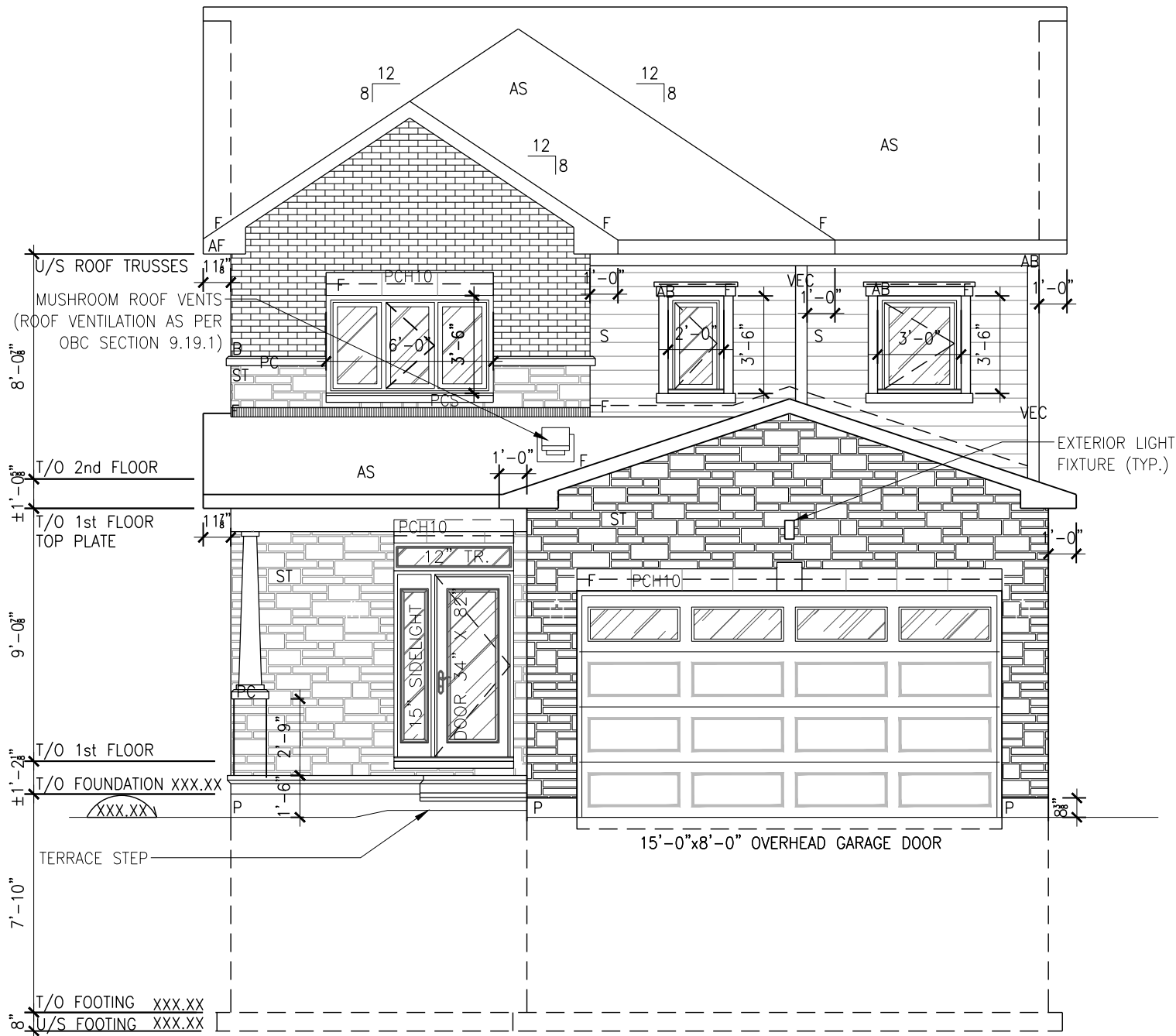


ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

ELEVATION A - FRONT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

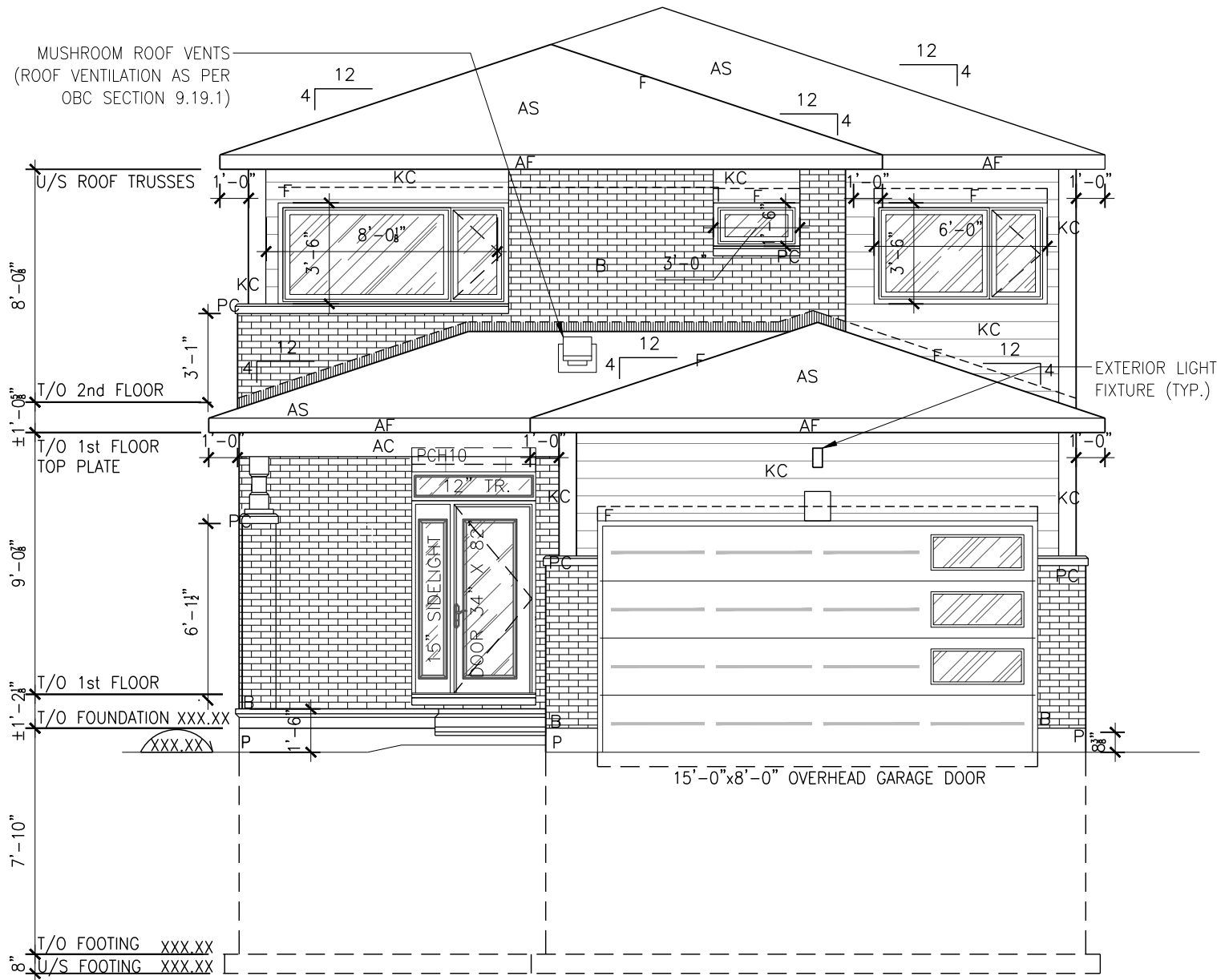
(STANDARD DRAWINGS)

SHEET:

A1a

ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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| EXTERIOR FINISH LEGEND: |                                 |
|-------------------------|---------------------------------|
| B                       | - BRICK (MAIN)                  |
| B1                      | - BRICK SOLDIER COURSE (ACCENT) |
| B2                      | - BRICK SOLDIER COURSE (ACCENT) |
| +20mm PROUD             |                                 |
| B3                      | - BRICK SLEEPER COURSE          |
| B4                      | - STACK BOND (ACCENT)           |
| B5                      | - BRICK SILL (ACCENT)           |
| B6                      | - BRICK ROW LOCK (ACCENT)       |
| B7                      | - BRICK CORBELLING              |
| B8                      | - BRICK CORNING 20mm PROUD      |
| +20                     | - BRICK 20mm PROUD              |
| -20                     | - BRICK 20mm RECESSED           |
| S                       | - SIDING (HORIZONTAL)           |
| ST                      | - STONE VENEER                  |
| T                       | - TRIM 200mm COVE SIDING        |
| AF                      | - ALUMINUM FASCIA               |
| AC                      | - ALUMINUM CLADDING             |
| AB                      | - 48" ALUMINUM BAND             |
| AS                      | - ASPHALT SHINGLES              |
| F                       | - FLASHING                      |
| V                       | - ROOF VENT (MAXIMUM)           |
| P                       | - PARING                        |
| PC                      | - PARING                        |
| PCH10                   | - PRECAST HEADER 10"            |
| PCH8                    | - PRECAST HEADER 8"             |
| PCS                     | - PRECAST SILL                  |
| PCB                     | - PRECAST BAND                  |
| VS                      | - VINYL SHAKES                  |
| VEC                     | - SIDING (VERTICAL CORNER)      |

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| NO.   | DESCRIPTION                       | DATE       | BY    |

ELEVATION B - FRONT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

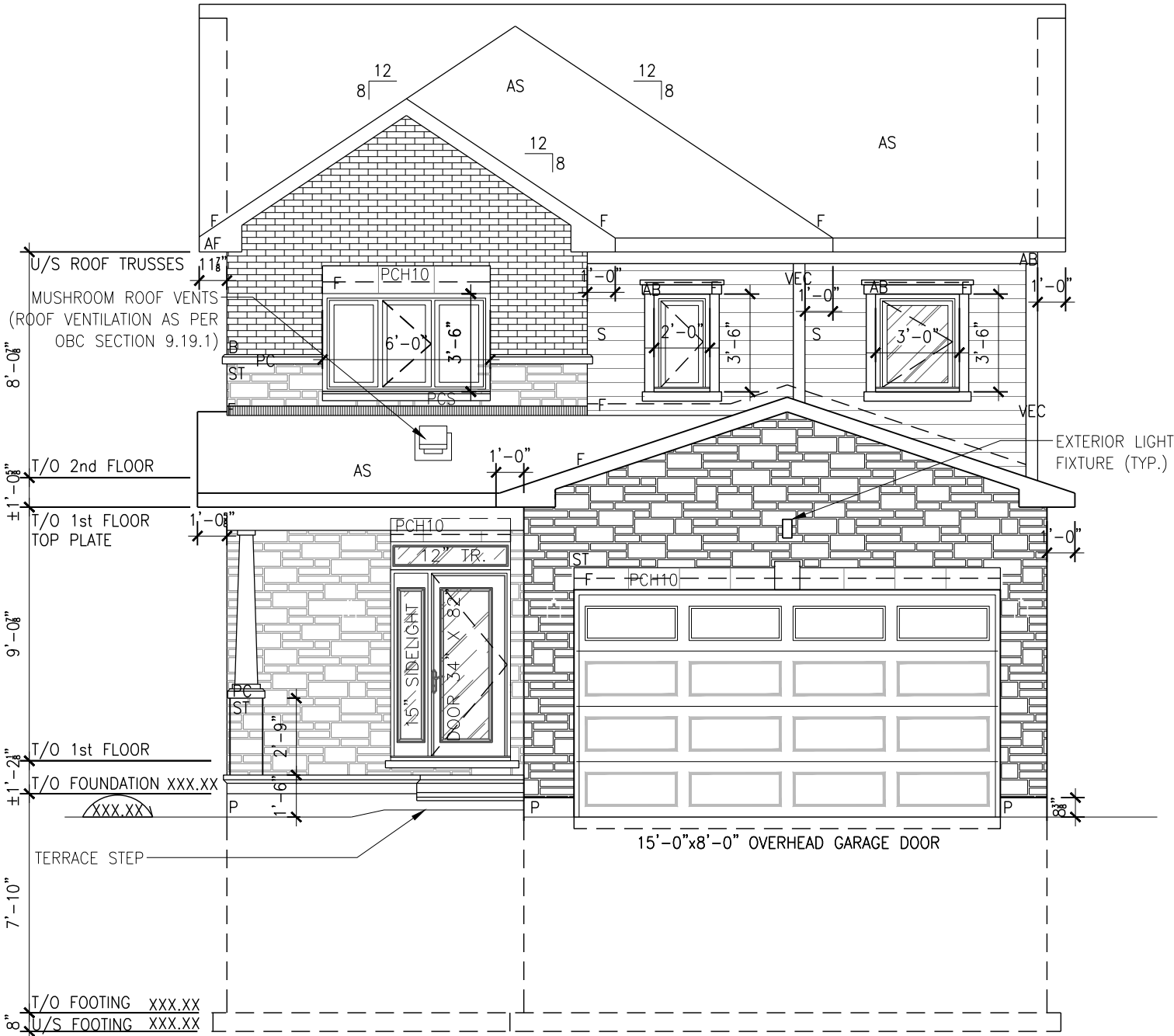
810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A1b

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
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- AF - ALUMINUM FASCIA
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- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
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- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

ELEVATION A - FRONT (4BED)

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A1a



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PC10H - PRECAST HEADER 10"
- PC8H - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

|       |                                   |            |       |
|-------|-----------------------------------|------------|-------|
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| NO.   | DESCRIPTION                       | DATE       | BY    |

**DRAWING:**

**ELEVATION B - FRONT (4BED)**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

## 810- THE KEMP 2022 FOOTPRINT

SHEET:

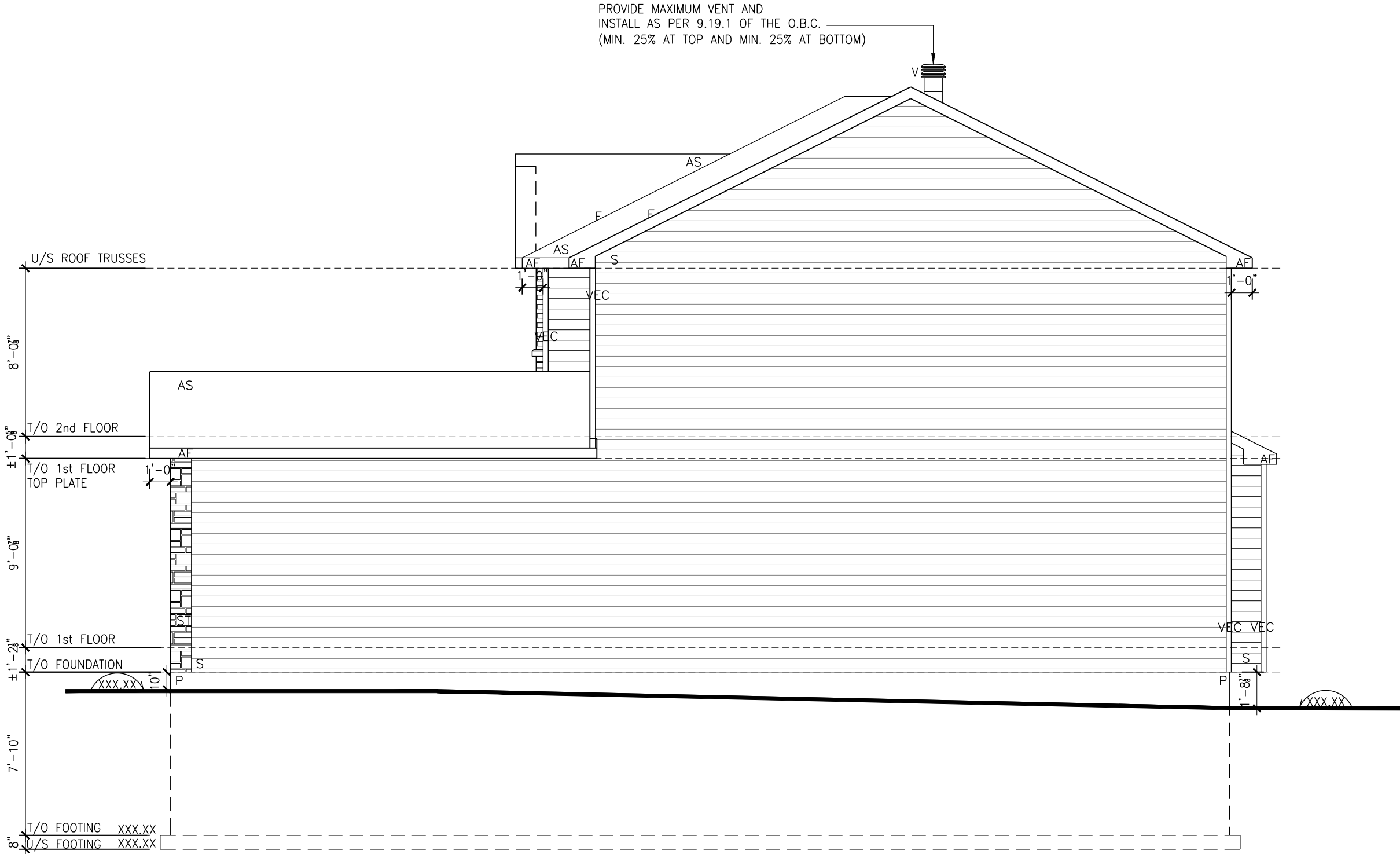
## A1b



SCALE: 3/16" = 1'-0"

ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

ELEVATION A - RIGHT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2a



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
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- S - SIDING (HORIZONTAL)
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- PCH10 - PRECAST HEADER 10"
- PCB8 - PRECAST HEADER 8"
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|       |                                   |            |       |
|-------|-----------------------------------|------------|-------|
|       |                                   |            |       |
|       |                                   |            |       |
|       |                                   |            |       |
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| NO.   | DESCRIPTION                       | DATE       | BY    |

**DRAWING:**

**ELEVATION B - RIGHT**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

## 810- THE KEMP 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

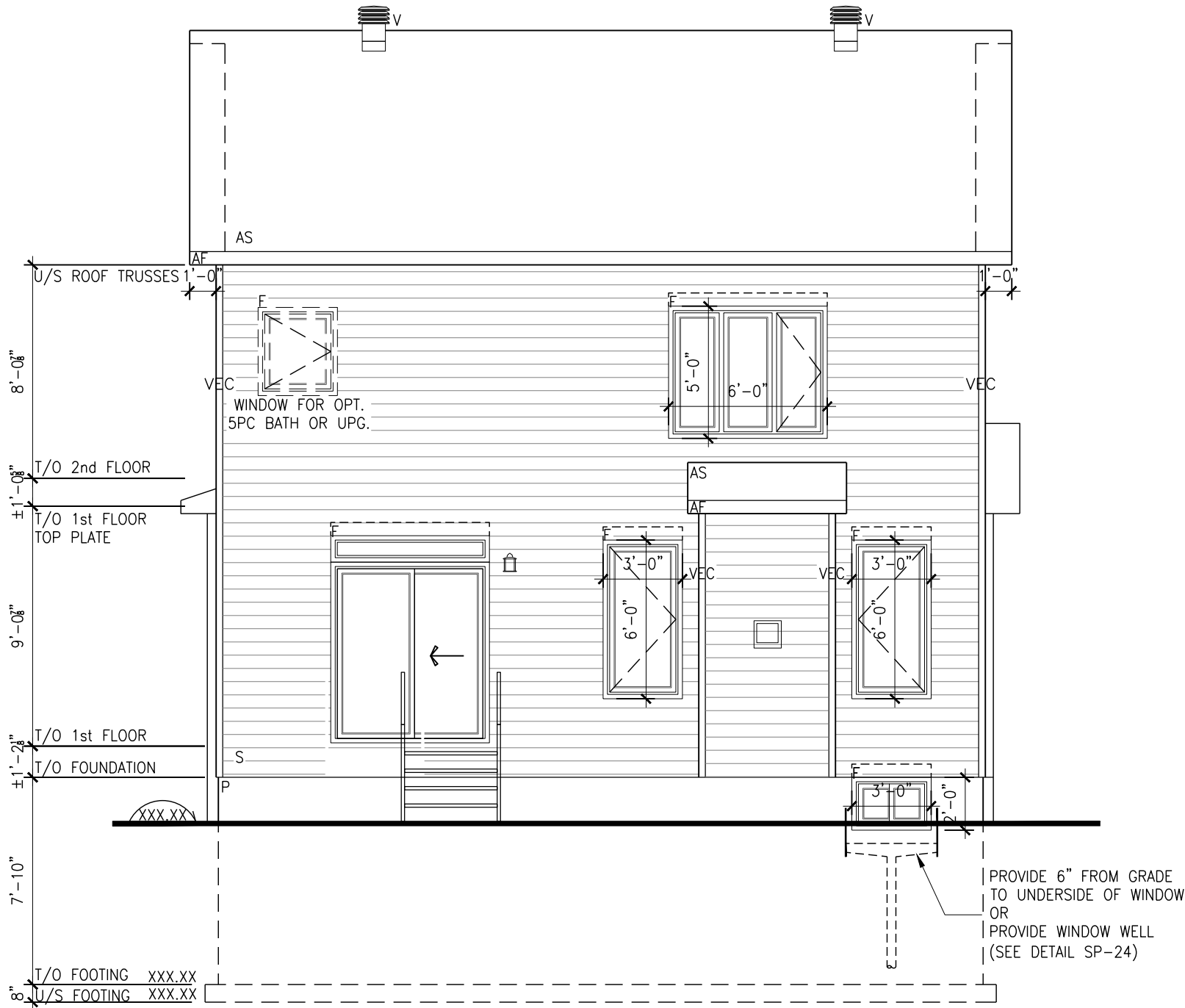
## A2b



SCALE: 3/16" = 1'-0"

ELEVATION A - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

ELEVATION A - REAR

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810- THE KEMP  
2022 FOOTPRINT

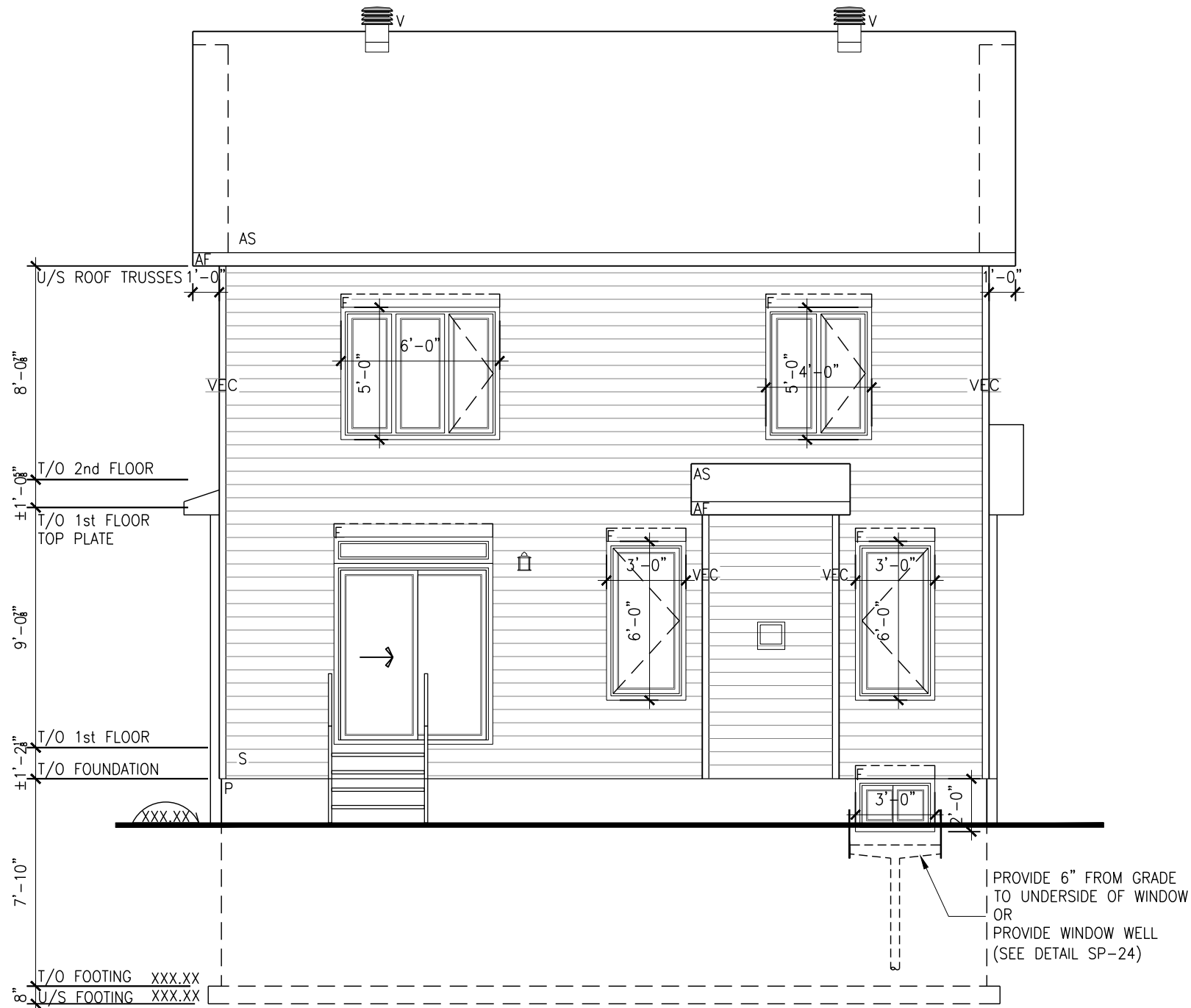
(STANDARD DRAWINGS)

SHEET:

A3a

ELEVATION A - REAR 4 BED

SCALE: 3/16" = 1'-0"



LOT: XXXX  
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- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
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- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
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- PC - PARGING
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2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
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| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

ELEVATION A - REAR 4 BED

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

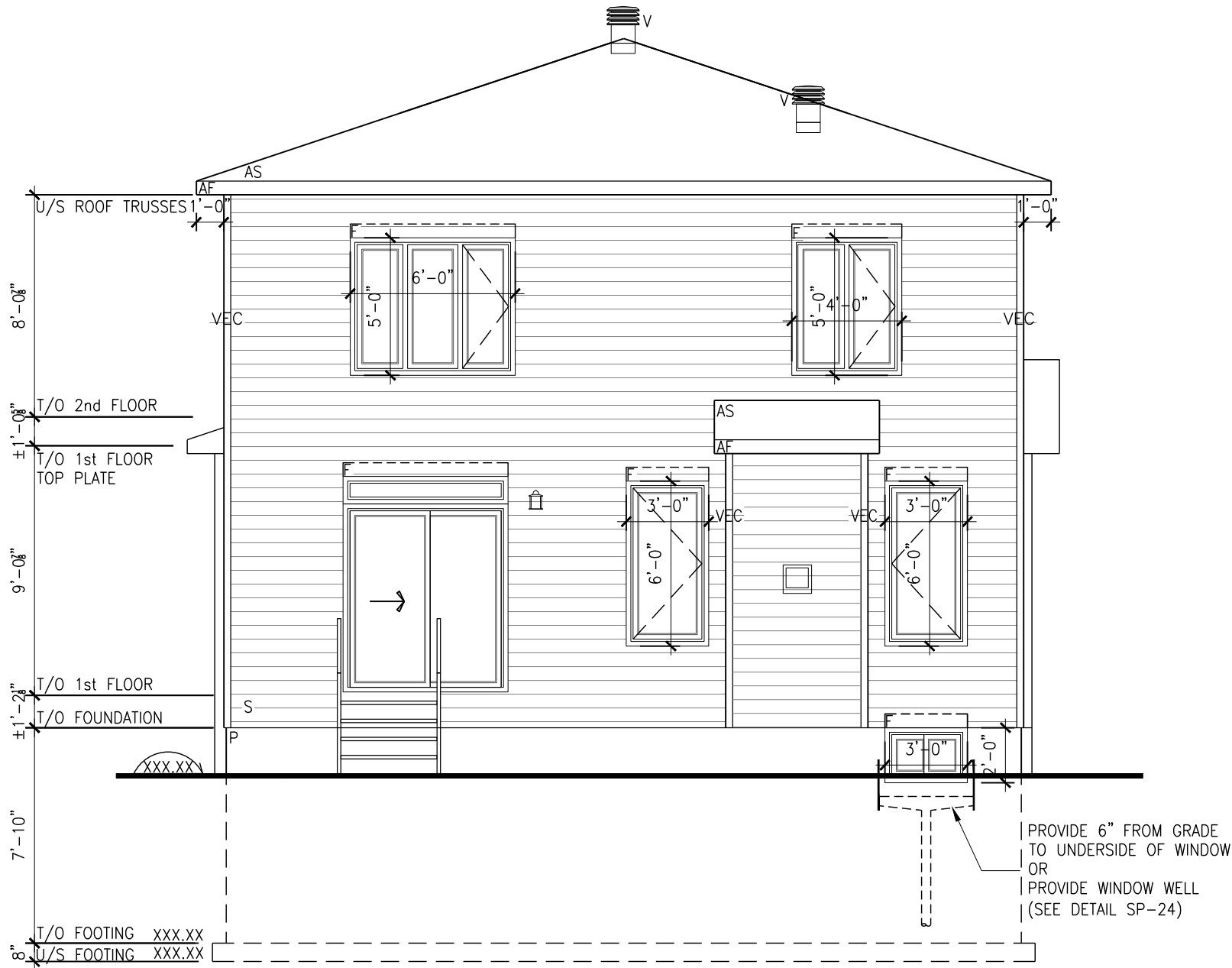
A3a



SCALE: 3/16" = 1'-0"

ELEVATION B - REAR 4 BED

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3b



**Valecraft**  
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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|                |                         |                     |
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## 810- THE KEMP 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

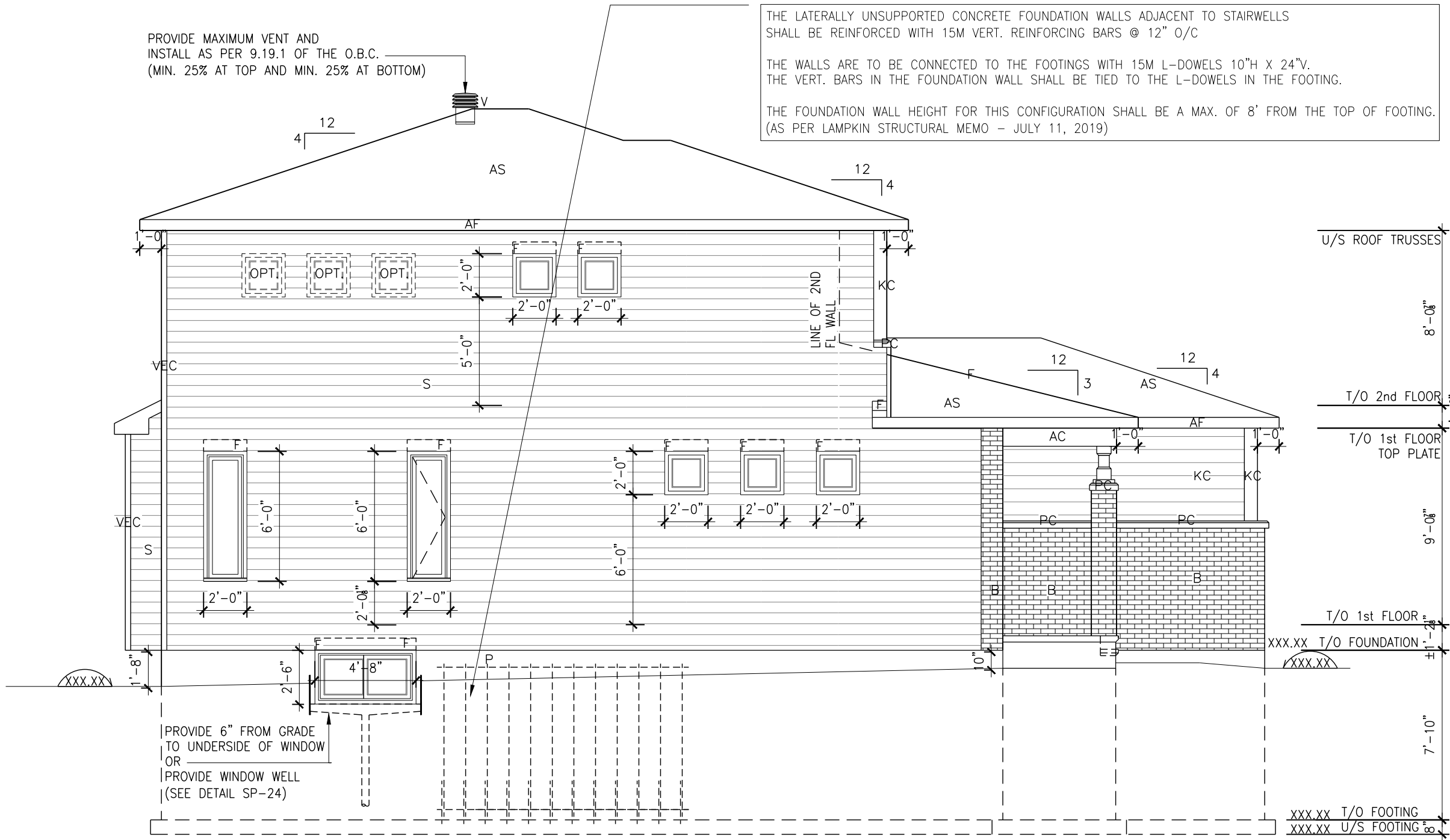
### A4a



SCALE: 3/16" = 1'-0"

ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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DRAWING:

ELEVATION B - LEFT

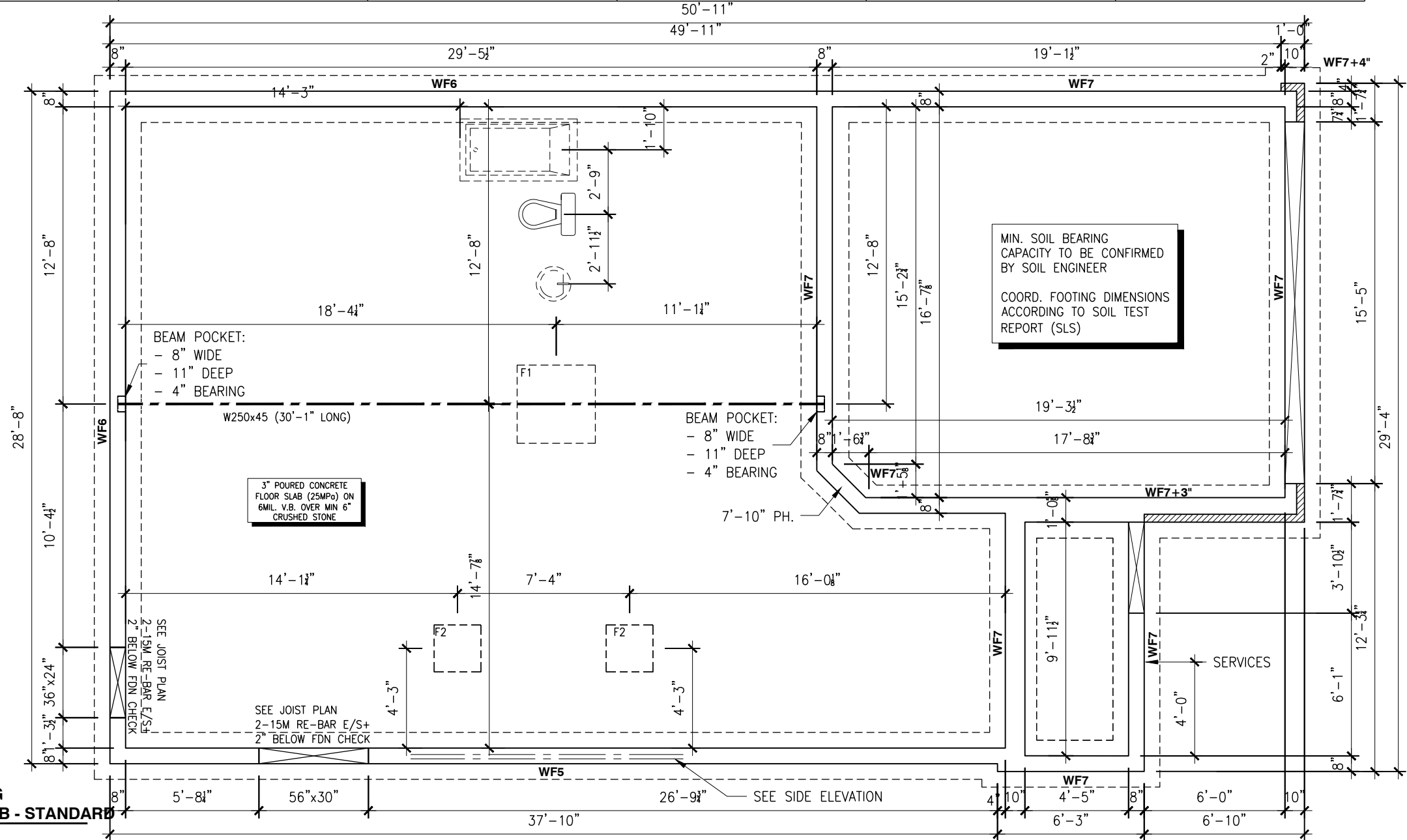
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A4b

| FOOTING SCHEDULE   |   |  |  |  |   |
|--|---|--|--|--|---|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |   |  |  |  |   |
| WALL FOOTINGS  | 100KPa                                    | 85KPa  | 75KPa  | 60KPa  | 40KPa   |
| WF1  | 30"x8" DP.<br>2-15M(B) LONG.              | 36"x8" DP.<br>15M(B)x32"Lg @ 20" o/c<br>3-15M(B) LONG. | 40"x8" DP.<br>15M(B)x36"Lg @ 20" o/c<br>3-15M(B) LONG. | 48"x8" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. | 72"x10" DP.<br>15M(B)x66"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF2  | 28"x8" DP.<br>2-15M(B) LONG.              | 34"x8" DP.<br>2-15M(B) LONG.                           | 38"x8" DP.<br>15M(B)x34"Lg @ 20" o/c<br>3-15M(B) LONG. | 46"x8" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. | 70"x10" DP.<br>15M(B)x64"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF3  | 26"x8" DP.<br>2-15M(B) LONG.              | 30"x8" DP.<br>2-15M(B) LONG.                           | 34"x8" DP.<br>2-15M(B) LONG.                           | 42"x8" DP.<br>15M(B)x38"Lg @ 20" o/c<br>3-15M(B) LONG. | 64"x10" DP.<br>15M(B)x58"Lg @ 16" o/c<br>5-15M(B) LONG. |
| WF4  | 24"x8" DP.<br>2-15M(B) LONG.              | 28"x8" DP.<br>2-15M(B) LONG.                           | 32"x8" DP.<br>2-15M(B) LONG.                           | 38"x8" DP.<br>15M(B)x34"Lg @ 20" o/c<br>3-15M(B) LONG. | 58"x10" DP.<br>15M(B)x52"Lg @ 16" o/c<br>4-15M(B) LONG. |
| WF5  | 24"x8" DP.<br>2-15M(B) LONG.              | 24"x8" DP.<br>2-15M(B) LONG.                           | 26"x8" DP.<br>2-15M(B) LONG.                           | 34"x8" DP.<br>2-15M(B) LONG.                           | 52"x10" DP.<br>15M(B)x48"Lg @ 16" o/c<br>4-15M(B) LONG. |
| WF6  | 24"x8" DP.<br>2-15M(B) LONG.              | 24"x8" DP.<br>2-15M(B) LONG.                           | 24"x8" DP.<br>2-15M(B) LONG.                           | 30"x8" DP.<br>2-15M(B) LONG.                           | 46"x10" DP.<br>15M(B)x42"Lg @ 16" o/c<br>3-15M(B) LONG. |
| WF7  | 20"x8" DP.<br>2-15M(B) LONG.              | 20"x8" DP.<br>2-15M(B) LONG.                           | 20"x8" DP.<br>2-15M(B) LONG.                           | 24"x8" DP.<br>2-15M(B) LONG.                           | 36"x10" DP.<br>15M(B)x32"Lg @ 16" o/c<br>3-15M(B) LONG. |
| PAD FOOTING SCHEDULE   |   |  |  |  |   |
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |   |  |  |  |   |
| WALL FOOTINGS  | 100KPa                                    | 85KPa  | 75KPa  | 60KPa  | 40KPa   |
| F1   | 50"x50"x12" DP. w/ 5-15M(B) x 44" LG. e/w | 54"x54"x12" DP. w/ 5-15M(B) x 48" LG. e/w              | 58"x58"x12" DP. w/ 5-15M(B) x 52" LG. e/w              | 64"x64"x12" DP. w/ 5-15M(B) x 58" LG. e/w              | 78"x78"x12" w/ 7-15M 72" LG. e/w                        |
| F2   | 24"x24"x10" DP.                           | 24"x24"x10" DP.  | 24"x24"x10" DP.  | 28"x28"x12" DP.  | 34"x34"x12" w/ 2-15M 28" LG. e/w                        |



NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (+1%) AIR ENTRAINMENT

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

**LOT:           XXXX**

**DATE:** XX/XX/XXXX



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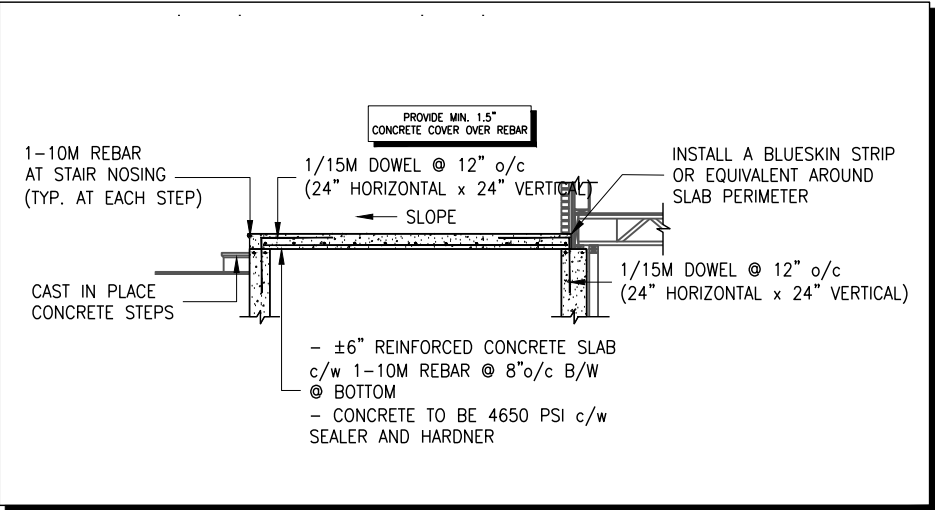
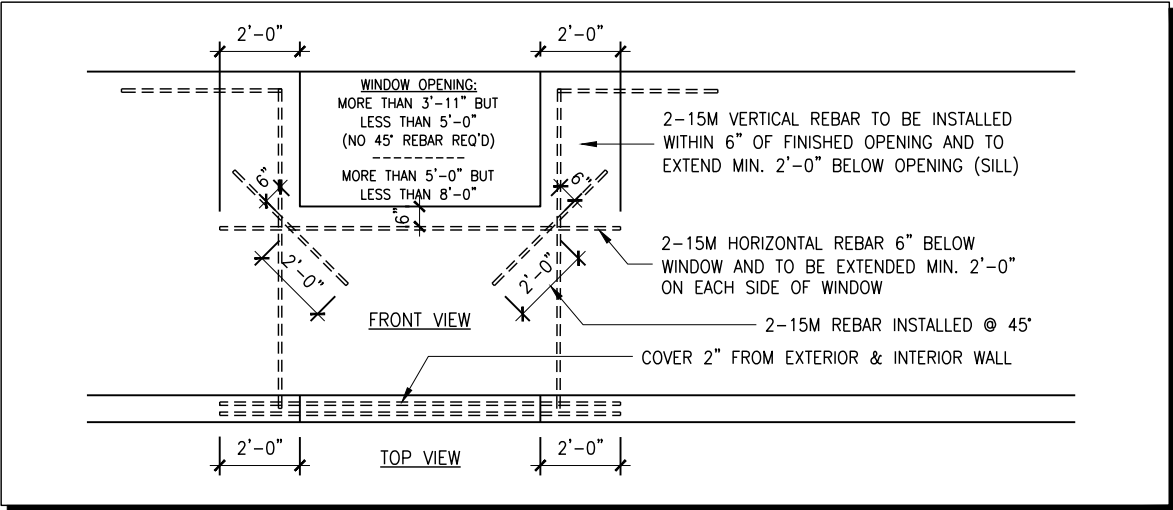
DRAWING: **FOOTING PLAN**  
**ELEVATION A & B - STANDARD**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| XX       | 3/16" = 1'-0" | XX/XX/XXXX |

## 810- THE KEMP 2022 FOOTPRINT

**SHEET:**

# A5



NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND  
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m<sup>2</sup> (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX  
DATE: XX/XX/XXXX

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Homes (2019) Limited

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

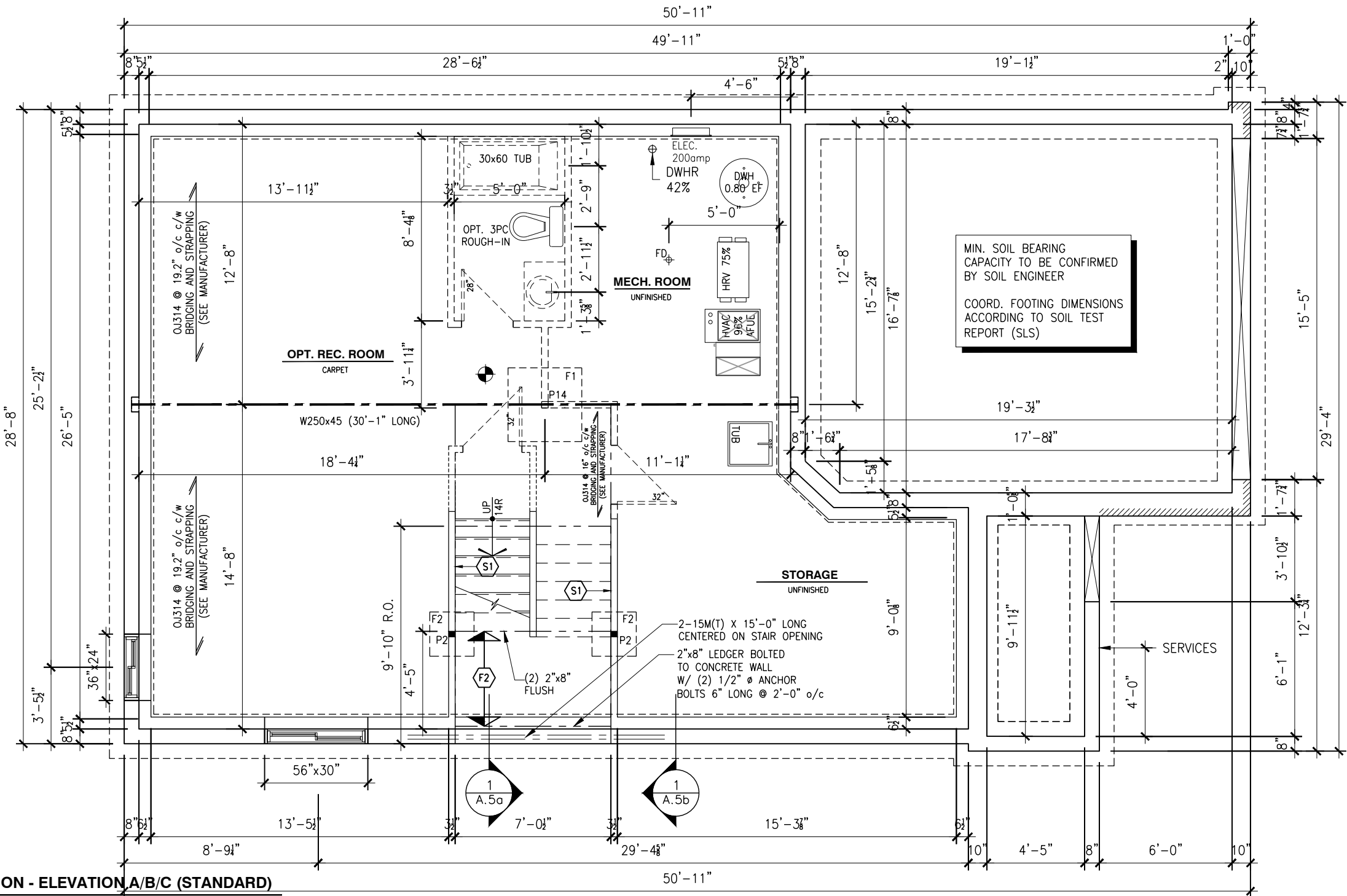
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

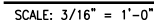
☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE



- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



## A7a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

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NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

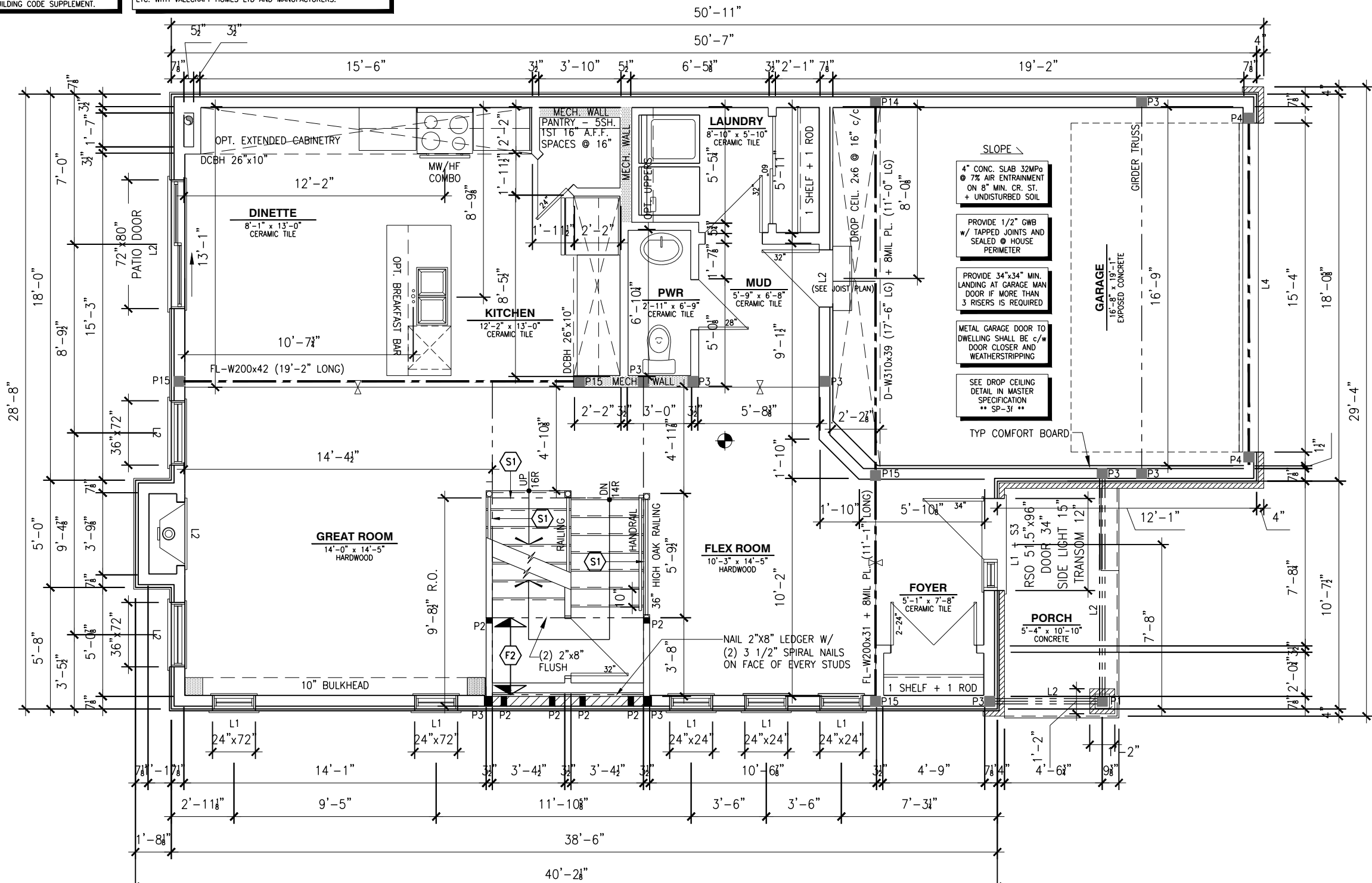
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PLAN - GROUND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
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2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

GROUND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b



NOTES:

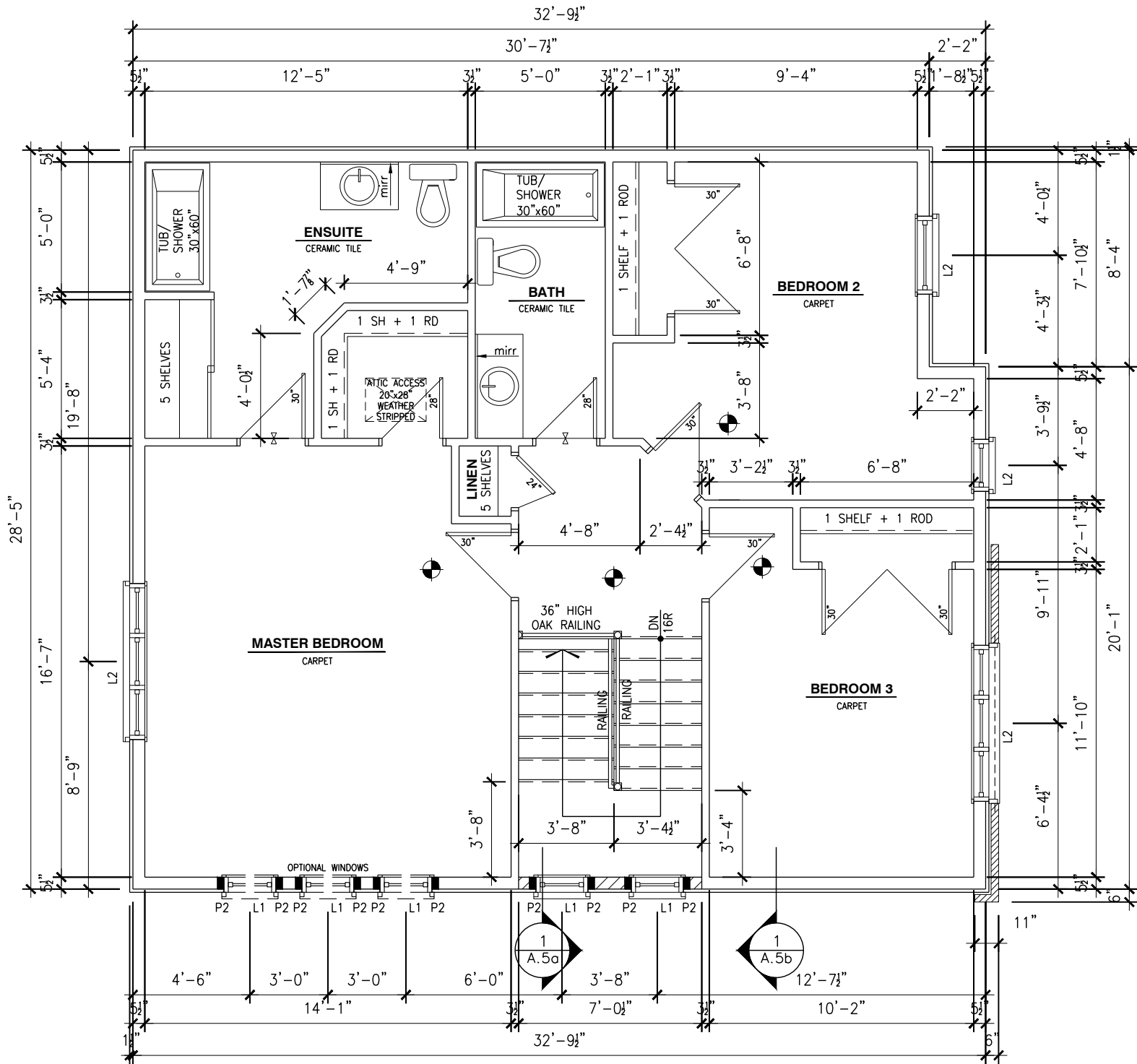
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NOTE:

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NOTES:

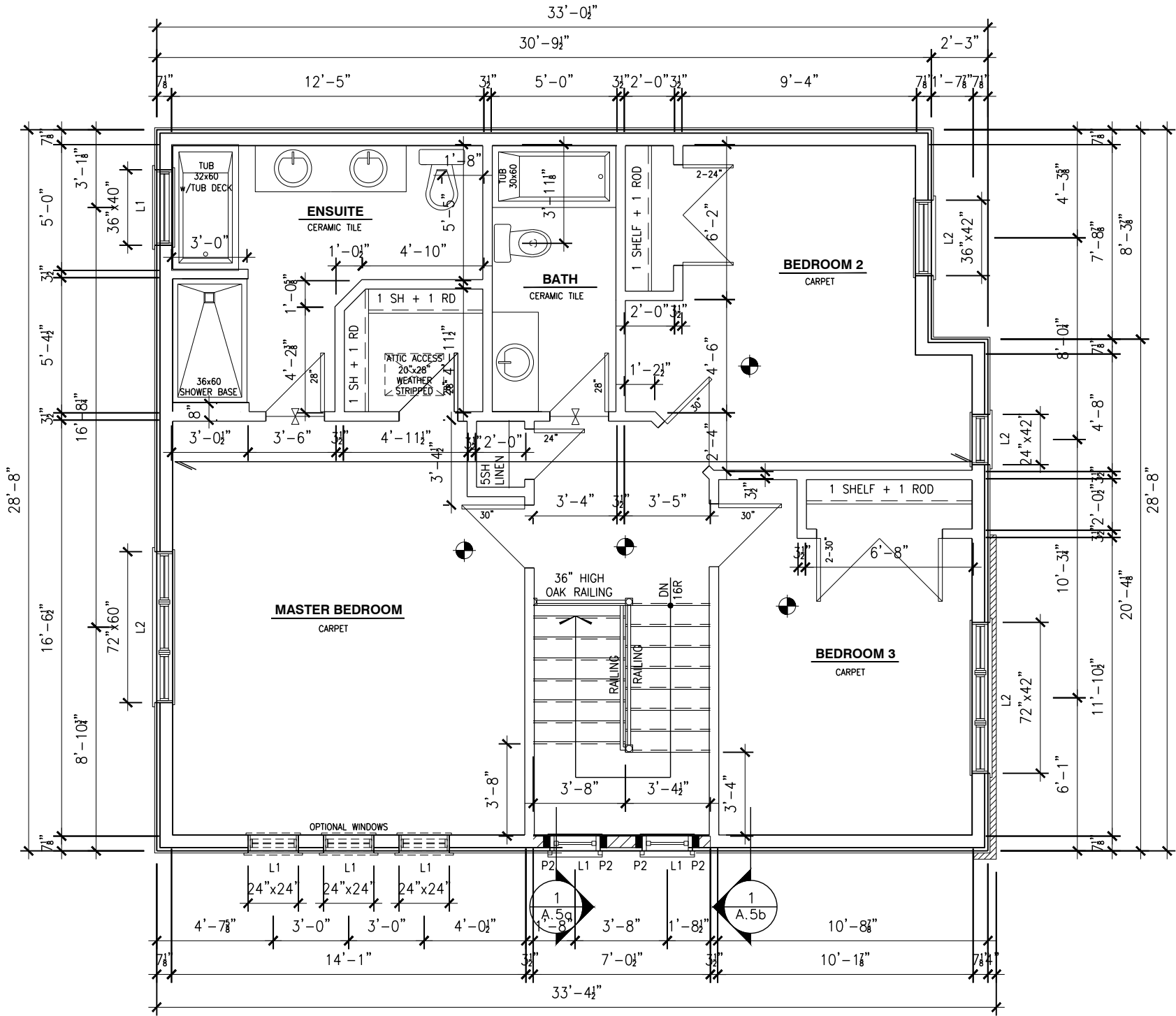
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PLAN - SECOND FLOOR - ELEVATION A 5pc ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: SECOND FLOOR  
5 PC ENSUITE

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A8a**

NOTES:

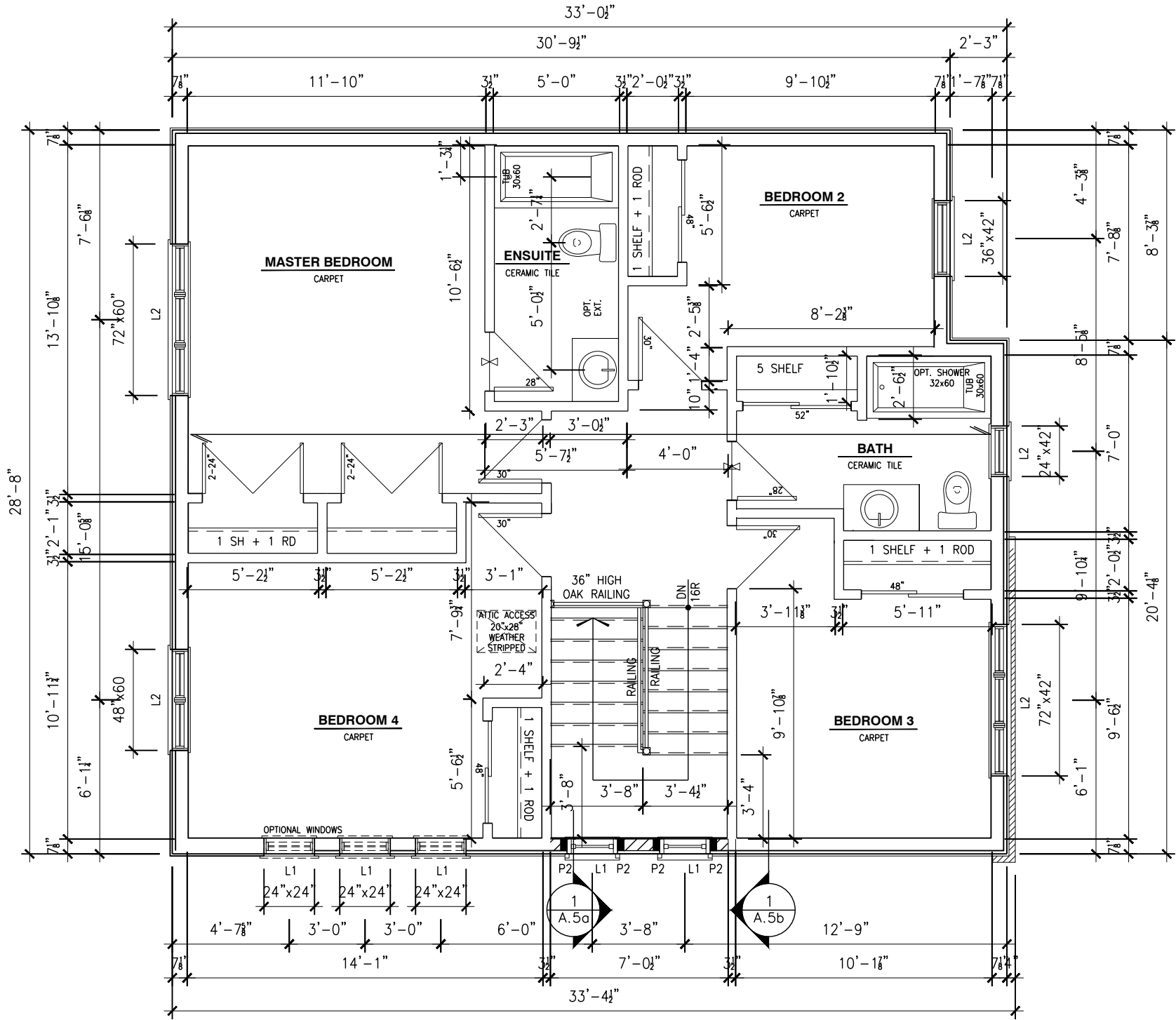
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PLAN - SECOND FLOOR - ELEVATION A (4 BED. OPT.)

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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| 2012 O.B.C. DRAWINGS         |                                   |            |            |
|------------------------------|-----------------------------------|------------|------------|
|                              |                                   |            |            |
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| NO.                          | DESCRIPTION                       | DATE       | BY         |
| DRAWING: <b>SECOND FLOOR</b> |                                   |            |            |
| <b>4 BED. OPT.</b>           |                                   |            |            |
| ADDRESS:                     | SCALE:                            | DATE:      |            |
| xx                           | 3/16" = 1'-0"                     | xx/xx/xxxx |            |
| <b>810- THE KEMP</b>         |                                   |            | <b>A8a</b> |
| <b>2022 FOOTPRINT</b>        |                                   |            |            |
| (STANDARD DRAWINGS)          |                                   |            |            |

NOTES:

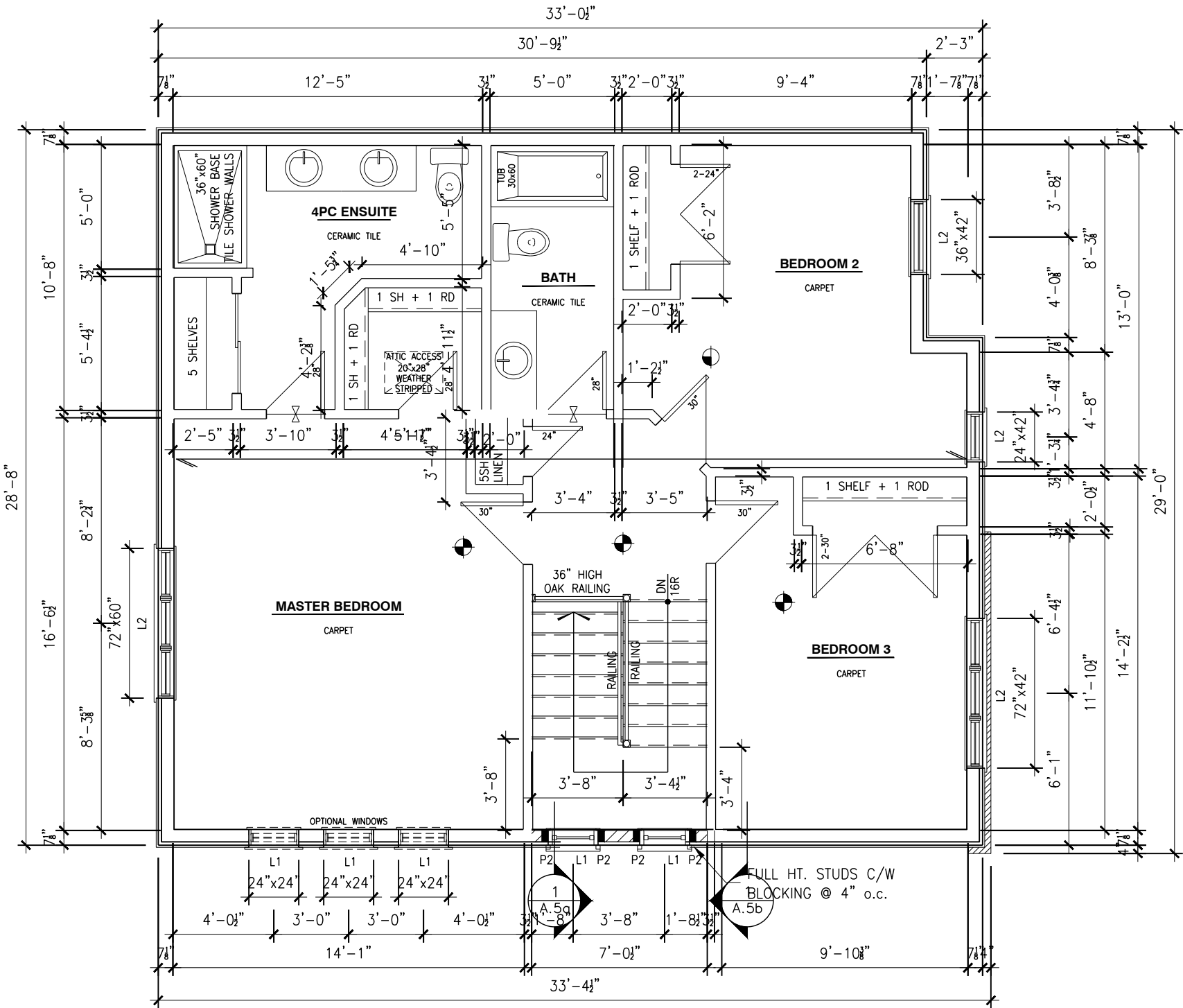
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ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION A (4pc ENSUITE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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- P2 = 2-2x4 OR 2-2x6
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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

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☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: **SECOND FLOOR  
4PC ENSUITE**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A8a**

NOTES:

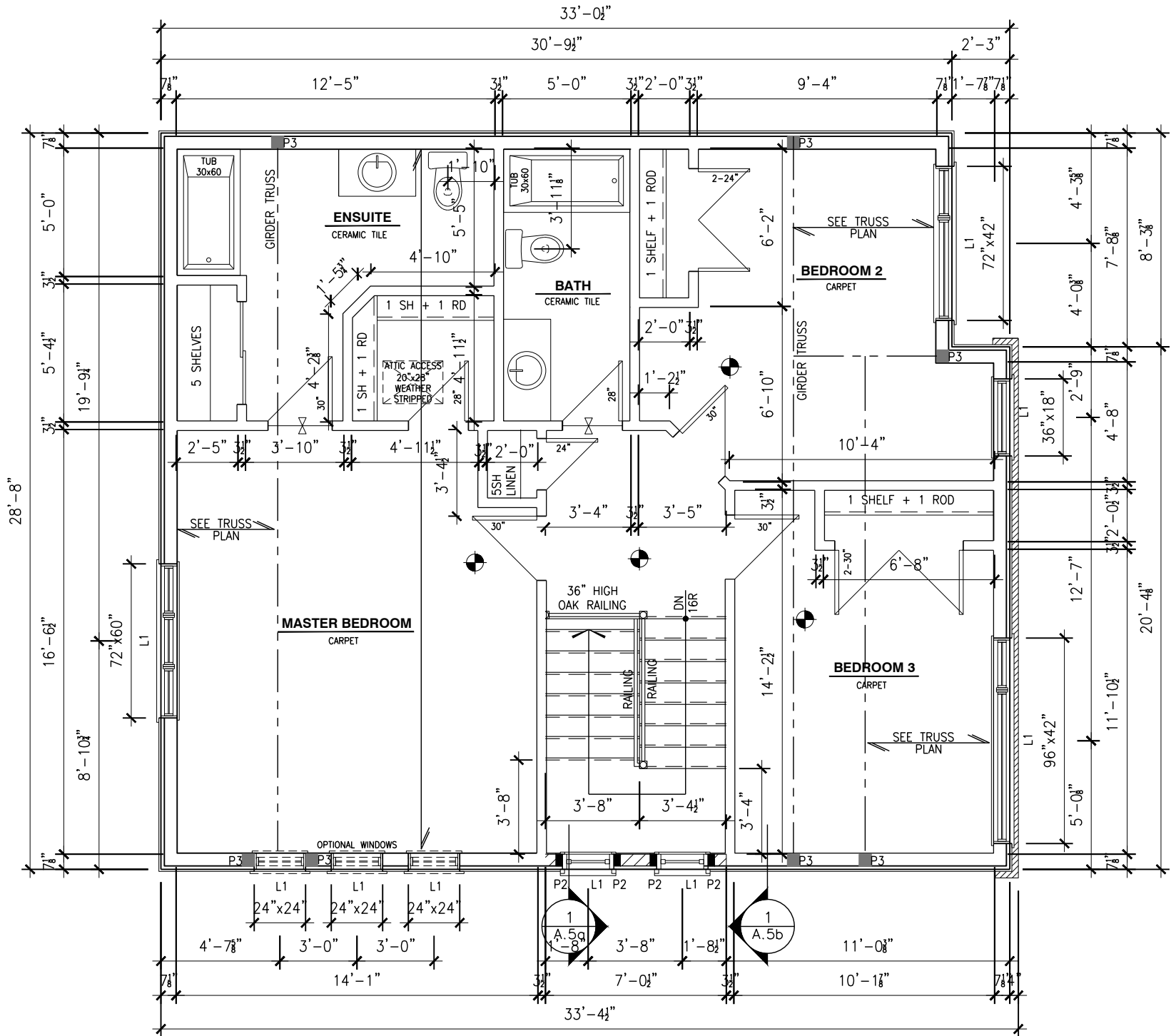
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NOTE:

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PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



Valecraft  
Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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  - S3 = L 100x90x8
  - S4 = L 125x90x8
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- LINTEL TABLE:
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  - L2 = 3-2x10 + P3 ON BOTH SIDES
  - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| 2012 O.B.C. DRAWINGS |                                   |            |       |
|----------------------|-----------------------------------|------------|-------|
|                      |                                   |            |       |
|                      |                                   |            |       |
| REV-5                | NEW STAIRS                        | 04/20/2021 | DOYON |
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| REV-2                | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1                | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.                  | DESCRIPTION                       | DATE       | BY    |

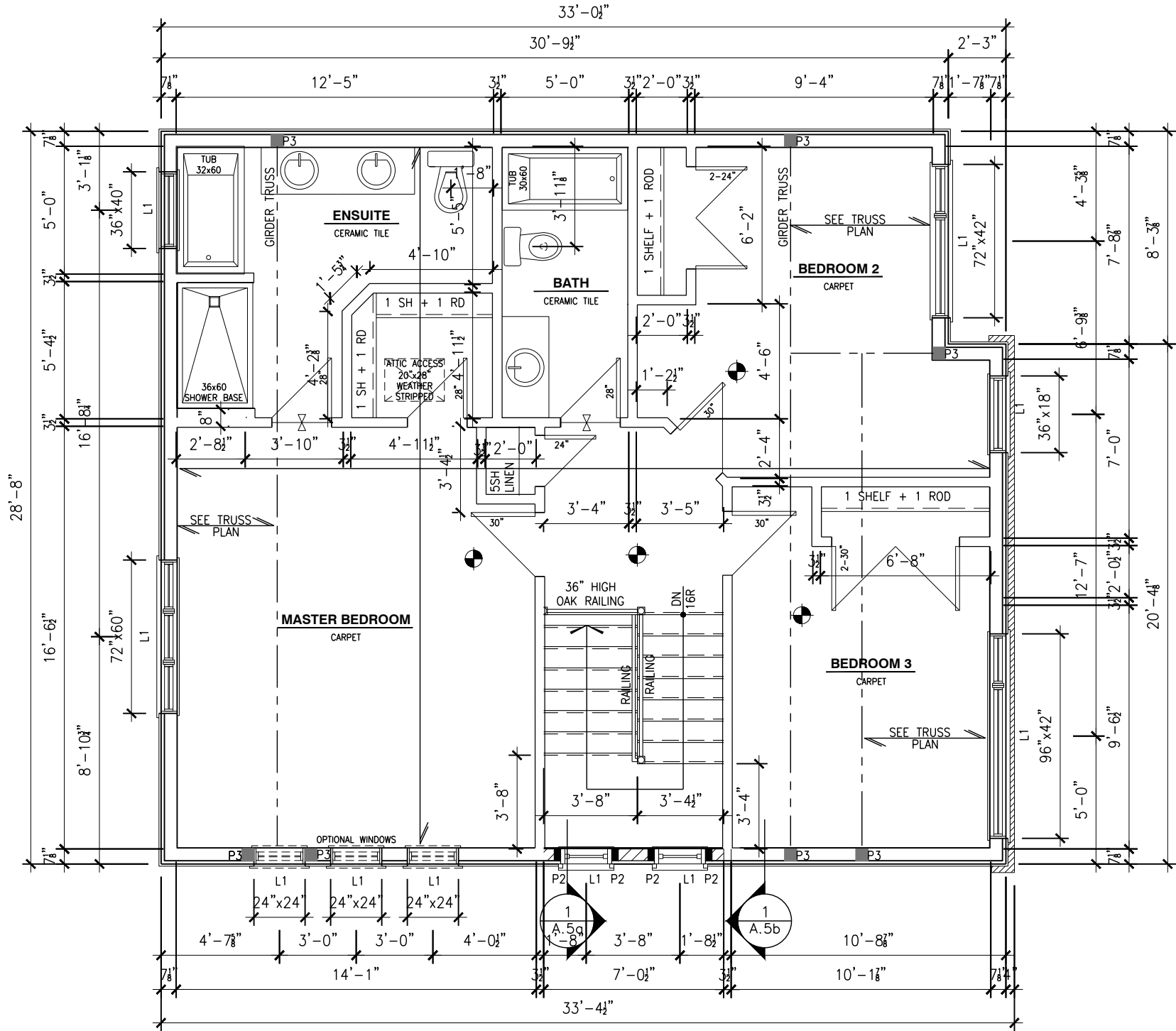
DRAWING:

**SECOND FLOOR - STANDARD**

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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PLAN - SECOND FLOOR - ELEVATION B (5PC ENSUITE)

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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- PERSONAL BCIN #19896
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- LINTEL TABLE:
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2012 O.B.C. DRAWINGS

|       |                                   |            |       |
|-------|-----------------------------------|------------|-------|
|       |                                   |            |       |
|       |                                   |            |       |
|       |                                   |            |       |
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| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: **SECOND FLOOR**  
**5PC ENSUITE**

|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| xx       | 3/16" = 1'-0" | xx/xx/xxxx |

**810- THE KEMP**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A8b**

NOTES:

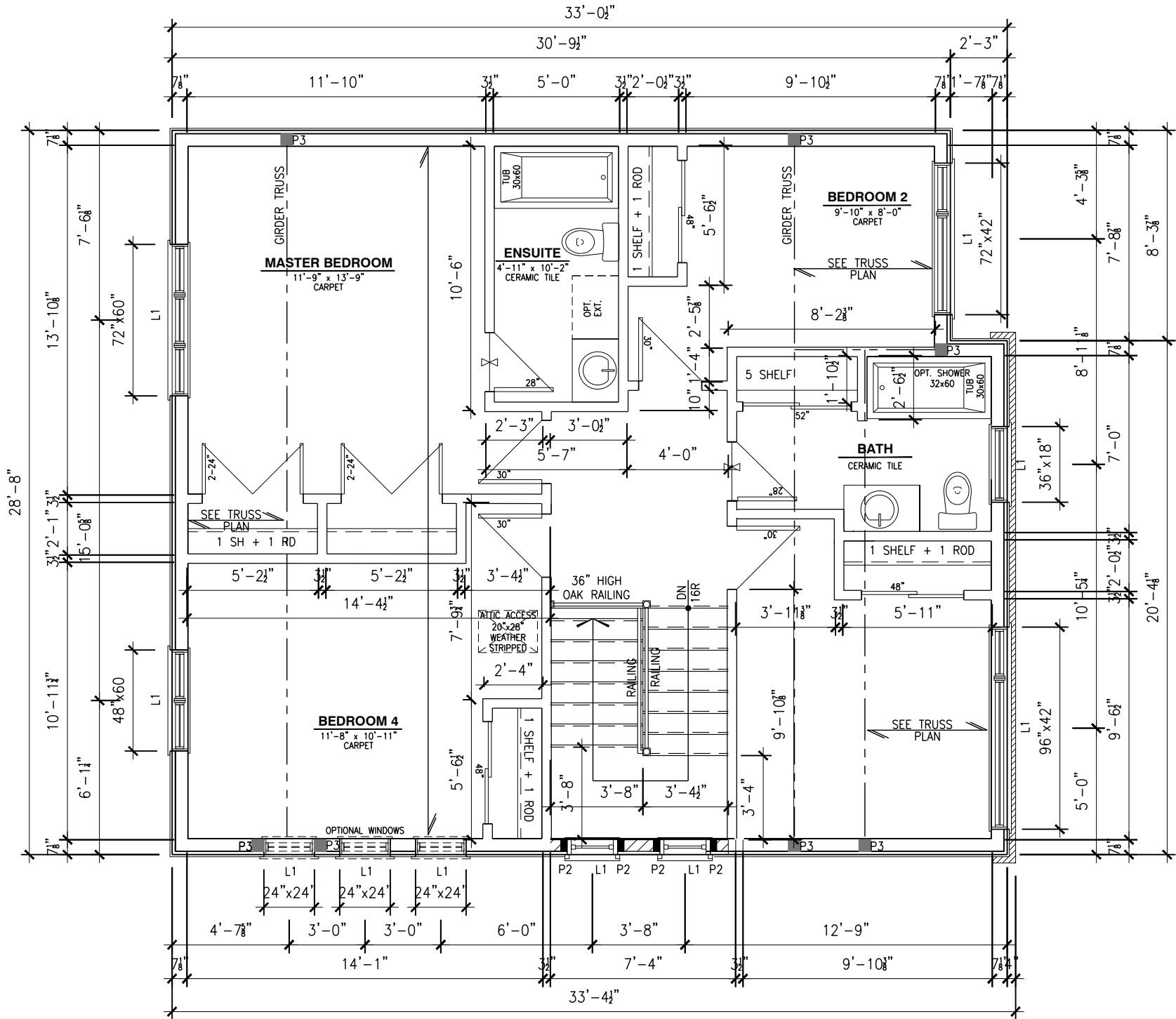
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PLAN - SECOND FLOOR - ELEVATION B (4 BED. OPT.)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



Valecraft

Homes (2019) Limited

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LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:SECOND FLOOR  
4 BED. OPT.

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A8b

NOTES:

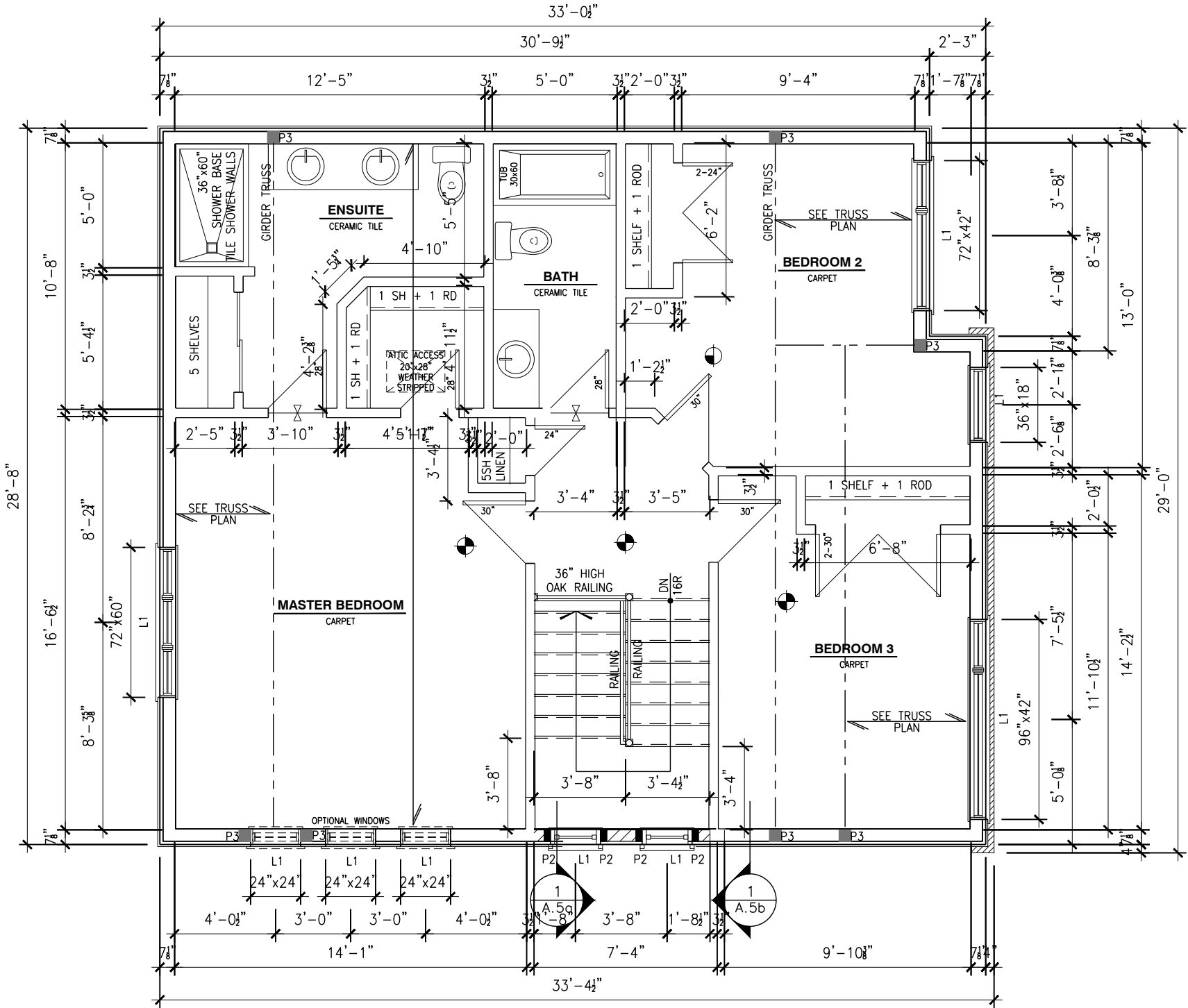
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

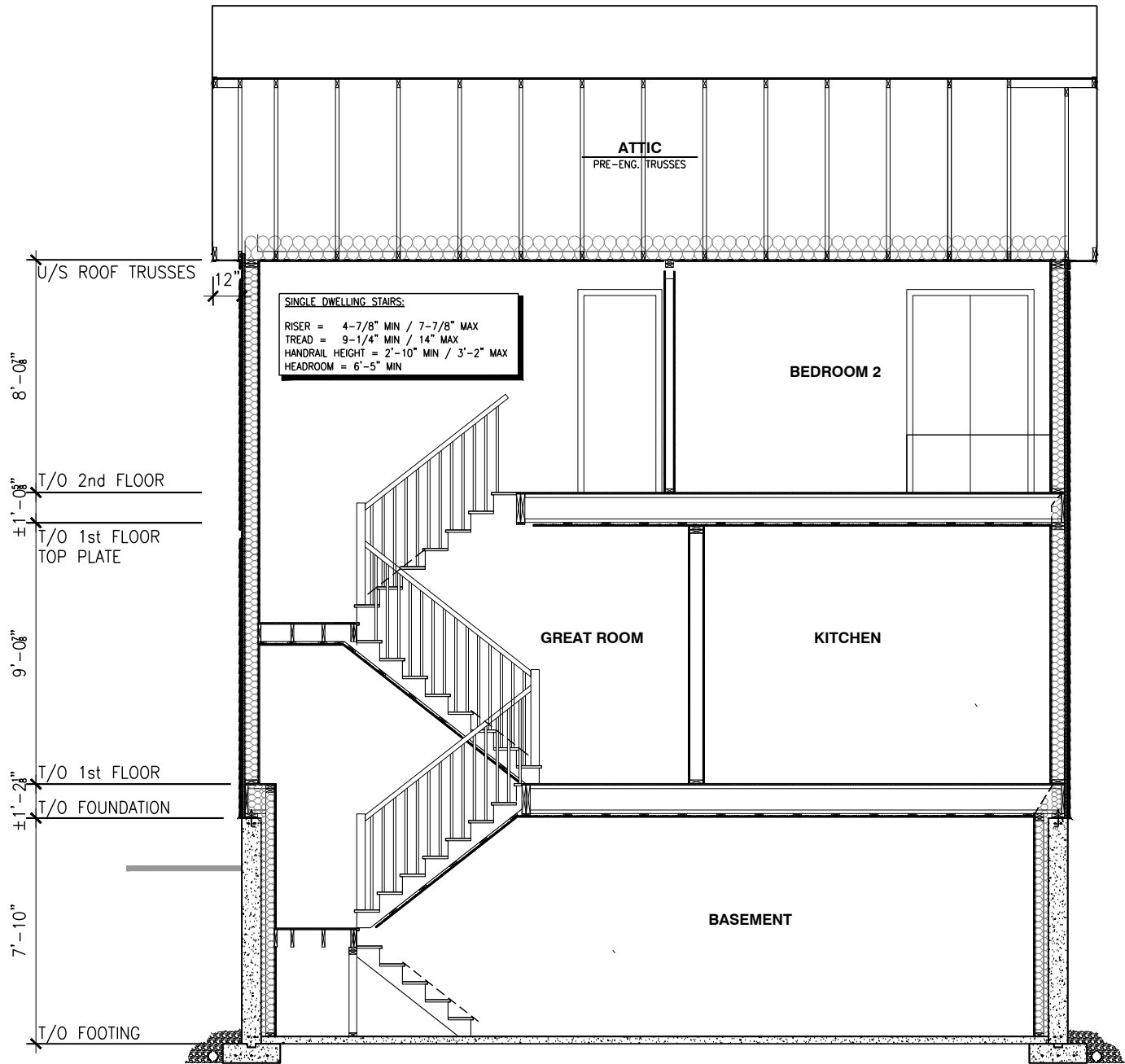
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.





SECTION

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                       | DATE       | BY    |
|-------|-----------------------------------|------------|-------|
| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

SECTION

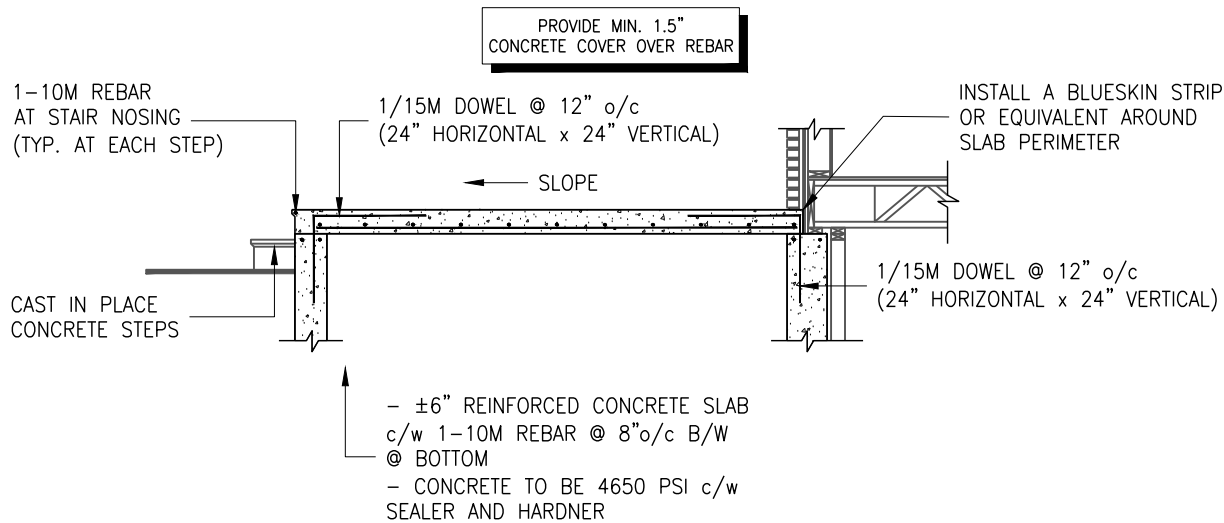
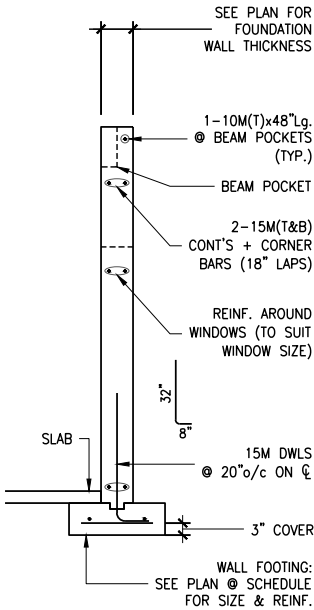
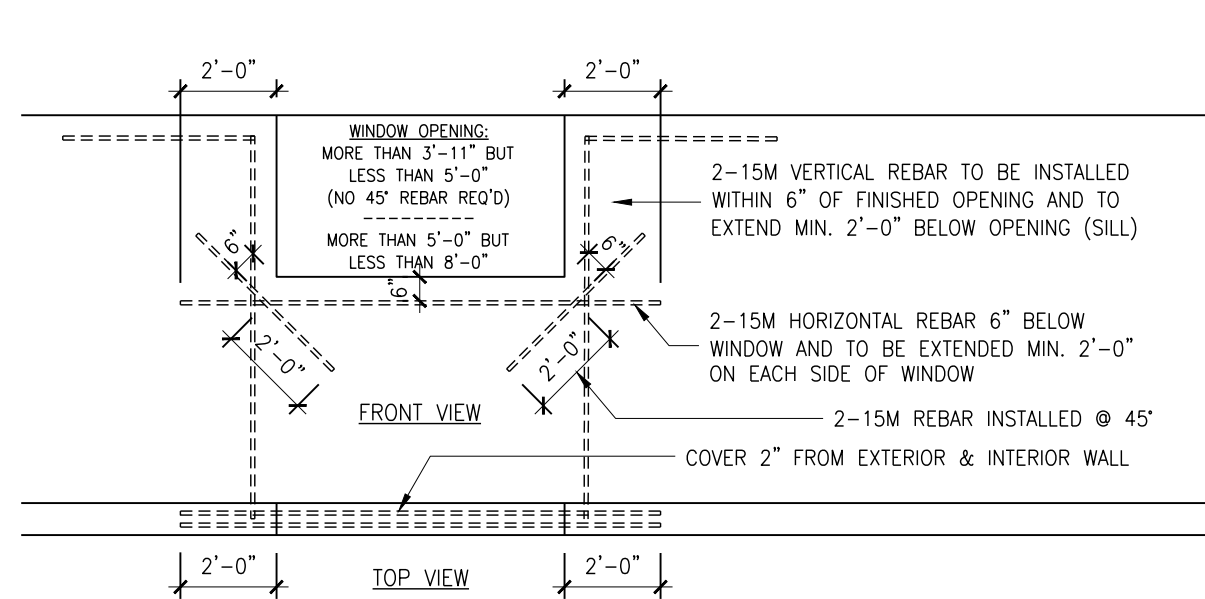
ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10



TYPICAL DETAIL

SCALE: 1/4" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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ARCHITECTURAL DEPARTMENT.

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2012 O.B.C. DRAWINGS

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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING:

TYPICAL DETAIL

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

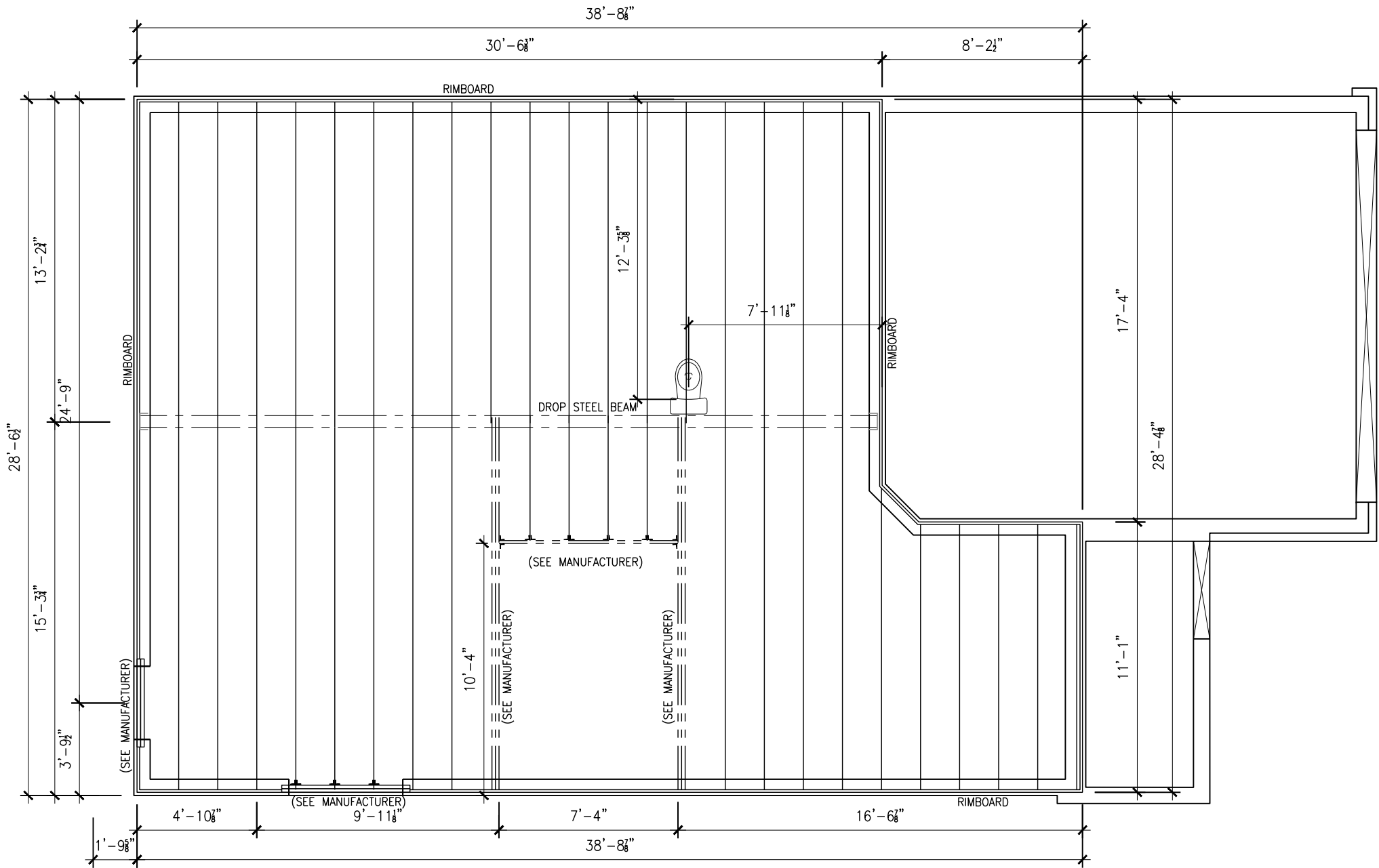
(STANDARD DRAWINGS)

SHEET:

A10b

ROOF AND FLOOR LAYOUT NOTES:

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PLAN - FIRST FLOOR  
JOIST LAYOUT - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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### 2012 O.B.C. DRAWINGS

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|-------|-----------------------------------|------------|-------|
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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: 01FL - JOIST LAYOUT  
STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

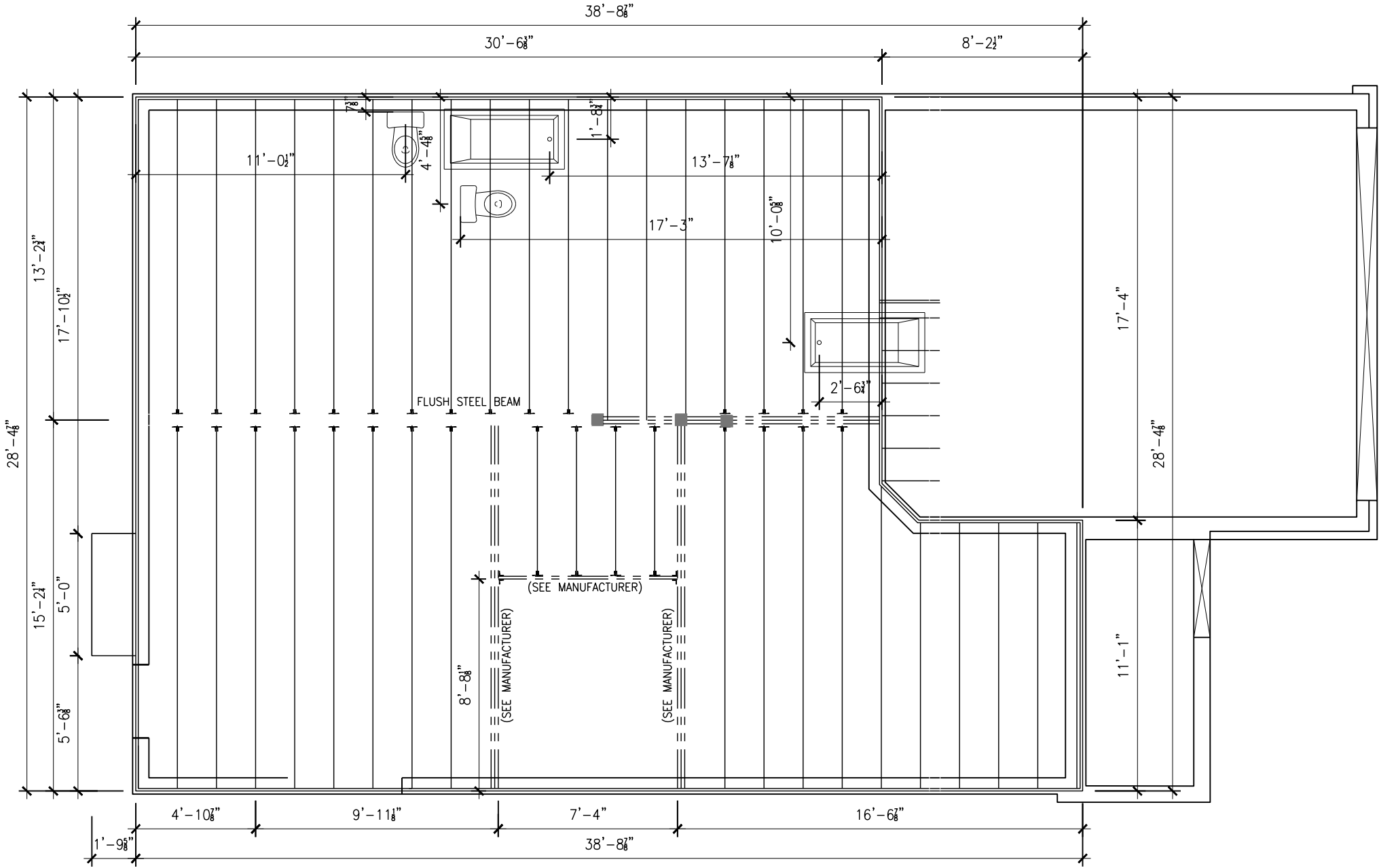
810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A11a

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PLAN - SECOND FLOOR  
JOIST LAYOUT - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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|-------|-----------------------------------|------------|-------|
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| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: 02FL - JOIST LAYOUT  
STANDARD

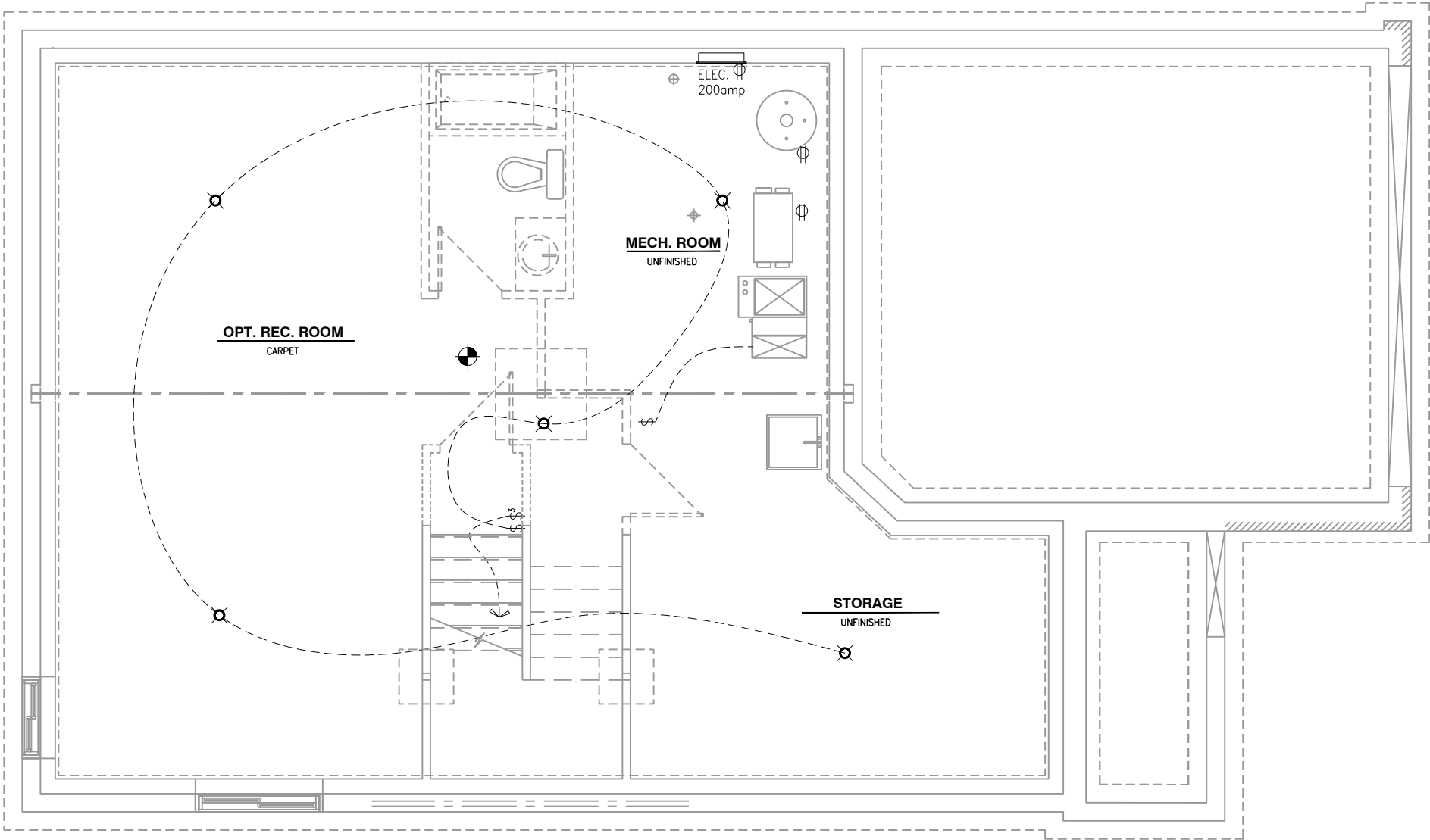
|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
| xx       | 3/16" = 1'-0" | xx/xx/xxxx |

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A12

PLAN - ELECTRICAL  
FOUNDATION - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-5 | NEW STAIRS                        | 04/20/2021 | DOYON |
|-------|-----------------------------------|------------|-------|
| REV-4 | PST 5 - NEW ELEV.                 | 11/24/2020 | VH    |
| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION | 10/09/2018 | MAD   |
| REV-2 | AS PER STRUCTURAL                 | 07/09/2018 | VH    |
| REV-1 | NEW STANDARD DRWG MODIFICATION    | 13/11/2017 | MAD   |
| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: **ELECTRICAL**  
**FOUNDATION PLAN - STANDARD**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810- THE KEMP  
2022 FOOTPRINT

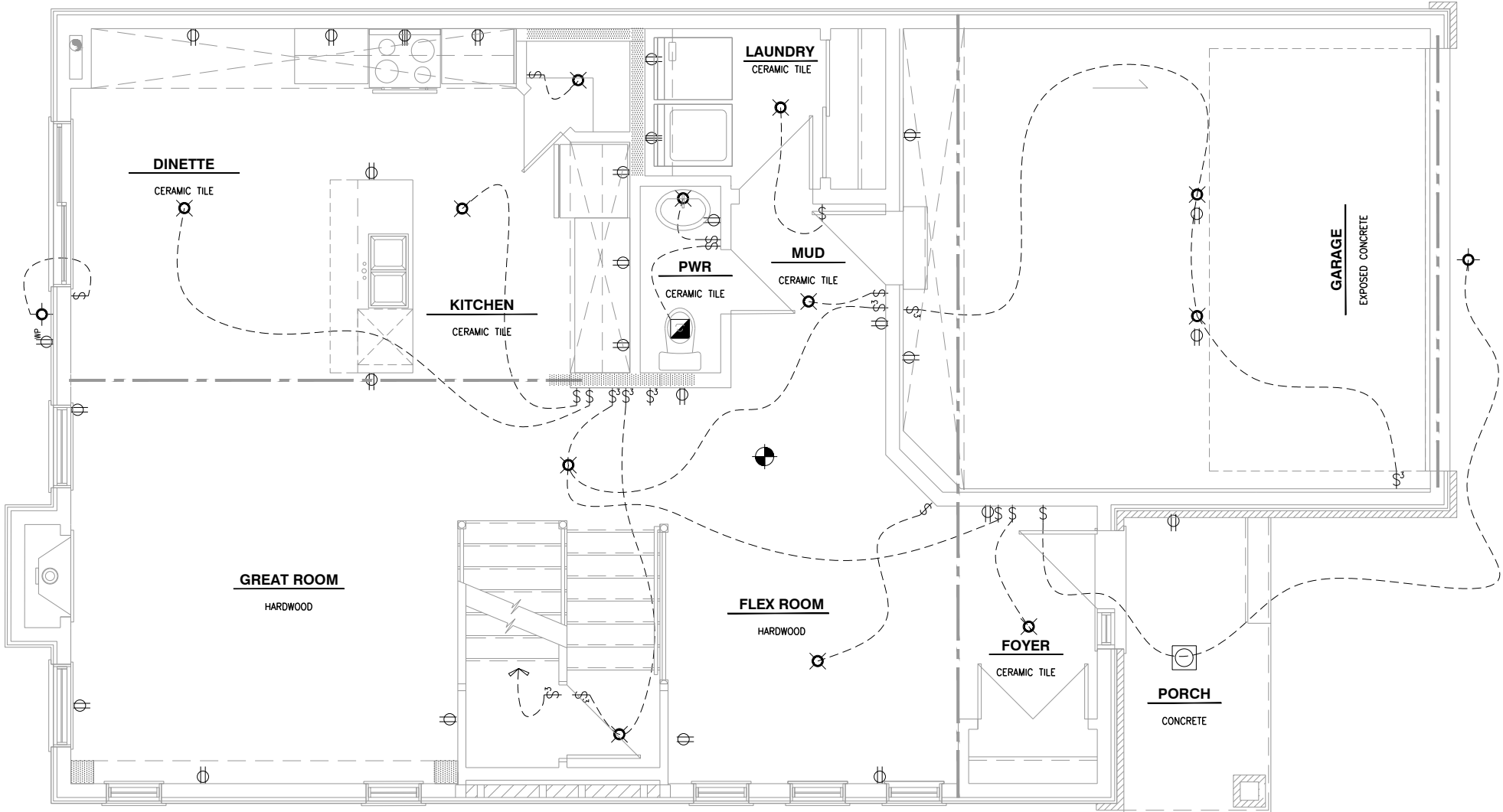
(STANDARD DRAWINGS)

SHEET:

E1a

PLAN - ELECTRICAL  
GROUND FLOOR - ELEVATION (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV   | NO.                               | DESCRIPTION | DATE       | BY    |
|-------|-----------------------------------|-------------|------------|-------|
| REV-5 | NEW STAIRS                        |             | 04/20/2021 | DOYON |
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| REV-3 | GREAT ROOM BLKD DIM. MODIFICATION |             | 10/09/2018 | MAD   |
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| REV-1 | NEW STANDARD DRWG MODIFICATION    |             | 13/11/2017 | MAD   |

DRAWING: ELECTRICAL  
GROUND FLOOR - STANDARD

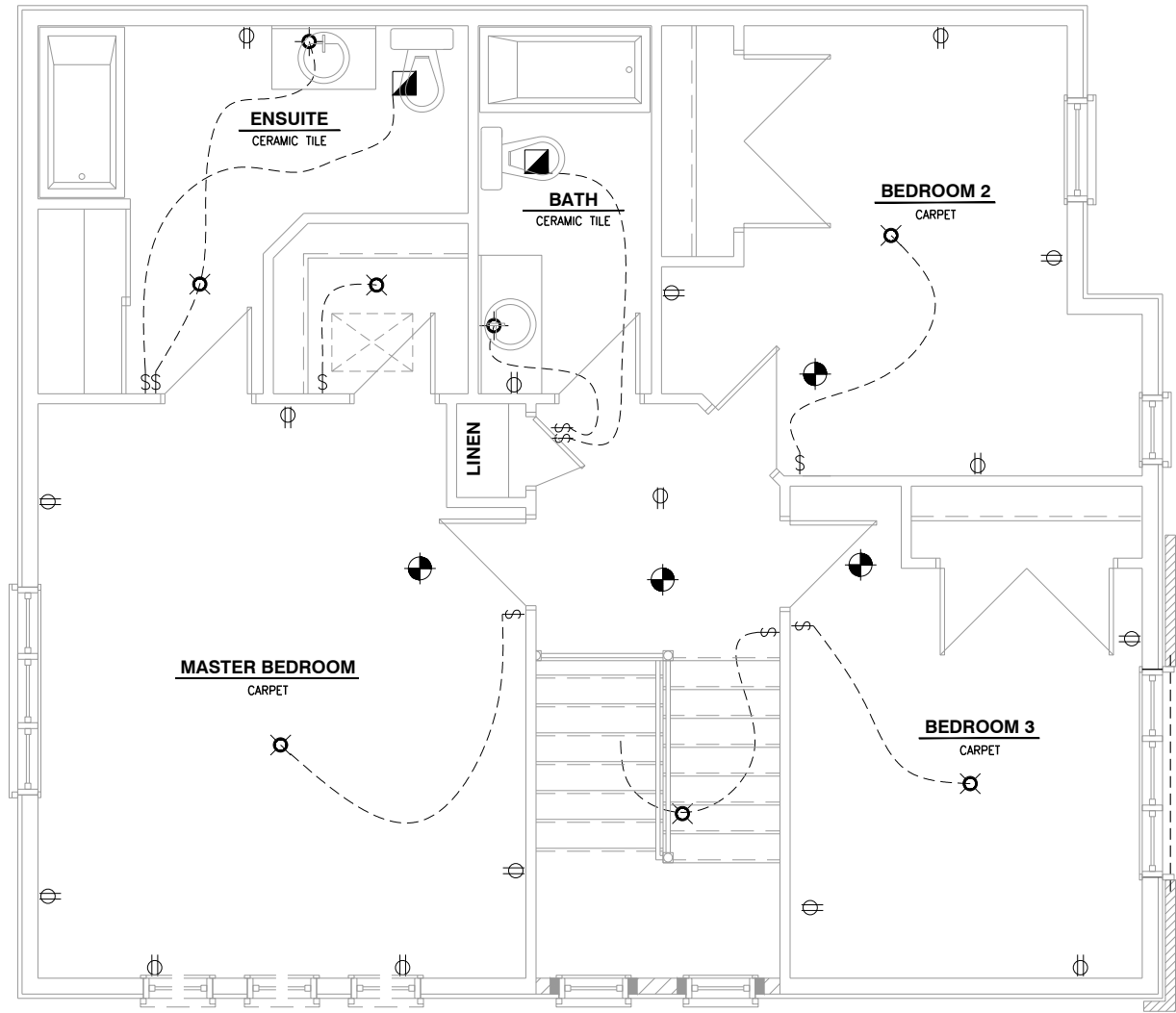
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E2a

PLAN - ELECTRICAL  
SECOND FLOOR - 3 BED

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| NO.   | DESCRIPTION                       | DATE       | BY    |

ELECTRICAL  
SECOND FL. - 3 BED

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT

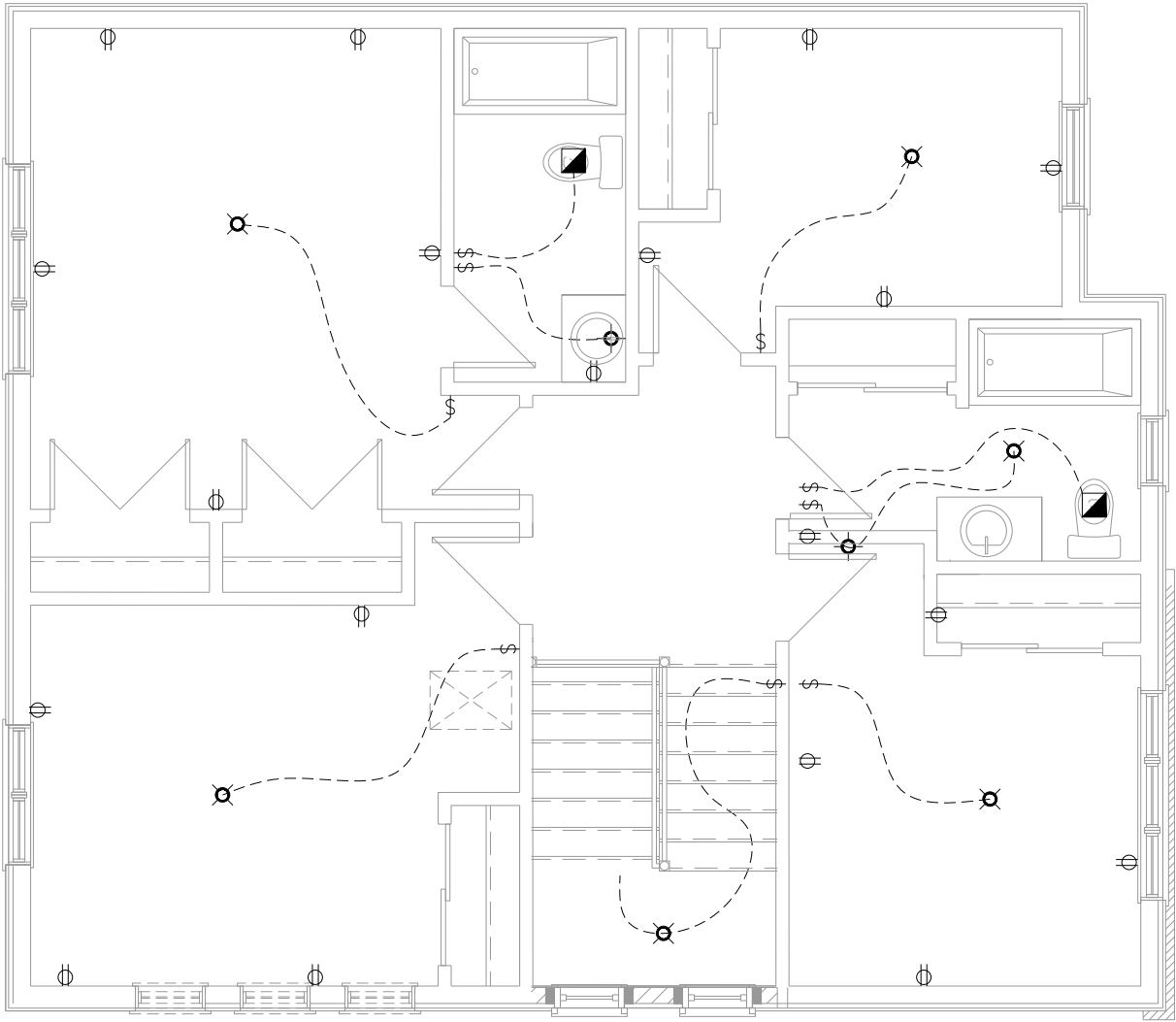
(STANDARD DRAWINGS)

SHEET:

E3a

PLAN - ELECTRICAL  
SECOND FLOOR - 4 BED

SCALE: 3/16" = 1'-0"



LOT: XXXX  
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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| NO.   | DESCRIPTION                       | DATE       | BY    |

DRAWING: ELECTRICAL  
SECOND FLOOR - 4 BED

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

810- THE KEMP  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

E3a