

GROSS INSULATED = 228 M. SQ.  
WALL AREA

GROSS WINDOW = 25.23 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 11.1%

GROSS INSULATED = 234.5 M. SQ.  
WALL AREA

GROSS WINDOW = 27.13 M. SQ.  
AREA

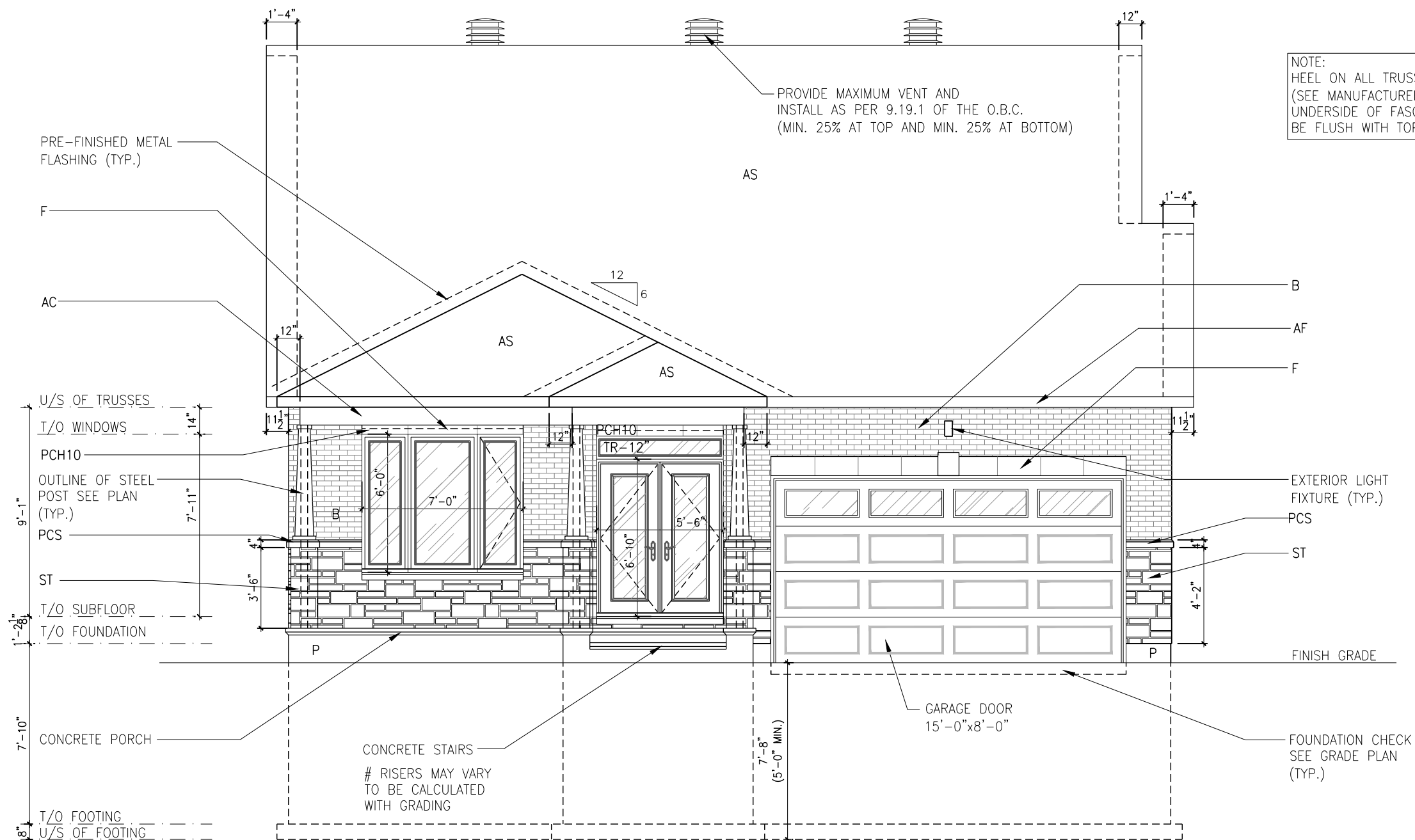
PERCENT GLASS TO WALL AREA = 11.5%

GROSS INSULATED = 285.5 M. SQ.  
WALL AREA

GROSS WINDOW = 33.01 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 11.5%

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



SCALE: 3/16" = 1'-0"



**Valecraft**  
Homes (2019) Limited

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D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

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- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV#  | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

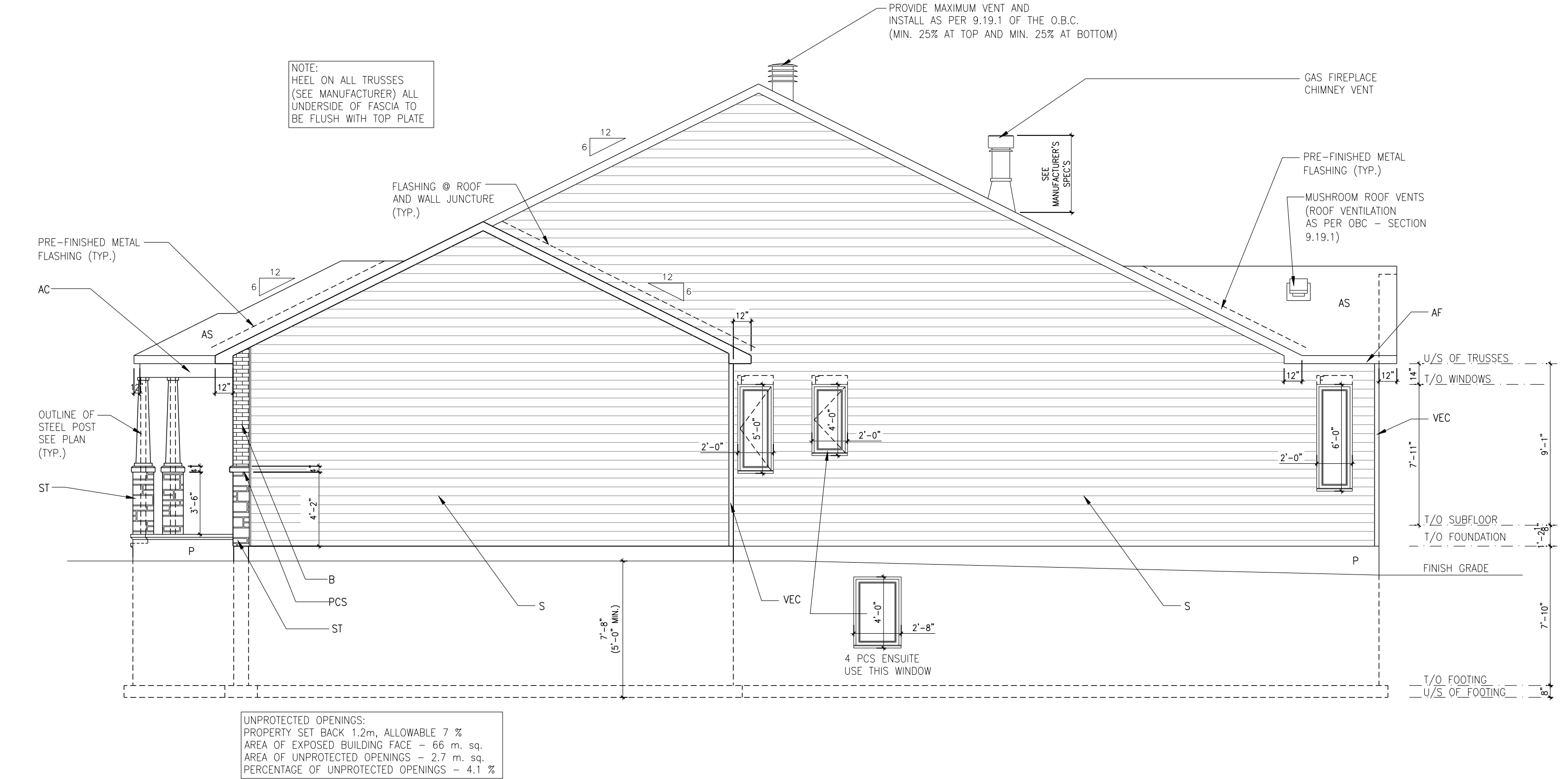
B - BRICK (MAIN)  
B1 - BRICK SOLDIER COURSE (ACCENT)  
B2 - BRICK SOLDIER COURSE (ACCENT)  
+ 20mm PROUD  
B3 - BRICK SLEEPER COURSE  
B4 - STACK BOND (ACCENT)  
B5 - BRICK SILL (ACCENT)  
B6 - BRICK ROW LOCK (ACCENT)  
B7 - BRICK CORRELLING  
B8 - BRICK COINING 20mm PROUD  
+20 - BRICK 20mm PROUD  
-20 - BRICK 20mm RECESSED

S - SIDING (HORIZONTAL)  
ST - STONE VENEER  
T - TRIM 200mm COVE SIDING  
AF - ALUMINUM FASCIA  
AC - ALUMINUM CLADDING  
AB - 48" ALUMINUM BAND  
AS - ASPHALT SHINGLES  
F - FLASHING  
V - ROOF VENT (MAXIMUM)  
P - PARGING  
PC - PARGING  
PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"  
PCS - PRECAST SILL  
PCB - PRECAST BAND  
VS - VINYL SHAKES  
VEC - SIDING (VERTICAL CORNER)

**1026 - THE MEDLEY**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

## A1a



ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| REV-1 | NO. | DESCRIPTION                    | DATE       | BY    |
|-------|-----|--------------------------------|------------|-------|
| 1     | 1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |

EXTERIOR FINISH LEGEND:

B - BRICK (MAIN)  
B1 - BRICK SOLDIER COURSE (ACCENT)  
B2 - BRICK SOLDIER COURSE (ACCENT)  
+ 20mm PROUD  
B3 - BRICK SLEEPER COURSE  
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2012 O.B.C. DRAWINGS

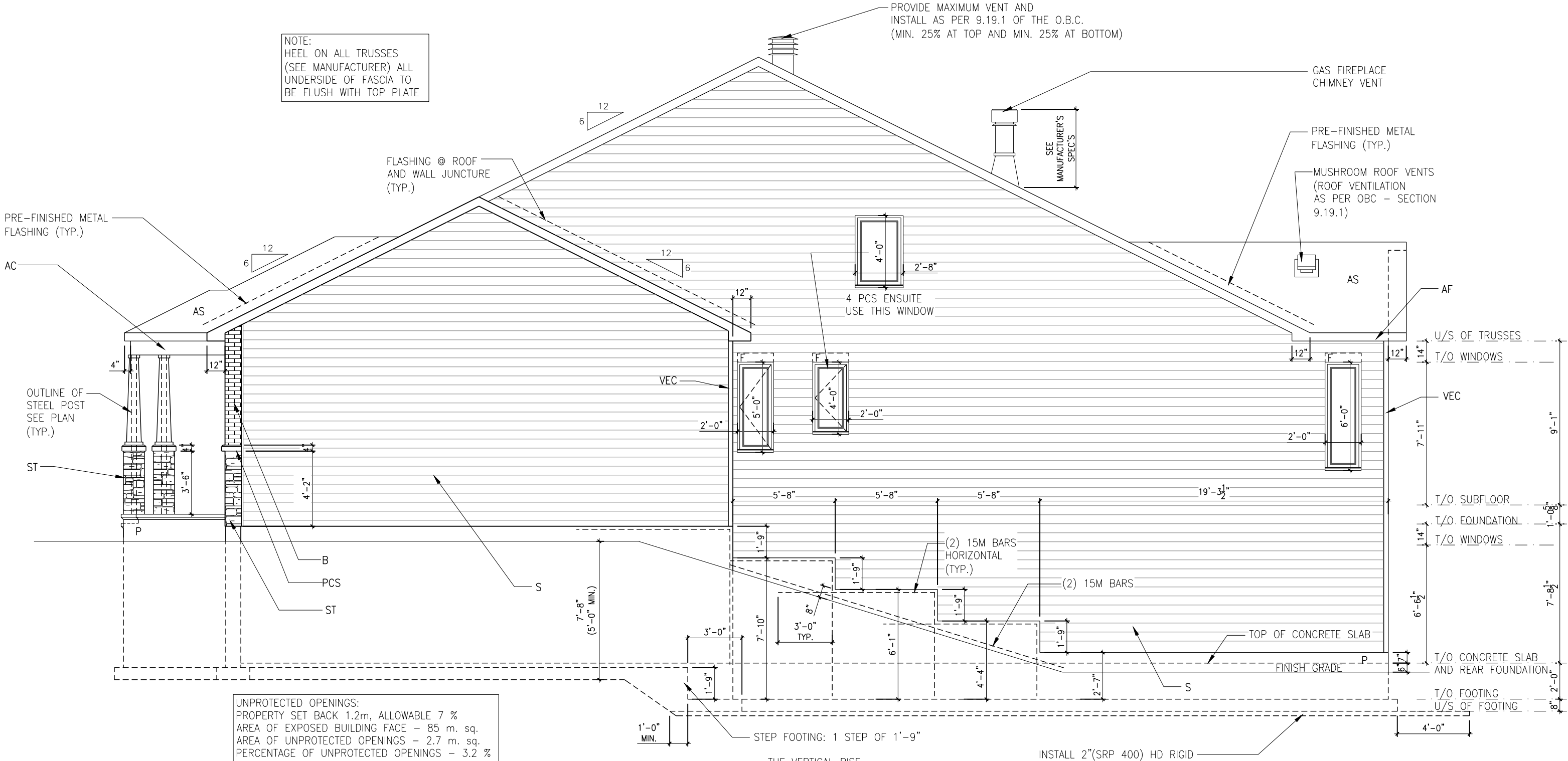
DRAWING: ELEVATION A - RIGHT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A2a

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 85 m. sq.  
AREA OF UNPROTECTED OPENINGS - 2.7 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 3.2 %

– THE VERTICAL RISE  
BETWEEN HORIZONTAL PORTIONS  
SHALL NOT EXCEED 23 5/8".

– THE HORIZONTAL DISTANCE  
BETWEEN RISERS SHALL NOT  
BE LESS THAN 23 5/8".

INSTALL 2"(SRP 400) HD RIGID  
INSULATION FROST  
PROTECTION IF UNDERSIDE  
OF FOOTINGS ARE LESS  
THEN 5'-0" BELOW FINISH  
GRADE

WALK-OUT BASEMENT - ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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+20 - BRICK 20mm PROUD  
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AF - ALUMINUM FASCIA  
AB - 48" ALUMINUM BAND  
AS - ASPHALT SHINGLES  
F - FLASHING  
V - ROOF VENT (MAXIMUM)  
P - PARGING  
PC - PARGING  
PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"  
PCS - PRECAST SILL  
PCB - PRECAST BAND  
VS - VINYL SHAKES  
VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT BASEMENT  
ELEVATION A - RIGHT

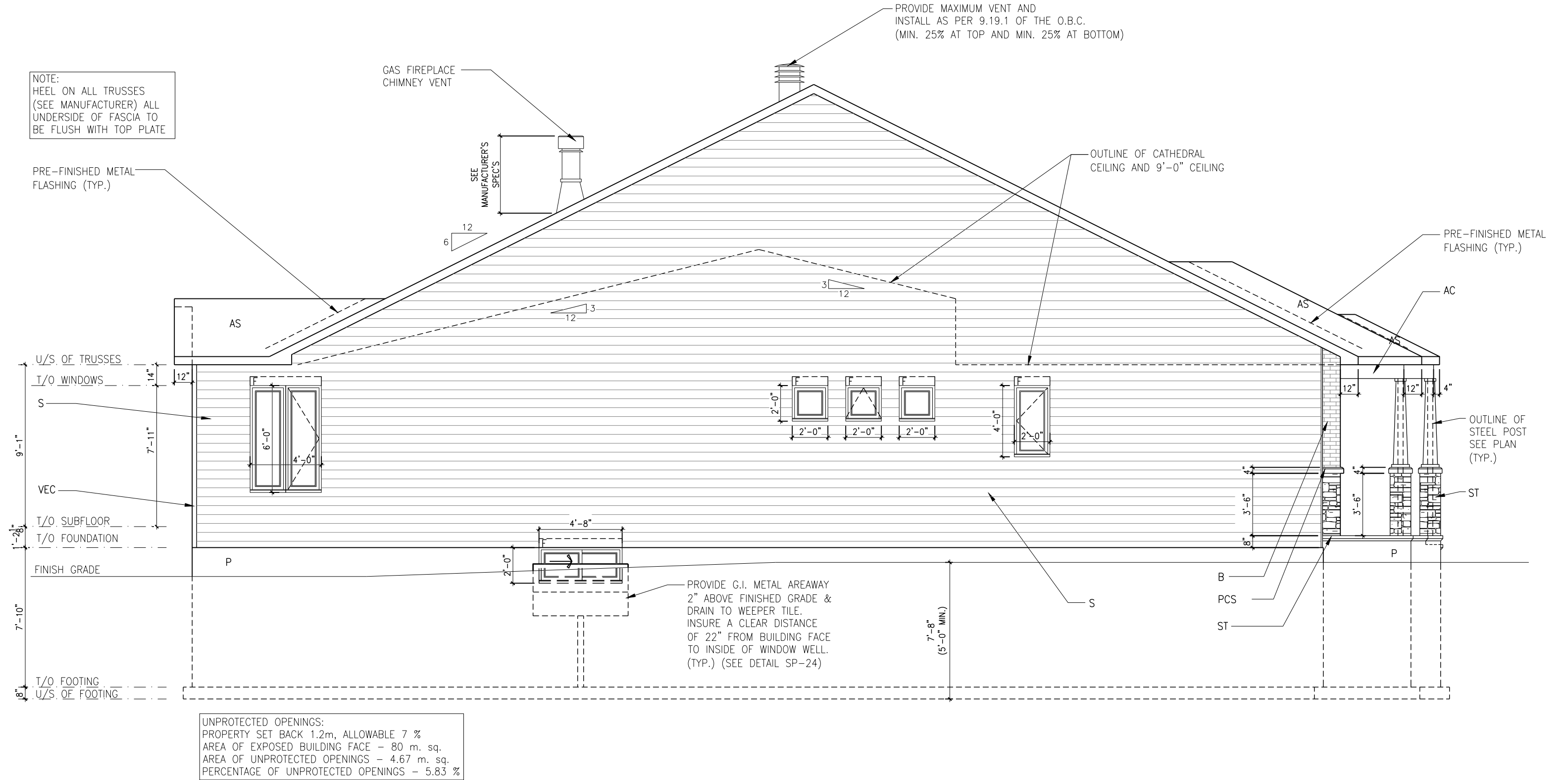
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A2a








ELEVATION A - LEFT (SUNROOM)

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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|                         |                                 |      |                          |     |                            |
|-------------------------|---------------------------------|------|--------------------------|-----|----------------------------|
| EXTERIOR FINISH LEGEND: |                                 |      |                          |     |                            |
| B                       | - BRICK (MAIN)                  | S    | - SIDING (HORIZONTAL)    | PC8 | - PRECAST HEADER 8"        |
| B1                      | - BRICK SOLDIER COURSE (ACCENT) | ST   | - STONE VENEER           | PCS | - PRECAST SILL             |
| B2                      | - BRICK SOLDIER COURSE (ACCENT) | T    | - TRIM 200mm COVE SIDING | PCB | - PRECAST BAND             |
|                         | + 20mm PROUD                    | AF   | - ALUMINUM FASCIA        | VS  | - VINYL SHAKES             |
| B3                      | - BRICK SLEEPER COURSE          | AC   | - ALUMINUM CLADDING      | VEC | - SIDING (VERTICAL CORNER) |
| B4                      | - STACK BOND (ACCENT)           | AB   | - 48" ALUMINUM BAND      |     |                            |
| B5                      | - BRICK SILL (ACCENT)           | AS   | - ASPHALT SHINGLES       |     |                            |
| B6                      | - BRICK ROW LOCK (ACCENT)       | F    | - FLASHING               |     |                            |
| B7                      | - BRICK CORRELLING              | V    | - ROOF VENT (MAXIMUM)    |     |                            |
| B8                      | - BRICK CORNING 20mm PROUD      | P    | - PARGING                |     |                            |
| +20                     | - BRICK 20mm PROUD              | PC   | - PARGING                |     |                            |
| -20                     | - BRICK 20mm RECESSED           | PC10 | - PRECAST HEADER 10"     |     |                            |

2012 O.B.C. DRAWINGS

DRAWING: ELEVATION A - LEFT (SUNROOM)

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1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

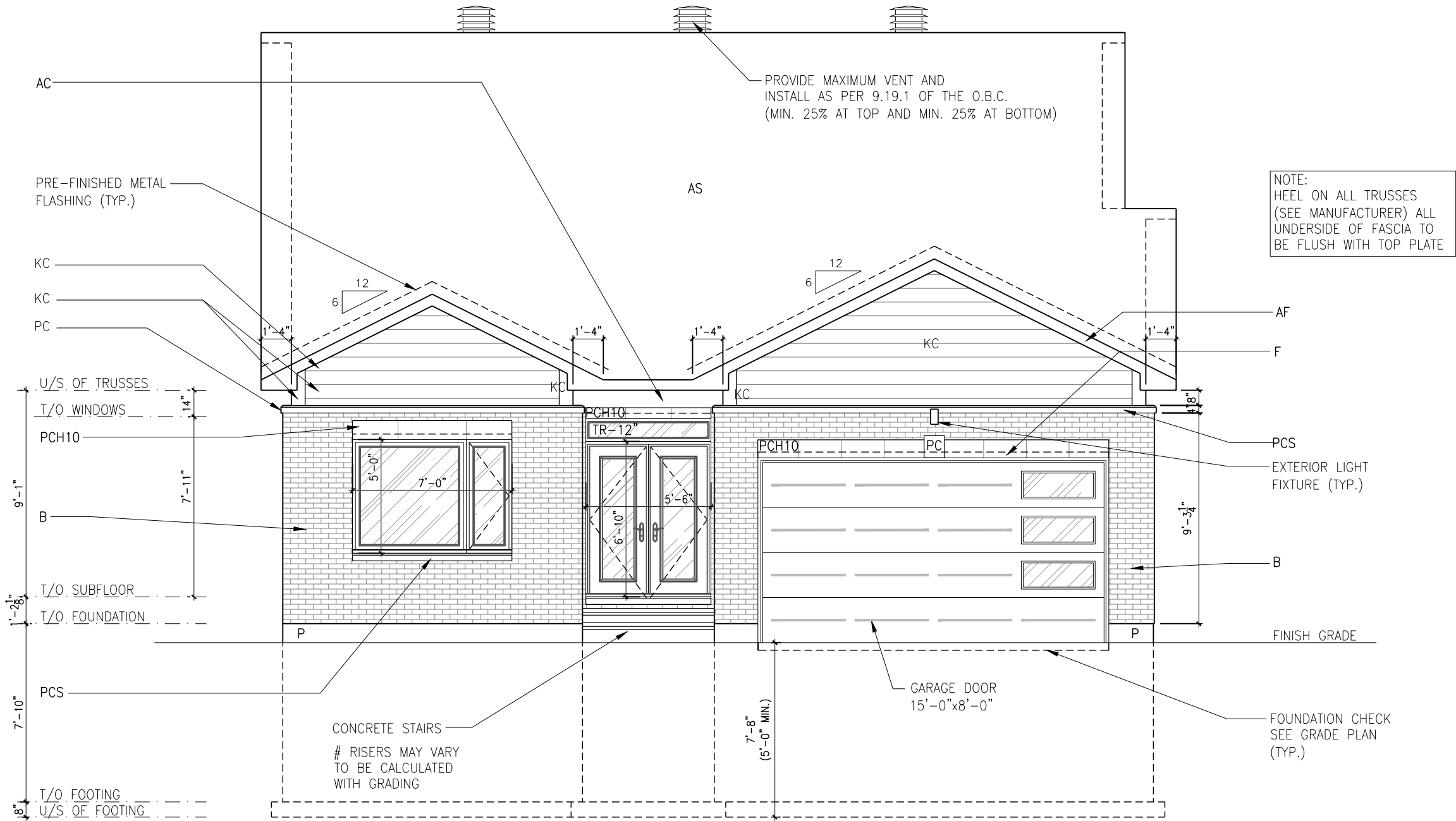
SHEET: A3a



STANDARD PLAN:  
  
GROSS INSULATED = 228 M. SQ.  
WALL AREA  
  
GROSS WINDOW = 24.53 M. SQ.  
AREA  
  
PERCENT GLASS TO WALL AREA = 10.7%

STANDARD PLAN WITH SUNROOM:  
  
GROSS INSULATED = 234.5 M. SQ.  
WALL AREA  
  
GROSS WINDOW = 26.43 M. SQ.  
AREA  
  
PERCENT GLASS TO WALL AREA = 11.3%

STANDARD PLAN WITH WALK-OUT BASEMENT:  
  
GROSS INSULATED = 285.5 M. SQ.  
WALL AREA  
  
GROSS WINDOW = 32.31 M. SQ.  
AREA  
  
PERCENT GLASS TO WALL AREA = 11.3%



ELEVATION B - FRONT  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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- EXTERIOR FINISH LEGEND:
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B1 - BRICK SOLDIER COURSE (ACCENT)

B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD

B3 - BRICK SLEEPER COURSE

B4 - STACK BOND (ACCENT)

B5 - BRICK SILL (ACCENT)

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S - SIDING (HORIZONTAL)

ST - STONE VENEER

T - TRIM 200mm COVE SIDING

AF - ALUMINUM FASCIA

AC - ALUMINUM CLADDING

AB - 48" ALUMINUM BAND

AS - ASPHALT SHINGLES

F - FLASHING

V - ROOF VENT (MAXIMUM)

P - PARGING

PC - PARING

PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"

PCS - PRECAST SILL

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VS - VINYL SHAKES

VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

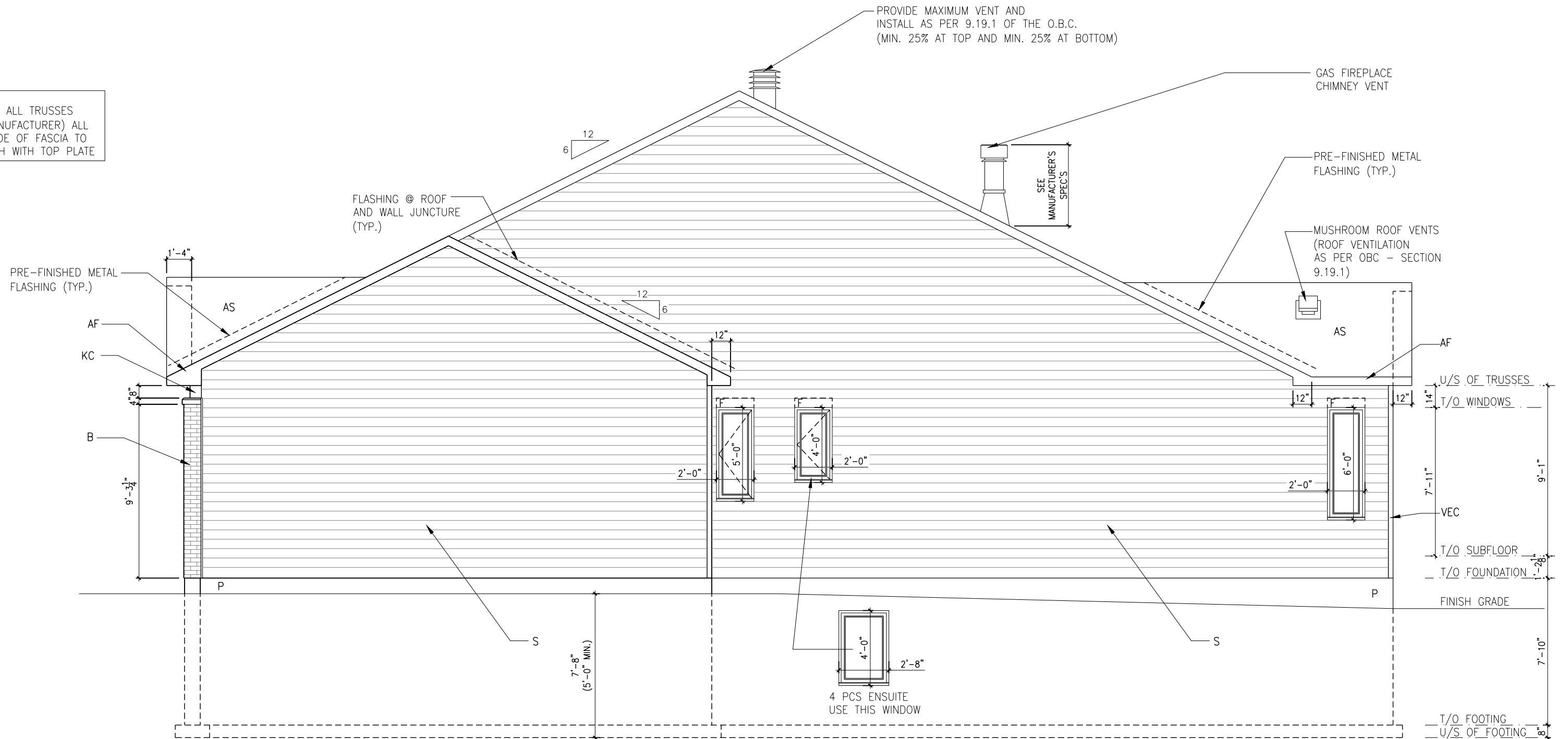
DRAWING: ELEVATION B - FRONT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A1b

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



|                                    |            |
|------------------------------------|------------|
| UNPROTECTED OPENINGS:              |            |
| PROPERTY SET BACK 1.2m, ALLOWABLE  | 7 %        |
| AREA OF EXPOSED BUILDING FACE -    | 66 m. sq.  |
| AREA OF UNPROTECTED OPENINGS -     | 2.7 m. sq. |
| PERCENTAGE OF UNPROTECTED OPENINGS | - 4.1 %    |

### ELEVATION B - RIGHT

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2012 O.B.C. DRAWINGS

**DRAWING:**

**ELEVATION B - RIGHT**

ADDRESS: XX

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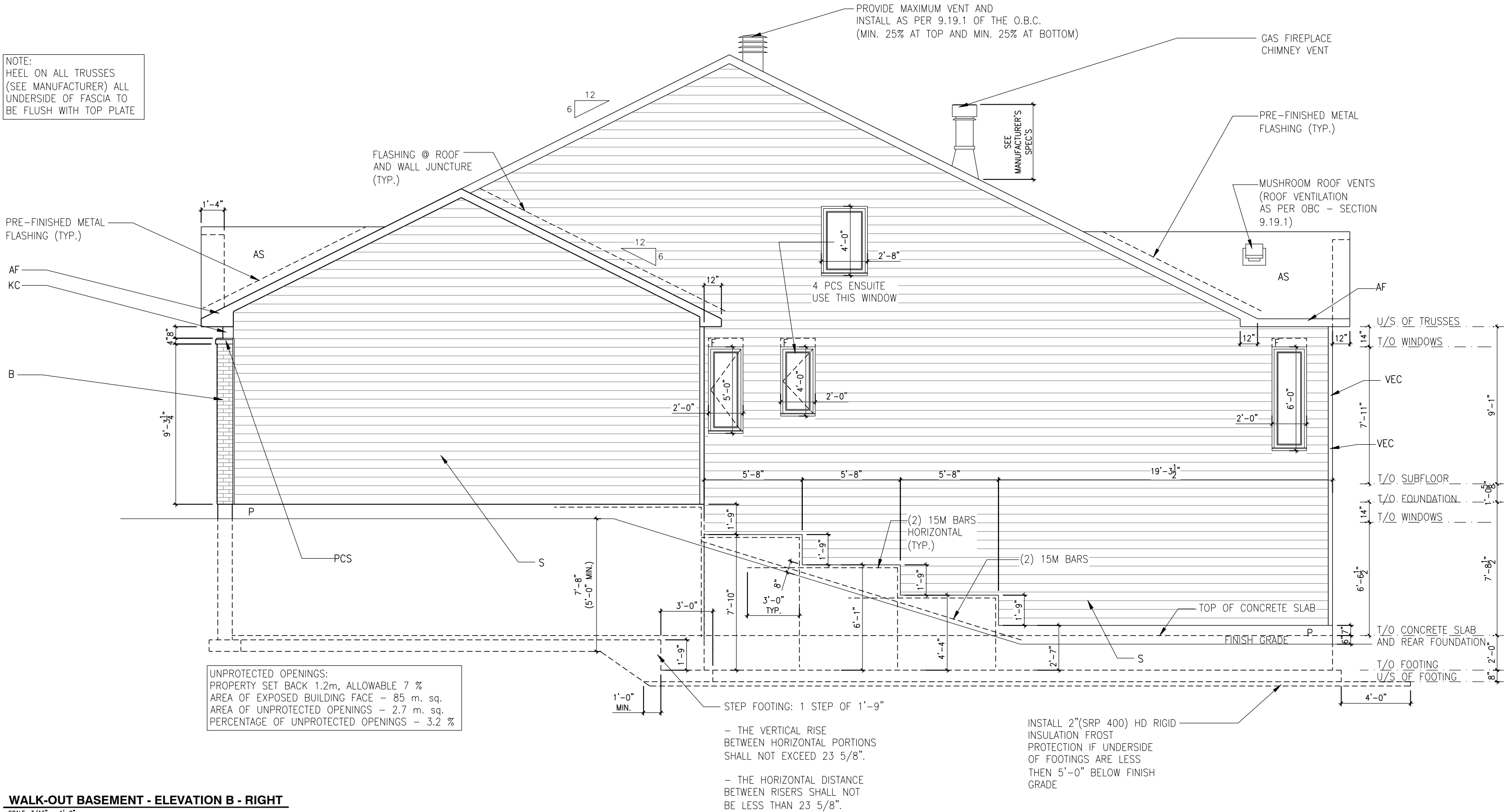
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# 1026 - THE MEDLEY 2022 FOOTPRINT

(STANDARD DRAWINGS)

## A2b

NOTE:  
HEEL ON ALL TRUSSES  
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UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



### WALK-OUT BASEMENT - ELEVATION B - RIGHT

SCALE:  $3/16" = 1'-0"$

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**



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2012 O.B.C. DRAWINGS

DRAWING: **WALK-OUT BASEMENT  
ELEVATION B - RIGHT**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

## 1026 - THE MEDLEY

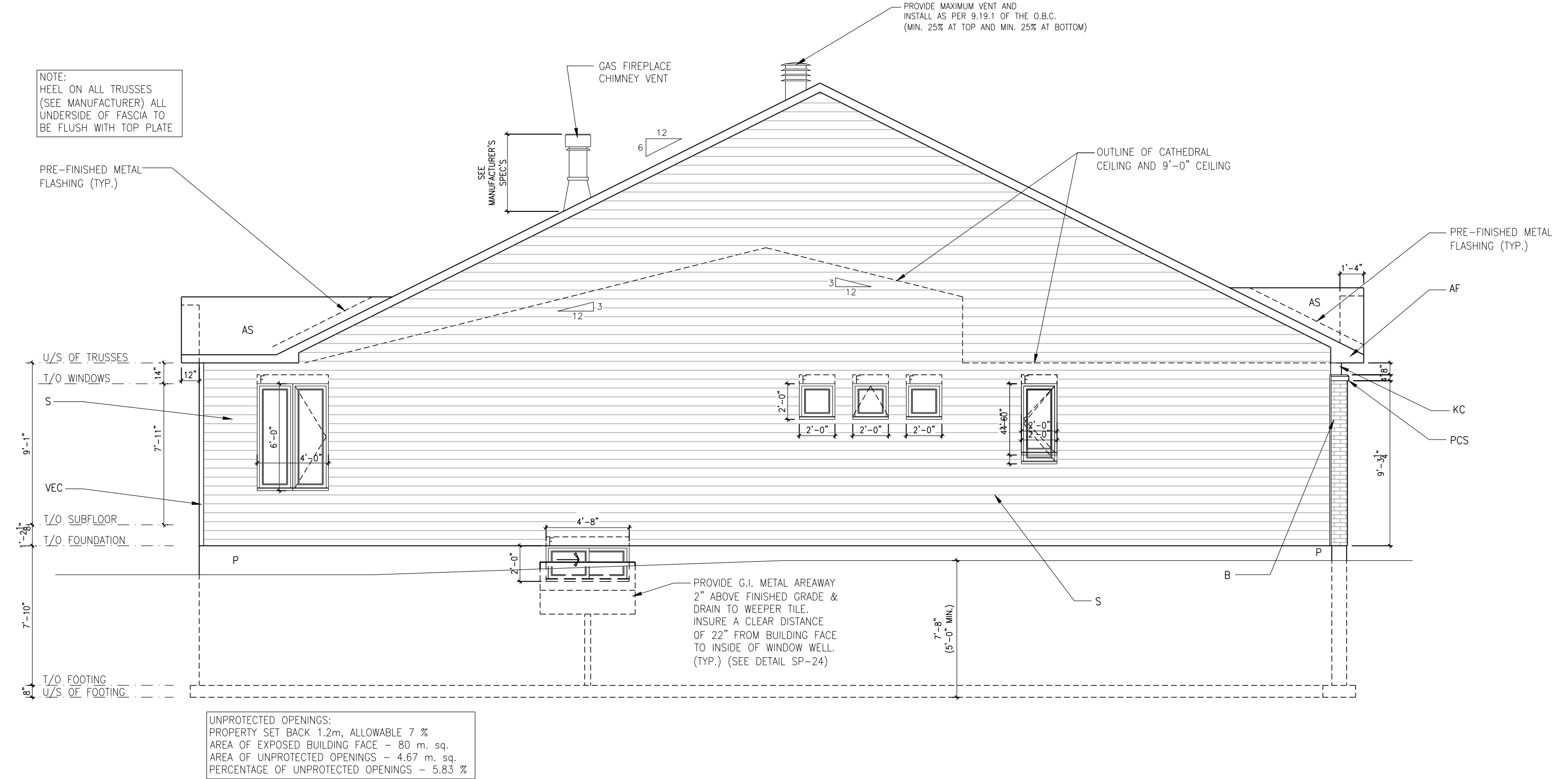
### 2022 FOOTPRINT

(STANDARD DRAWINGS)

MEET:

## A2b





ELEVATION B - LEFT (SUNROOM)

LOT: XXXX  
DATE: XX/XX/XXXX



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|   |                                |            |       |
|---|--------------------------------|------------|-------|
| I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #44555  |                                |            |       |
| - TARIION REGISTRATION NUMBER #611  |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **  |                                |            |       |
| REV-1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

- EXTERIOR FINISH LEGEND:
- |                                    |                            |                                |
|------------------------------------|----------------------------|--------------------------------|
| B - BRICK (MAIN)                   | S - SIDING (HORIZONTAL)    | PCH8 - PRECAST HEADER 8"       |
| B1 - BRICK SOLDIER COURSE (ACCENT) | ST - STONE VENEER          | PCS - PRECAST SILL             |
| B2 - BRICK SOLDIER COURSE (ACCENT) | T - TRIM 200mm COVE SIDING | PCB - PRECAST BAND             |
| + 20mm PROUD                       | AF - ALUMINUM FASCIA       | VS - VINYL SHAKES              |
| B3 - BRICK SLEEPER COURSE          | AC - ALUMINUM CLADDING     | VEC - SIDING (VERTICAL CORNER) |
| B4 - STACK BOND (ACCENT)           | AB - 48" ALUMINUM BAND     |                                |
| B5 - BRICK SILL (ACCENT)           | AS - ASPHALT SHINGLES      |                                |
| B6 - BRICK ROW LOCK (ACCENT)       | F - FLASHING               |                                |
| B7 - BRICK CORBELLING              | V - ROOF VENT (MAXIMUM)    |                                |
| B8 - BRICK CORNING 20mm PROUD      | P - PARGING                |                                |
| +20 - BRICK 20mm PROUD             | PC - PARGING               |                                |
| -20 - BRICK 20mm RECESSED          | PCH10 - PRECAST HEADER 10" |                                |

2012 O.B.C. DRAWINGS

DRAWING: ELEVATION B - LEFT (SUNROOM)

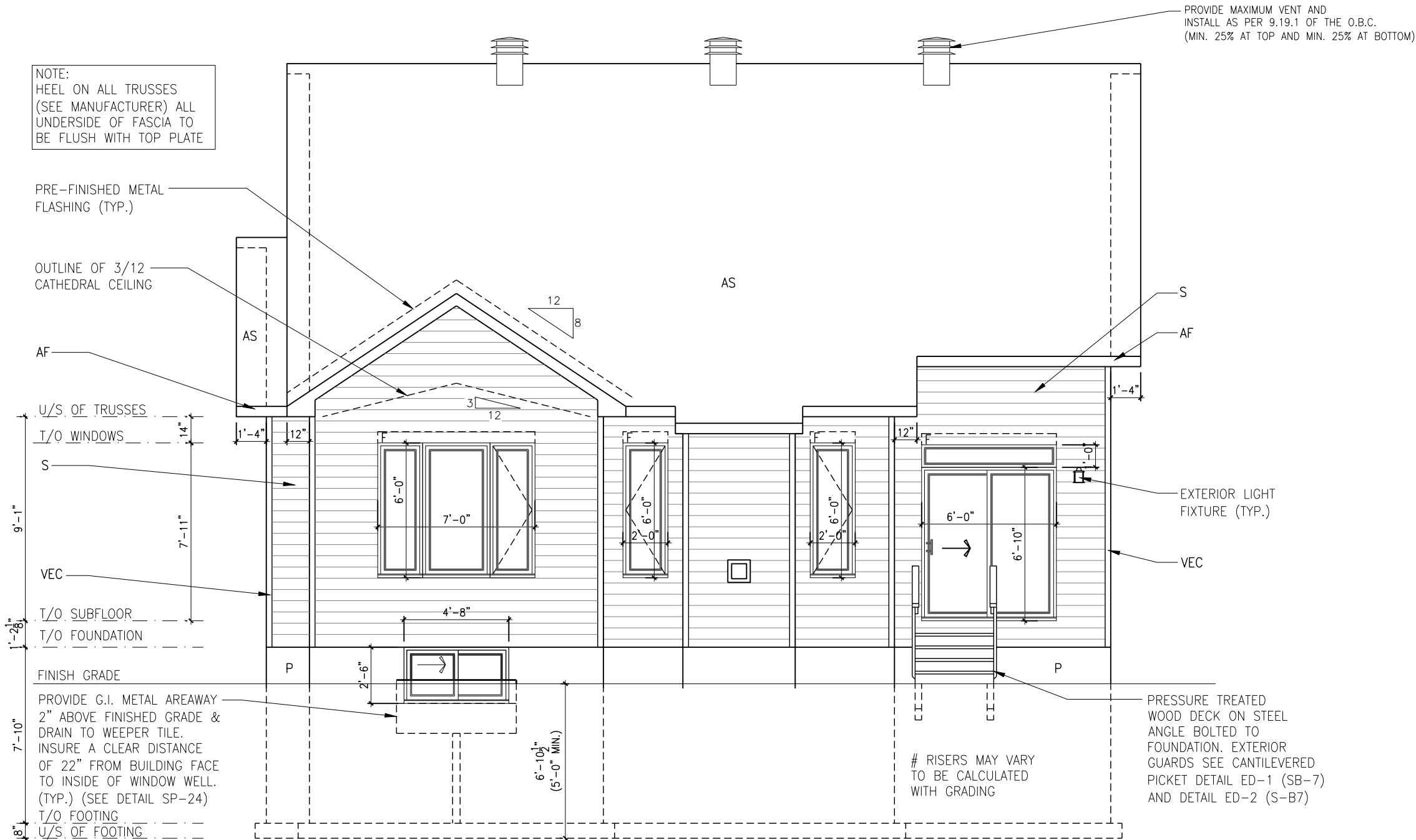
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A3b







ELEVATION A, B - REAR

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |

EXTERIOR FINISH LEGEND:

B - BRICK (MAIN)  
B1 - BRICK SOLDIER COURSE (ACCENT)  
B2 - BRICK SOLDIER COURSE (ACCENT)  
+ 20mm PROUD  
B3 - BRICK SLEEPER COURSE  
B4 - STACK BOND (ACCENT)  
B5 - BRICK SILL (ACCENT)  
B6 - BRICK ROW LOCK (ACCENT)  
B7 - BRICK CORBELLING  
B8 - BRICK CORNING 20mm PROUD  
+20 - BRICK 20mm PROUD  
-20 - BRICK 20mm RECESSED

S - SIDING (HORIZONTAL)  
ST - STONE VENEER  
T - TRIM 200mm COVE SIDING  
AF - ALUMINUM FASCIA  
AC - ALUMINUM CLADDING  
AB - 48" ALUMINUM BAND  
AS - ASPHALT SHINGLES  
F - FLASHING  
V - ROOF VENT (MAXIMUM)  
P - PARGING  
PC - PARGING  
PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"  
PCS - PRECAST SILL  
PCB - PRECAST BAND  
VS - VINYL SHAKES  
VEC - SIDING (VERTICAL CORNER)

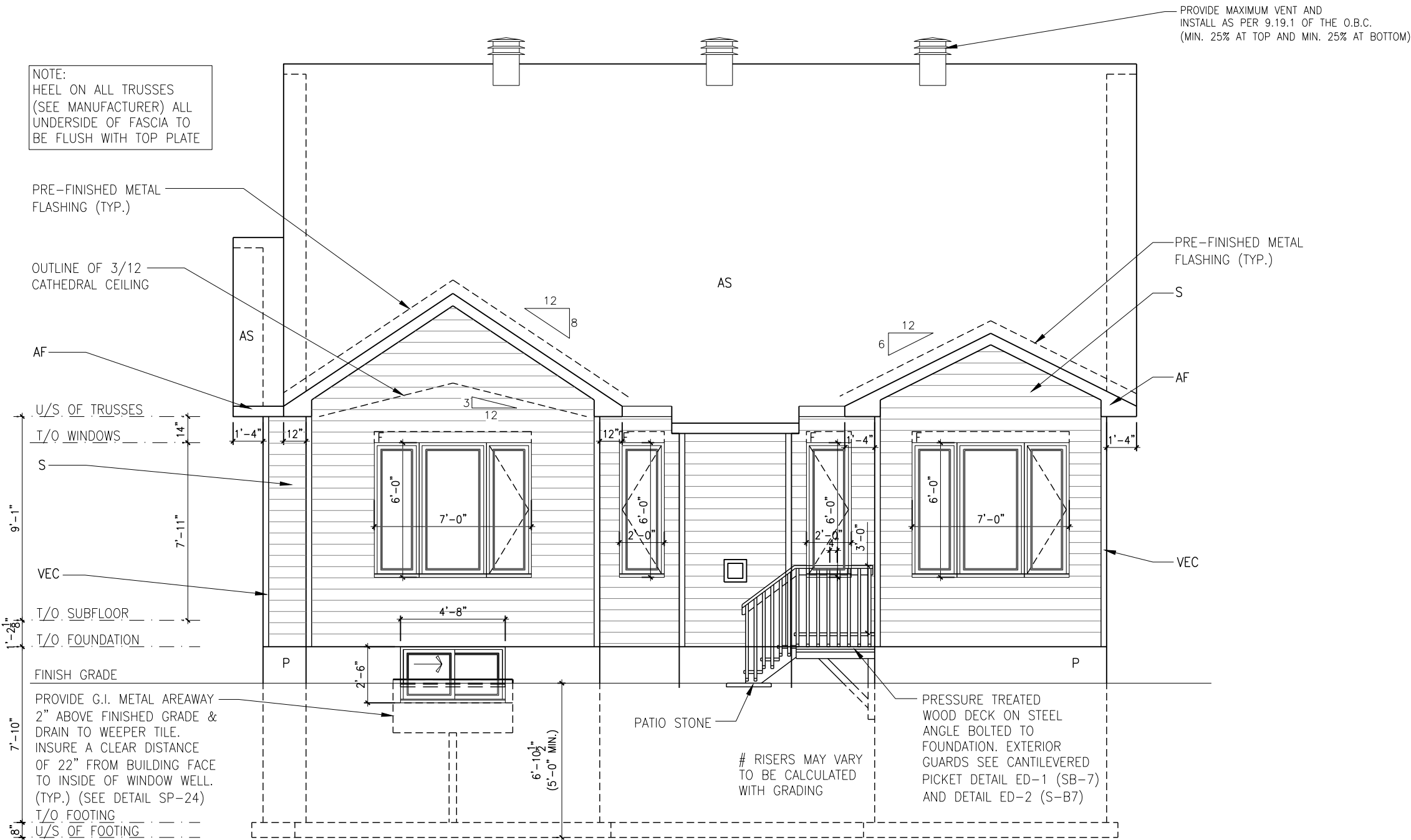
2012 O.B.C. DRAWINGS

DRAWING: ELEVATION A, B - REAR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A4a




ELEVATION A, B - REAR (SUNROOM)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



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| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **  |                                |            |       |
| REV-1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)

B1 - BRICK SOLDIER COURSE (ACCENT)

B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD

B3 - BRICK SLEEPER COURSE

B4 - STACK BOND (ACCENT)

B5 - BRICK SILL (ACCENT)

B6 - BRICK ROW LOCK (ACCENT)

B7 - BRICK CORBELLING

B8 - BRICK CORNING 20mm PROUD

+20 - BRICK 20mm PROUD

-20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)

ST - STONE VENEER

T - TRIM 200mm COVE SIDING

AF - ALUMINUM FASCIA

AC - ALUMINUM CLADDING

AB - 48" ALUMINUM BAND

AS - ASPHALT SHINGLES

F - FLASHING

V - ROOF VENT (MAXIMUM)

P - PARGING

PC - PARGING

PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"

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PCB - PRECAST BAND

VS - VINYL SHAKES

VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

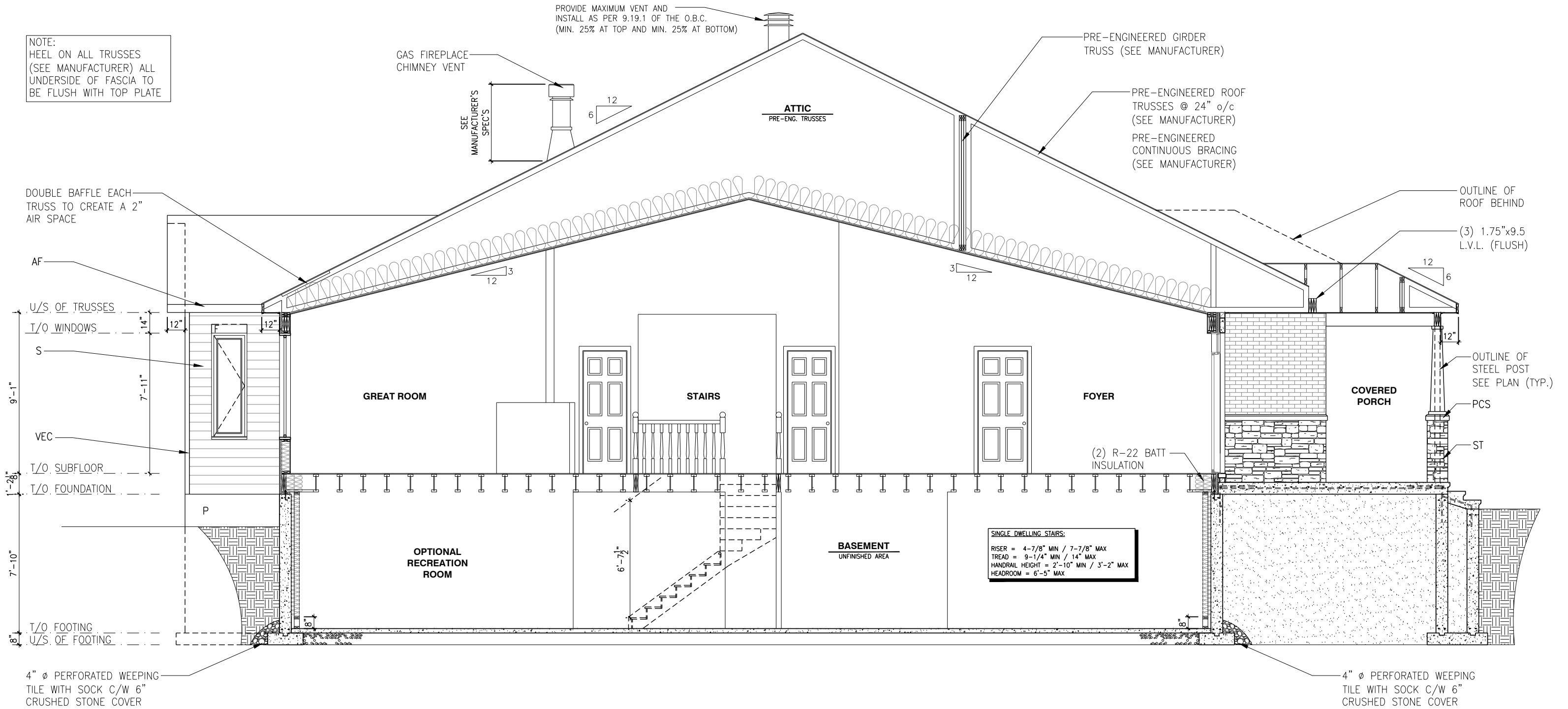
DRAWING: ELEVATION A, B - REAR (SUNROOM)

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A4a






ELEVATION A - BUILDING SECTION

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

Valecraft  
Homes (2019) Limited

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| - PERSONAL BCIN #44555  |                                |            |       |
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| REV-1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)

B1 - BRICK SOLDIER COURSE (ACCENT)

B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD

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B6 - BRICK ROW LOCK (ACCENT)

B7 - BRICK CORRELLING

B8 - BRICK CORNING 20mm PROUD

+20 - BRICK 20mm PROUD

-20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)

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T - TRIM 200mm COVE SIDING

AF - ALUMINUM FASCIA

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AB - 48" ALUMINUM BAND

AS - ASPHALT SHINGLES

F - FLASHING

V - ROOF VENT (MAXIMUM)

P - PARGING

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PCH10 - PRECAST HEADER 10"
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PCS - PRECAST SILL

PCB - PRECAST BAND

VS - VINYL SHAKES

VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

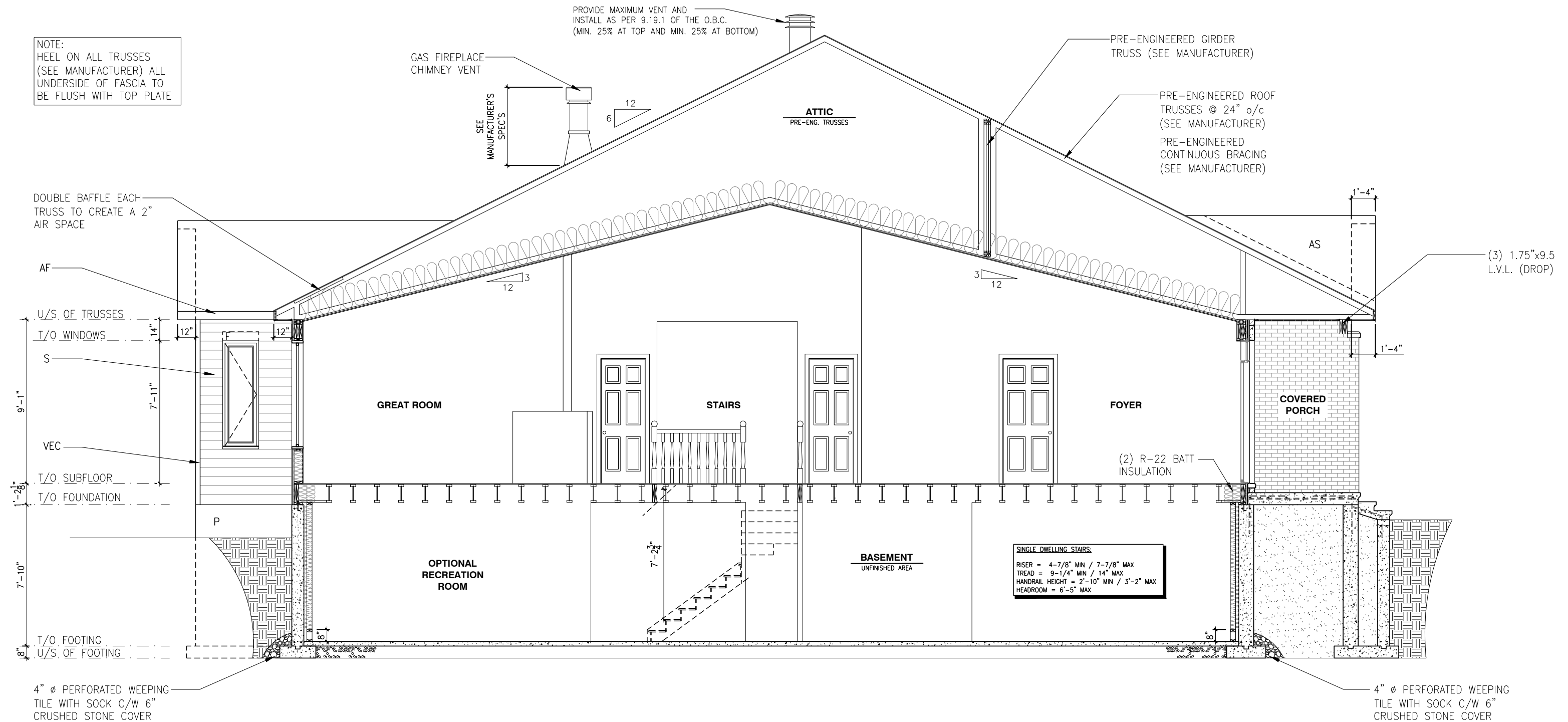
DRAWING: ELEVATION A  
BUILDING SECTION

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

A5a



**LOT:** XXXX  
**DATE:** XX/XX/XXXX

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NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

GAS FIREPLACE  
CHIMNEY VENT

SEE  
MANUFACTURER'S  
SPEC'S

PRE-ENGINEERED GIRDER  
TRUSS (SEE MANUFACTURER)

PRE-ENGINEERED ROOF  
TRUSSES @ 24" o/c  
(SEE MANUFACTURER)  
PRE-ENGINEERED  
CONTINUOUS BRACING  
(SEE MANUFACTURER)

DOUBLE BAFFLE EACH  
TRUSS TO CREATE A 2"  
AIR SPACE

AF

U/S OF TRUSSES  
T/O WINDOWS

S

VEC

T/O SUBFLOOR

T/O FOUNDATION

T/O WINDOWS

T/O CONCRETE SLAB  
AND REAR FOUNDATION

T/O FOOTING

U/S OF FOOTING

GREAT ROOM

STAIRS

FOYER

COVERED  
PORCH

(2) R-22 BATT  
INSULATION

OPTIONAL  
RECREATION  
ROOM

R10 RIGID INSULATION  
AT SLAB EDGE

BASEMENT  
UNFINISHED AREA

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
TREAD = 9-1/4" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
HEADROOM = 6'-5" MAX

4" Ø PERFORATED WEEPING  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

INSTALL 2" HD RIGID  
INSULATION FROST  
PROTECTION IF UNDERSIDE  
OF FOOTINGS ARE LESS  
THEN 5'-0" BELOW FINISH  
GRADE

### WALK-OUT BASEMENT ELEVATION B - BUILDING SECTION

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION                    | DATE       | BY    |
|-------|-----|--------------------------------|------------|-------|
| 1     | 1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |

#### EXTERIOR FINISH LEGEND:

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B2 - BRICK SOLDIER COURSE (ACCENT)  
+ 20mm PROUD  
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PCH10 - PRECAST HEADER 10"

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PCB - PRECAST BAND  
VS - VINYL SHAKES  
VEC - SIDING (VERTICAL CORNER)

#### 2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT - ELEVATION B  
BUILDING SECTION

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

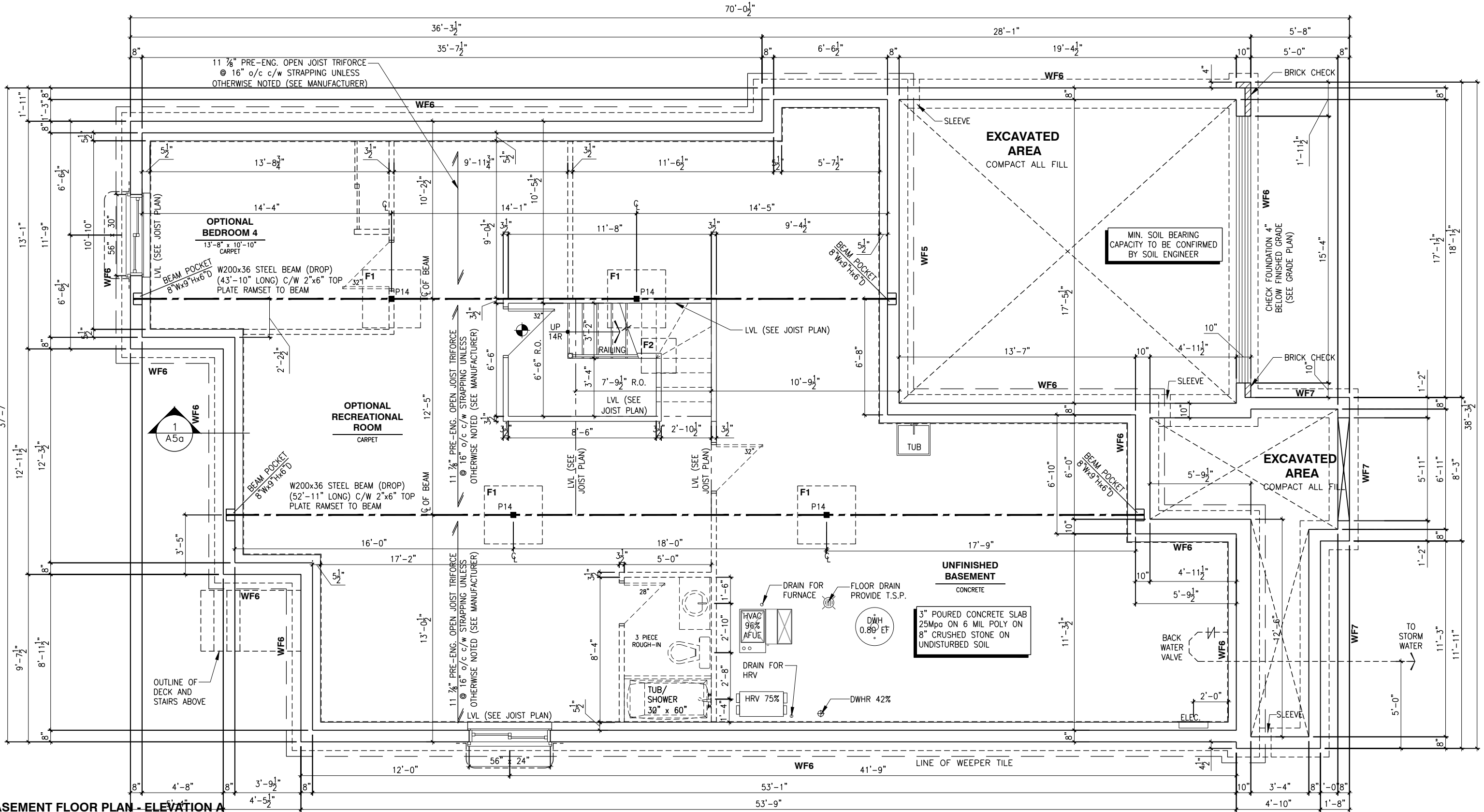
1026 - THE MEDLEY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
A5b







**BASEMENT FLOOR PLAN - ELEVATION A**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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| - PERSONAL BCIN #19896  |                                |            |       |
| - TARIION REGISTRATION NUMBER #611  |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **  |                                |            |       |
| REV-1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

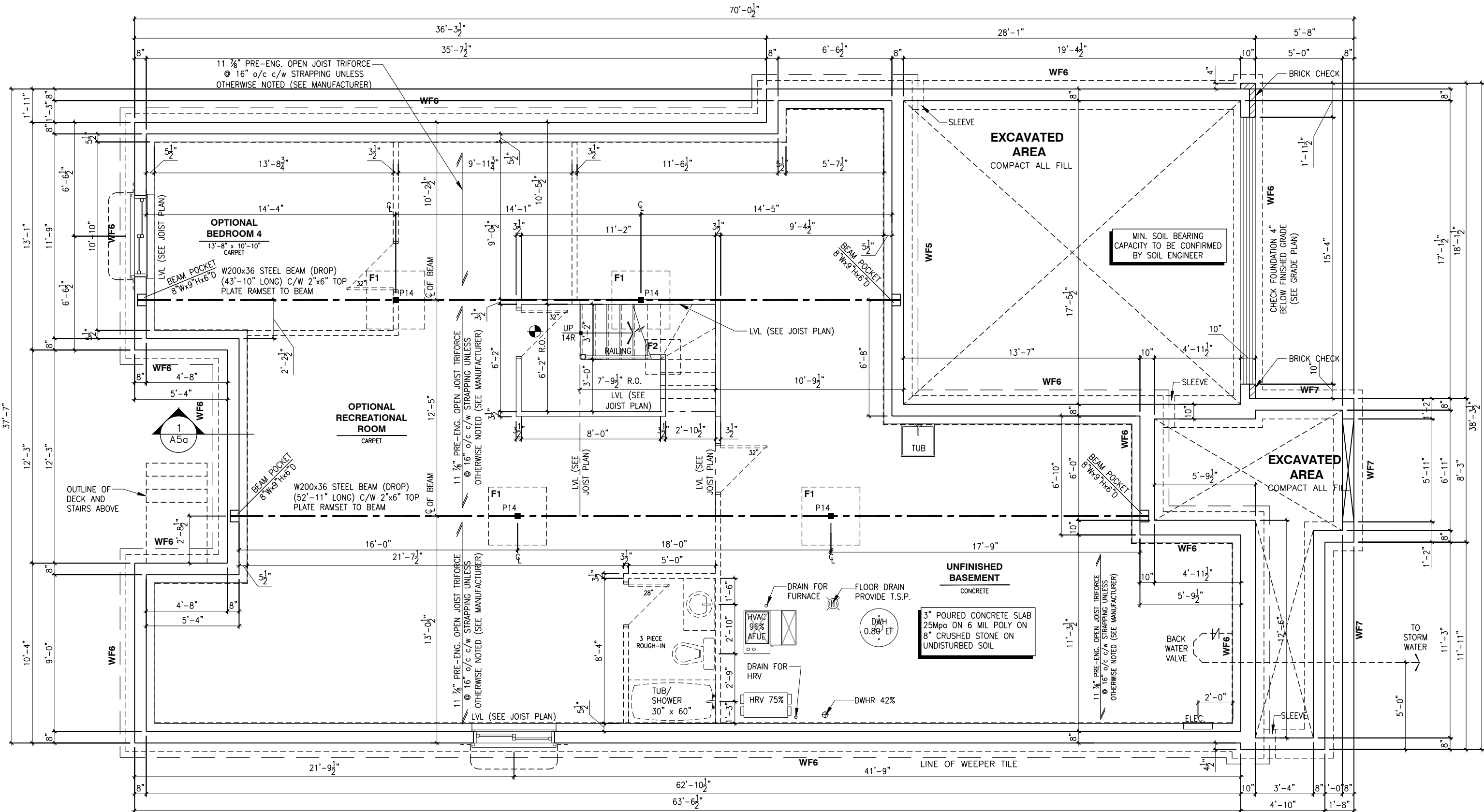
DRAWING: BASEMENT FLOOR - ELEV. A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT

SHEET: A6a


(STANDARD DRAWINGS)



**BASEMENT FLOOR PLAN - SUNROOM - ELEVATION A**



SCALE: 3/16" = 1'-0"

LOT:XXXX  
DATE:XX/XX/XXXX



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| - PERSONAL BCIN #19896<br>- TARIION REGISTRATION NUMBER #611  |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **  |                                |            |       |
| REV-1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

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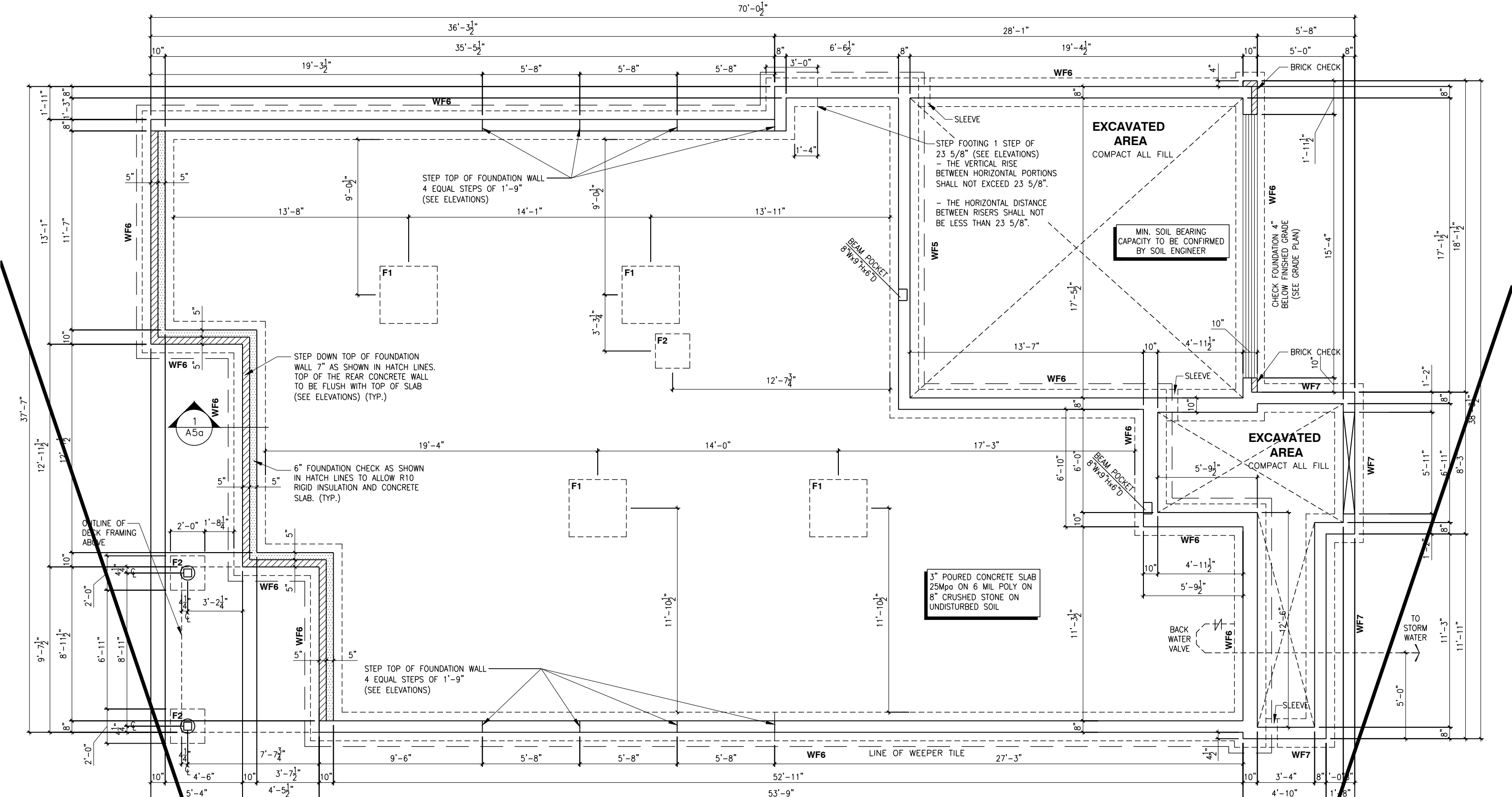
2012 O.B.C. DRAWINGS

DRAWING: BASEMENT FLOOR ELEV. A - SUNROOM

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A6a



WALK-OUT - FOUNDATION LAYOUT PLAN - ELEVATION A  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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DANIEL GUERIN  
ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

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  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
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  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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  - P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
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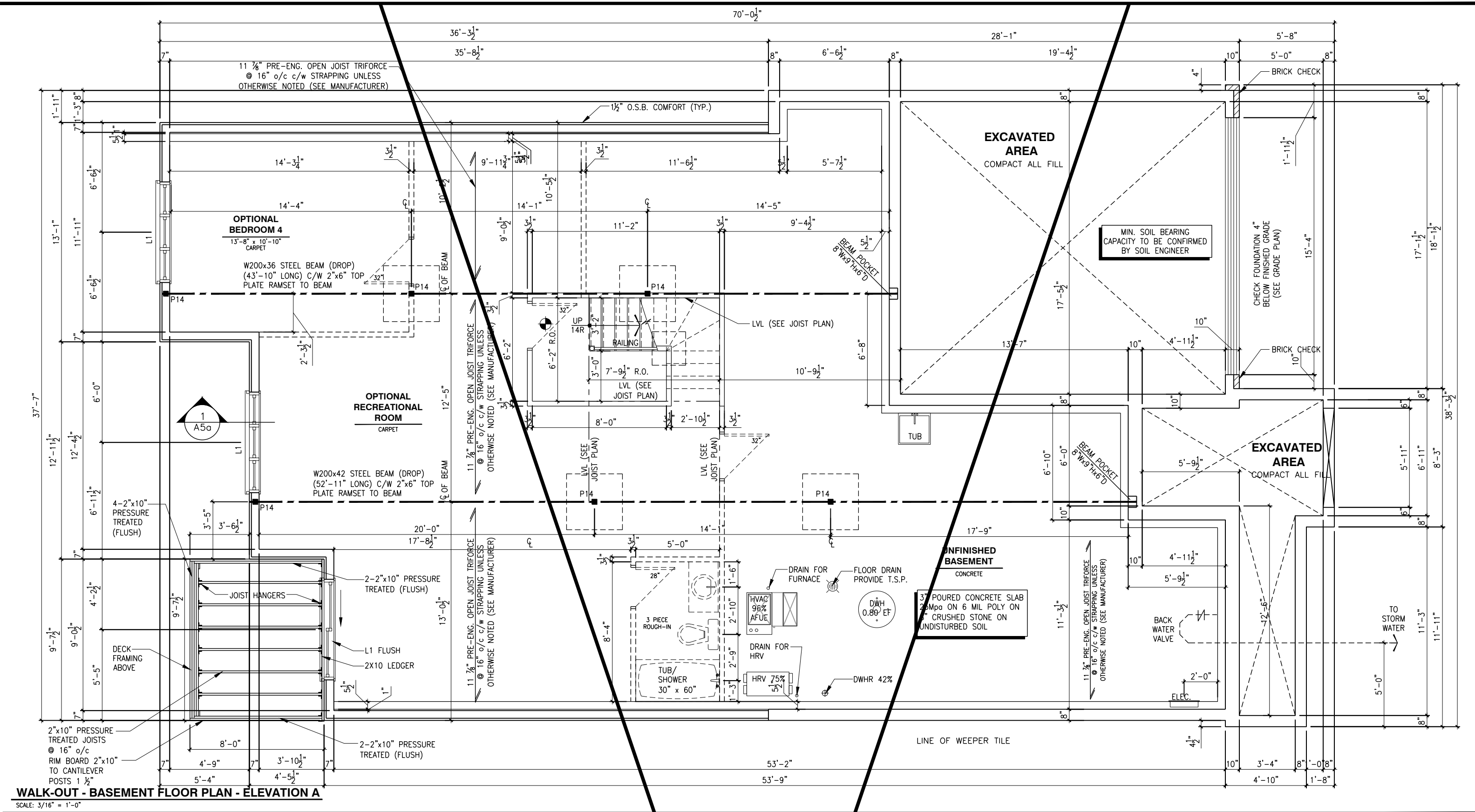
2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT  
FOUNDATION LAYOUT - ELEV. A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A6a



**WALK-OUT - BASEMENT FLOOR PLAN - ELEVATION A**  
SCALE: 3/16" = 1'-0"

**LOT: XXXX**  
**DATE: XX/XX/XXXX**

**Valecraft**  
Homes (2019) Limited

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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

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**STEEL LINTEL:**  
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S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

**LINTEL TABLE:**  
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L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

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**2012 O.B.C. DRAWINGS**

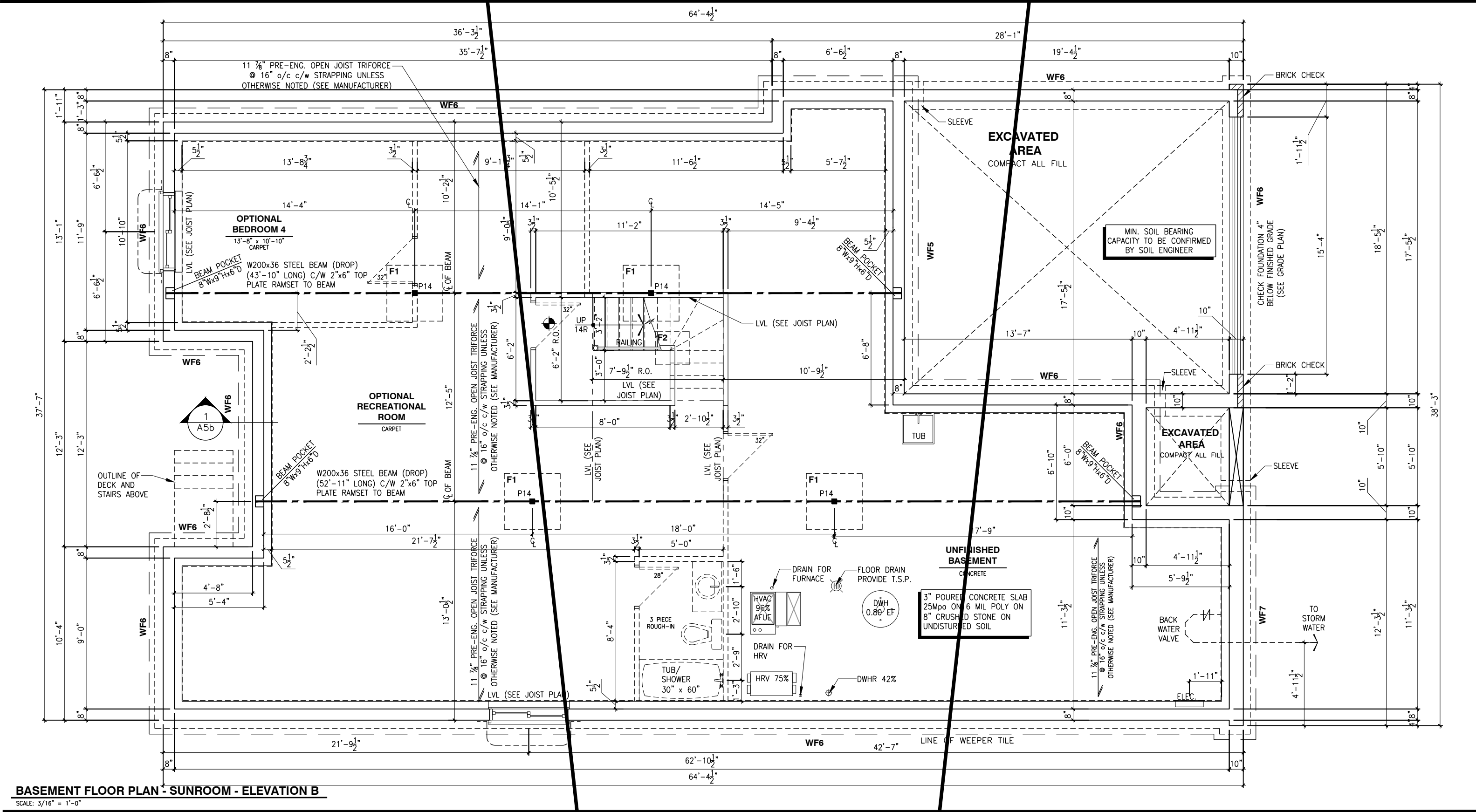
DRAWING: **WALK-OUT BASEMENT FLOOR - ELEV. A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1026 - THE MEDLEY 2022 FOOTPRINT** SHEET: **A6a**

(STANDARD DRAWINGS)





**BASEMENT FLOOR PLAN - SUNROOM - ELEVATION B**  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

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PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE
- STEEL LINTEL:  
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S3 = L 100x90x8  
S4 = L 125x90x8  
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- POST TABLE:  
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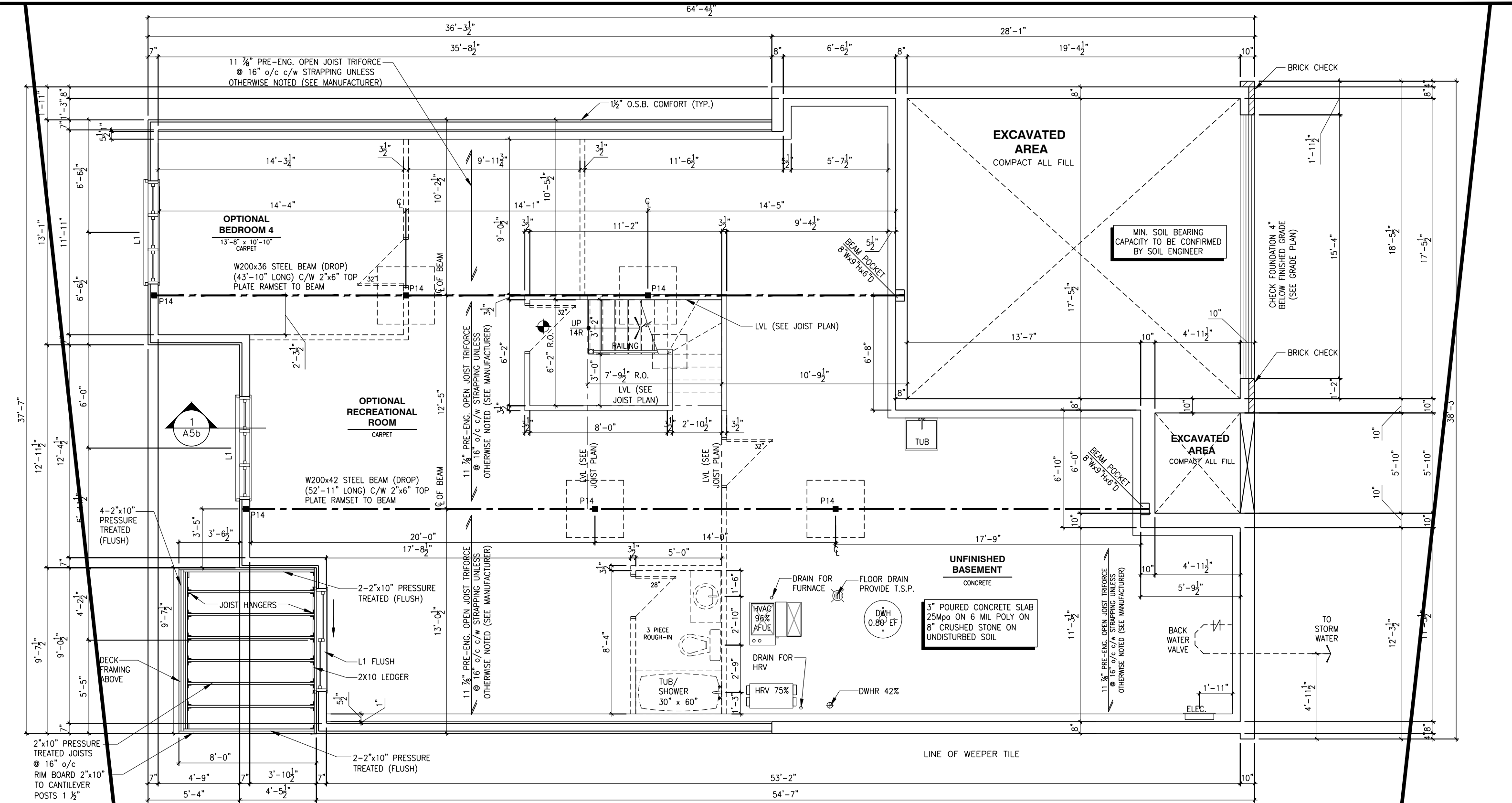
DRAWING: BASEMENT FLOOR ELEV. B - SUNROOM

ADDRESS: XX  
SCALE: 3/16" = 1'-0"  
DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A6b





WALK-OUT - BASEMENT FLOOR PLAN - ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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|                                 |  |
|---------------------------------|--|
| PERSONAL BCIN #19896            |  |
| TARION REGISTRATION NUMBER #611 |  |

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
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| NO.   | DESCRIPTION                    | DATE       | BY    |

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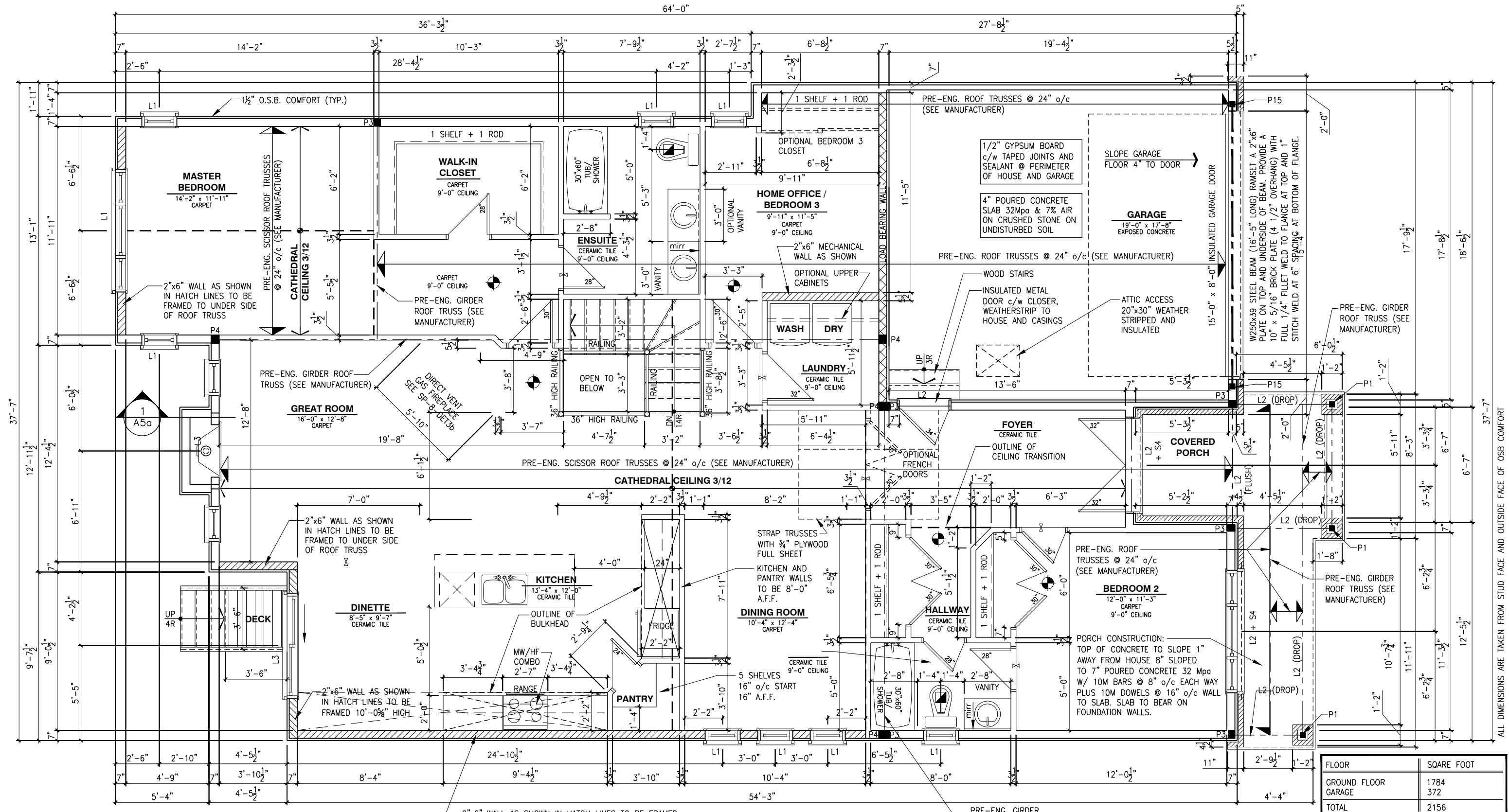
DRAWING: WALK-OUT BASEMENT FLOOR - ELEV. B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A6b





GROUND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

LOT: XXXX

DATE: XX/XX/XXXX

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| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
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| NO.  | DESCRIPTION                    | DATE       | BY    |

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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

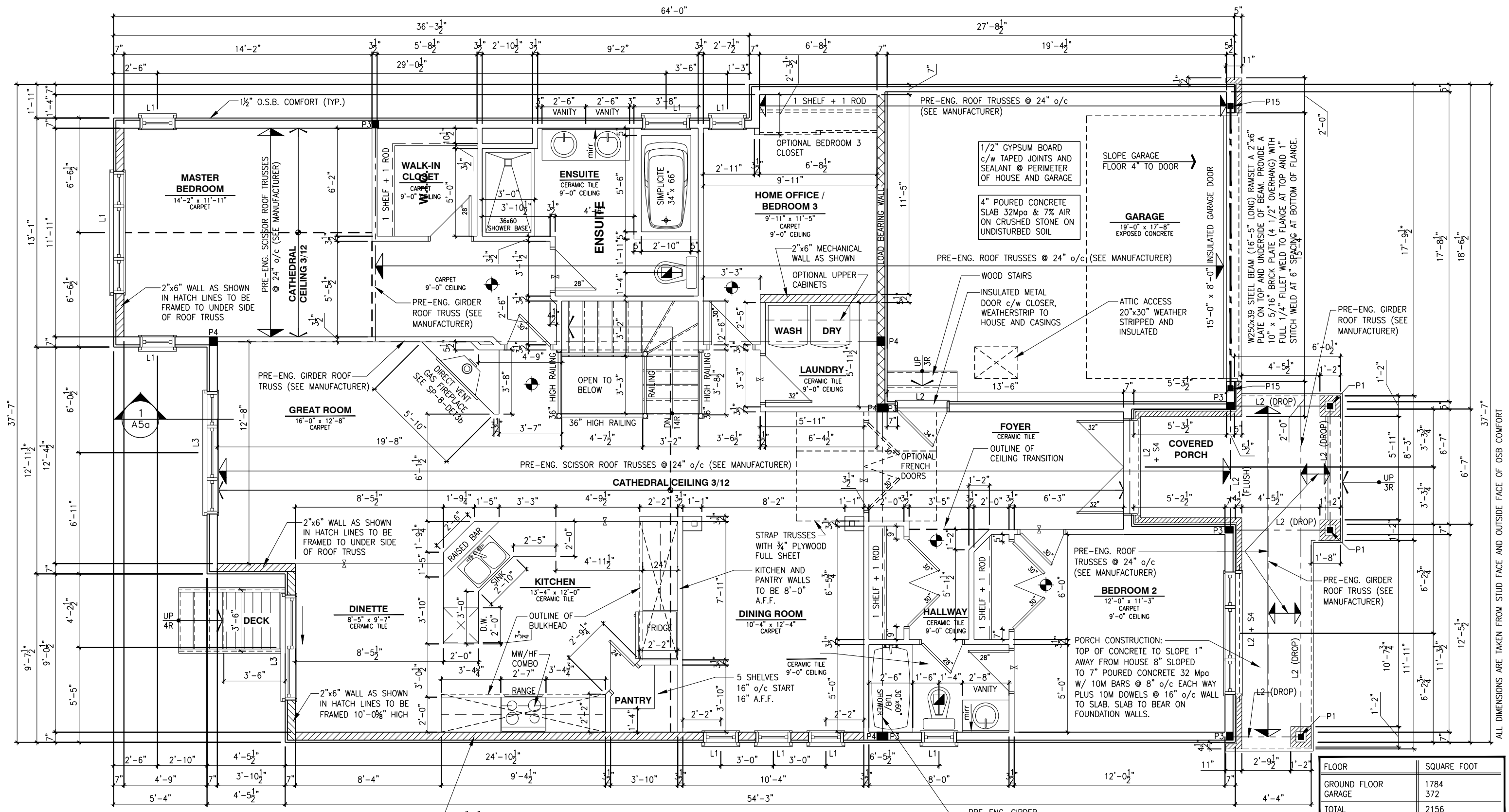
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7a



GROUND FLOOR PLAN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE
- STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

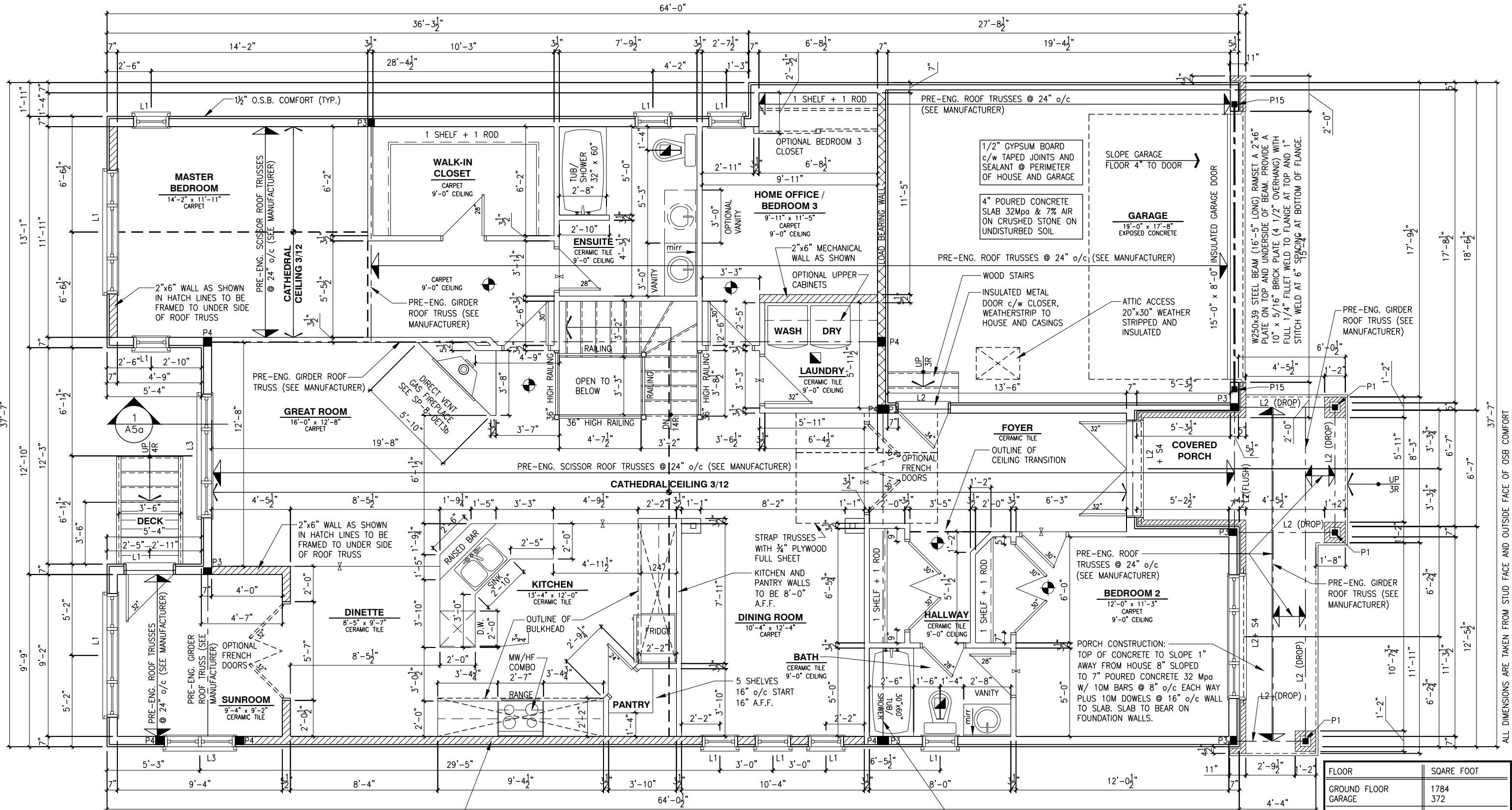
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - ELEV. A (ENSUITE UPGARDE)

ADDRESS: XX      SCALE: 3/16" = 1'-0"      DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7a



GROUND FLOOR PLAN - ELEVATION A (SUNROOM UPGRADE)

SCALE: 3/16" = 1'-0"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

|   |                                |            |       |
|---|--------------------------------|------------|-------|
| I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #44555  |                                |            |       |
| - TARIION REGISTRATION NUMBER #611  |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **  |                                |            |       |
| REV-2   | AS PER STRUCTURAL REVIEW       | 09/17/2018 | VH    |
| REV-1   | NEW STANDARD DRWG MODIFICATION | 15/01/2018 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

- ☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89.9x89.9x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

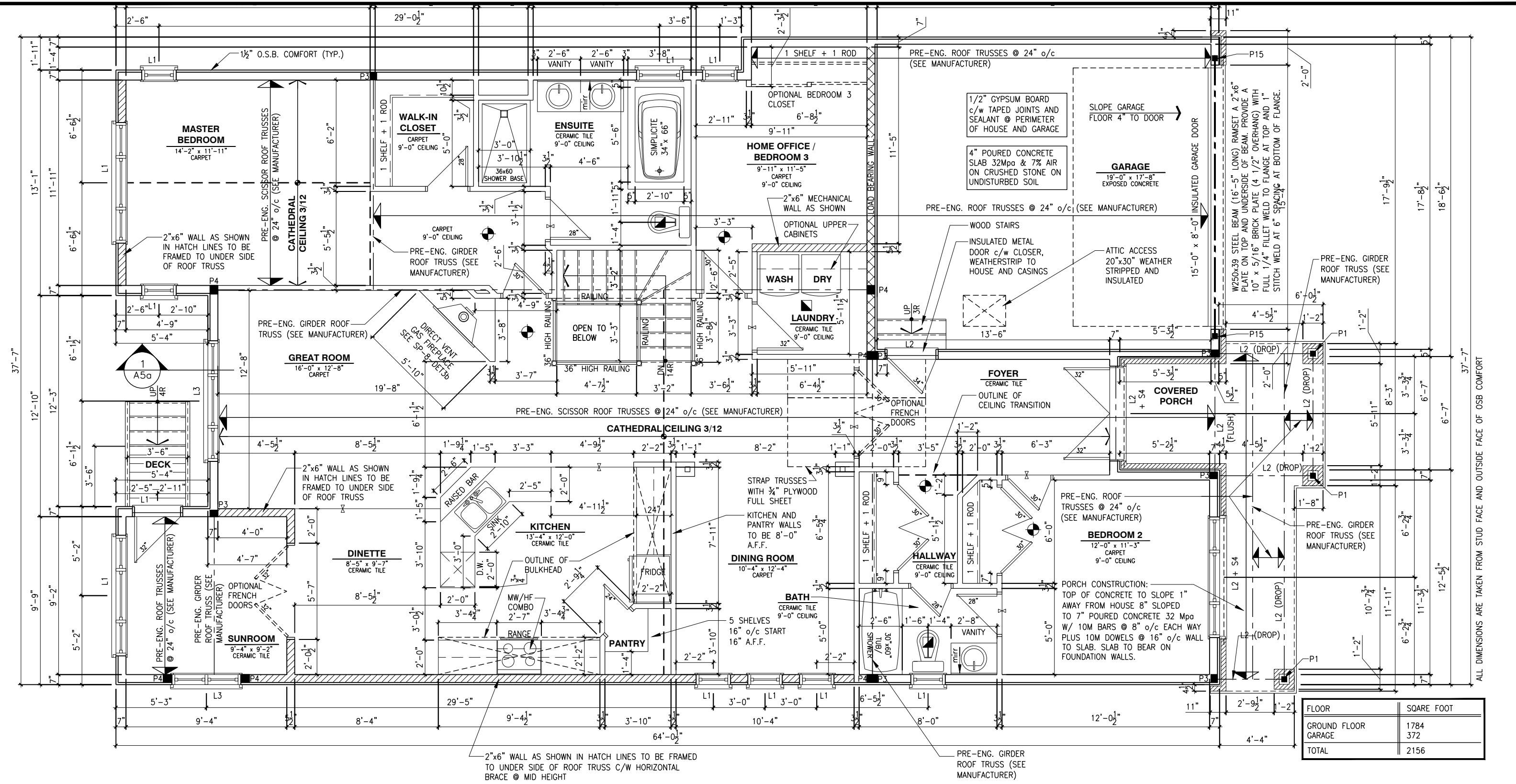
DRAWING: GROUND FLOOR - ELEV. A (SUNROOM UPGARDE)

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1026 - THE MEDLEY 2018 FOOTPRINT

SHEET: A7a

(STANDARD DRAWINGS)



GROUND FLOOR PLAN - ELEVATION A (SUNROOM / ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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    - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
    - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
    - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
    - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
  - PROVIDE MECHANICAL EXHAUST TO OUTSIDE
- STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:  
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POST BY USP
- P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
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- (\*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)
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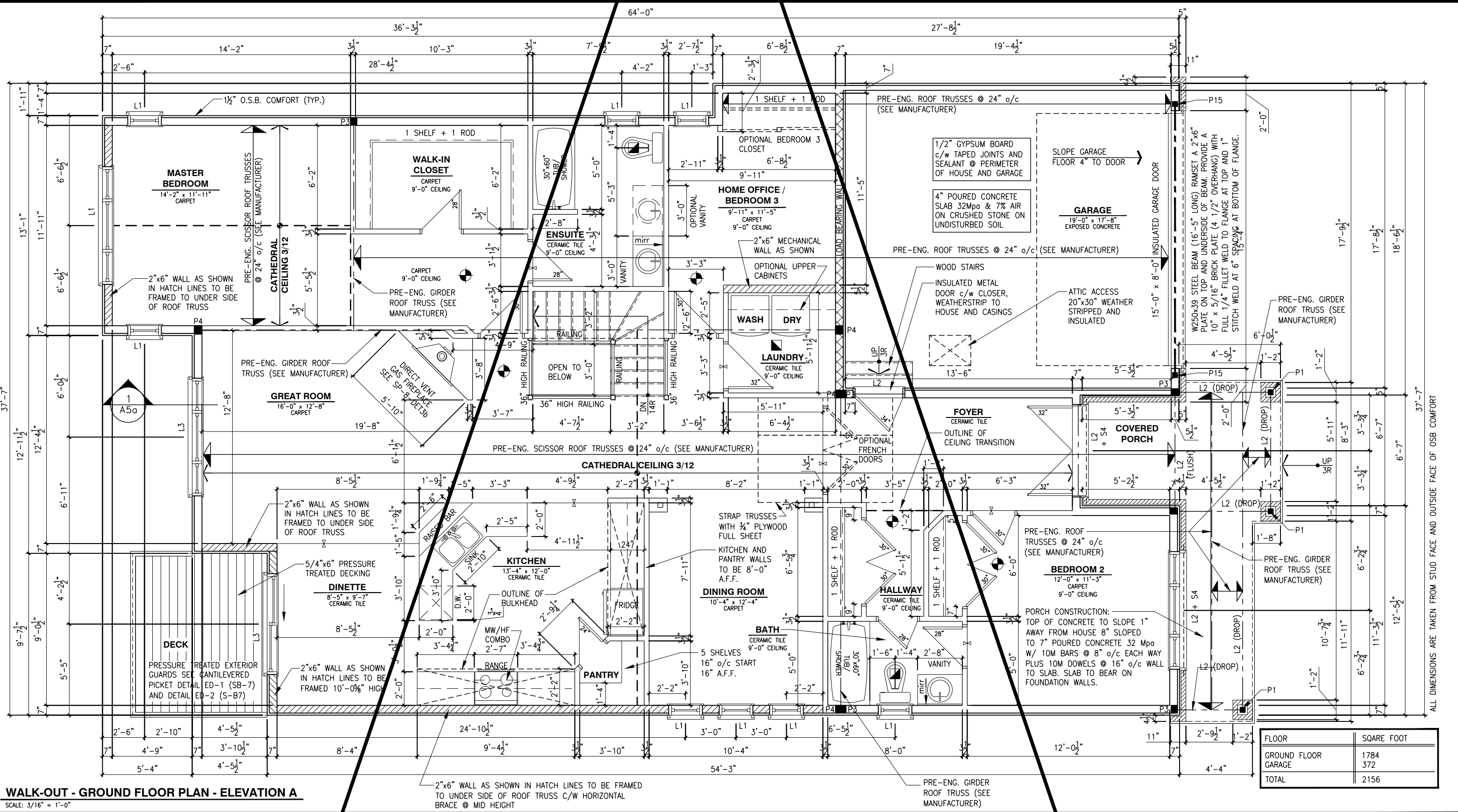
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - ELEV. A (SUNROOM / ENSUITE UPGARDE)

ADDRESS: XX    SCALE: 3/16" = 1'-0"    DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7a



WALK-OUT - GROUND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
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P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
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\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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2012 O.B.C. DRAWINGS

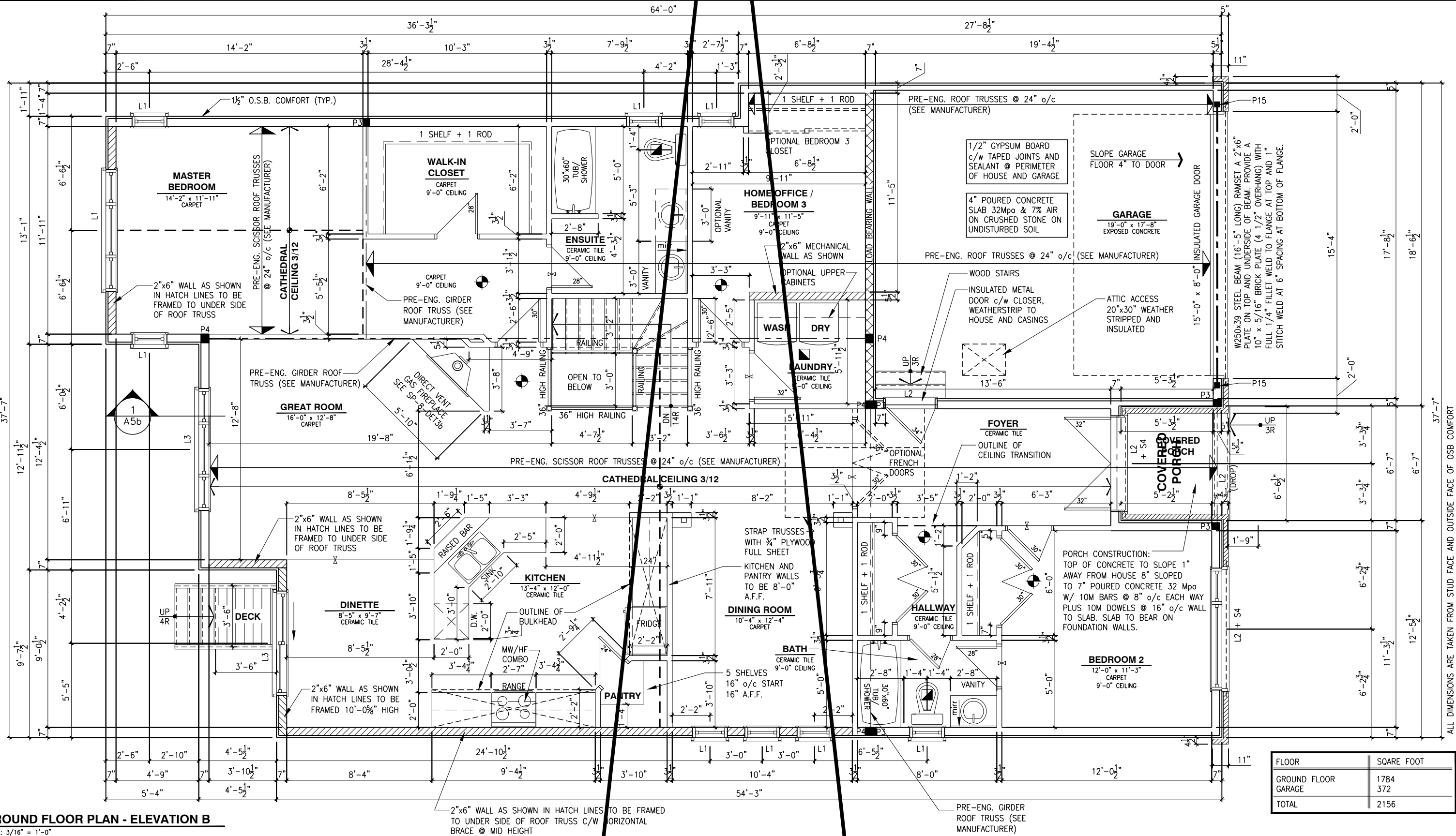
DRAWING: WALK-OUT  
GROUND FLOOR - ELEV. A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7a

ALL DIMENSIONS ARE TAKEN FROM STUD FACE AND OUTSIDE FACE OF OSB COMFORT



GROUND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

LOT: XXXX  
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
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P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
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P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
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\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

2012 O.B.C. DRAWINGS

DRAWING:

GROUND FLOOR - ELEV. B

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT

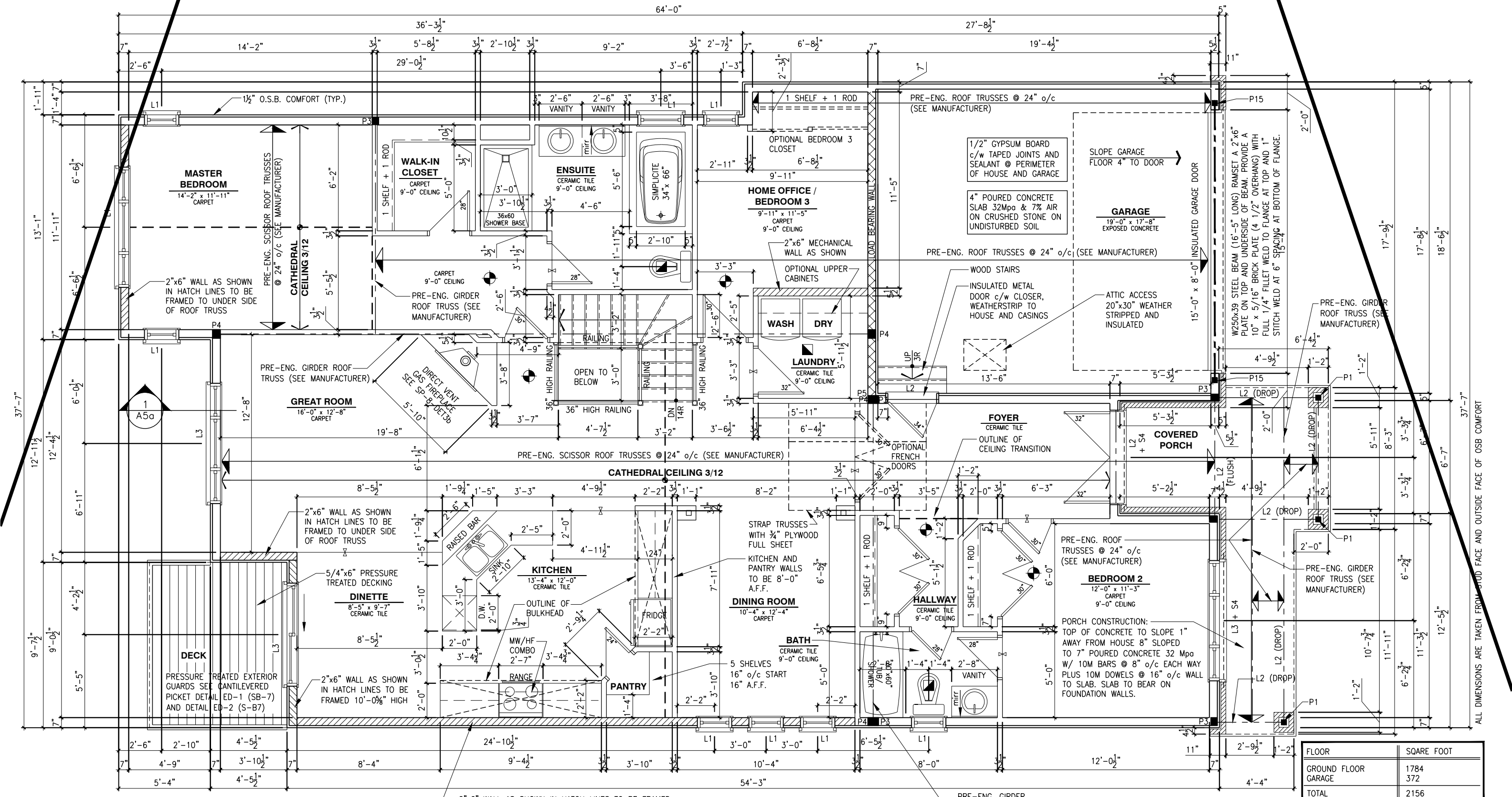
(STANDARD DRAWINGS)

SHEET:

A7b

ALL DIMENSIONS ARE TAKEN FROM STUD FACE AND OUTSIDE FACE OF OSB COMFORT





WALK-OUT - GROUND FLOOR PLAN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
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|  |                                |            |       |
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| I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
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- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
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  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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  - P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
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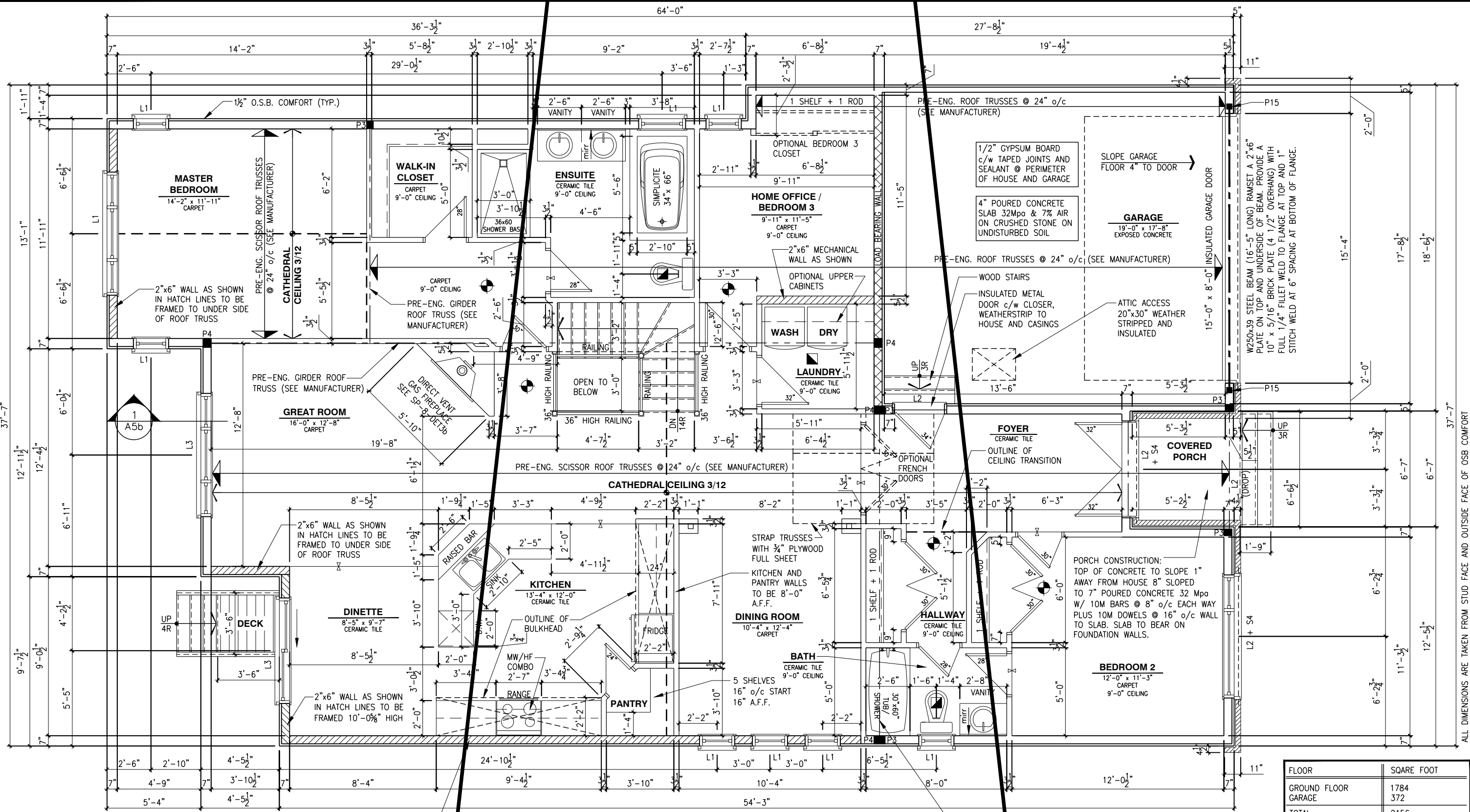
2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT - GROUND FLOOR ELEV. A (ENSUITE UPGRADE)

ADDRESS: XX    SCALE: 3/16" = 1'-0"    DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7a



GROUND FLOOR PLAN - ELEVATION B (ENSUITE UPGRADE)

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| FLOOR        | SQARE FOOT |
|--------------|------------|
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| GARAGE       | 372        |
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - ELEV. B (ENSUITE UPGARDE)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX







1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7b

ALL DIMENSIONS ARE TAKEN FROM STUD FACE AND OUTSIDE FACE OF OSB COMFORT





|  |                                     |
|--|-------------------------------------|
| <p>STANDARD - FIRST FLOOR PLAN</p>   | <p>STANDARD - ELEVATION A, B, C</p> |
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**Valecraft**  
Homes (2019) Limited

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|-------|--------------------------------|------------|-------|
|       |                                |            |       |
|       |                                |            |       |
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DRAWING: **GROUND FLOOR - ELEV. B**  
**(SUNROOM UPGARDE)**

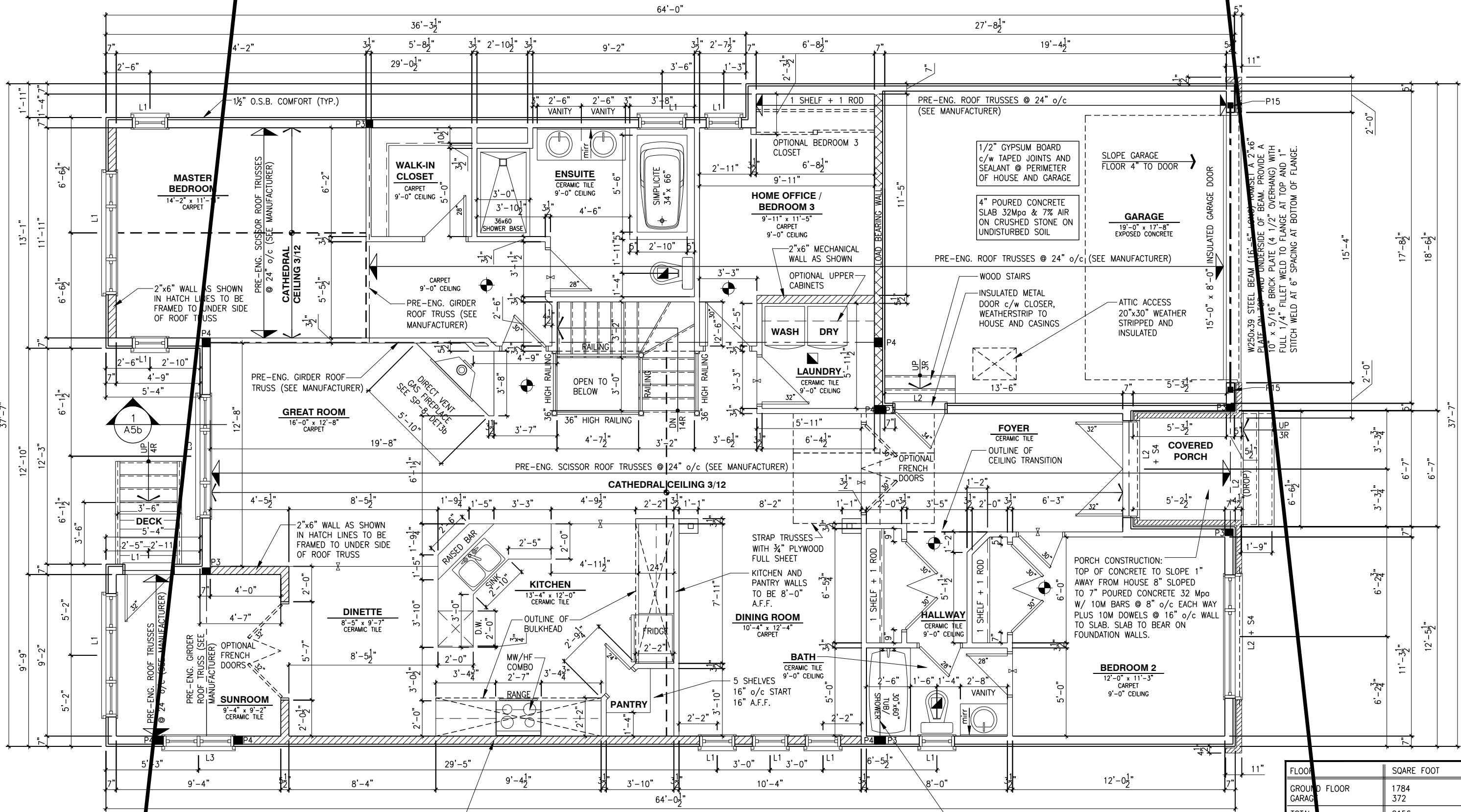
|          |               |            |
|----------|---------------|------------|
| ADDRESS: | SCALE:        | DATE:      |
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**1026 - THE MEDLEY**  
**2022 FOOTPRINT**

(STANDARD DRAWINGS)

**SHEET:**

## A7b



GROUND FLOOR PLAN - ELEVATION B (SUNROOM / ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
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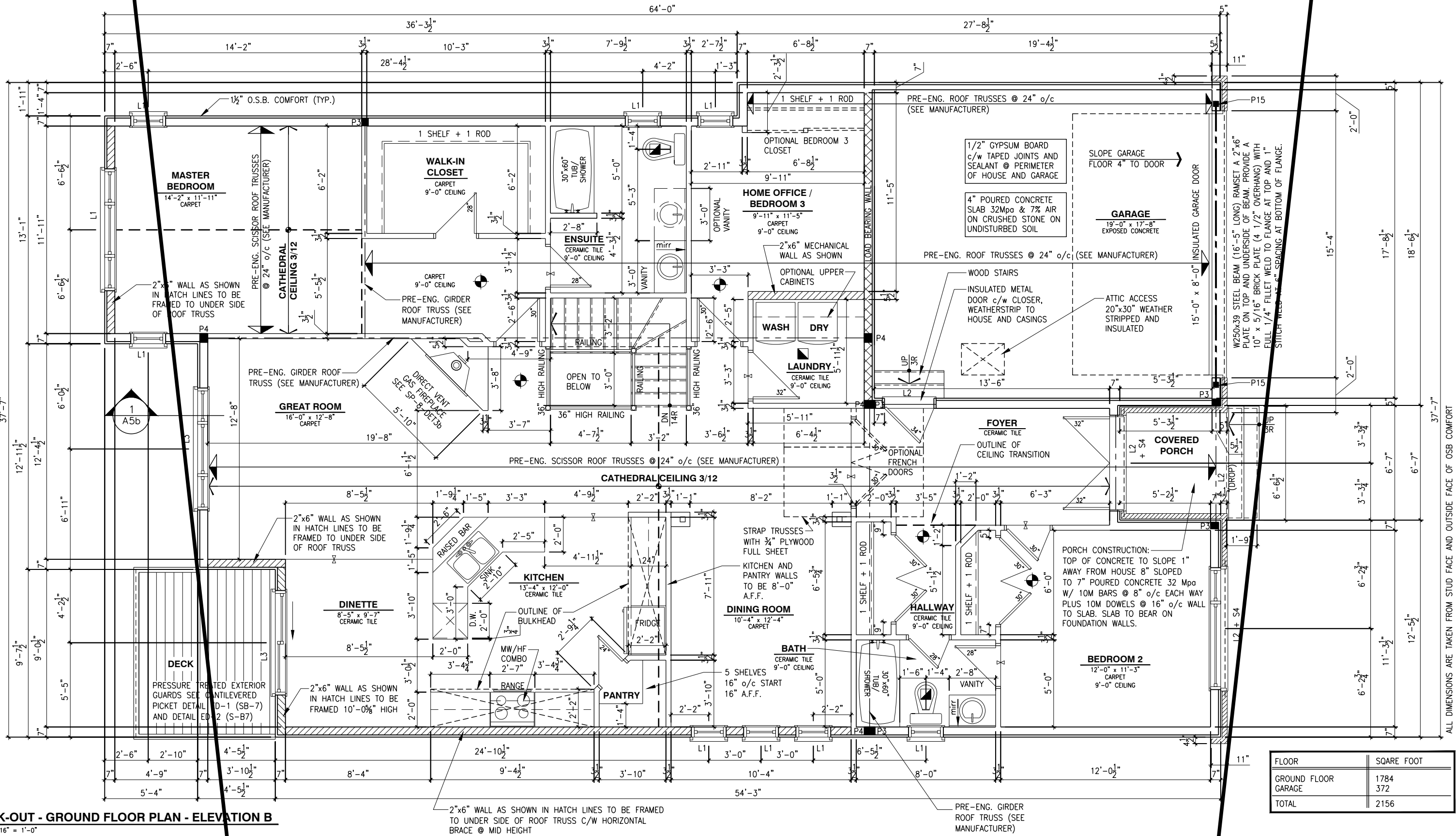
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ADDRESS: XX    SCALE: 3/16" = 1'-0"    DATE: XX/XX/XXXX

1026 - THE MEDLEY 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7b



WALK-OUT - GROUND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

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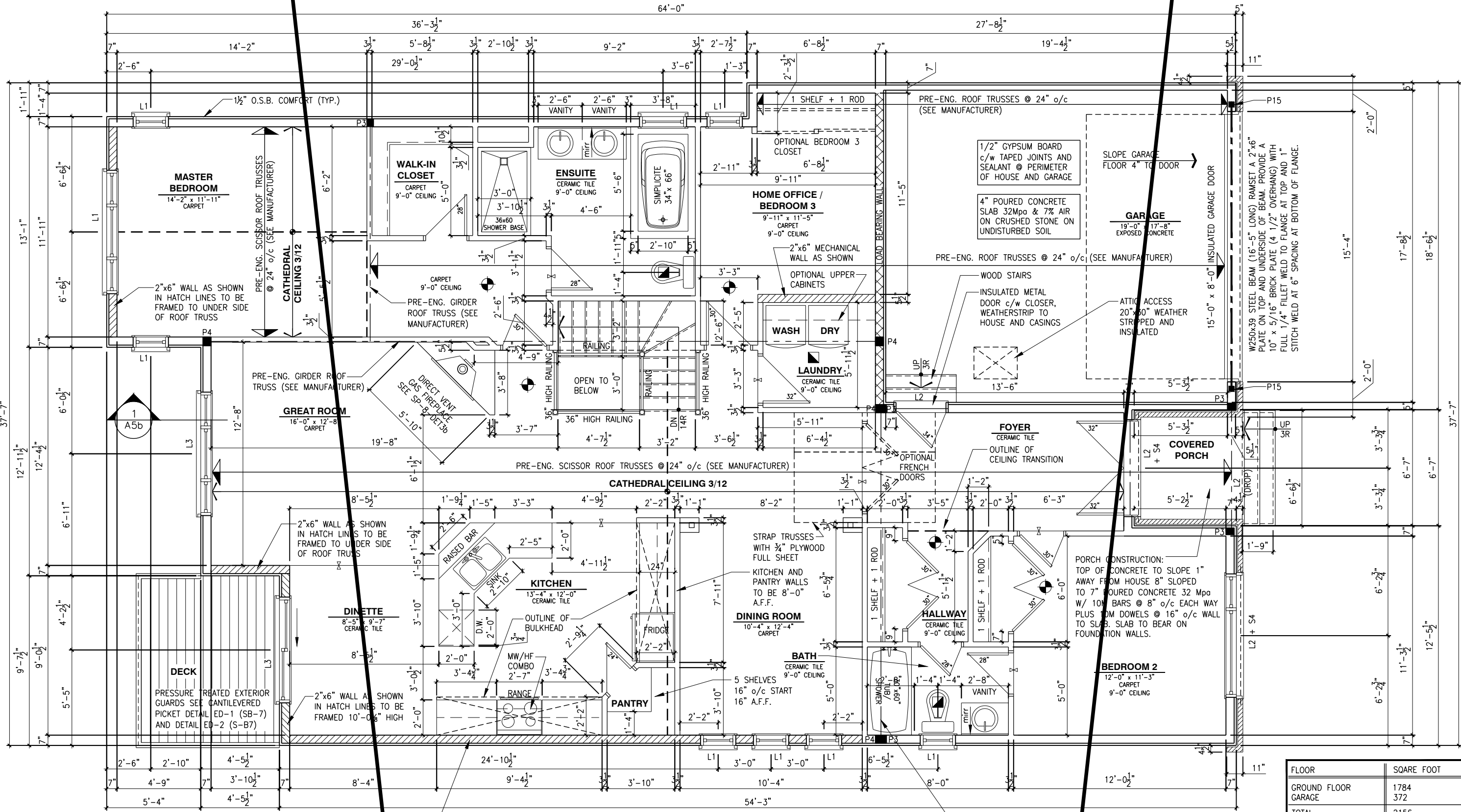
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(STANDARD DRAWINGS)

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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

| FLOOR        | SQARE FOOT |
|--------------|------------|
| GROUND FLOOR | 1784       |
| GARAGE       | 372        |
| TOTAL        | 2156       |

2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT - GROUND FLOOR  
ELEV. B (ENSUITE UPGRADE)

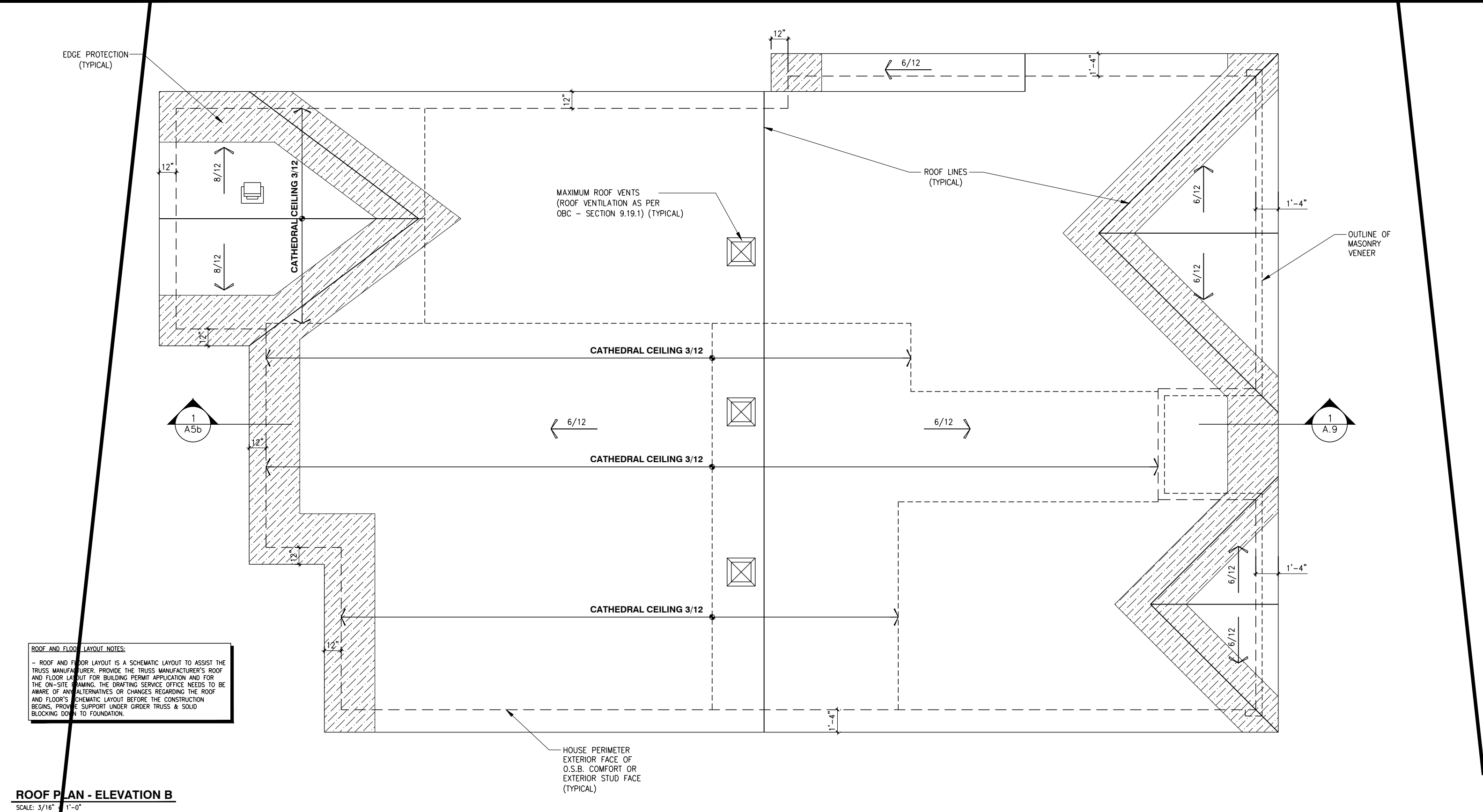
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7b







ROOF PLAN - ELEVATION B  
SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

**Valecraft**  
Homes (2019) Limited

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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
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P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP  
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2012 O.B.C. DRAWINGS

DRAWING: ROOF PLAN - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

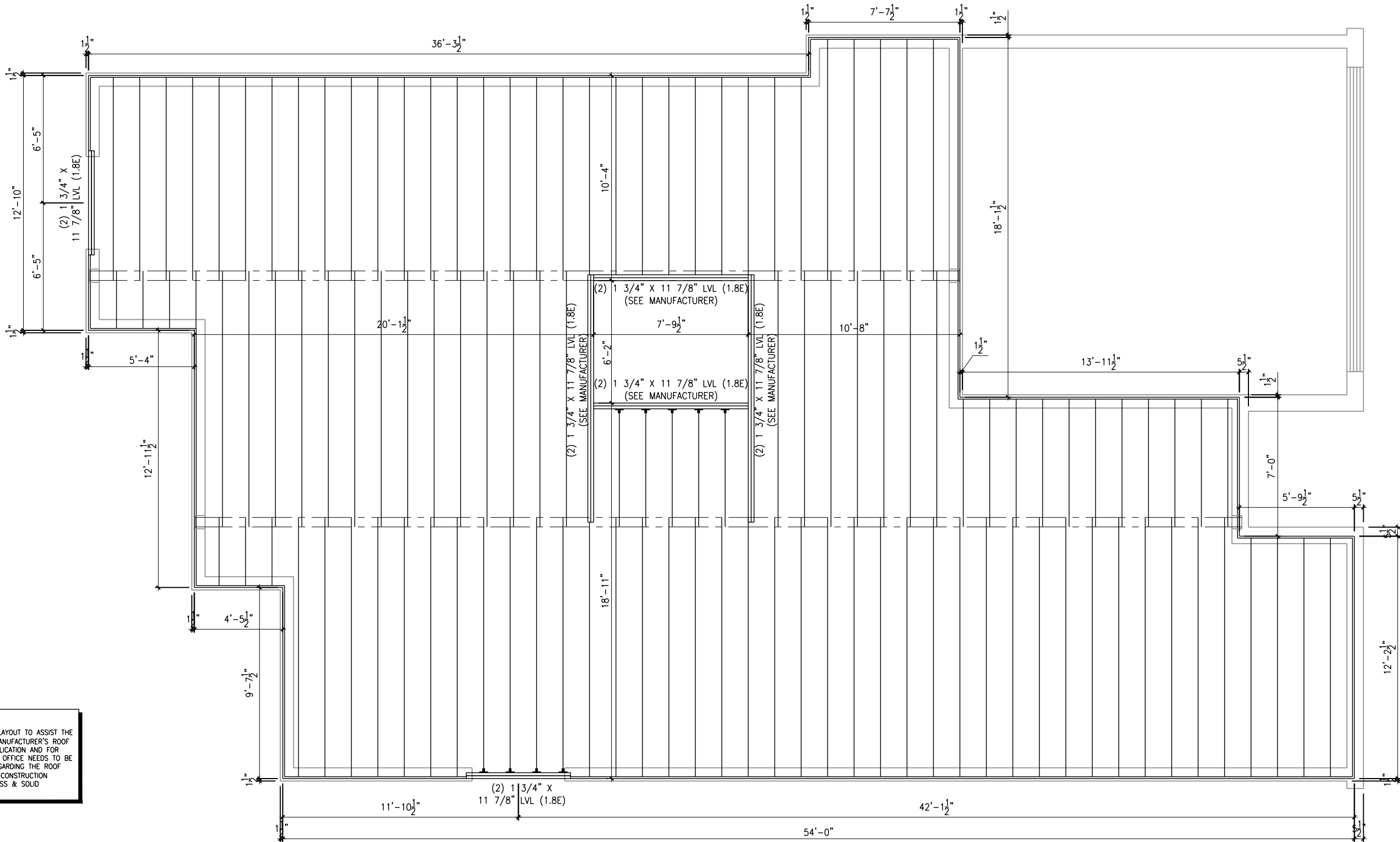
1026 - THE MEDLEY  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A8b









**ROOF AND FLOOR LAYOUT NOTES:**

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

**PLAN - FIRST FLOOR**  
**JOIST LAYOUT - ELEVATION A, B, C (STANDARD)**

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
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| NO.   | DESCRIPTION                    | DATE       | BY    |

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**STEEL LINTEL:**

S1 = L 90x90x6  
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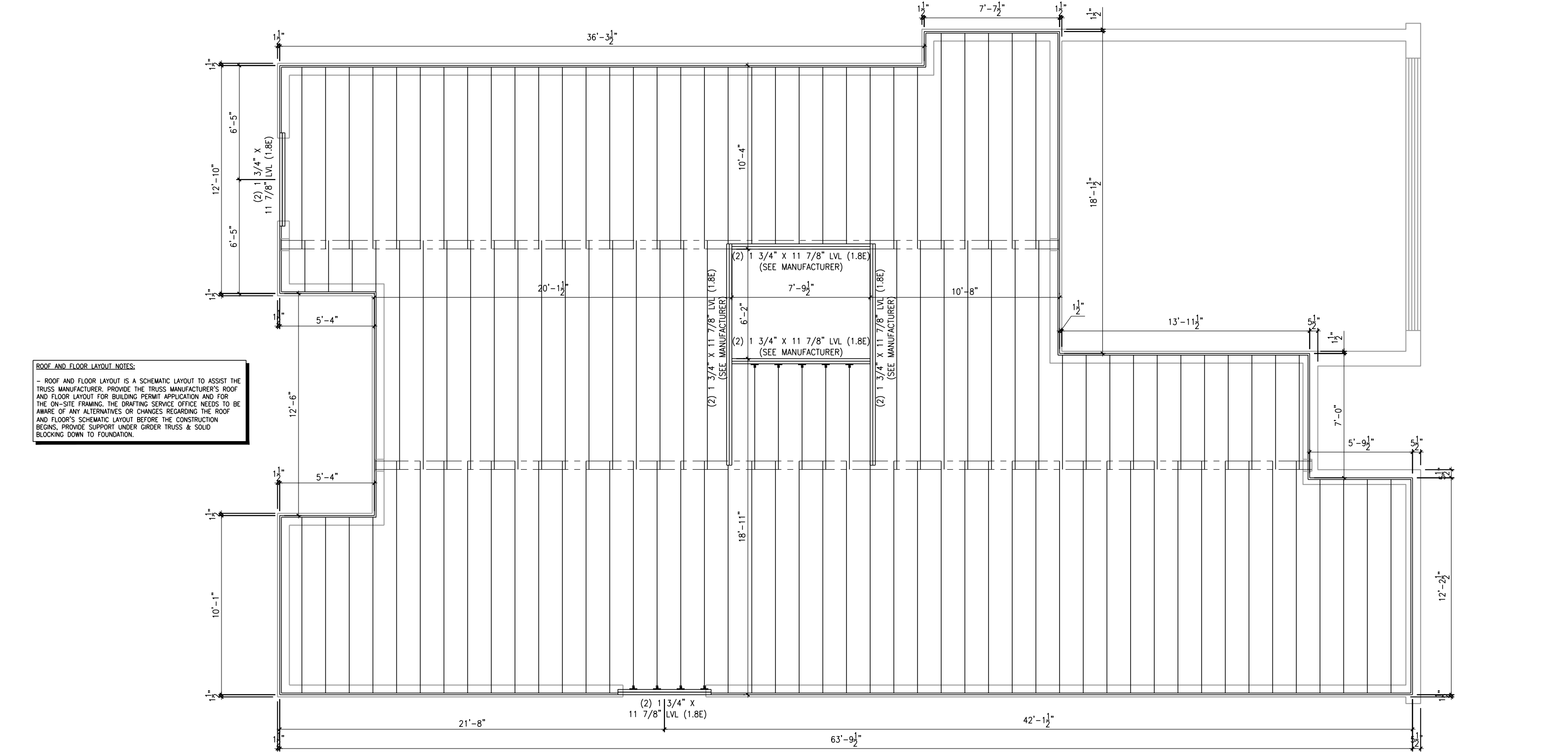
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**2012 O.B.C. DRAWINGS**

DRAWING: **01FL - JOIST LAYOUT**  
**ELEVATION A, B, C**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX  
**1026 - THE MEDLEY**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:  
**A9a**



PLAN - FIRST FLOOR  
JOIST LAYOUT - SUNROOM - ELEVATION A, B, C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

|       |                                |            |       |
|-------|--------------------------------|------------|-------|
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| NO.   | DESCRIPTION                    | DATE       | BY    |

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S7 = L 150x100x10 (8" BEARING)

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2012 O.B.C. DRAWINGS

DRAWING: **01FL - JOIST LAYOUT  
SUNROOM - ELEVATION A, B, C**

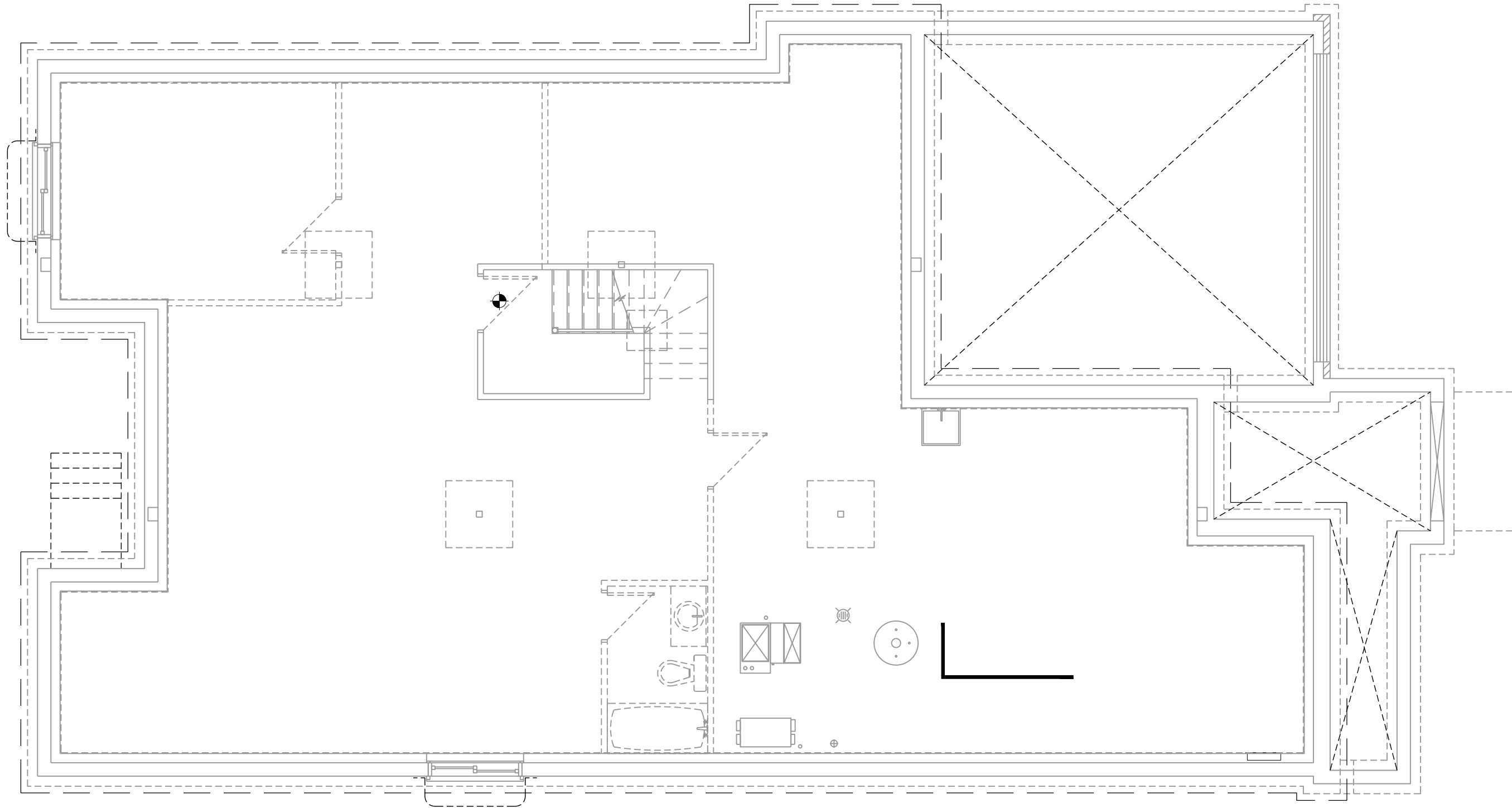
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1026 - THE MEDLEY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A9b**



BASEMENT ELECTRICAL PLAN - UNFINISHED

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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| REV-1 | NO. | DESCRIPTION | DATE | BY |
|-------|-----|-------------|------|----|
|       |     |             |      |    |
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2012 O.B.C. DRAWINGS

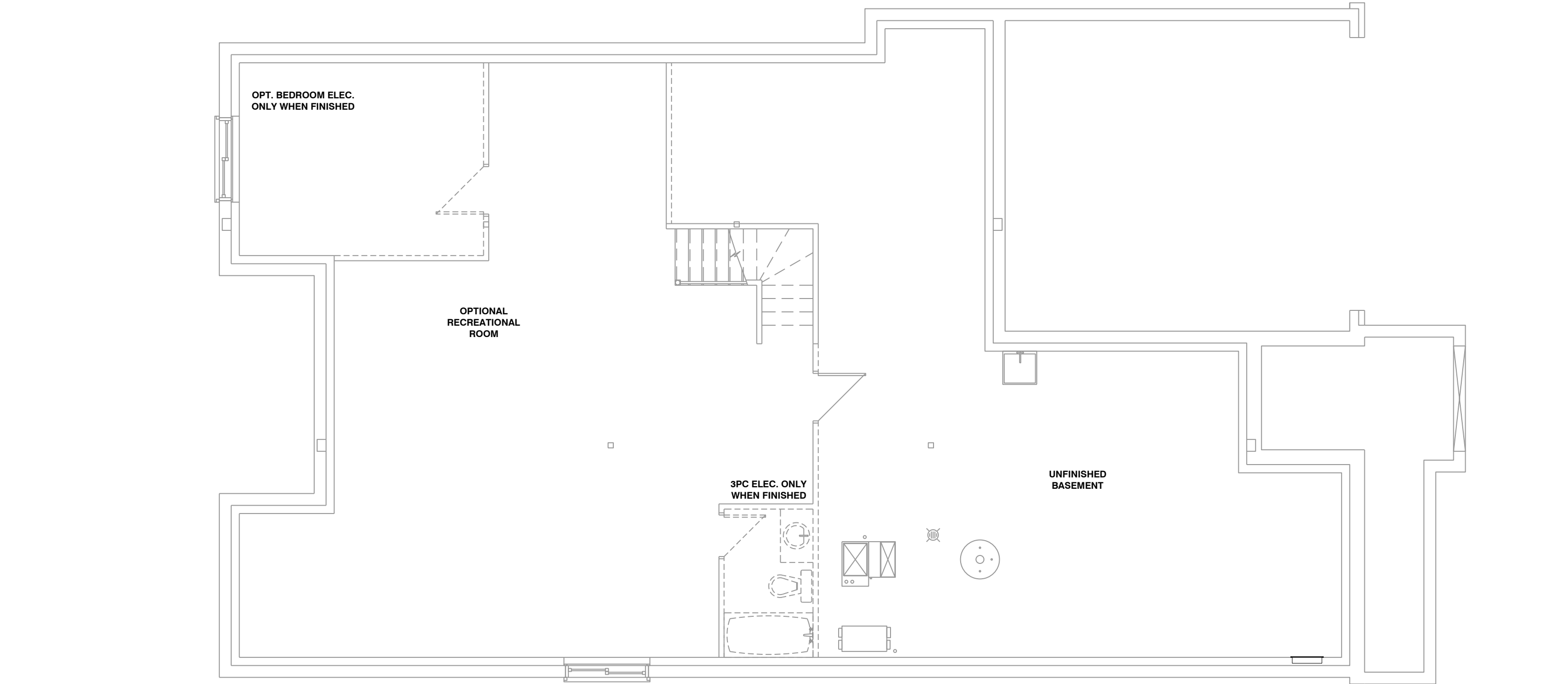
DRAWING: BASEMENT ELEC. LAYOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:  
E00



**BASEMENT ELECTRICAL PLAN - FINISHED BASEMENT**

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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| REV-1 | NO. | DESCRIPTION | DATE | BY |
|-------|-----|-------------|------|----|
|       |     |             |      |    |
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LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
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\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
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\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
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**2012 O.B.C. DRAWINGS**

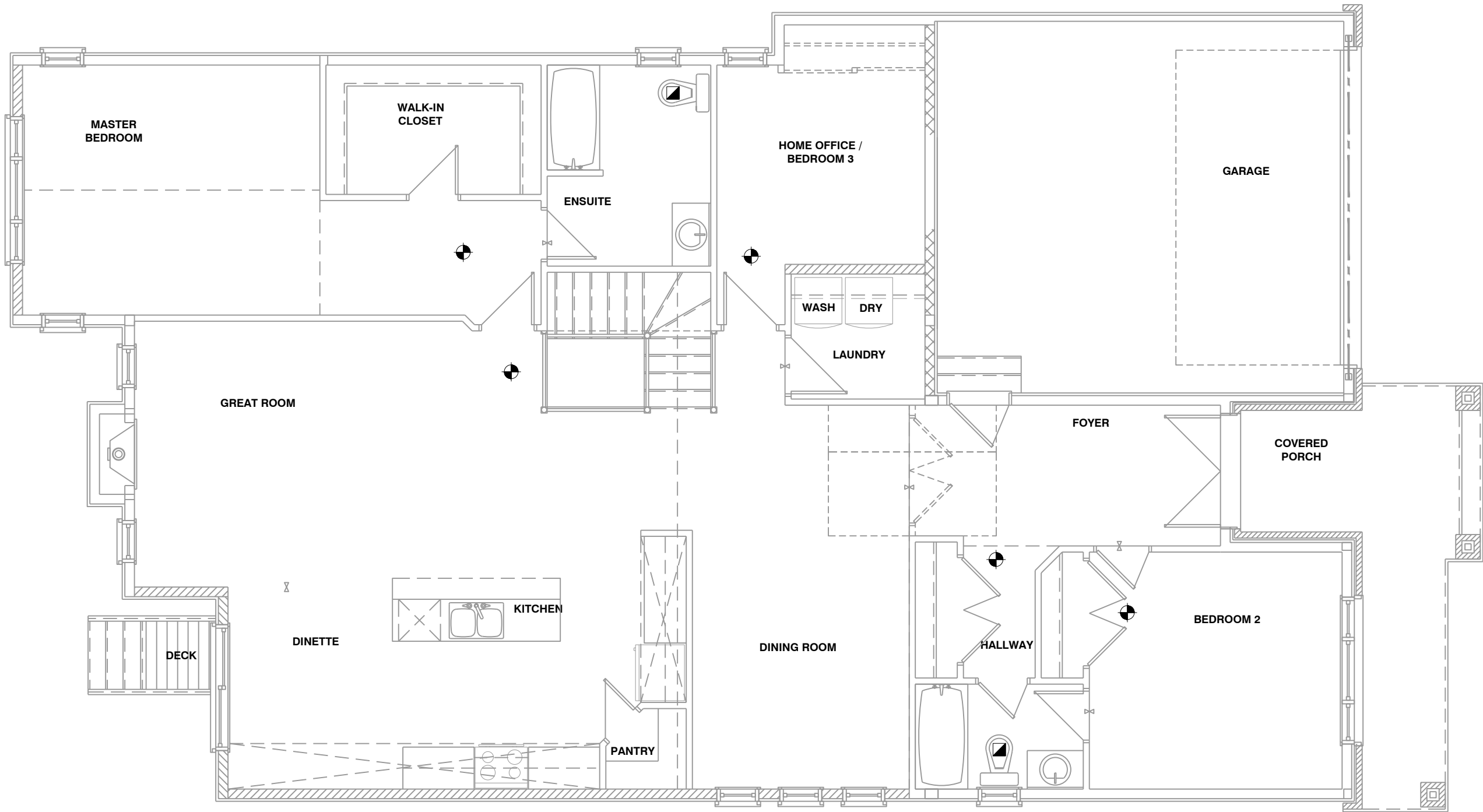
DRAWING: **BASEMENT ELEC. LAYOUT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**1026 - THE MEDLEY  
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:  
**A10a**



BASEMENT - ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV-1 | NO. | DESCRIPTION                    | DATE       | BY    |
|-------|-----|--------------------------------|------------|-------|
| 1     | 1   | NEW STANDARD DRWG MODIFICATION | 01/01/2022 | DOYON |

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

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2012 O.B.C. DRAWINGS

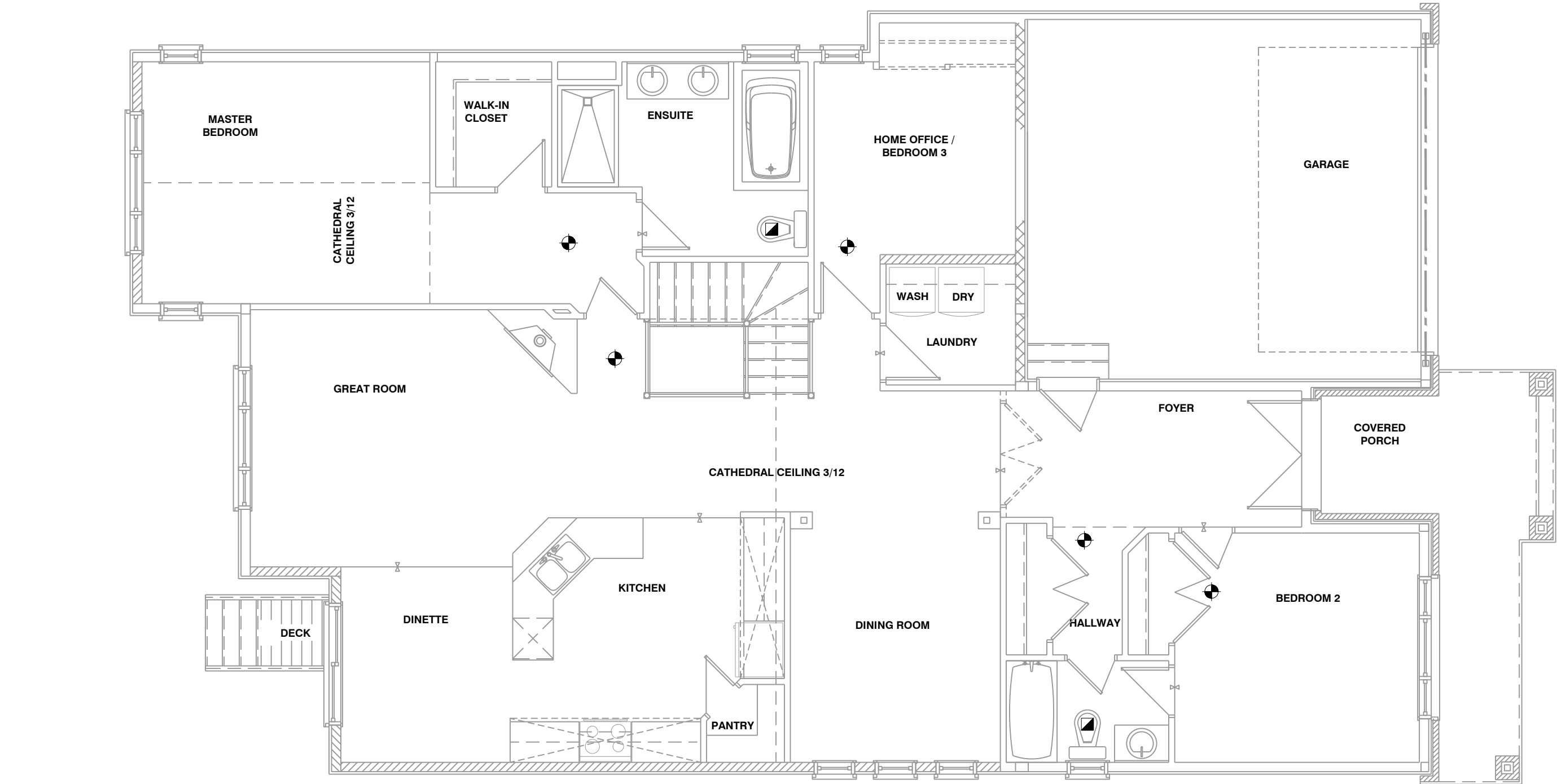
DRAWING: BASEMENT ELEC. LAYOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1026 - THE MEDLEY  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A10a



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