCRIPTION | DATE | BY |

DRAWING: ELECTRICAL
SECOND FL. - ENS. UPG.

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|----------|---------------|------------|
| ADDRESS: | SCALE: | DATE: |
| XX | 3/16" = 1'-0" | XX/XX/XXXX |

1010 - THE FERRIS
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E4a