

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



I, DANIEL GUERIN , ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
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DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CONBIGL 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 SIDING SENER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022

NO DESCRIPTION

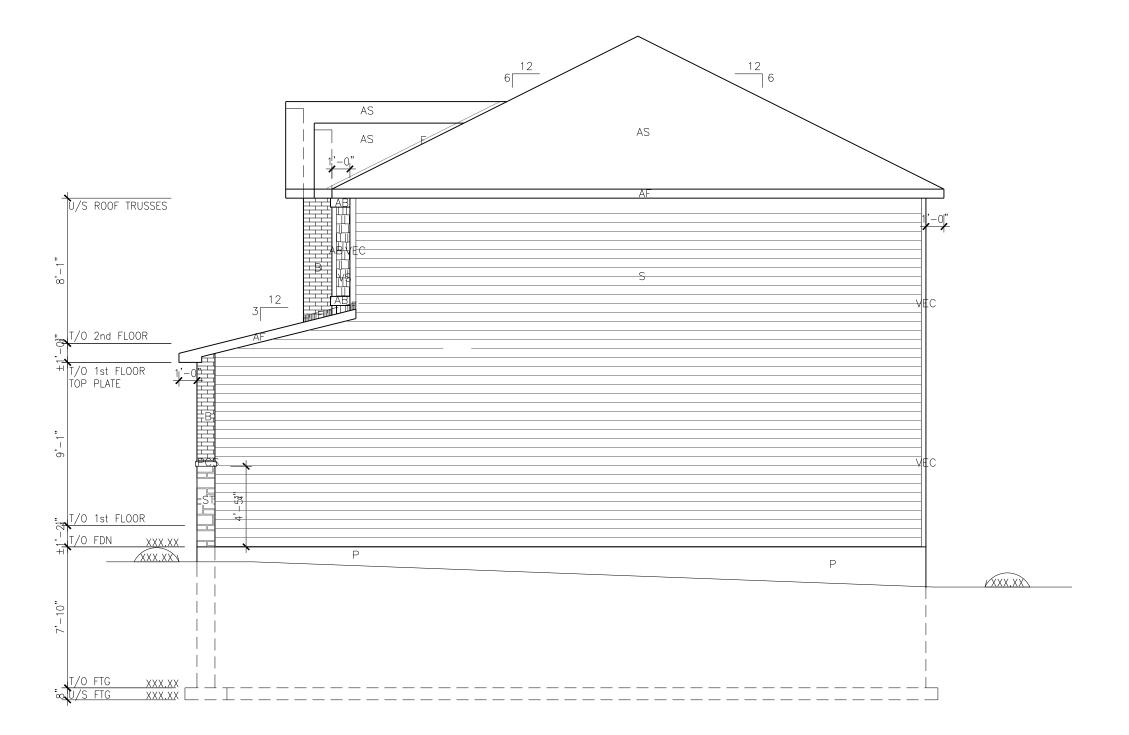
ELEVATION A - FRONT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A1a



ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

Homes (2019) Limited

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- - V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
 - KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 -NO DESCRIPTION

ELEVATION A - RIGHT

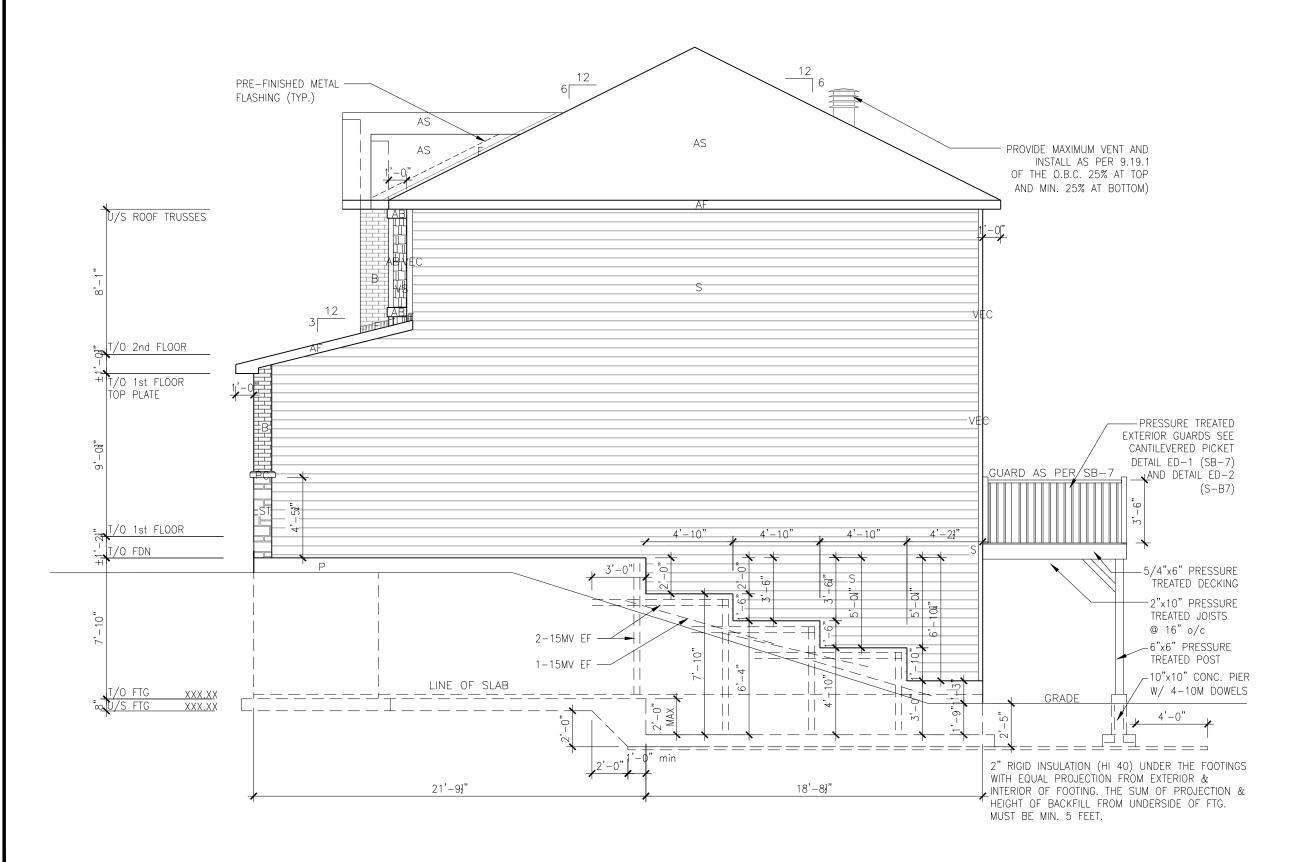
SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A2a

DATE: XX/XX/XXXX



ELEVATION A - RIGHT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

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 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- BRICK SLEEPER COURSE
- STACK BOND (ACCENT)
- BRICK SILL (ACCENT)
- BRICK ROW LOCK (ACCENT)
- BRICK CORBELLING
- BRICK CORBILLING
- BRICK COINING 20mm PROUD
- BRICK 20mm PROUD
- BRICK 20mm RECESSED
- SIDING (HORIZONTAL)
- SIDING (VERTICAL) + 20mm PROUD

- SIDING (VERTICAL)
- STONE VENEER
- TRIM 200mm COVE SIDING
- ALUMINUM FASCIA - ALUMINUM FASCIA
- ALUMINUM CLADDING
- 48" ALUMINUM BAND
- ASPHALT SHINGLES
- FLASHING
- ROOF VENT (MAXIMUM)

P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"

- PRECAST SILL
- PRECAST BAND
- VINYL SHAKES
- SIDING (VERTICAL CORNER) - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

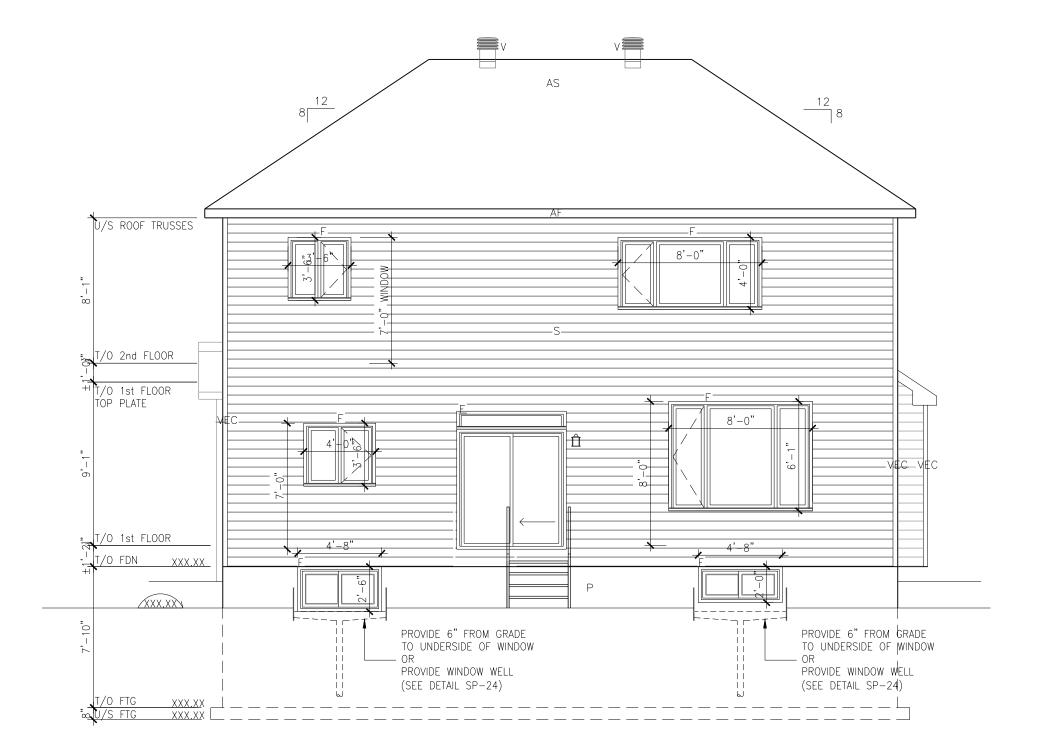
ELEVATION A - RIGHT WALKOUT BASEMENT

3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

A2a

XX/XX/XXXX



ELEVATION A - REAR

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited I, DANIEL QUERIN. ARCHITECTURAL MANAGER FOR WALECRAFT HOMES TID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESSONSIBILITY FOR THE DESIGN ACTIVITIES.

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- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- B2 BRICK SOLDIER COURSE (ACCEN + 20mm PROUD)
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SLEL (ACCENT)
 B6 BRICK SUL (ACCENT)
 B7 BRICK ROW LOCK (ACCENT)
 B8 BRICK CONING 20mm PROUD
 +20 BRICK 20mm PROUD
 +20 BRICK 20mm RECESSED
 S SIDING (HORIZONTAL)
 SV SIDING (VERTICAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM CLADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 -NO DESCRIPTION

DRAWING:

ELEVATION A - REAR

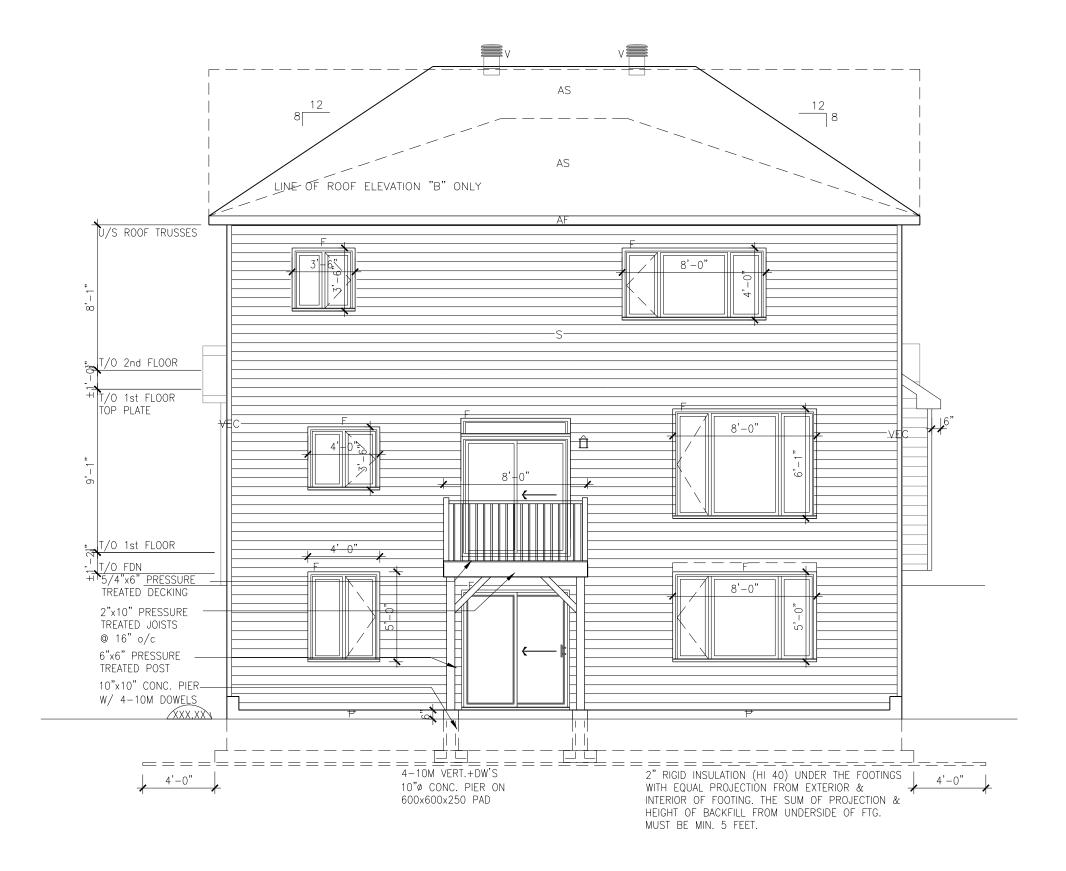
SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

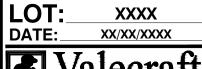
A3a

DATE: XX/XX/XXXX



ELEVATION A - REAR - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE)

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SUL (ACCENT)

 BRICK CONEC (ACCENT)

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONG VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM CADDING

 48" ALUMINUM BAND

 ASPHALT SHINGES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

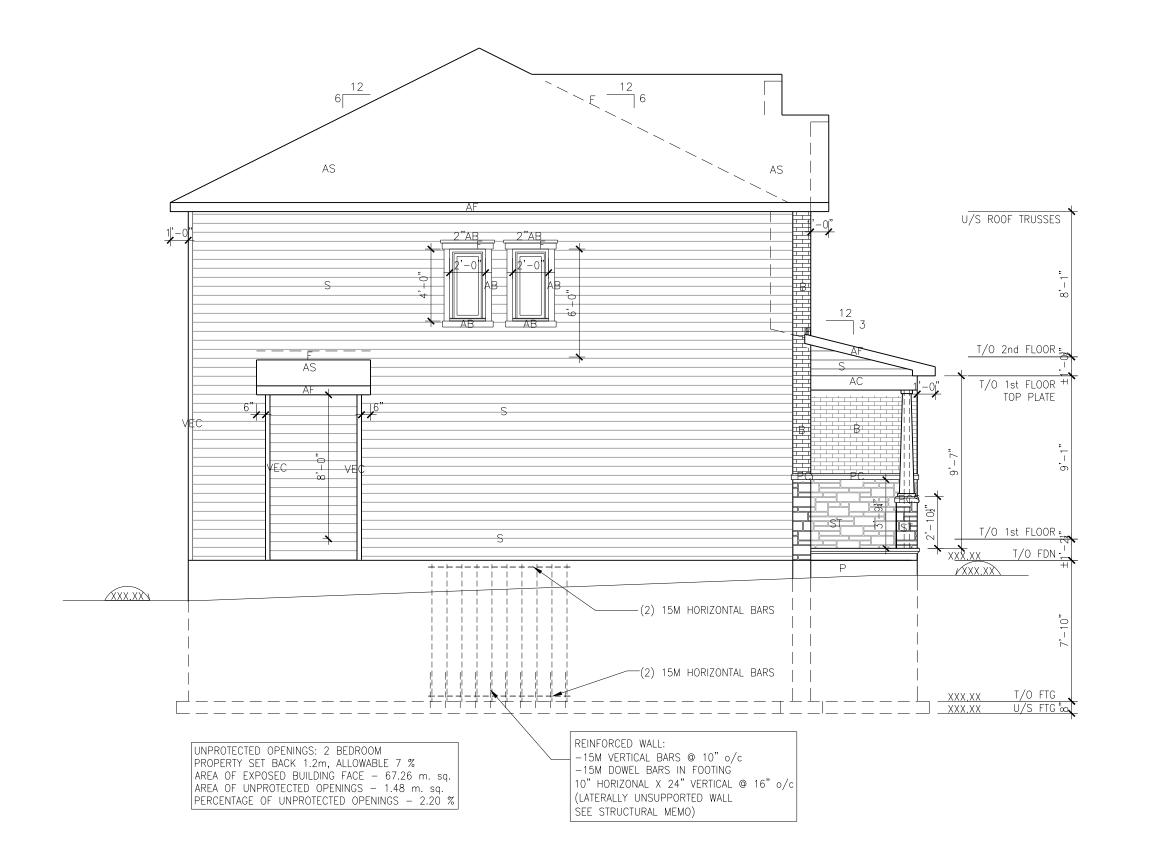
ELEVATION A - REAR WALKOUT BASEMENT

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A3a



ELEVATION A - LEFT

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 BRICK SOLDIER COURSE (ACCENT) BRICK SOLDIER COURSE (ACCE)

20mm PROUD

BRICK SLEEPER COURSE

STACK BOND (ACCENT)

BRICK SUL (ACCENT)

BRICK CONEC (ACCENT)

BRICK CORBELLING

BRICK CONING 20mm PROUD

BRICK 20mm PROUD

BRICK 20mm PROUD

BRICK 20mm RECESSED

SIDING (HORIZONTAL)

SIDING (VERTICAL)

STONG VENEER

TRIM 200mm COVE SIDING

ALUMINUM FASCIA

ALUMINUM CADDING

48" ALUMINUM BAND

ASPHALT SHINGES

FLASHING

ROOF VENT (MAXIMUM)

PARGING

V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINT\ SHAKES
VEC - SIDING (VERTICAL CORNER)

- KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

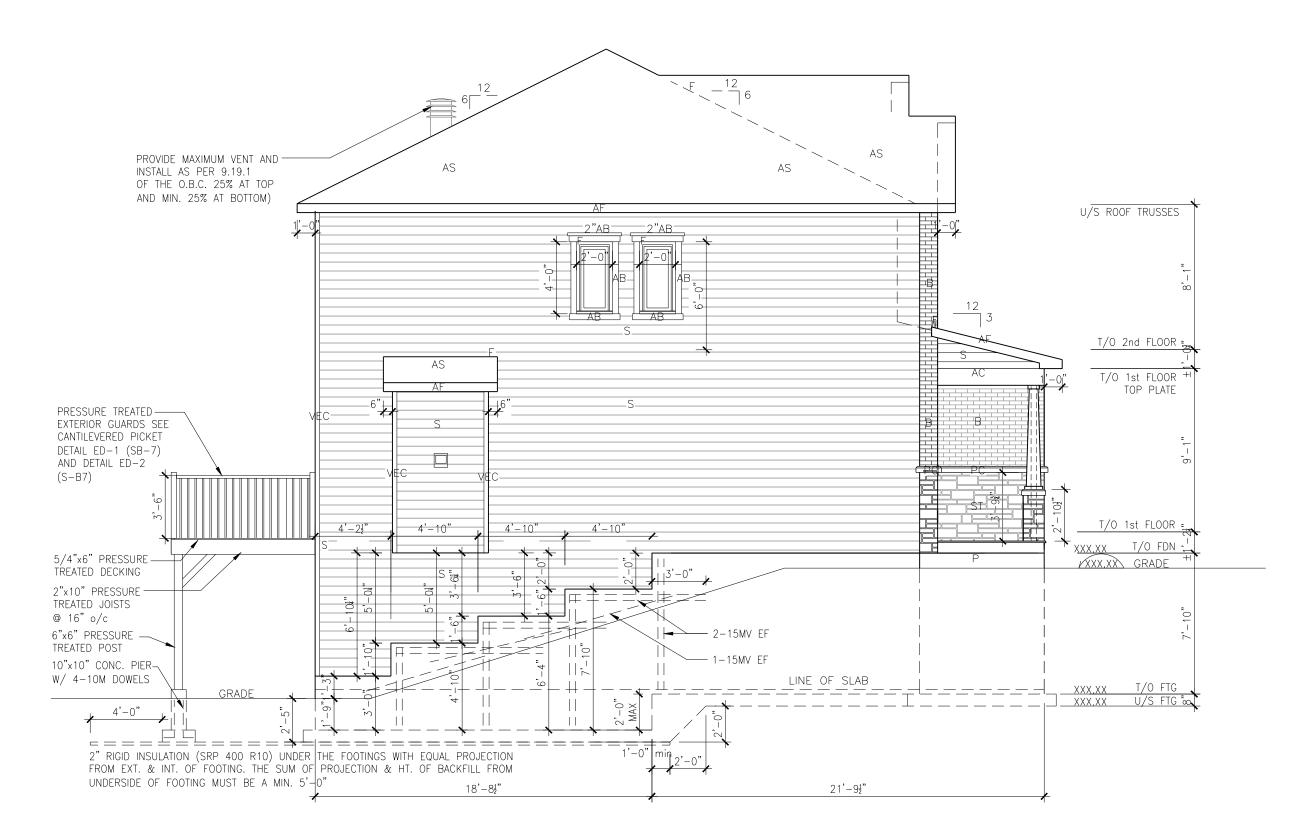
ELEVATION A - LEFT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A4a



ELEVATION A - LEFT - WALKOUT BASEMENT

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 BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK ROW LOCK (ACCENT)

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL) 20mm PROUD

- SIDING (VERTICAL)
 STONE VENEER
 TRIM 200mm COVE SIDING
 ALUMINUM FASCIA

- ALUMINUM FASCIA
 ALUMINUM CLADDING
 48" ALUMINUM BAND
 ASPHALT SHINGLES
 FLASHING
 ROOF VENT (MAXIMUM)

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
 VEC SIDING (VERTICAL CORNER) - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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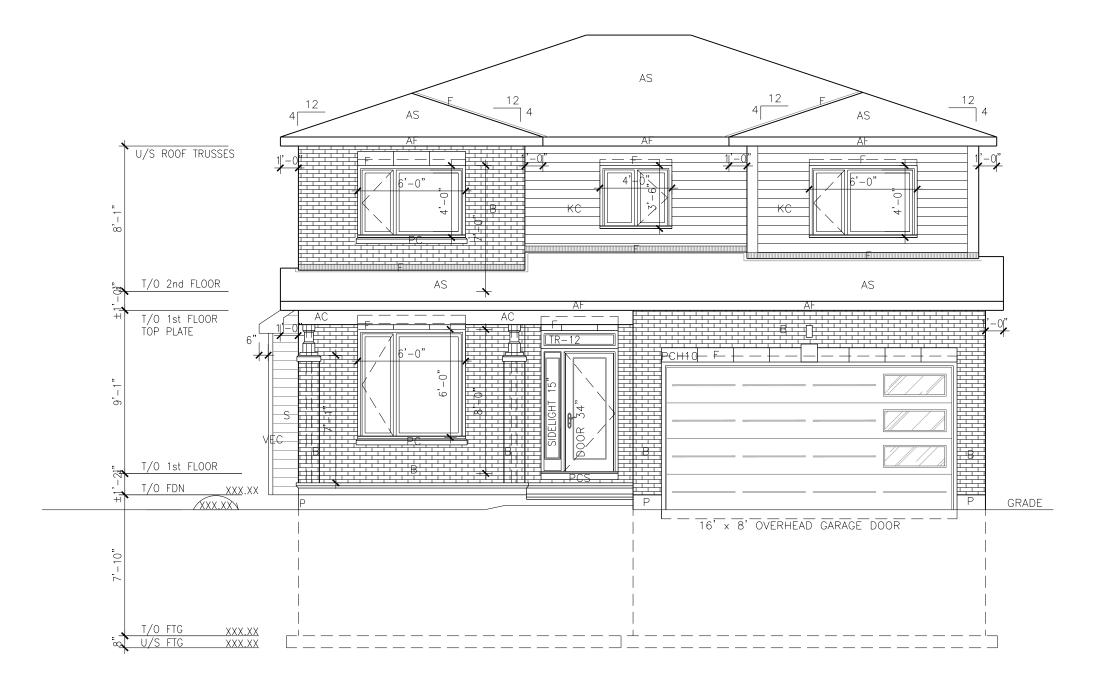
ELEVATION A - LEFT

WALKOUT BASEMENT

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

A4a



ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"

LOT: XX/XX/XXXX



XXXX

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 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SULL (ACCENT)

 BRICK CORBELLING

 BRICK CONNEC 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
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2012 O.B.C. DRAWINGS

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EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	-
10.	DESCRIPTION	DATE	E

ELEVATION B - FRONT

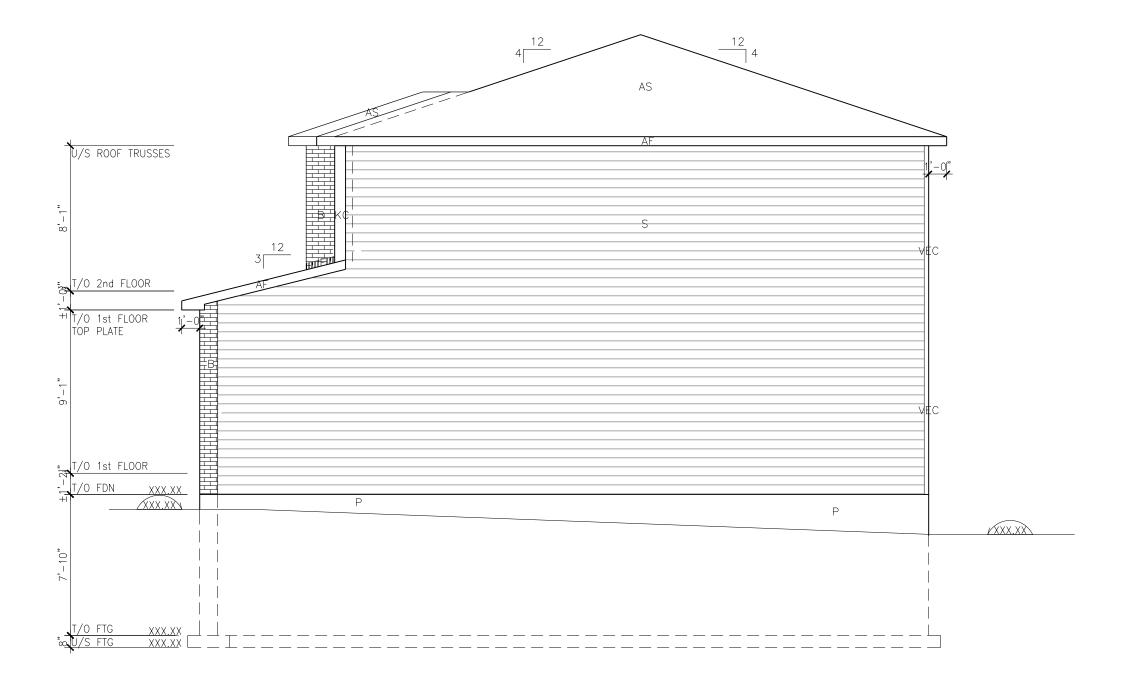
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1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A1b

xx/xx/xxxx



ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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- KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

V-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
).	DESCRIPTION	DATE	BY

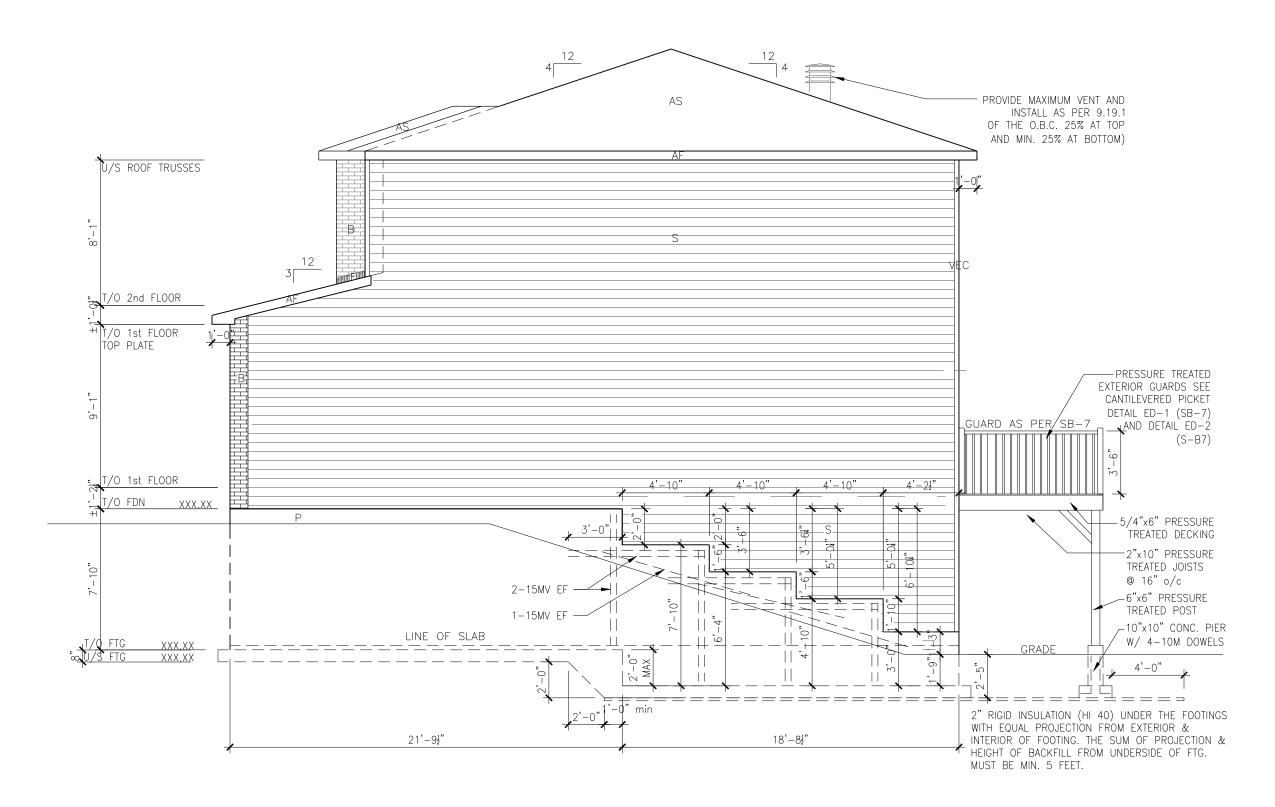
ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A2b



ELEVATION B - RIGHT - WALKOUT BASEMENT

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 BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD

- BRICK SLEEPER COURSE

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- BRICK SILL (ACCENT)

- BRICK CORBELLING

- BRICK CONBELLING

- BRICK CONING 20mm PROUD

- BRICK 20mm PROUD

- BRICK 20mm RECESSED

- SIDING (HORIZONTAL) - SIDING (VERTICAL)
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- PAPCING P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8" - PRECAST SILL
- PRECAST BAND
- VINYL SHAKES
- SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

- KAYCAN WOOD SIDING - 74" LAP

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 --NO. DESCRIPTION DATE BY

NO. TOES

RAWING: ELEVATION B - RIGHT WALKOUT BASEMENT

DDRESS:

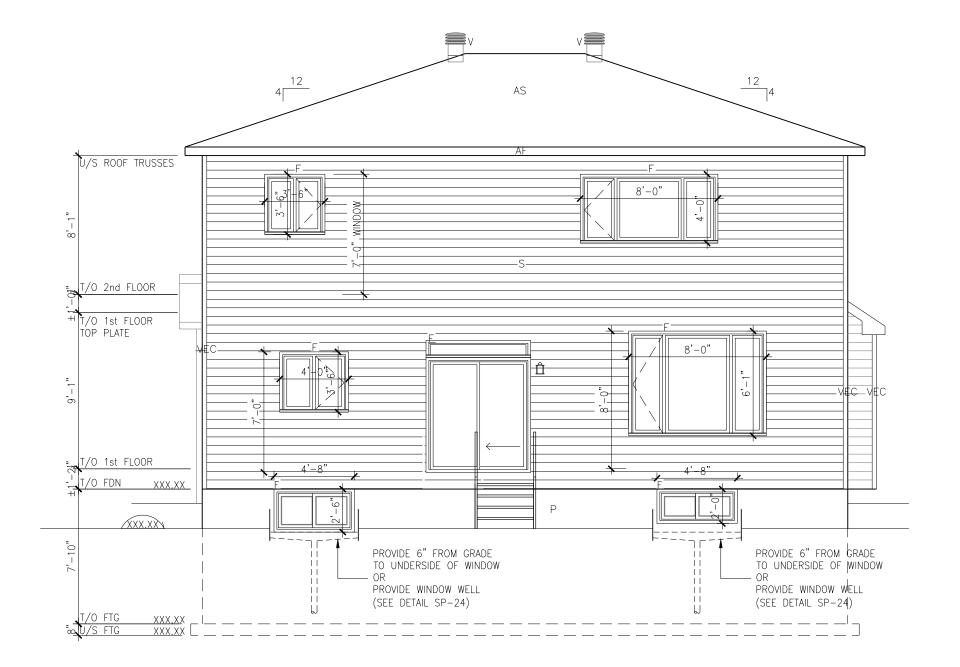
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

A2b

xx/xx/xxxx



ELEVATION B - REAR

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

I_DANIEL_GUERIN_. ARCHITECTURAL MANAGER FOR
VALEGRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IN-10 DAMING 10 BE USED IN CONSUMEDING WITH STREEDLE BETALLED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOSETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE.

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SIL (ACCENT)

 BRICK ROW LOCK (ACCENT)

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

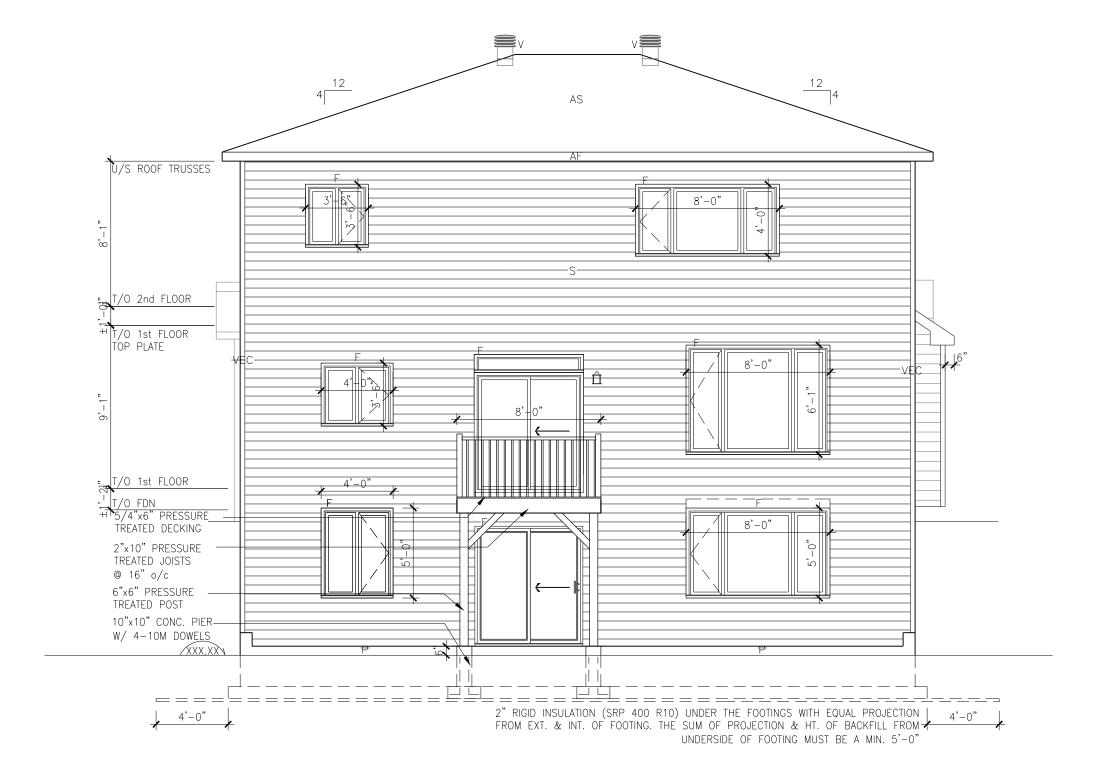
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 -NO DESCRIPTION

ELEVATION B - REAR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

A3b



ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



XXXX XX/XX/XXXX

Homes (2019) Limited

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- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK ROW LOCK (ACCENT)

 BRICK CONNEC 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONITAL)

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 ASPHALT SHINGLES

 FLASHING

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 PARGING

- V ROOF VENT (MAXIMUM)
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 PC PARGING
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 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST SILL
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 VEC SIDING (VERTICAL CORNER)
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2012 O.B.C. DRAWINGS

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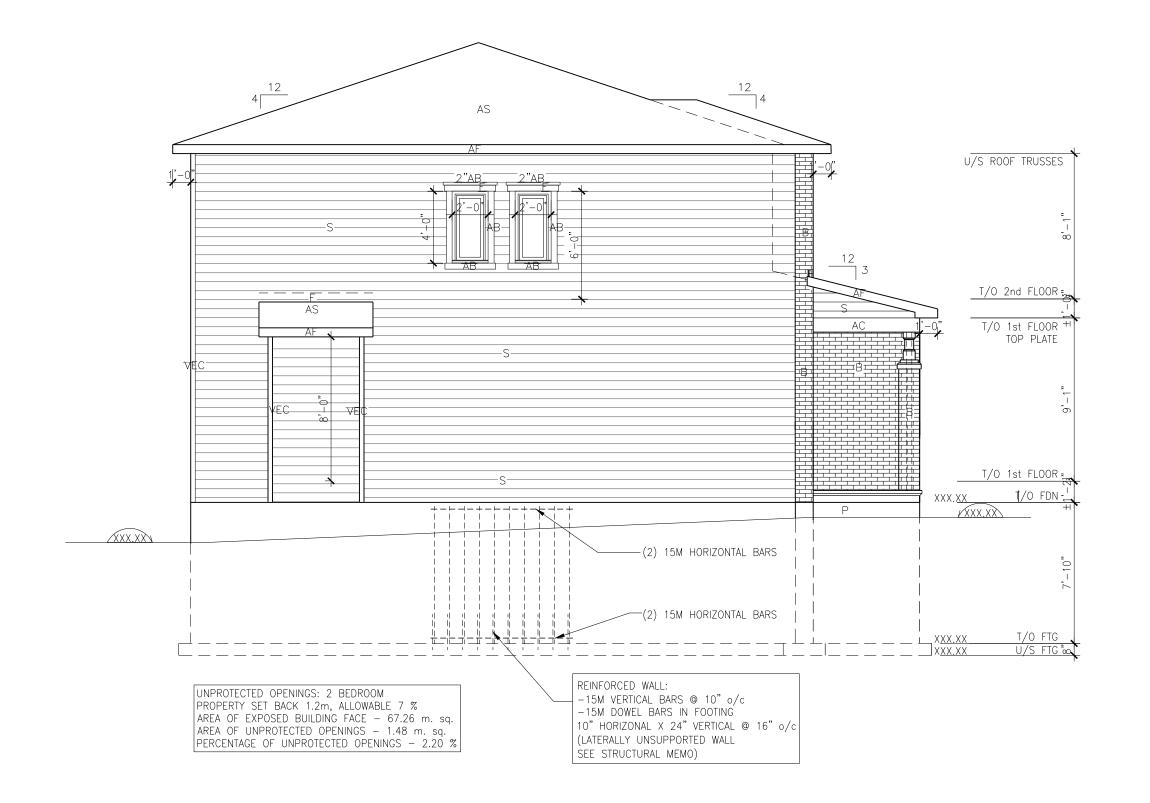
ELEVATION B - REAR WALKOUT BASEMENT

(STANDARD DRAWINGS)

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT

A3b



ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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 BRICK SOLDIER COURSE (ACCENT) BRICK SOLDIER COURSE

20mm PROUD

BRICK SLEEPER COURSE

STACK BOND (ACCENT)

BRICK SILL (ACCENT)

BRICK SOLL (ACCENT)

BRICK CORBELLING

BRICK CORBELLING

BRICK CONINIG 20mm PROUD

BRICK 20mm PROUD

BRICK 20mm RECESSED

SIDING (HORIZONTAL)

SIDING (VERTICAL)

SIDING (VERTICAL)

STONE VENEER

TRIM 200mm COVE SIDING

ALUMINUM FASCIA

ALUMINUM BAND

ASPHALT SHINGLES

FLASHING

ROOF VENT (MAXIMUM)

PARGING

V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
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VEC - SIDING (VERTICAL CORNER)

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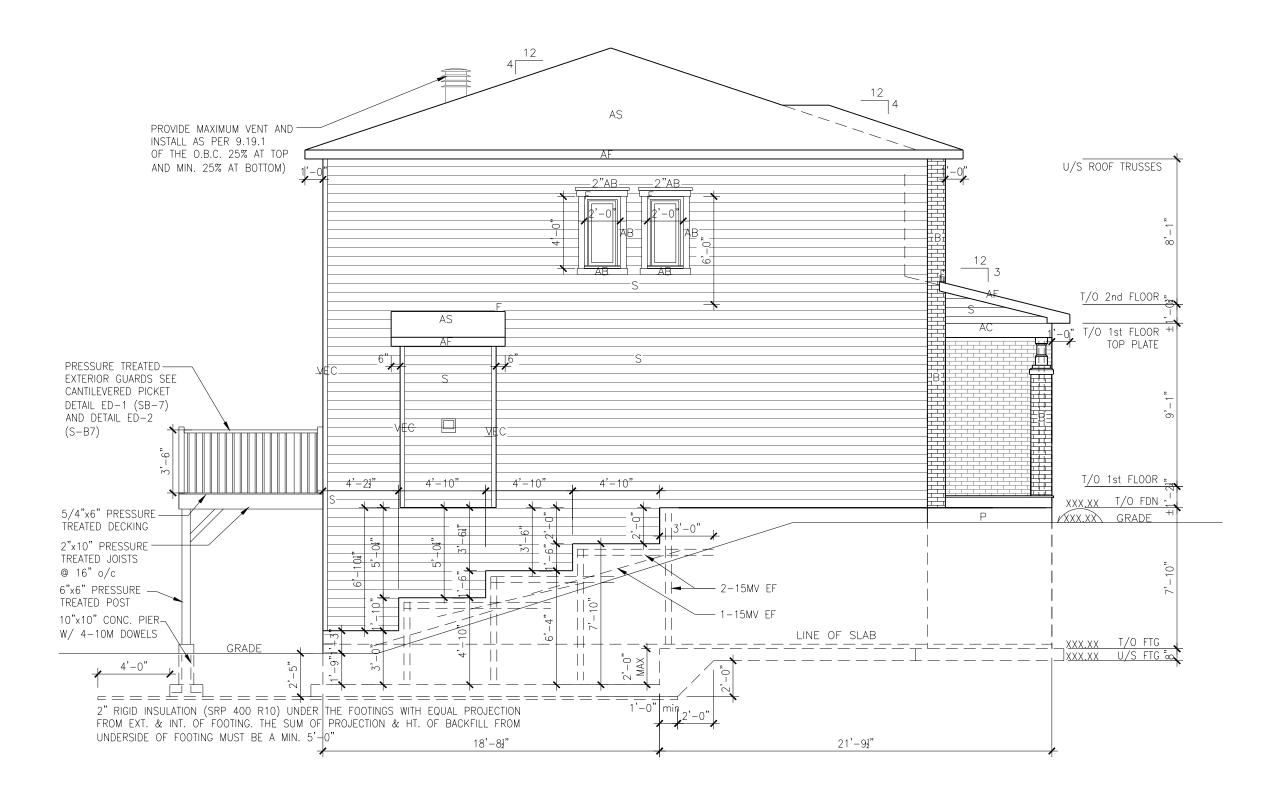
ELEVATION B - LEFT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A4b



ELEVATION B - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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 BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CONBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL) 20mm PROUD

- SIDING (VERTICAL)
 STONE VENEER
 TRIM 200mm COVE SIDING
 ALUMINUM FASCIA

- ALUMINUM FASCIA
 ALUMINUM CLADDING
 48" ALUMINUM BAND
 ASPHALT SHINGLES
 FLASHING
 ROOF VENT (MAXIMUM)

- V ROOF VENT (MAXIMUM)
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 PCS PRECAST SILL
 PCB PRECAST BAND
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- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

ELEVATION B - LEFT

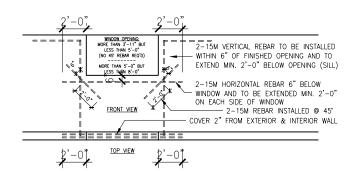
SCALE: 3/16" = 1'-0" xx/xx/xxxx

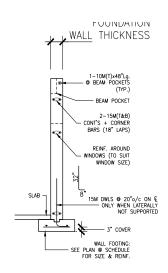
1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A4b

		FOOTING S	SCHEDULE		
	ALLOWABLE SOIL BEARING	CAPACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3−15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	N/A
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	N/A
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	48"x10" W/ 4-15M LONG REBARS & 15M TRANSVERS REBAR @ 15" O.C.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3−15M(B) LONG.	N/A
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x10" W/ 4-15M LONG REBARS AND 15M TRANSVER REBARS @ 15" O.C.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	N/A
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x10" W/ 3-15M LONG REBARS AND 15M TRANSVER REBARS @ 15" O.C.
	P	AD FOOTING SCHEDU	LE		
	ALLOWABLE SOIL BEARING	CAPACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"x36"x10" DP. 3-15M(B)x 30"LG.	40"x40"x10" DP. 3-15M(B)x 34"LG.	44"x44"x10" DP. 4-15M(B)x 38"LG.	48"x48"x10" DP. 4-15M(B)x 42"LG.	60"x60"x10" DP 6-15M(B)x54" LG.
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	36"x36"x12" DP. 3-15M(B)x30"LG.





PLAN - FOOTING ELEVATION A & B - STANDARD SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

I<u>, Daniel Guerin</u>, architectural Manager för Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IS REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012	O.B.C.	DRAWINGS	
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

RAWING:

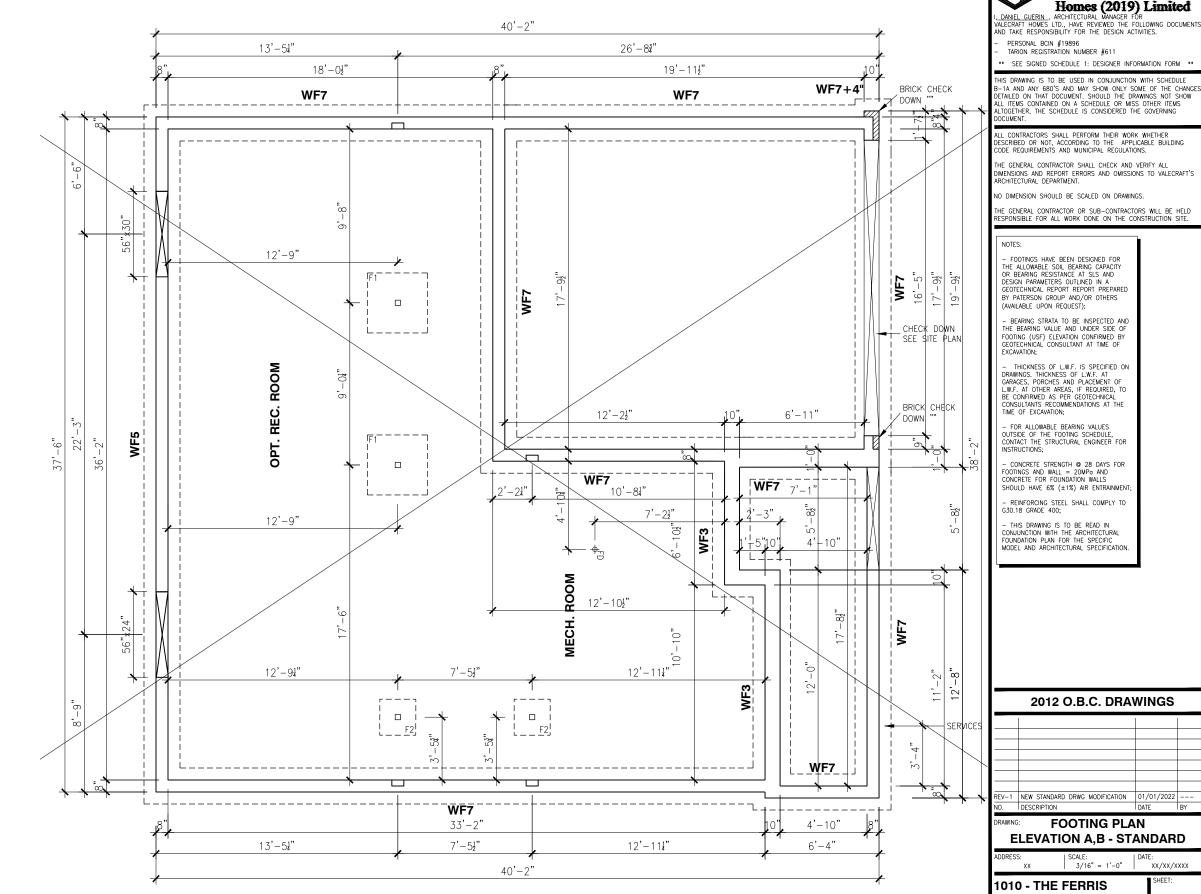
FOOTING TABLE

DATE: XX/XX/XXXX 3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A5a



PLAN - FOOTING ELEVATION A & B - STANDARD SCALE: 3/16" = 1'-0"

FRONT VIEW

TOP VIEW

, WALL THICKNESS

- BEAM POCKET

2-15M(T&B) - CONT'S + CORNER BARS (18" LAPS)

" 15M DWLS @ 20"o/c ON &
ONLY WHEN LATERALLY
NOT SUPPORTED

FUUNDATION

2-15M VERTICAL REBAR TO BE INSTALLED

WITHIN 6" OF FINISHED OPENING AND TO

2-15M HORIZONTAL REBAR 6" BELOW

EXTEND MIN. 2'-0" BELOW OPENING (SILL)

COVER 2" FROM EXTERIOR & INTERIOR WALL

1010 - THE FERRIS 2022 FOOTPRINT (STANDARD DRAWINGS)

2012 O.B.C. DRAWINGS

FOOTING PLAN

3/16" = 1'-0"

THICKNESS OF L.W.F. IS SPECIFIED ON

CONCRETE STRENGTH @ 28 DAYS FOR

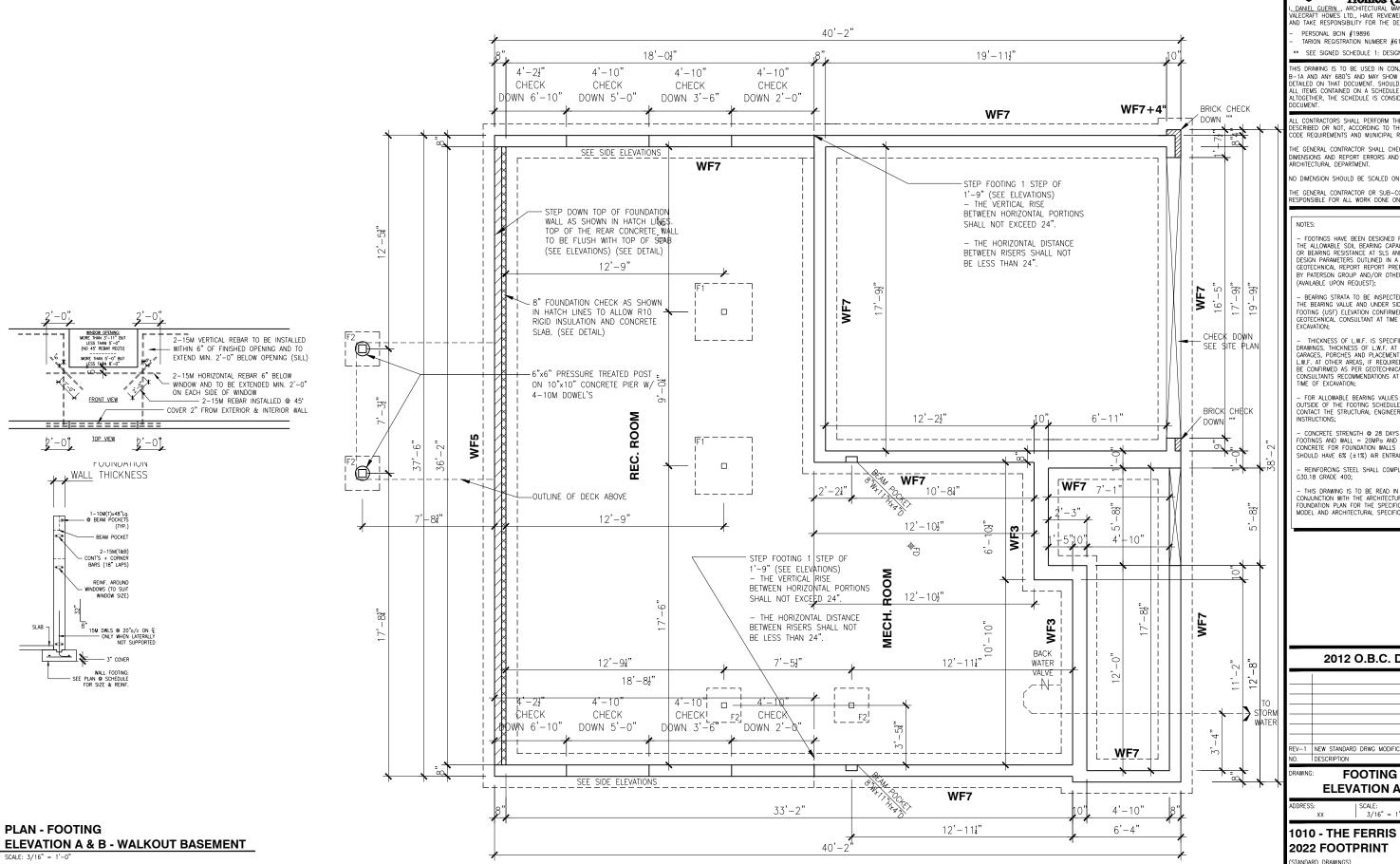
LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

A5a

xx/xx/xxxx

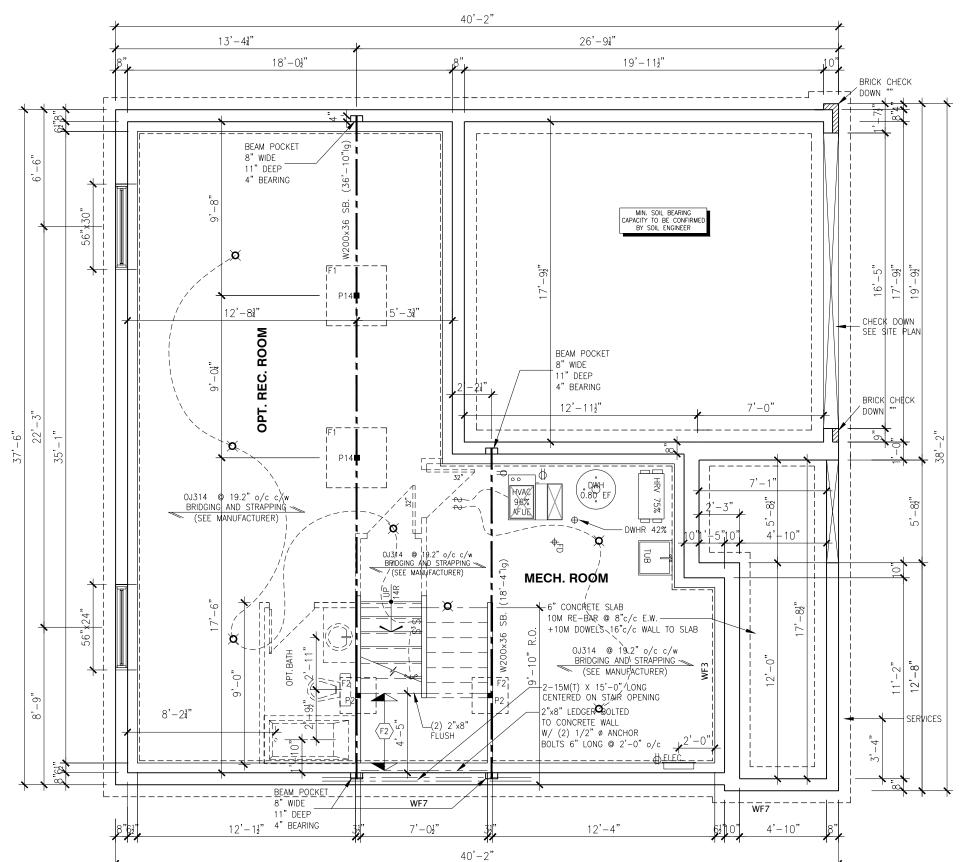


LOT: **XXXX** XX/XX/XXXX Homes (2019) Limited I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 8–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING LL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER ESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING ODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. - FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST); - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION; THICKNESS OF L.W.F. IS SPECIFIED ON — HICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION; FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS; FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400; - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION. 2012 O.B.C. DRAWINGS EV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DESCRIPTION **FOOTING PLAN ELEVATION A,B - WOB**

3/16" = 1'-0"

XX/XX/XXXX

A5a



NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE):

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY HE GEOTECHNICAL ENGINEER

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH $9.7.1.3.\colon$

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS: AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN) LOT: DATE:

XXXX XX/XX/XXXX



<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR IALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10
- $= 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P17 = HSS 73 0.0.x4.8 + 100x180x12 T&B PL. (*)

(*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDION POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

FOUNDATION PLAN - STANDARD

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A6a

PLAN - FOUNDATION - ELEVATION A/B (STANDARD)

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

NOTES: - ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE):
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.



<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR IALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

XXXX

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $= 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2 1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
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 P17 = HSS 73 0.0.x4.8 + 100x180x12 BOTTOM PL.
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2012 O.B.C. DRAWINGS



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

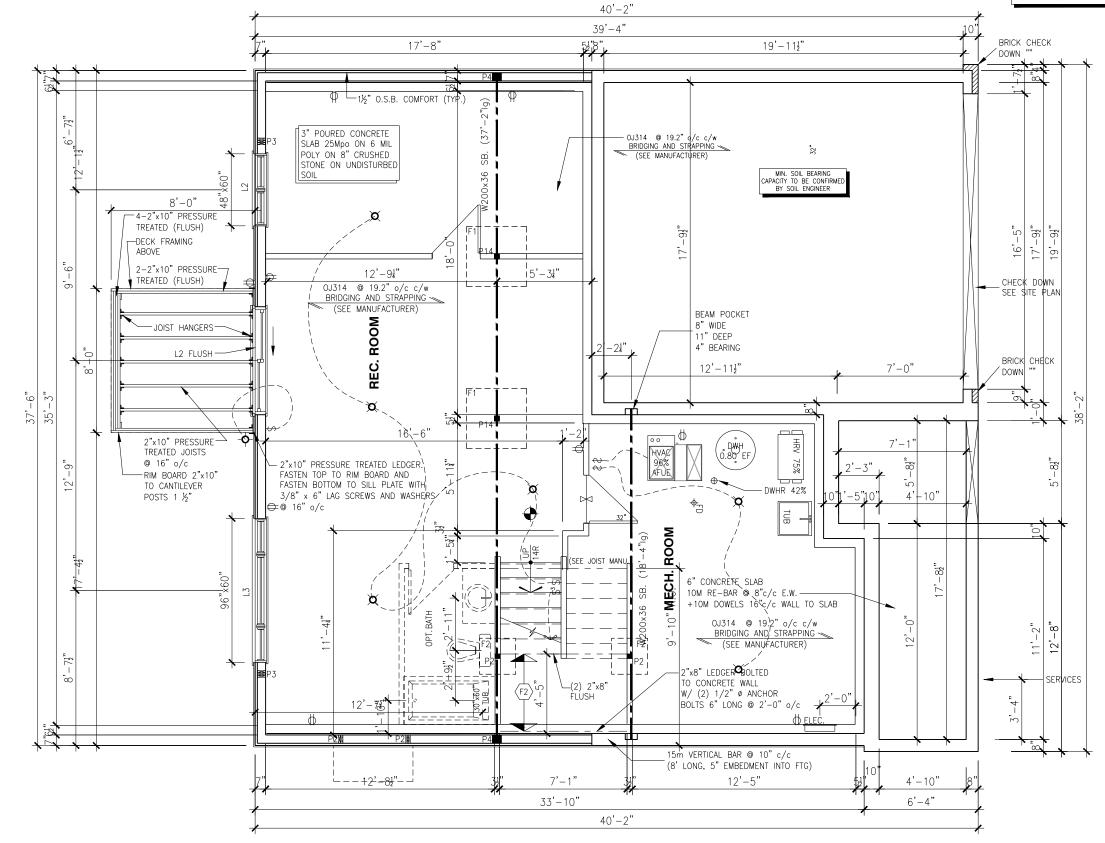
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 NO DESCRIPTION

FOUNDATION PLAN - STANDARD

3/16" = 1'-0" XX/XX/XXXX 1010 - THE FERRIS

2022 FOOTPRINT (STANDARD DRAWINGS)

A6a



PLAN - FOUNDATION - ELEVATION A/B (WALKOUT BASEMENT)

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"
- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0' (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

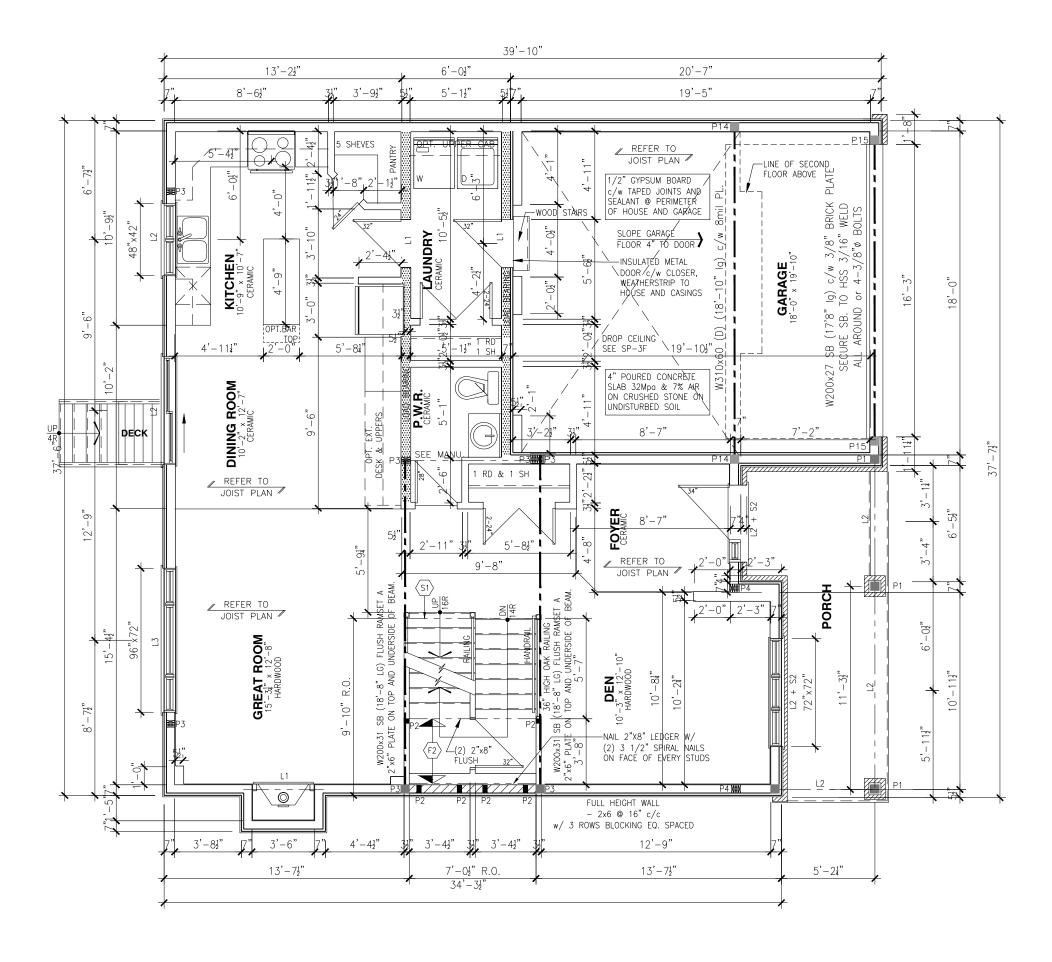
ROOF AND FLOOR LAYOUT NOTES:

 ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF
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BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID
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- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A



Homes (2019) Limited I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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STEEL LINTEL:

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 $= 1.200 \times 100 \times 12$

S7 = L 150x100x10 (8" BEARING)

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TREATED LUMBER

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS							
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022						
	DECODIDATION	DATE	501					

GROUND FLOOR - STANDARD

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

A7a

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

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ROOF AND FLOOR LAYOUT NOTES:

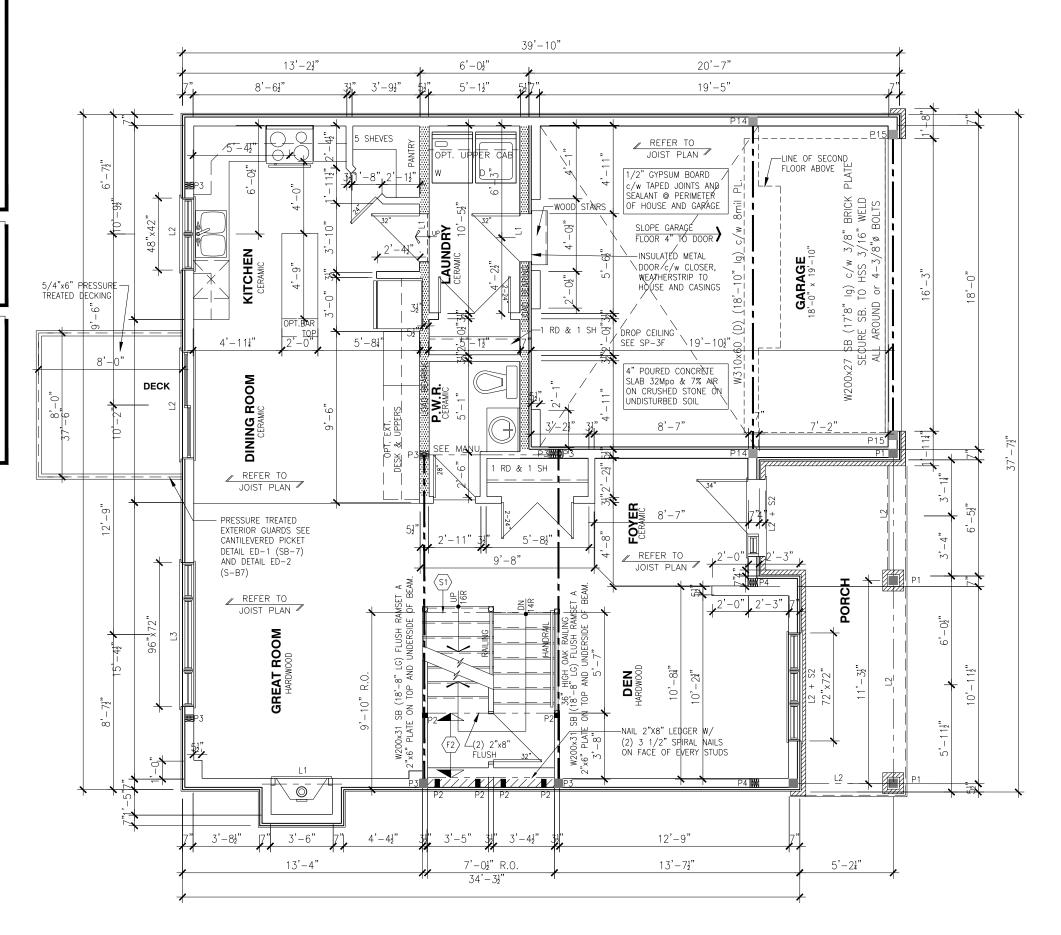
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NOTES:

- GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF
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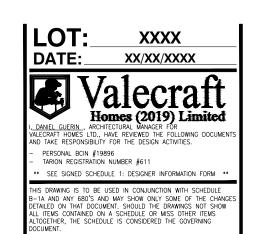
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - A WALKOUT BASEMENT

SCALE: 3/16" = 1'-0" XX/XX/XXXX

A7a

1010 - THE FERRIS 2022 FOOTPRINT

STAIRS AND RAILINGS:

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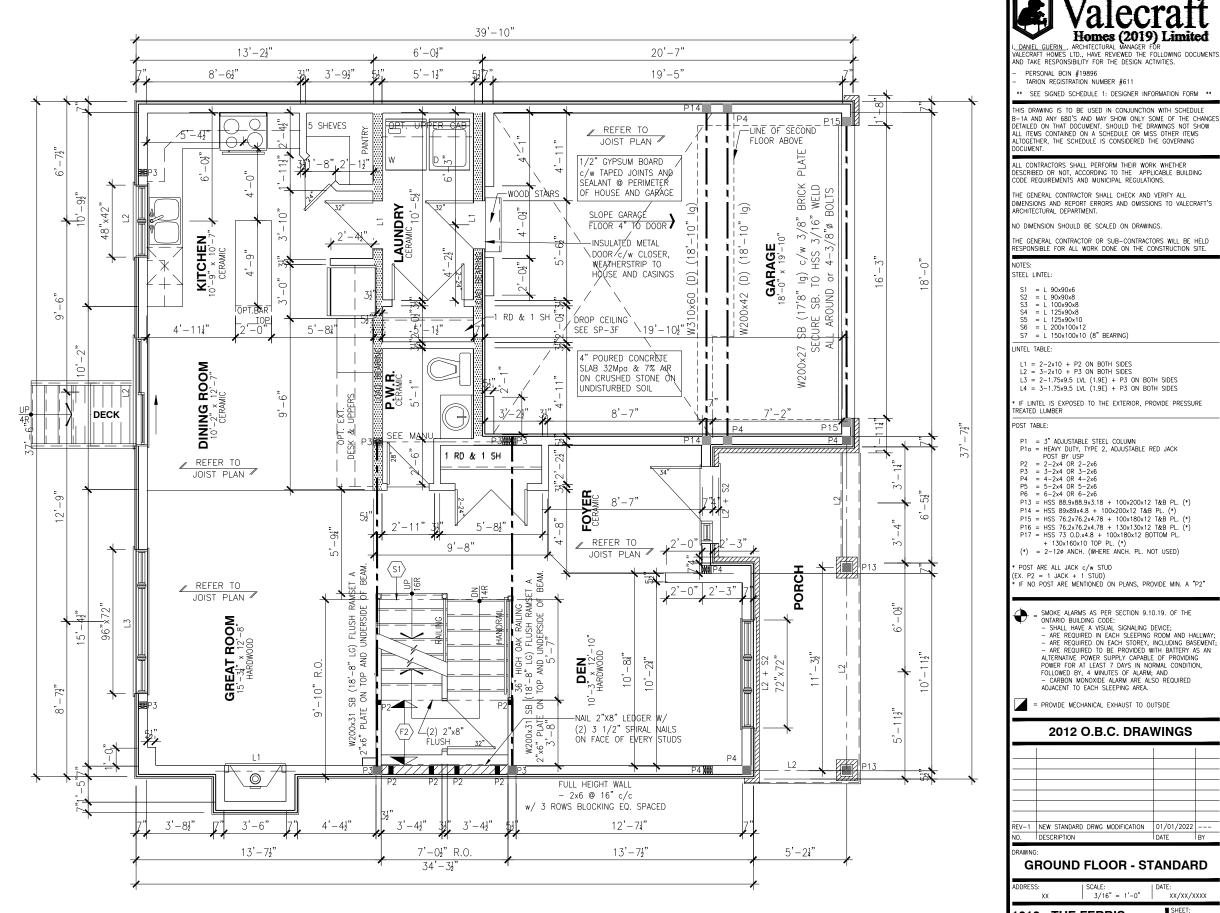
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NOTE:

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1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

 $= 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

DATE:

XXXX

XX/XX/XXXX

/alecra

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TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

2012 O.B.C. DRAWINGS

GROUND FLOOR - STANDARD

3/16" = 1'-0"

Homes (2019) Limited

A7b

XX/XX/XXXX

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT:

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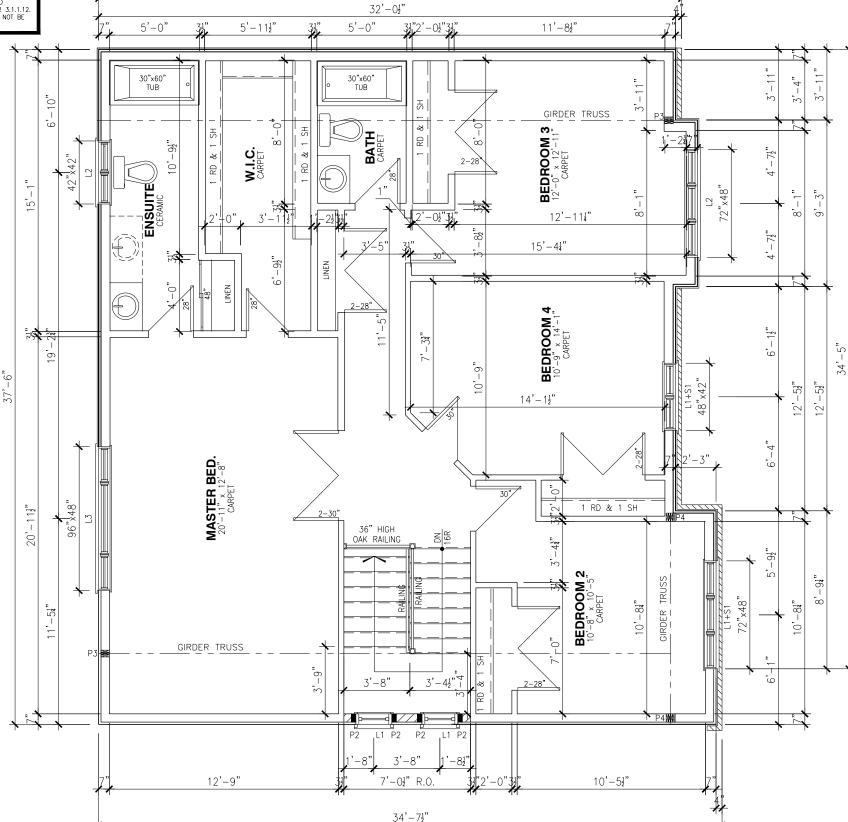
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32'-41"

LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $= 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P15 = HSS 88.9x86.9x3.18 + 100x200x12 1c88 PL. (*)
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CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR - STANDARD

xx/xx/xxxx

A8a

3/16" = 1'-0"

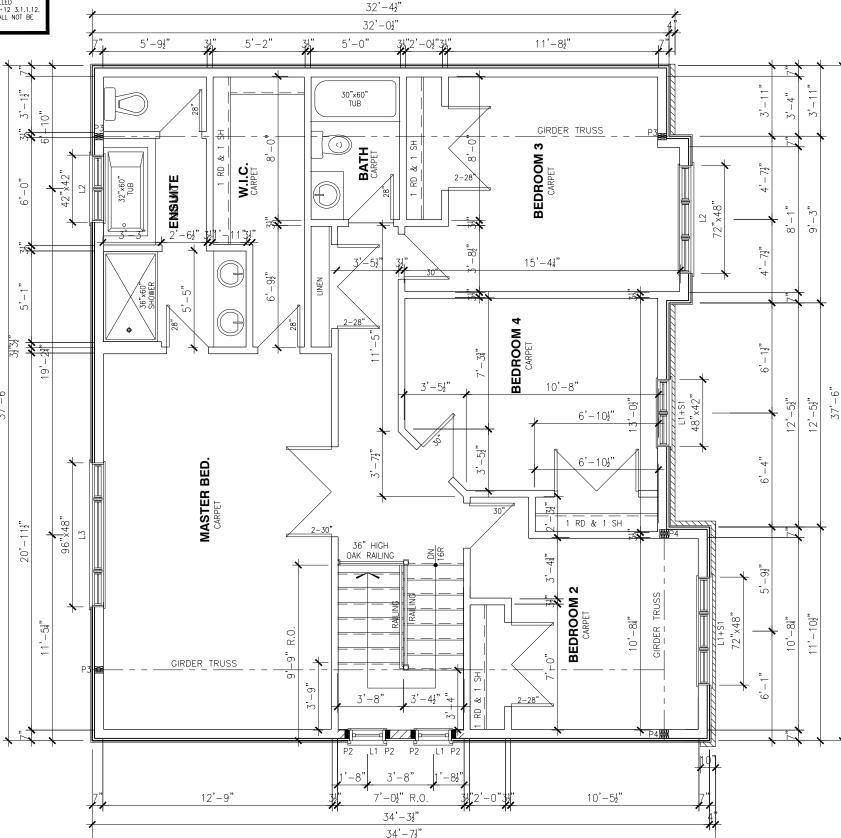
1010 - THE FERRIS 2022 FOOTPRINT

- GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 IO DESCRIPTION

SECOND FLOOR ENSUITE UPGRADE

3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

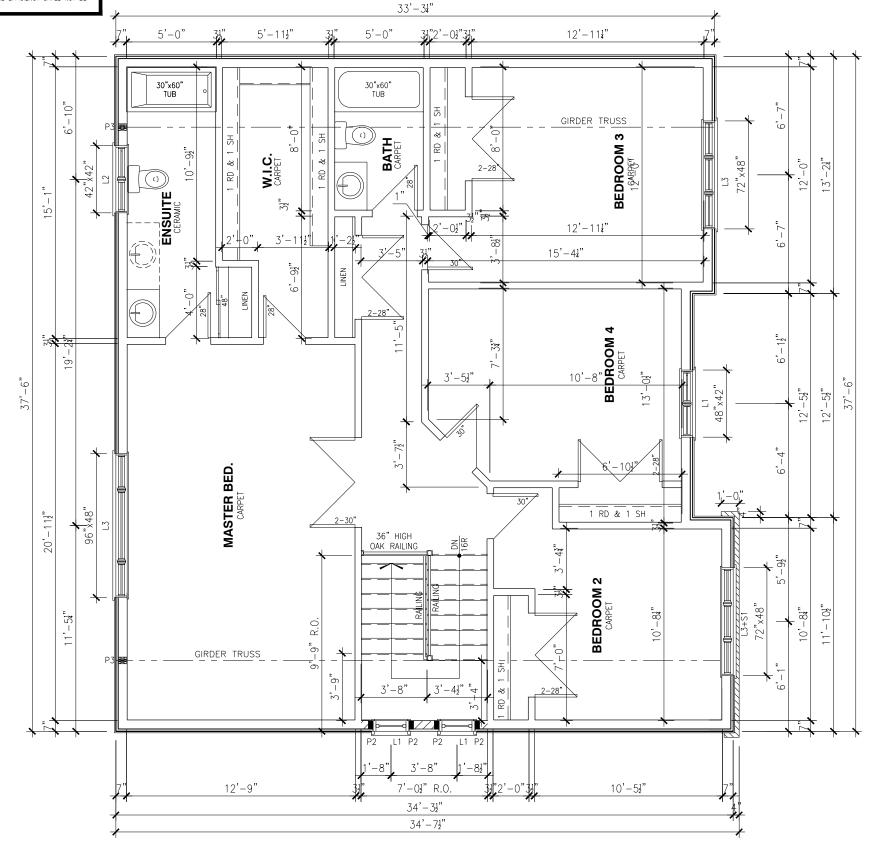
XX/XX/XXXX

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LOT: DATE:

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2012 O.B.C. DRAWINGS

		1	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR - STANDARD

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

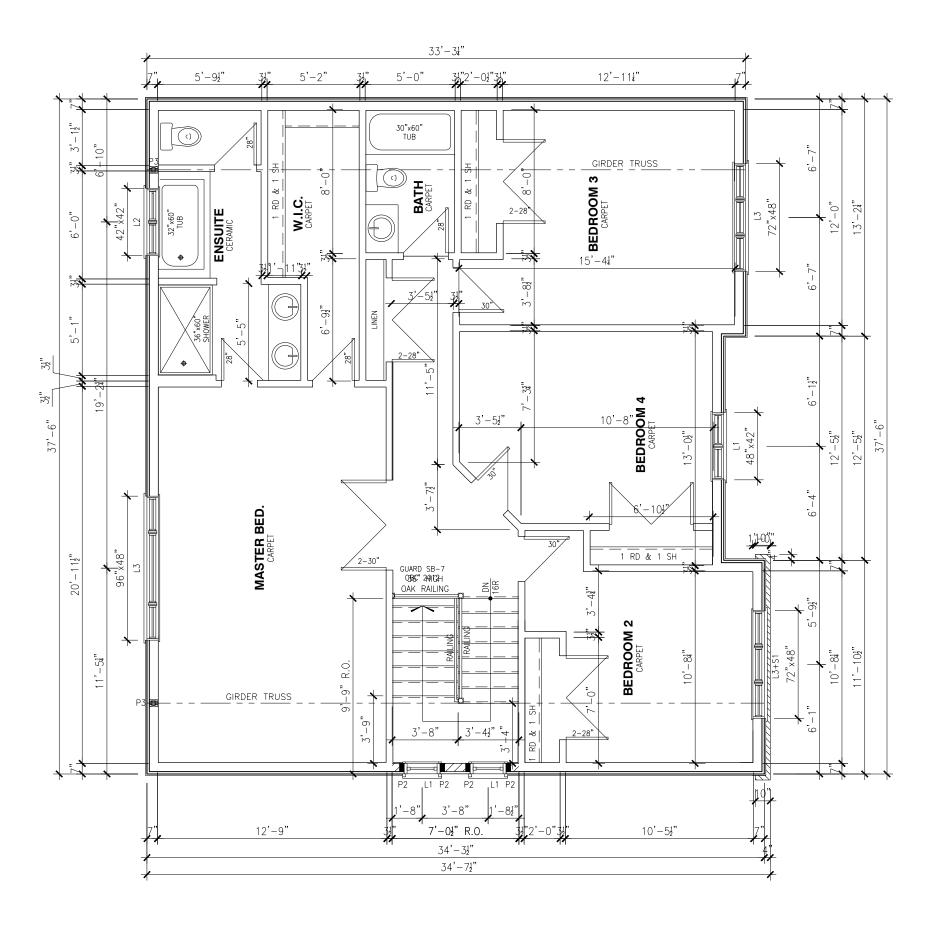
A8b

PLAN - SECOND FLOOR - ELEVATION B

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DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE
LESS TIAN 409



PLAN - SECOND FLOOR - ELEVATION B (ENSUITE UPGRADE)



XXXX XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
١0.	DESCRIPTION	DATE	BY

SECOND FLOOR

ENSUITE UPGRADE 3/16" = 1'-0" XX/XX/XXXX

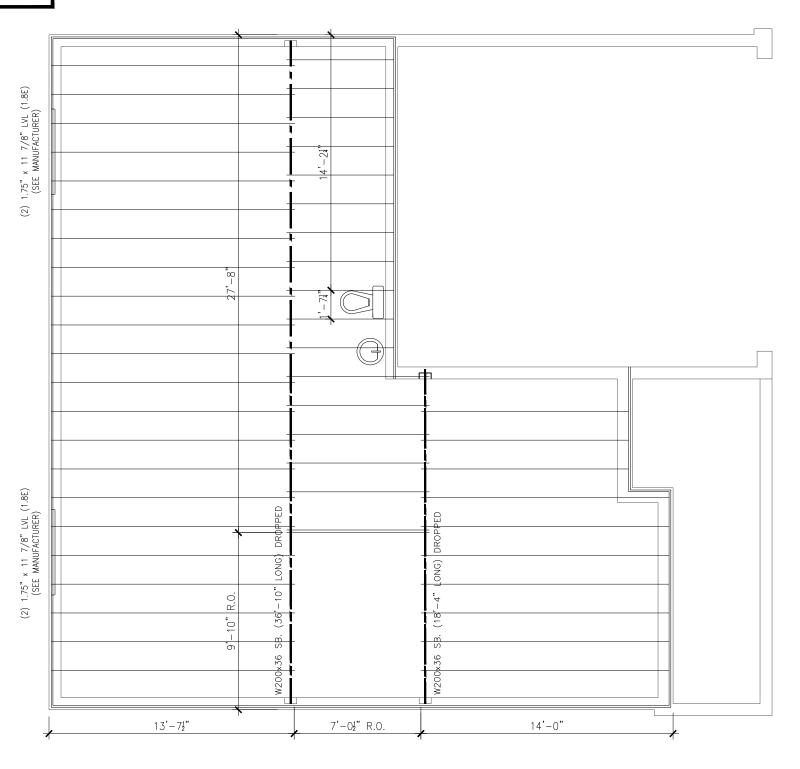
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FIRST FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Valecra Homes (2019) Limited

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3/16" = 1'-0"

1010 - THE FERRIS 2022 FOOTPRINT

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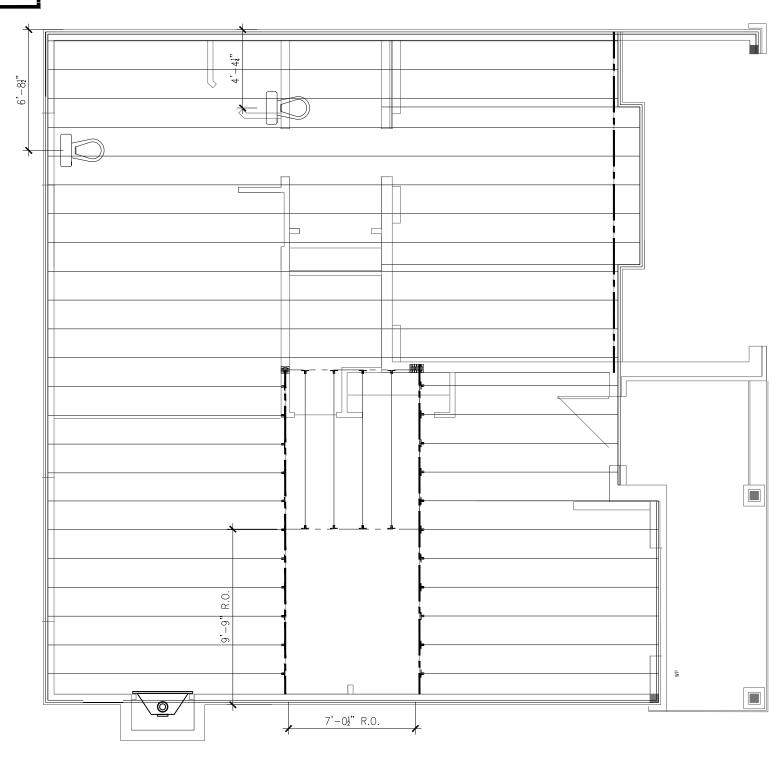
xx/xx/xxxx

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT:
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST TH - ROUT AND FLOOR LATOUT IS A SCHEMATIC LATOUT IN ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



SECOND FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Valecra Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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STEEL LINTEL:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

 $S6 = 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 $\mbox{\scriptsize \bullet}$ IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88 9x88 9x3 18 ± 100x200x12 T&R P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P13 = HSS 88.9884.94.8 + 100x200x12 T&B PL (*)
P14 = HSS 88x984.8 + 100x200x12 T&B PL (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL (*)
P17 = HSS 73 0.0.x4.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
(*) = 2-12e ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

SHALL HAVE A VISUAL SIGNALING DEVICE;

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CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

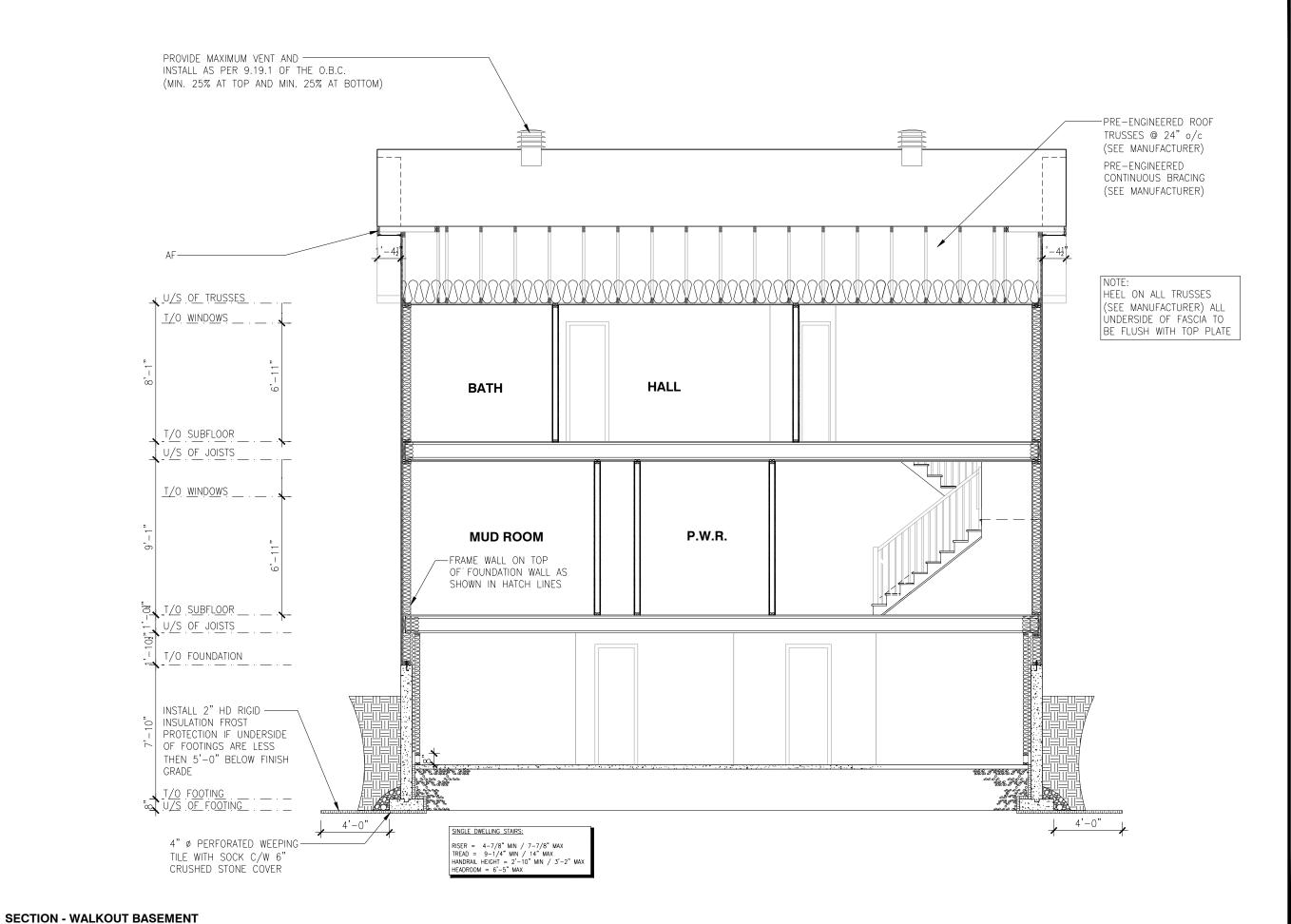
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR JOIST PLAN

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2022 FOOTPRINT (STANDARD DRAWINGS)

A9b



1010 - THE FERRIS

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 -

SECTION - WALKOUT BASEMENT

2022 FOOTPRINT (STANDARD DRAWINGS)

NO DESCRIPTION

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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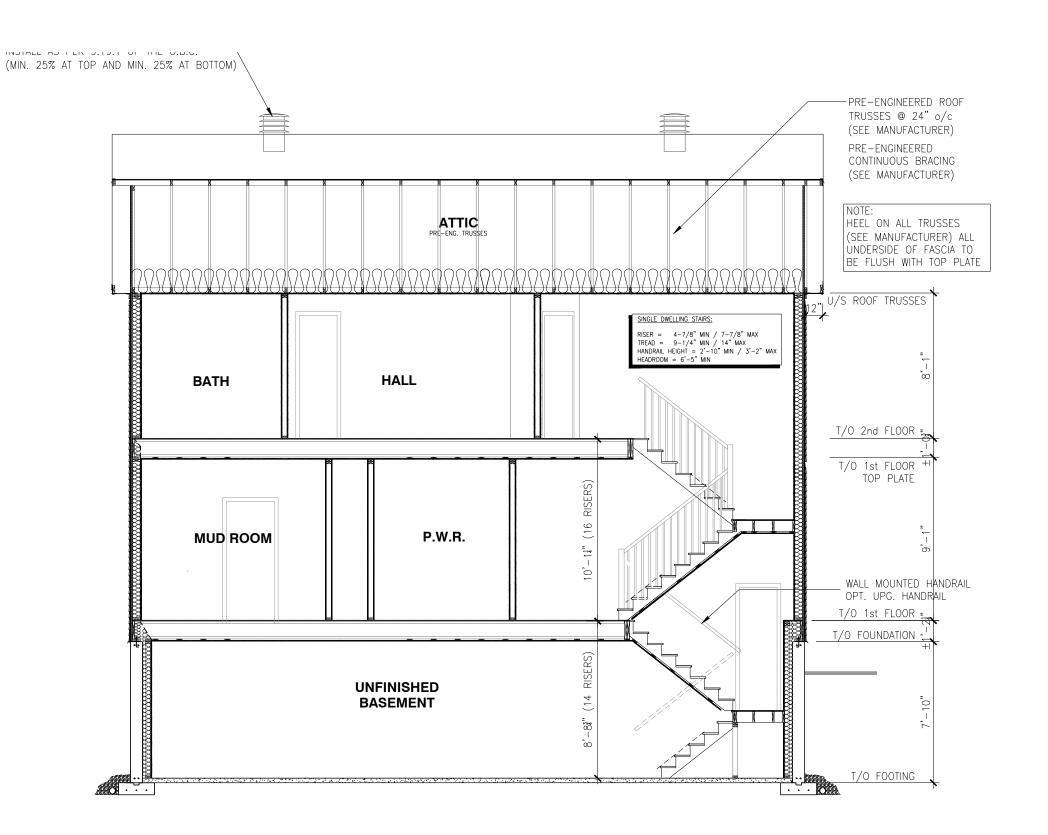
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

A10

xx/xx/xxxx



SECTION

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valectaft

Homes (2019) Limited

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TARION REGISTRATION NUMBER #611

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B-1A ETC. STATEMENT SHOW

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO	DESCRIPTION	DATE	RY

DRAWING:

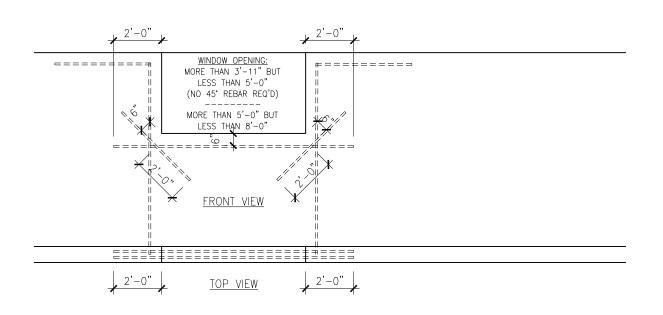
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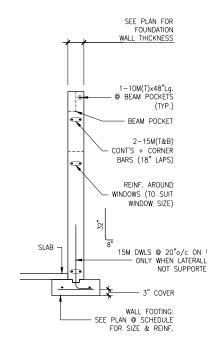
ADDRESS: | SCALE: | DATE: XX | AS INDICATED | XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

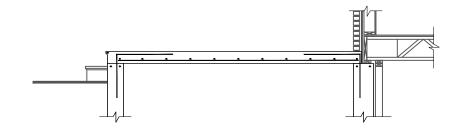
(STANDARD DRAWINGS)

A10





PROVIDE MIN. 1.5" CONCRETE COVER OVER REBAR



TYPICAL DETAILS

SCALE: 1/4" = 1'-0"



- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

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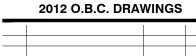
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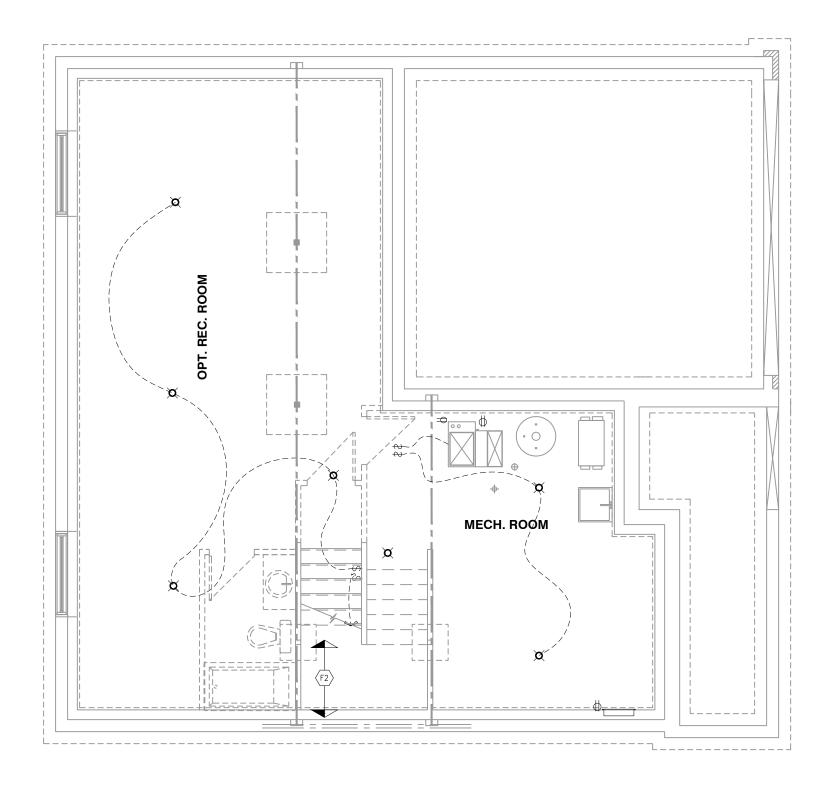
TYPICAL DETAIL

DATE: XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

A10b



PLAN - ELECTRICAL FOUNDATION - ELEVATION A/B/C (STANDARD)



- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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 ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
NO.	DESCRIPTION	DATE	BY	

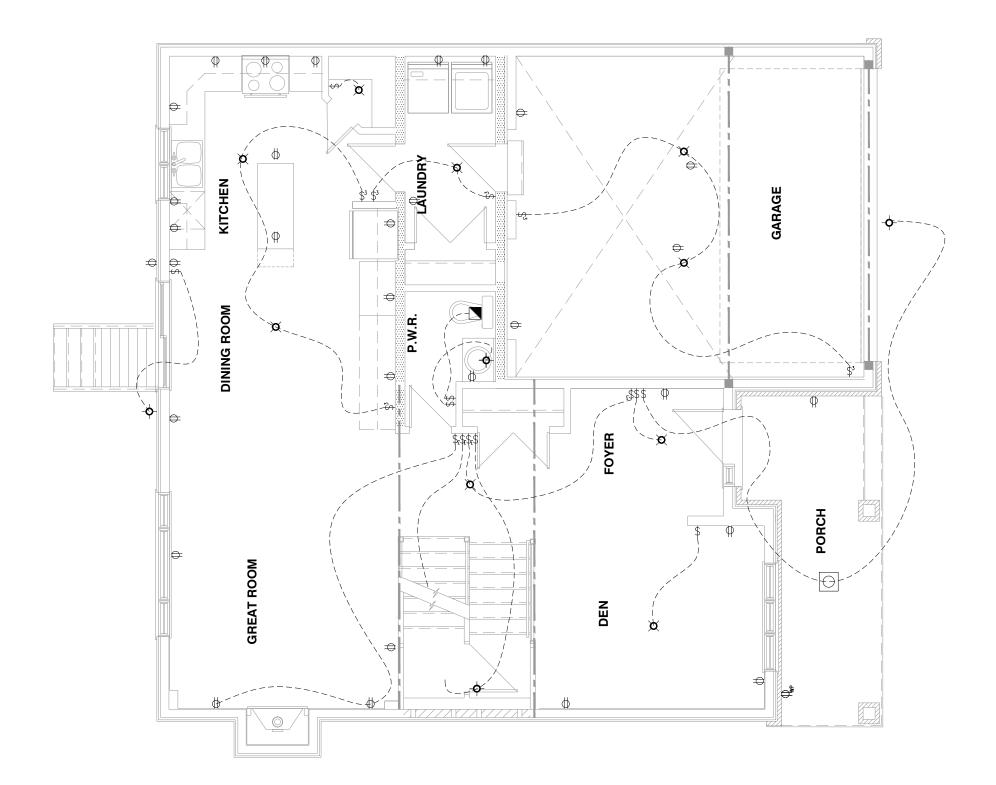
ELECTRICAL

FOUNDATION PLAN - STANDARD | SCALE: | DATE: | XX/XX/XXXX

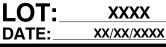
1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

E1a



PLAN - ELECTRICAL GROUND FLOOR - ELEVATION (STANDARD)





Homes (2019) Limited

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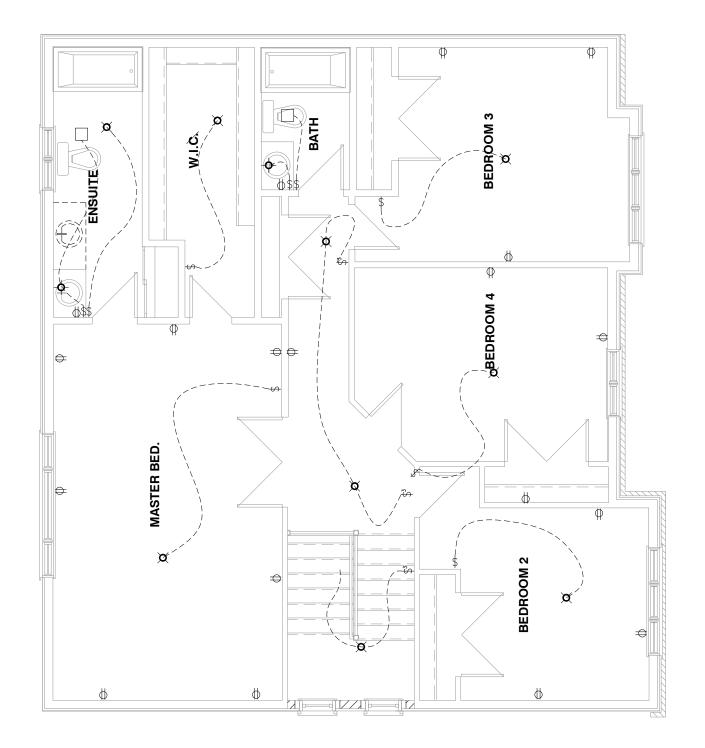
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	-
NO.	DESCRIPTION	DATE	Bı

ELECTRICAL GROUND FLOOR - STANDARD

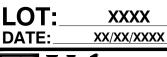
DATE: XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

E2a



PLAN - ELECTRICAL SECOND FLOOR - STANDARD ENSUITE



Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	DATE	BY

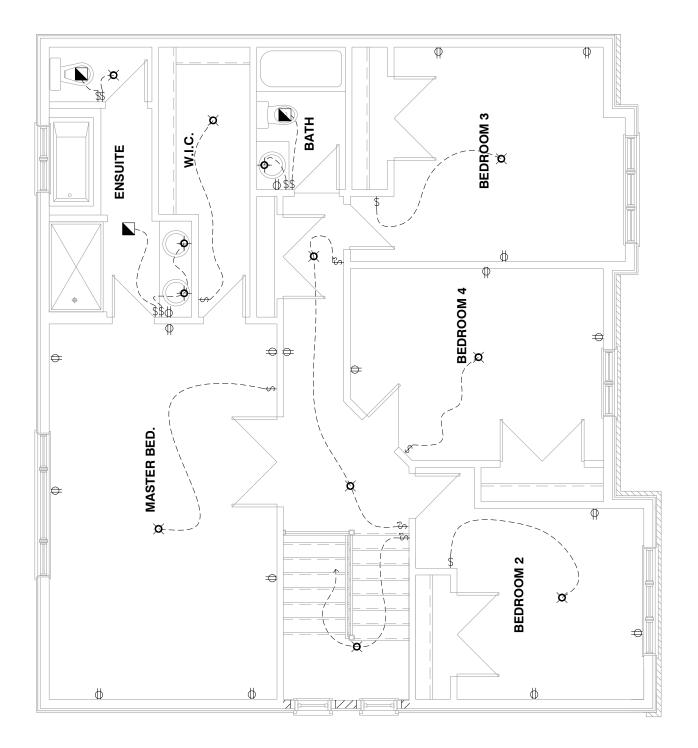
ELECTRICAL

SECOND FL. - STANDARD ENS. SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

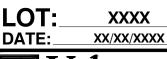
1010 - THE FERRIS 2022 FOOTPRINT

(STANDARD DRAWINGS)

E3a



PLAN - ELECTRICAL SECOND FLOOR - ENSUITE UPGRADE



Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

ELECTRICAL

SECOND FL. - ENS. UPG. SCALE: 3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2022 FOOTPRINT

E4a