

FRONT ELEVATION - GARAGE END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: **XXXX** DATE: XX/XX/XXXX Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

FRONT ELEVATION - END UNITS

3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.1a

SHEET

FRONT ELEVATION - PORCH END UNIT

A.la SCALE: 3/16" = 1'-0"





LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>DANIEL GUERIN</u> ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •• THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

CONSTRUCTION SITES:

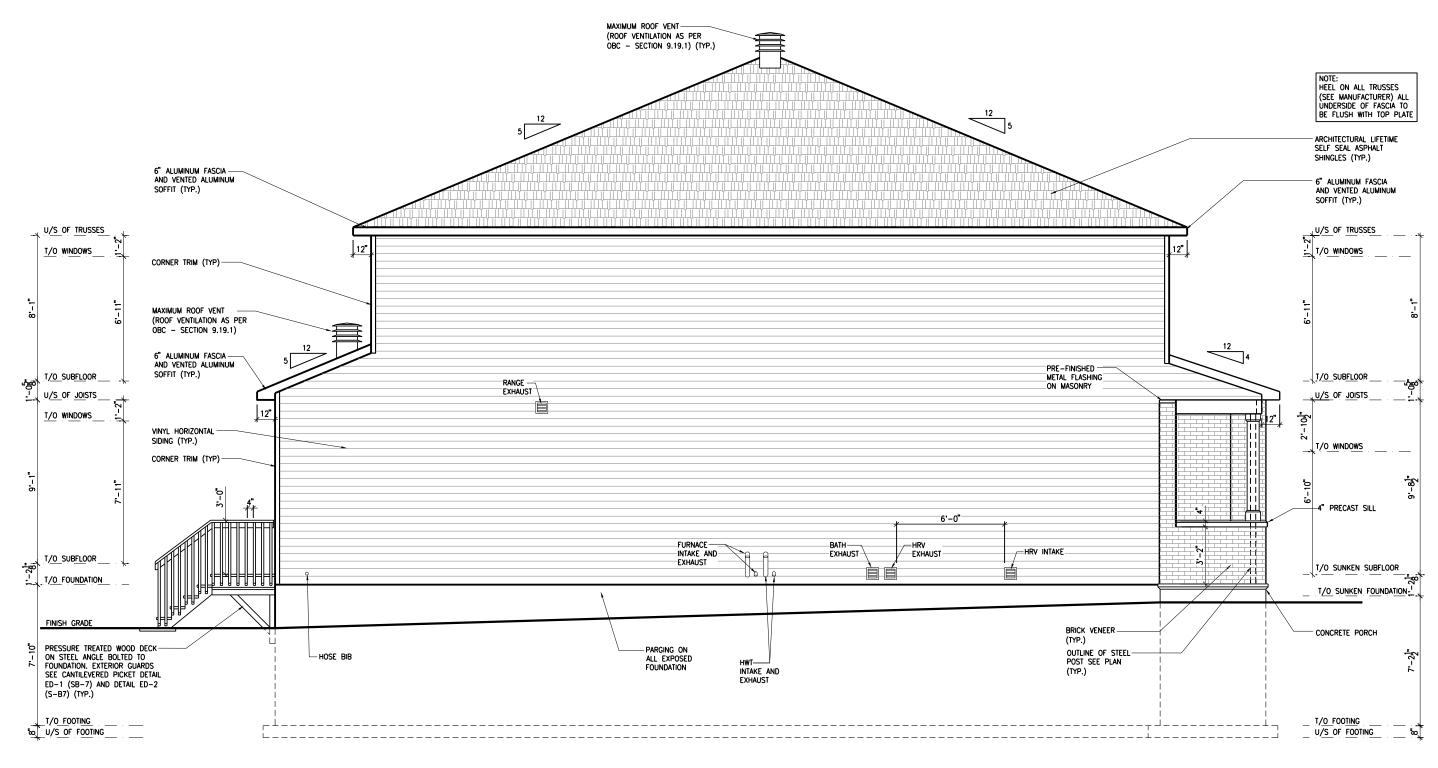
FRONT ELEVATION - MID UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

A.1b

140 - THE GREEN 2022 FOOTPRINT SHEA VILLAGE

(STANDARD DRAWINGS)





LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

Homes (2019) Limited

LOT: XXXX DATE: XX/XX/XXXX

A — ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B — THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C — NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D — THE GENERAL CONTRACTOR OR SUB—CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STITE.

SITE.
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	- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611							
	SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM							
3								
	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022					
_	NO.	DESCRIPTION	MM/DD/YYYY	BY				

2012 O.B.C. DRAWINGS LEFT ELEVATION **PORCH END UNIT** ADDRESS: SCALE: 3/16" = 1'-0"

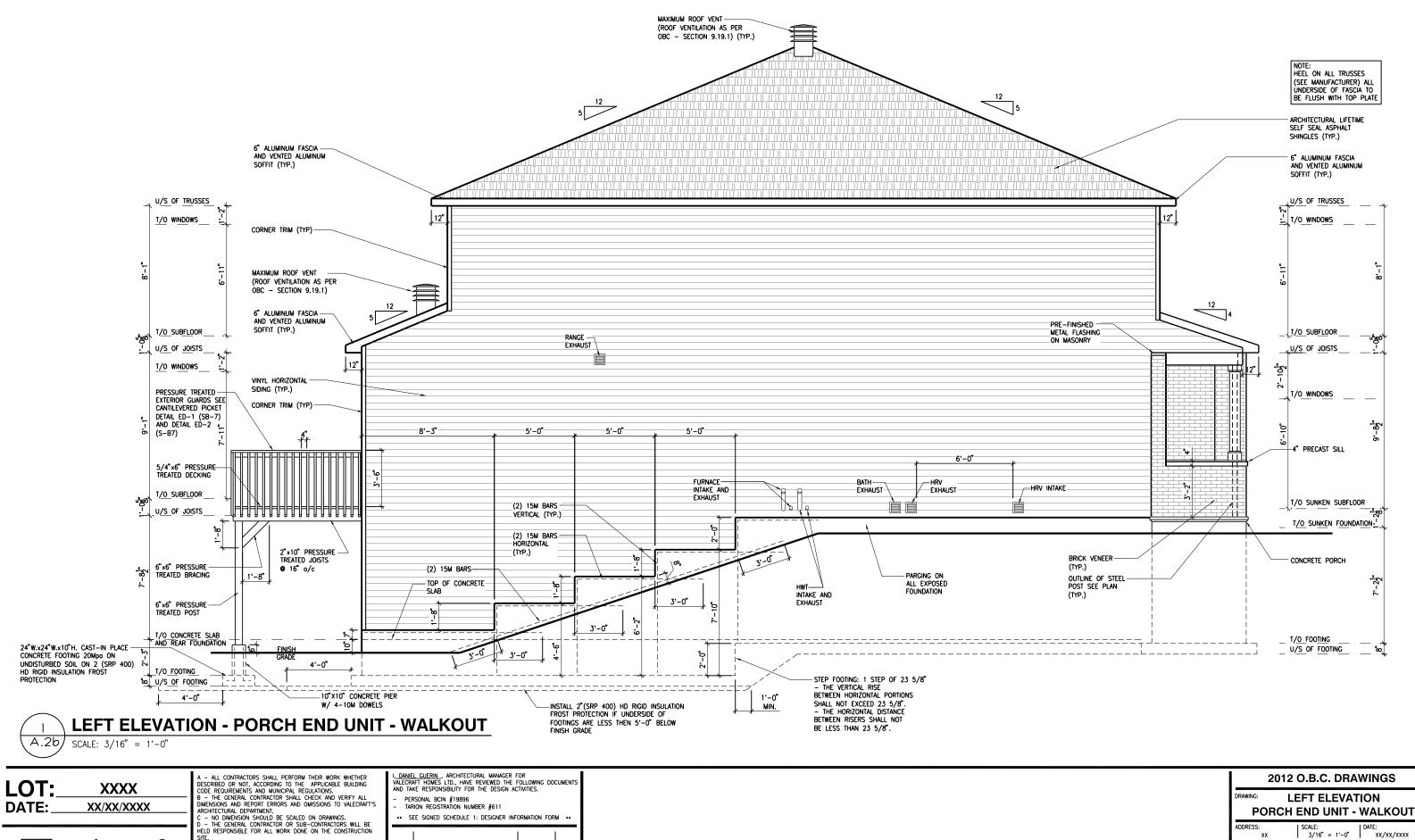
140 - THE GREEN **2022 FOOTPRINT** (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

A.2a

XX/XX/XXXX



140 - THE GREEN

2022 FOOTPRINT

(STANDARD DRAWINGS)

A.2b

CONSTRUCTION SITES:

SHEA VILLAGE

Valecraft
Homes (2019) Limited

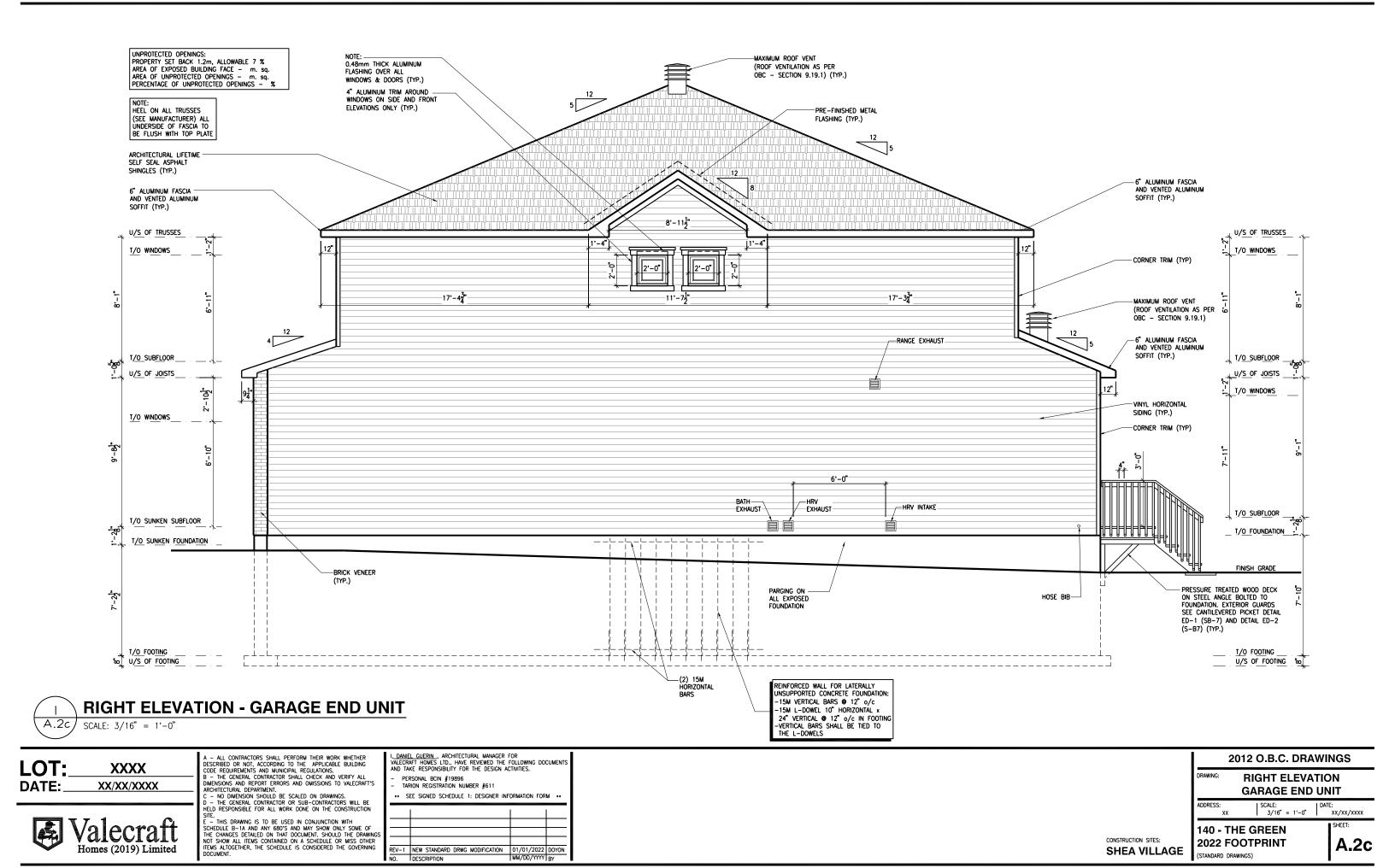
SITE.

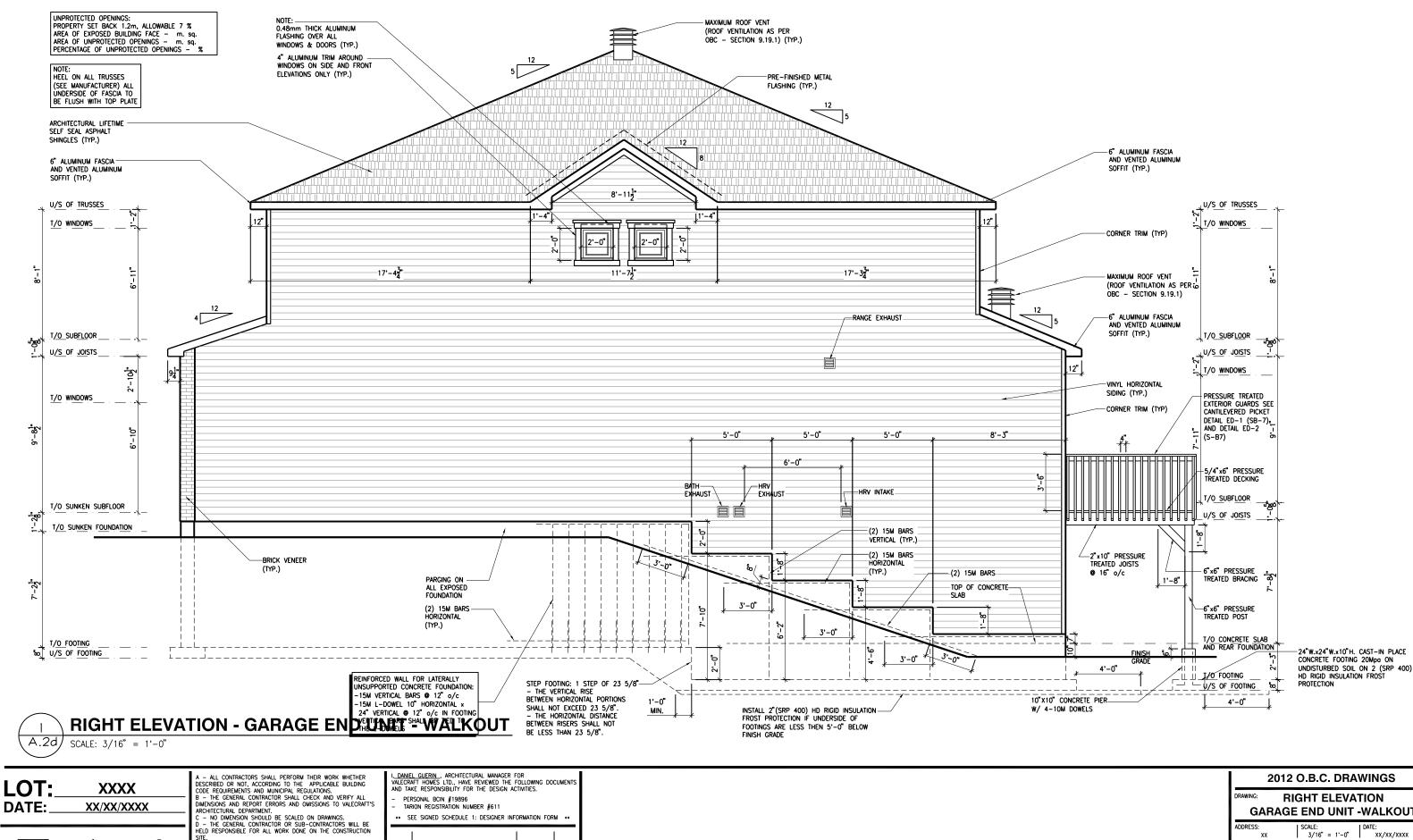
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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

MM/DD/YYYY BY

DESCRIPTION





Homes (2019) Limited

SITE.

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– PE – TAI	KE RESPONSIBILITY FOR THE DESIGN A RSONAL BCIN #19896 RION REGISTRATION NUMBER #611 EE SIGNED SCHEDULE 1: DESIGNER IN		M ••
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

GARAGE END UNIT -WALKOUT

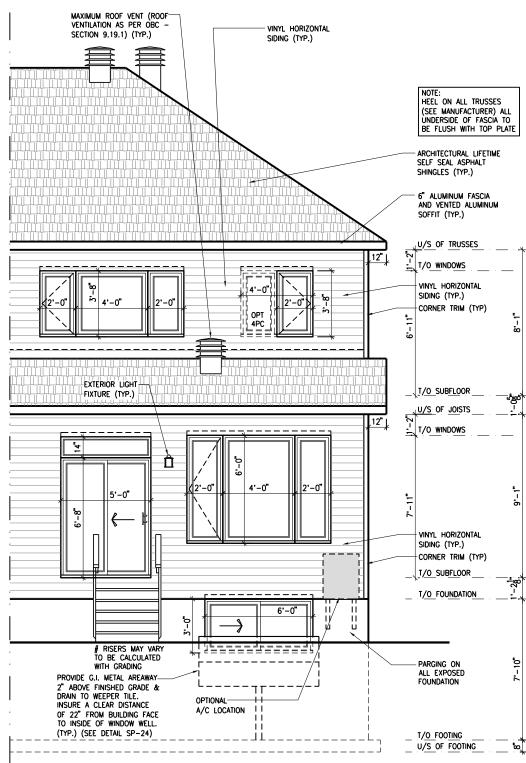
ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

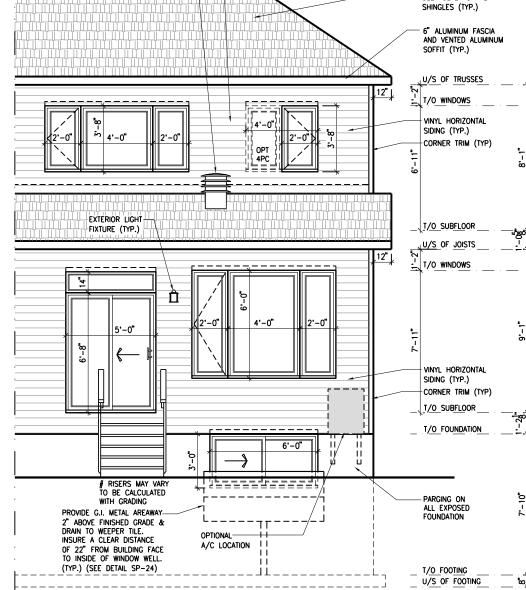
140 - THE GREEN **2022 FOOTPRINT** (STANDARD DRAWINGS)

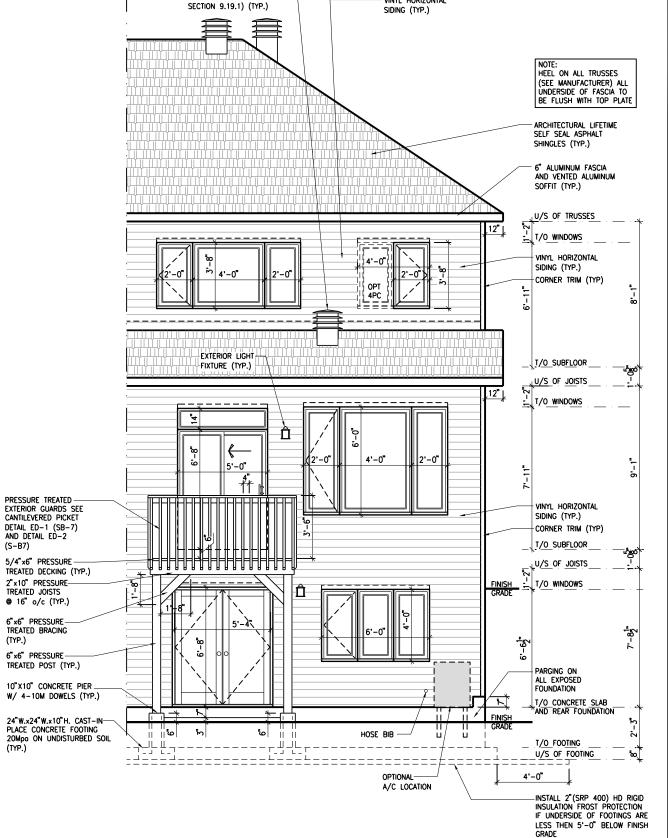
CONSTRUCTION SITES:

SHEA VILLAGE

A.2d







REAR ELEVATION - PORCH END UNIT - WALKOUT

A.2e)

SCALE: 3/16" = 1'-0"

VINYL HORIZONTAL

MAXIMUM ROOF VENT (ROOF-VENTILATION AS PER OBC -

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for Valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

> **REAR ELEVATION PORCH END UNITS**

CONSTRUCTION SITES:

SHEA VILLAGE

XX/XX/XXXX

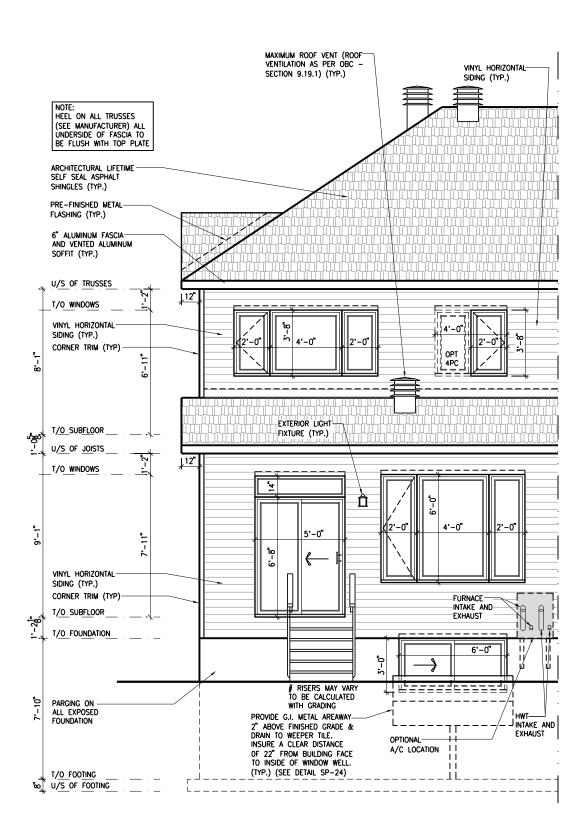
SHEET

A.2e

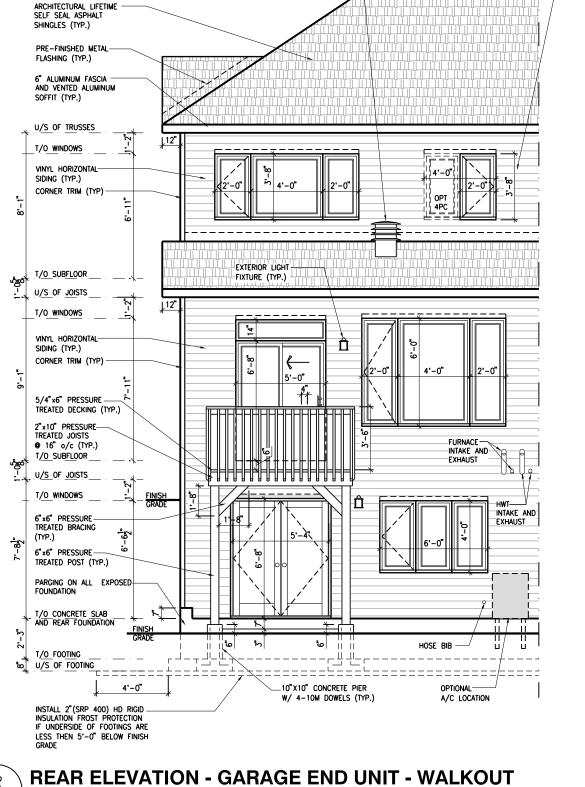
140 - THE GREEN

2022 FOOTPRINT (STANDARD DRAWINGS)

REAR ELEVATION - PORCH END UNIT



REAR ELEVATION - GARAGE END UNIT



MAXIMUM ROOF VENT (ROOF VENTILATION AS PER OBC -

SECTION 9.19.1) (TYP.)

HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO

BE FLUSH WITH TOP PLATE

SCALE: 3/16" = 1'-0"

VINYL HORIZONTAL SIDING (TYP.)

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

REAR ELEVATION GARAGE END UNITS

XX/XX/XXXX SHEET

A.2f

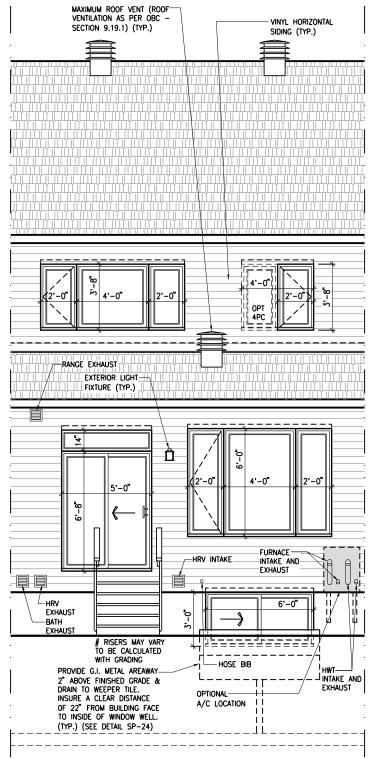
140 - THE GREEN 2022 FOOTPRINT

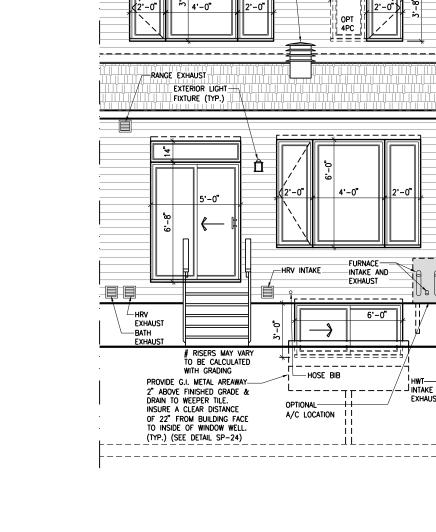
(STANDARD DRAWINGS)

CONSTRUCTION SITES:

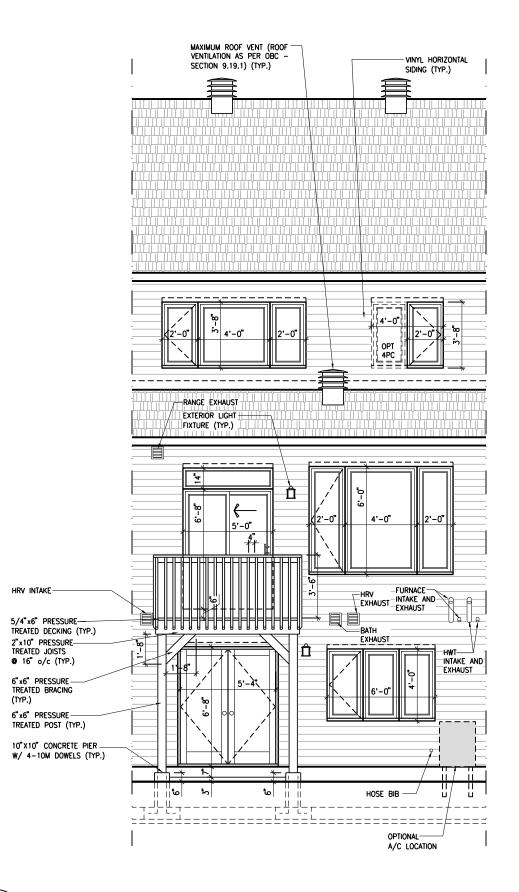
SHEA VILLAGE

SCALE: 3/16" = 1'-0"









REAR ELEVATION - MID UNIT - WALKOUT A.2g/SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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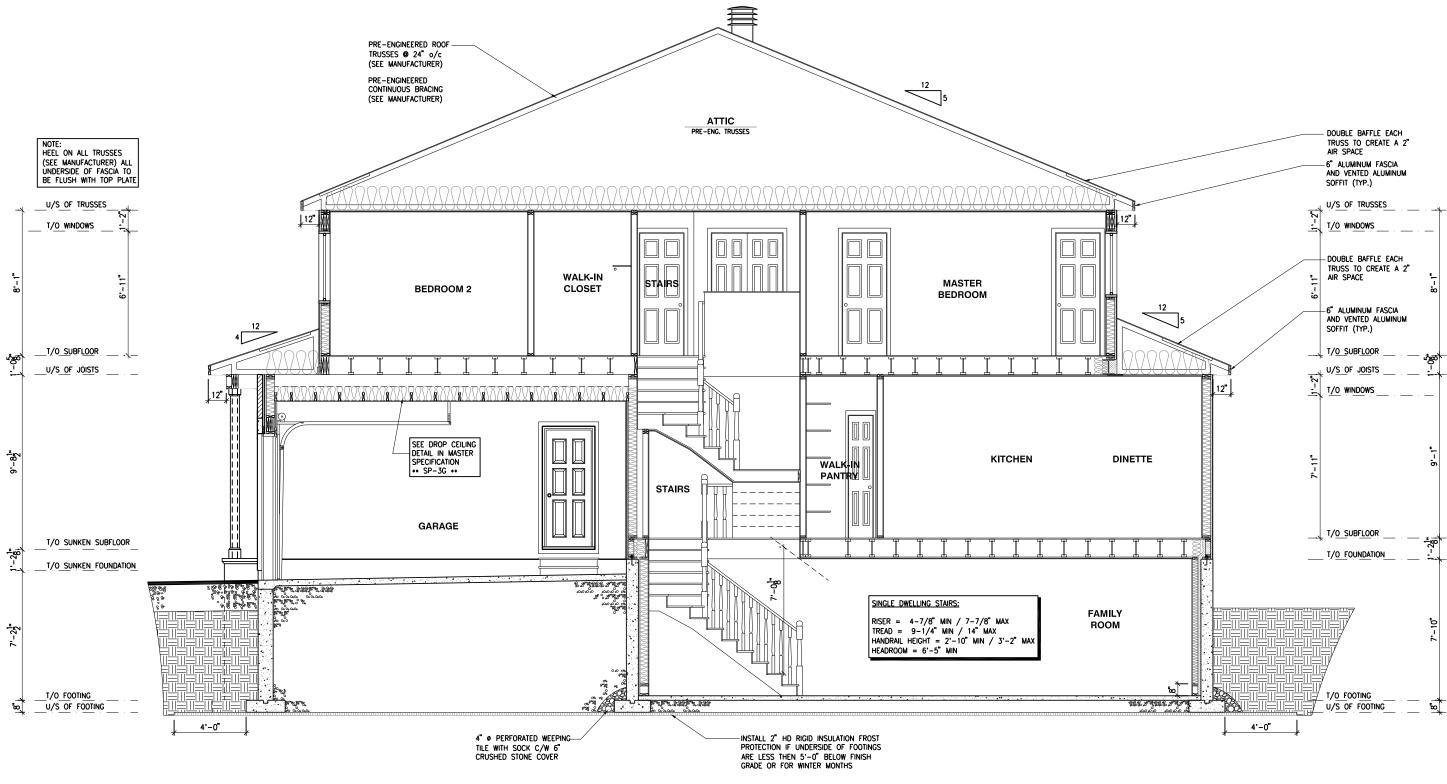
	2012 O.B.C. DRAWINGS							
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON					
NO.	DESCRIPTION	MM/DD/YYYY						
DRAWING	3:							

REAR ELEVATION - MID UNITS

SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET

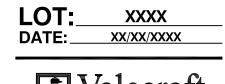
140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2g





Homes (2019) Limited



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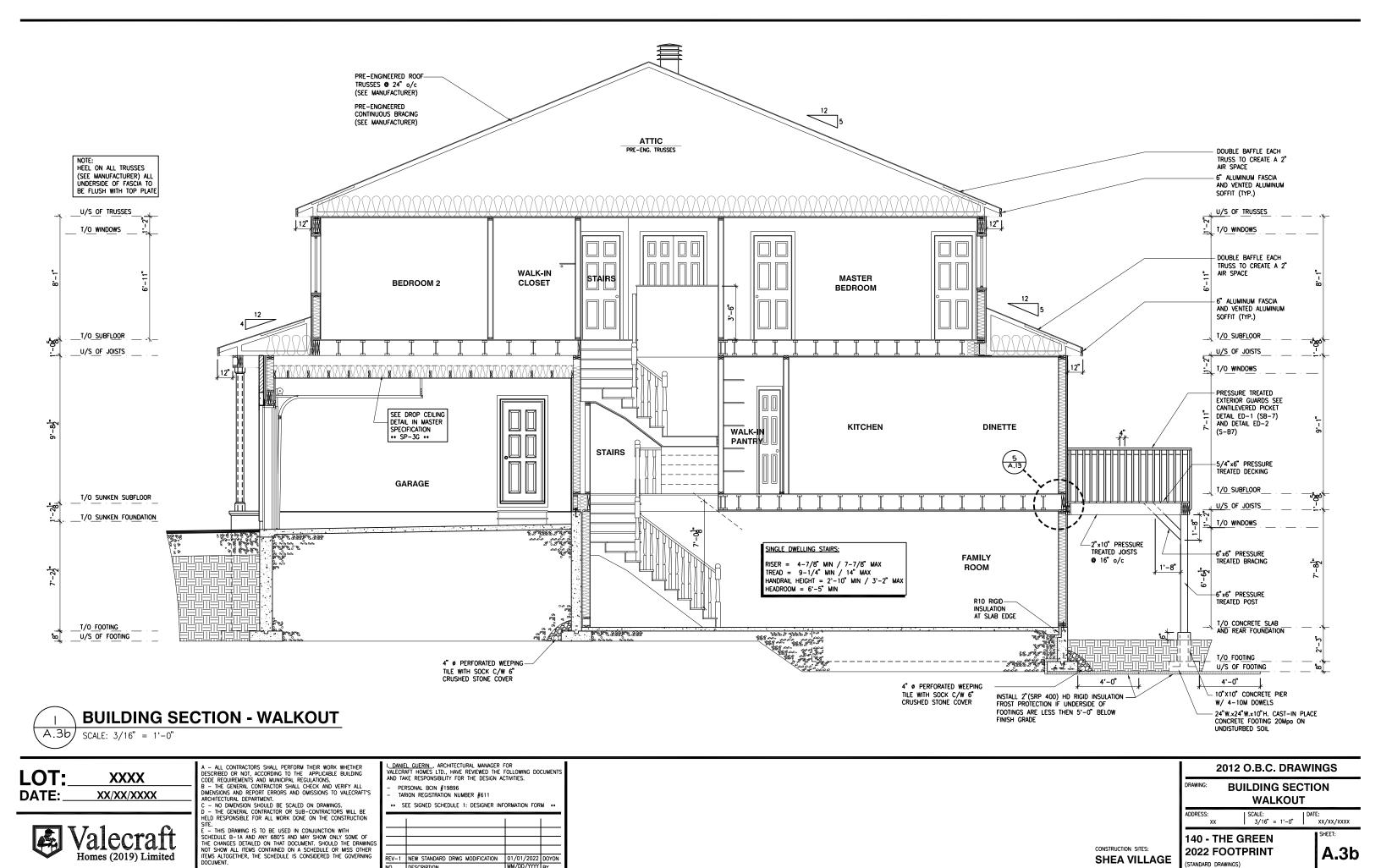
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	** S	EE SIGNED SCHEDULE 1: DESIGNER INI	FORMATION FOR	M ++				
ı				<u> </u>				
١								
	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON				
ı	NO.	DESCRIPTION	MM/DD/YYYY	BY				

2012 O.B.C. DRAWINGS **BUILDING SECTION**

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET: 140 - THE GREEN

CONSTRUCTION SITES: **2022 FOOTPRINT** SHEA VILLAGE (STANDARD DRAWINGS)

A.3a



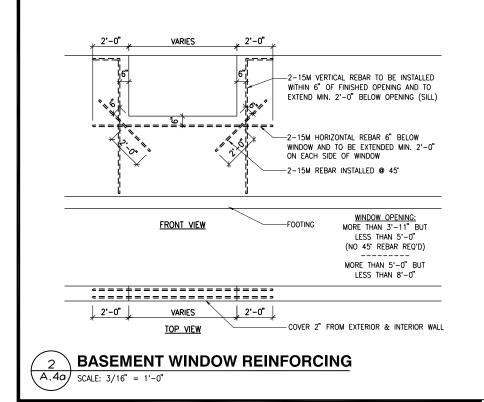
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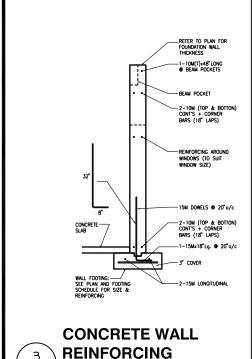
MM/DD/YYYY BY

(STANDARD DRAWINGS)

		FOOTII	NG SCHEDULE		
	ALLOWABLE SOIL BEAR	ING CAPACITY / BEARING RESISTA	ANCE AT SLS FOR «SITE CLASS:D	l»	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. × 8"H. 2-15M LONGITUDINAL BARS	32"W. × 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. × 8"H. 2–15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. × 8"H. 2–15M LONGITUDINAL BARS	24"W. × 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. × 8"H. 2–15M LONGITUDINAL BARS	20"W. × 8"H. 2–15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
		PAD FOO	TING SCHEDULE		
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. × 24"W. × 10"H.	24"W. × 24"W. × 10"H.	24"W. × 24"W. × 10"H.	28"W. × 28"W. × 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY

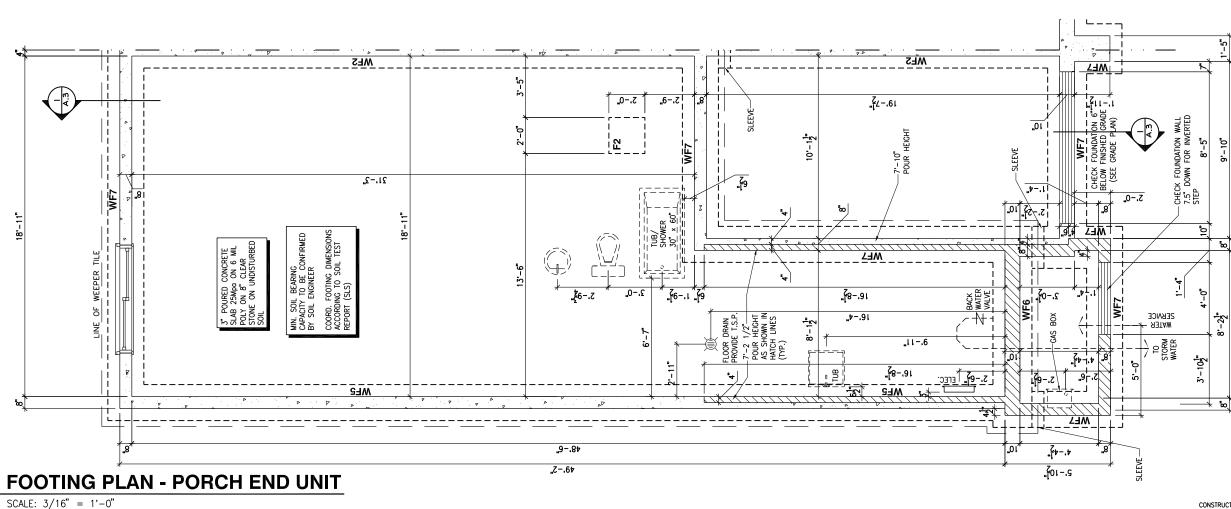
(A.4a*)*





SCALE: 1/4" = 1'-0"

(A.4a)



CONSTRUCTION SITES: SHEA VILLAGE

LOT: **XXXX** DATE: XX/XX/XXXX



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- Footings have been designed for the allowable soil bearing capacity or bearing resistance at SLS and design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION:
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

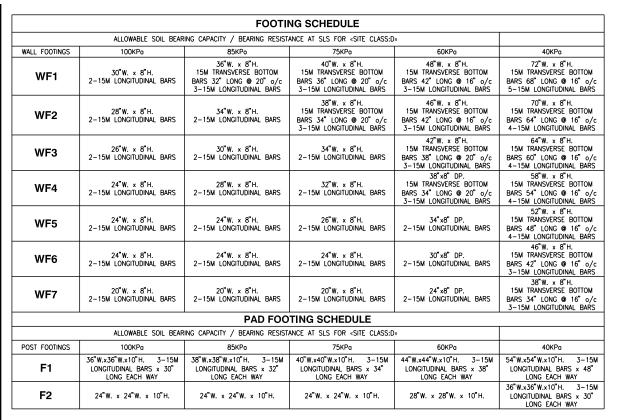
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

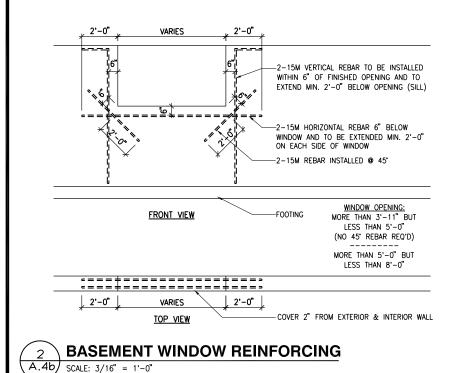
FOOTING PLAN -PORCH END UNIT

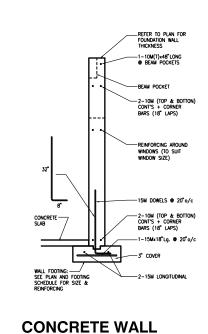
3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.4a

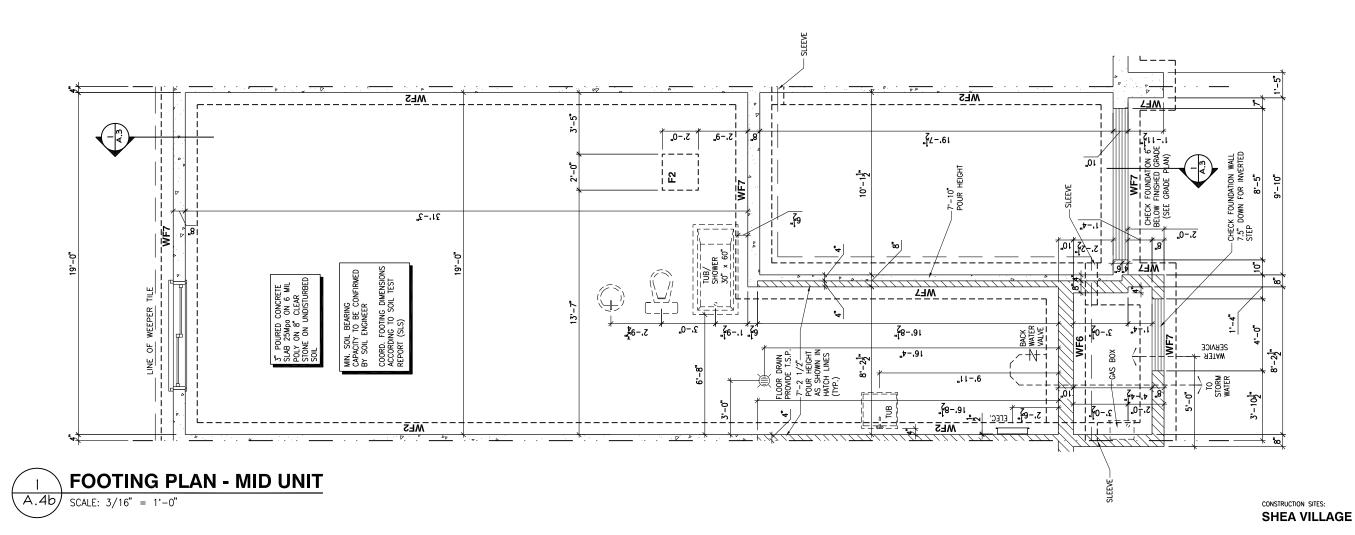






REINFORCING (A.4b)

SCALE: 1/4" = 1'-0"



LOT: XXXX DATE: XX/XX/XXXX



<u>DANIEL QUERIN</u>, ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

FOOTING PLAN - MID UNIT

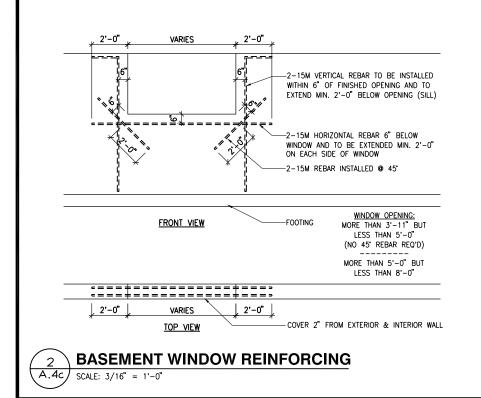
3/16" = 1'-0" XX/XX/XXXX

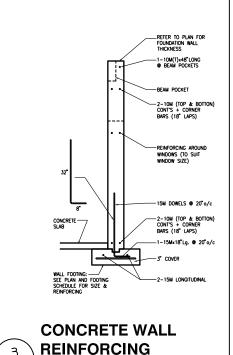
140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.4b

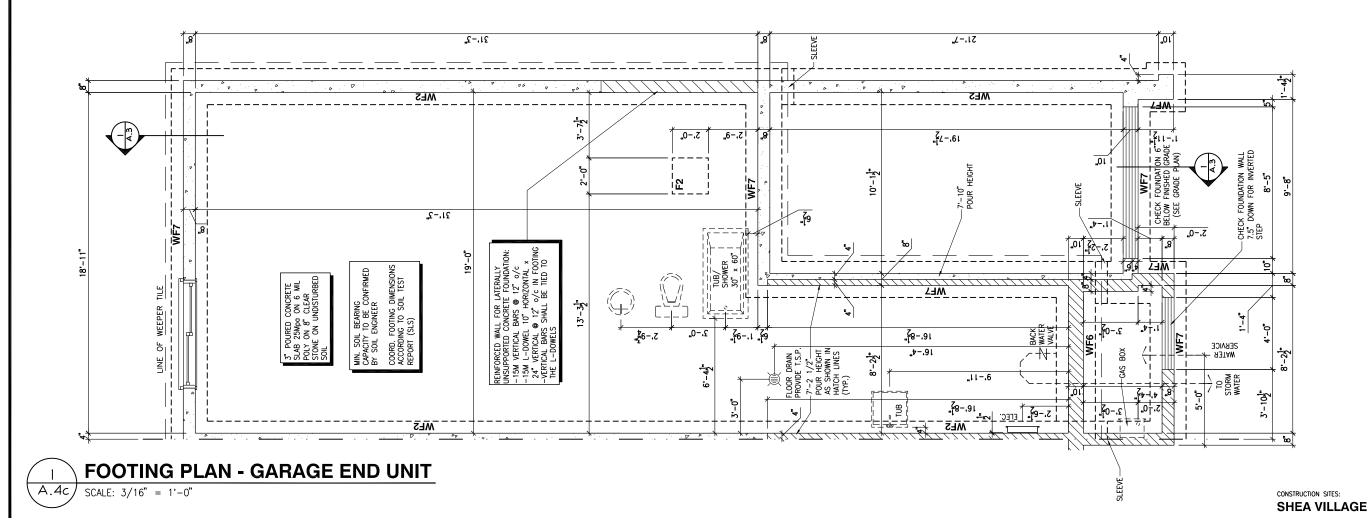
		FOOTII	NG SCHEDULE		
	ALLOWABLE SOIL BEAR	ING CAPACITY / BEARING RESISTA	ANCE AT SLS FOR «SITE CLASS:D	l»	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	72"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 68" LONG @ 16" o/c 5-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS	70"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 64" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	64"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 60" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. × 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	58"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 54" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	52"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 48" LONG @ 16" o/c 4-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. × 8"H. 2-15M LONGITUDINAL BARS	20"W. × 8"H. 2–15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
		PAD FOO	TING SCHEDULE		
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	54"W.x54"W.x10"H. 3-15M LONGITUDINAL BARS x 48" LONG EACH WAY
F2	24"W. × 24"W. × 10"H.	24"W. × 24"W. × 10"H.	24"W. × 24"W. × 10"H.	28"W. × 28"W. × 10"H.	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY





(A.4c

SCALE: 1/4" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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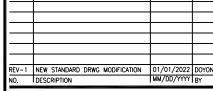
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2012 O.B.C. DRAWINGS



DRAWING

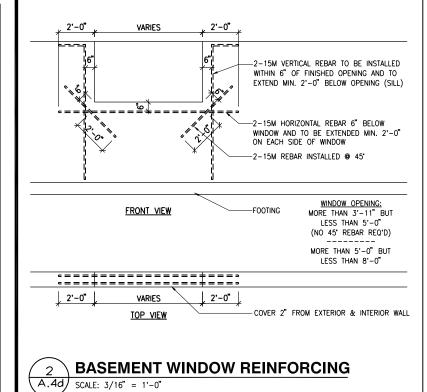
FOOTING PLAN - GARAGE END

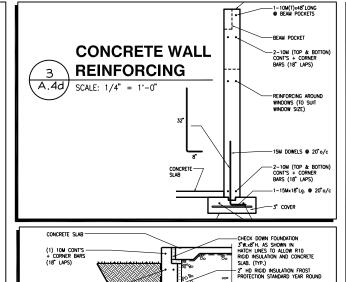
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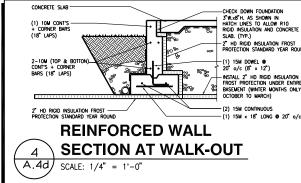
140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

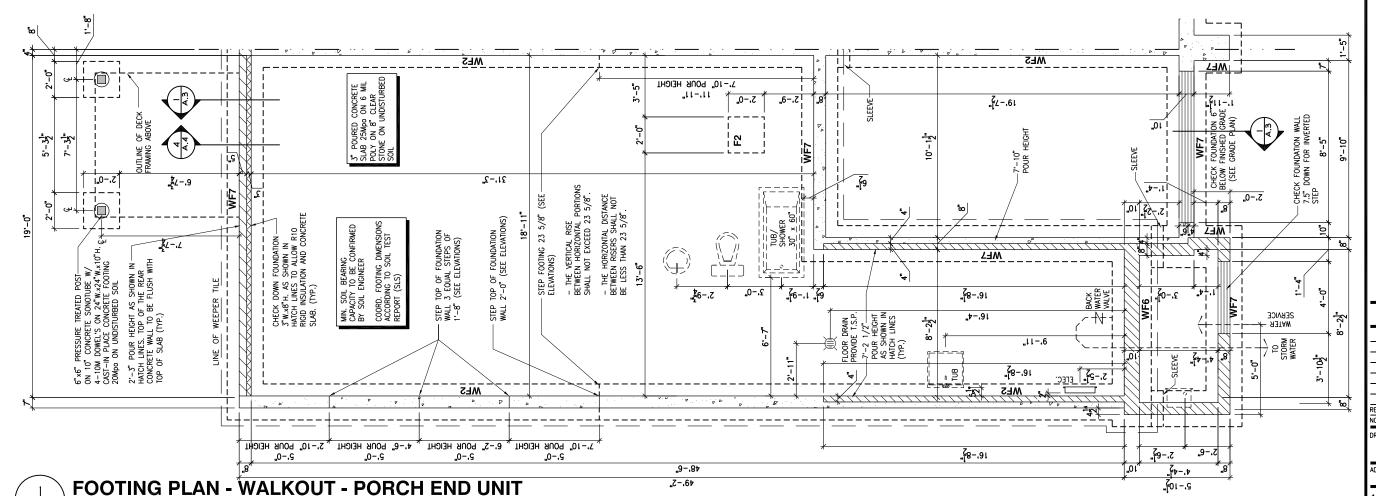
A.4c











SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

LOT: XXXX DATE: XX/XX/XXXX



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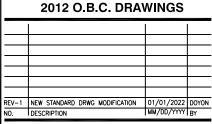
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FOOTING PLAN WALKOUT - PORCH END UNIT

3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

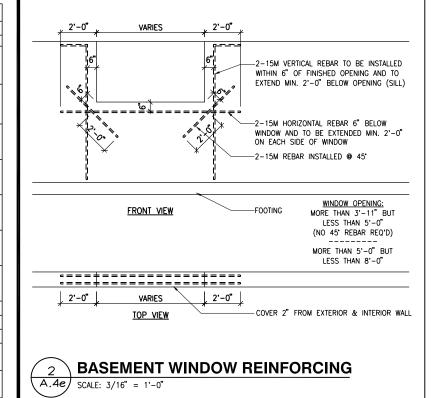
SHEET A.4d

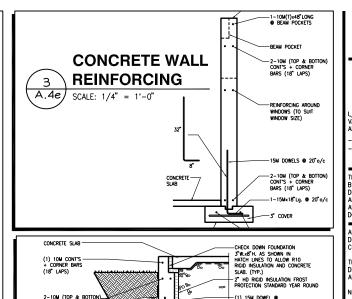
XX/XX/XXXX

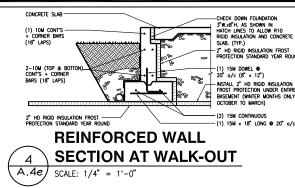
SCALE: 3/16" = 1'-0"

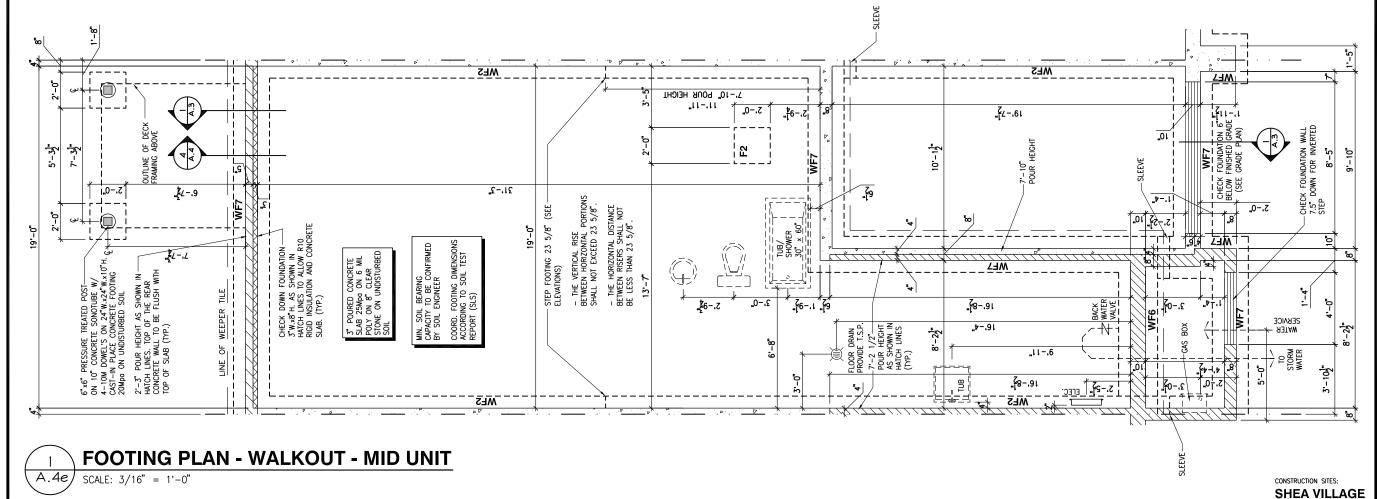
(A.4d)













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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO DESCRIPTION MM/DD/YYYY RY

FOOTING PLAN
WALKOUT - MID UNIT

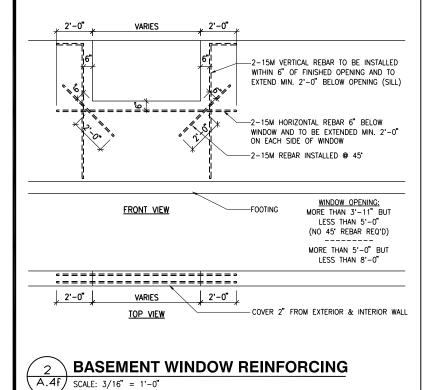
DRESS: |SCALE: XX | 3/16" = 1'-0" | DATE: XX/XX/XXXX

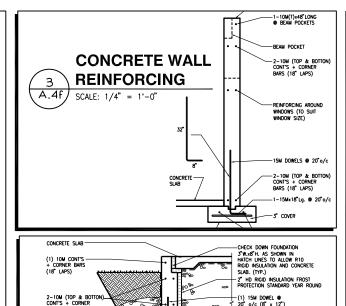
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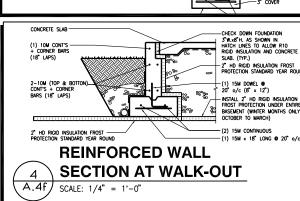
(STANDARD DRAWINGS)

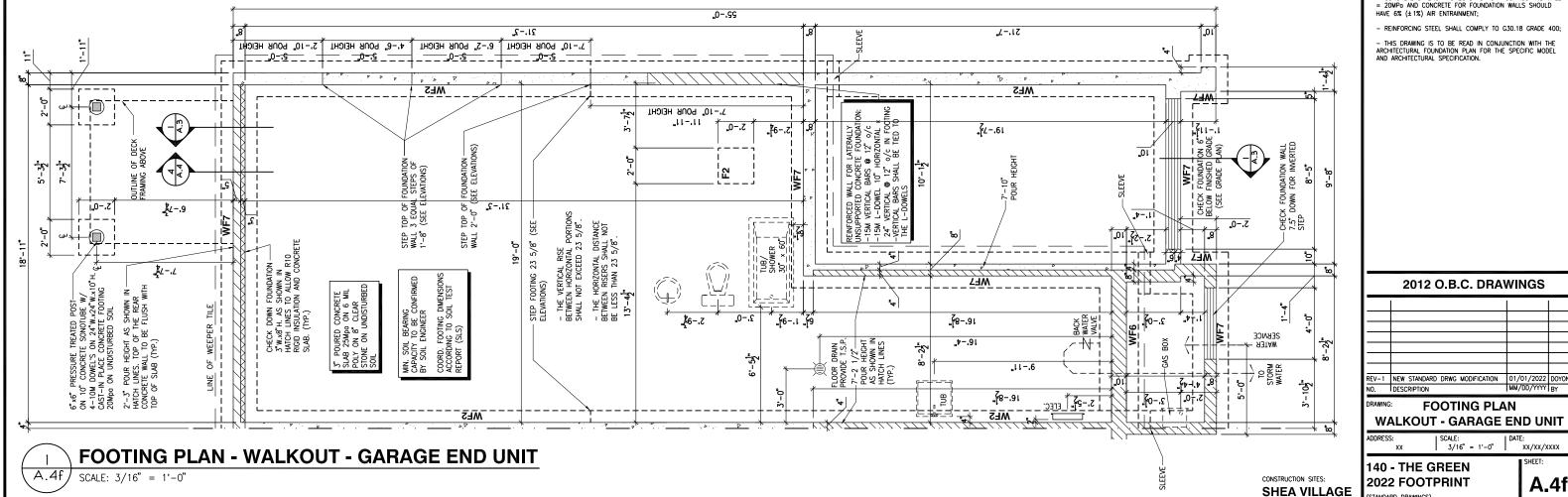
A.4e











Homes (2019) Limited

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2012 O.B.C. DRAWINGS

IO. DESCRIPTION FOOTING PLAN

WALKOUT - GARAGE END UNIT 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

SHEET A.4f

XX/XX/XXXX

(STANDARD DRAWINGS)

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM

 $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c

 $\langle 5 \rangle$

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING

PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

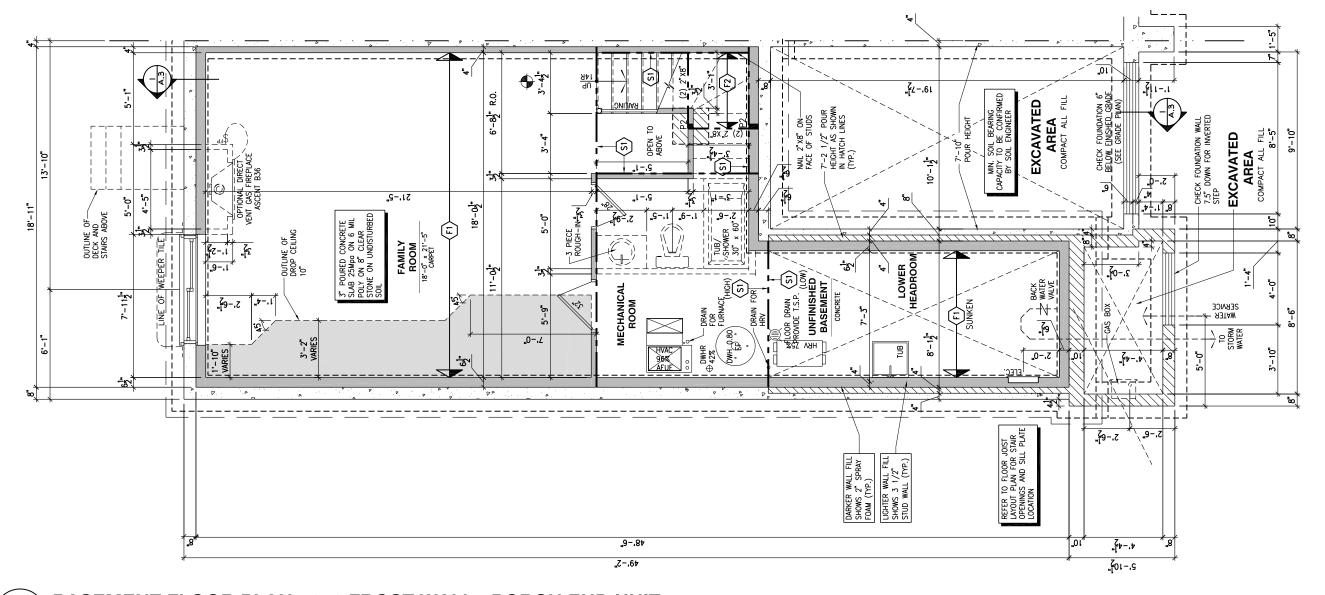
– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



A.5a, SCALE: 3/16" = 1'-0"

BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPo) AT 28 DAYS;

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

Homes (2019) Limited

XXXX

XX/XX/XXXX

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NOTES: STEEL LINTEL:	
S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12 S7 = L 150x100x10 (8" BEARING)	
LINTEL TABLE	

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

TREATED LUMBER POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5a

XX/XX/XXXX

CONSTRUCTION SITES: SHEA VILLAGE

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

LINE OF

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

21.-2,

CONCRETE O ON 6 MIL CLEAR UNDISTURBEI

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

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WALK-OUT DECK FRAMING NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPo) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

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- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

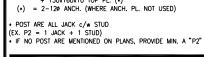
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DATE: DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 S DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE I-- IA AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN) THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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AREA
COMPACT ALL FILL FILL 8'-5" - CHECK FOUNDATION W 7.5" DOWN FOR INVER STEP P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) 5.−0,



LOT:

XXXX

XX/XX/XXXX

Homes (2019) Limited

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 OIBIOI BILATINGO						
			1			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022				
NO.	DESCRIPTION	MM/DD/YYYY	I BY			

TAWING: BASEMENT FLOOR PLAN

3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT (A.5b) SCALE: 3/16" = 1'-0"

1.,+-,1

CONSTRUCTION SITES: SHEA VILLAGE

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O B C DRAWINGS

2x6 FROST WALL - MID UNIT

XX/XX/XXXX SHEET

A.5b

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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- JOIST HANGERS AT EVERY JOIST CONNECTION

REINFORCED WALL FOR LATERALLY

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPo) AT 28 DAYS;

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BASEMENT NOTE:

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15M VERTICAL BARS @ 12" o/c 15M L-DOWEL 10" HORIZONTAL x 24" VERTICAL @ 12" o/c IN FOOTING -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS "01 ე⊹ .61-7<mark>]</mark>.. 411-.1 EXCAVATED AREA COMPACT ALL FILL 2"x8" ON— OF STUDS 2 1/2" POUR HT AS SHOWN ATCH LINES AREA
MPACT ALL FILL FILL 8'-5" OPEN ABOVE (<u>s</u>) NAIL Ŷ, CHECK FOUN 7.5" DOWN F STEP 5.-q<u>.</u> X 71.-5<u>"</u> -3 PIECE ROUGH-I ₩. 3.-0¹.. 3° PC SLAB POLY STONE 2FKAICE [1,-4]- 44 **MATER** <u>Z</u>9 :₹₹ H-0.80) 6.−8<u>]"</u> FLOOR JOIST LAN FOR STAIR AND SILL PLATE

A.5c

BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

I-- IA AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT

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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

		I	l			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY0			
NO.	DESCRIPTION	MM/DD/YYYY	BY			

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - GARAGE END

3/16" = 1'-0" XX/XX/XXXX

SHEET A.5c

2022 FOOTPRINT (STANDARD DRAWINGS)

140 - THE GREEN

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

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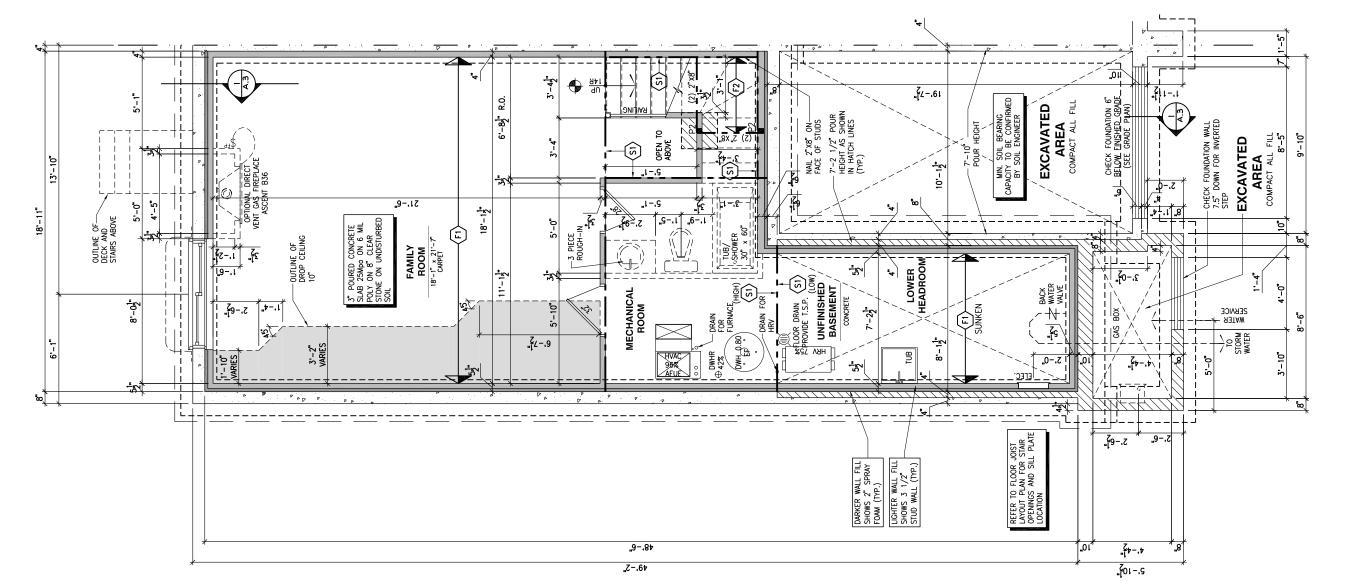
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A.5d

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

SHEET

2022 FOOTPRINT (STANDARD DRAWINGS)

140 - THE GREEN

A.5d

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- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

WALK-OUT DECK FRAMING NOTES:

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

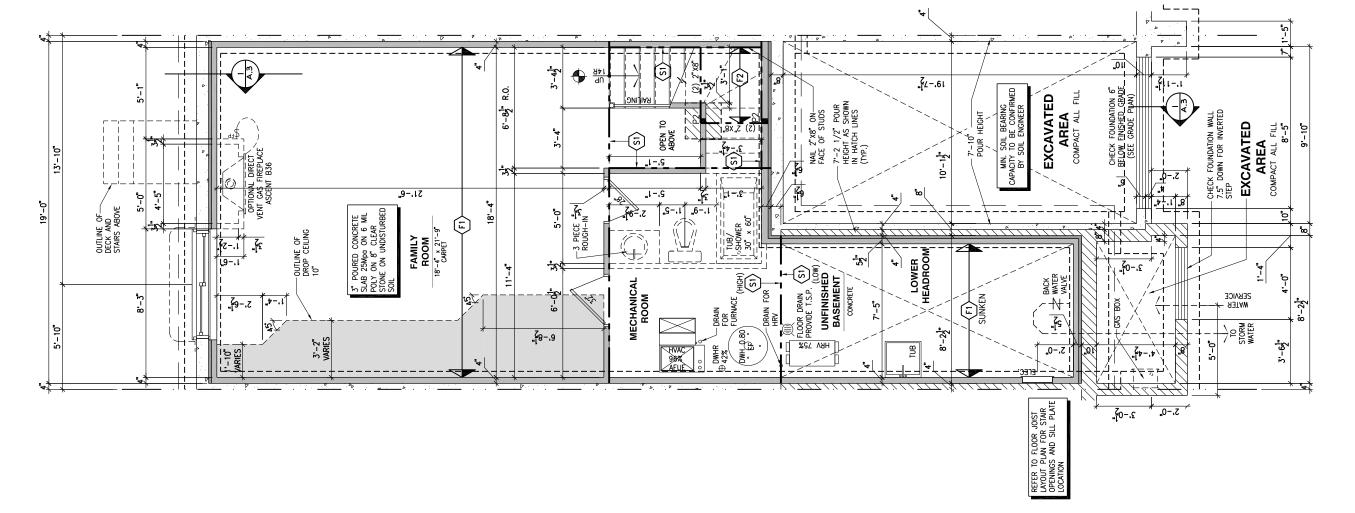
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BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

A.5e, SCALE: 3/16" = 1'-0"

SHEA VILLAGE

CONSTRUCTION SITES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPo) AT 28 DAYS;

DATE: XX/XX/XXXX Homes (2019) Limited

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XXXX

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611

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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$

LINTEL TABLE:

S7 = L 150x100x10 (8" BEARING)

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
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P4 = 4-2x4 OR 4-2x6
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P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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2012 O B C DBAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS			
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: BASEMENT FLOOR PLAN

3/16" = 1'-0"

ENERGY STAR - MID UNIT

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5e

XX/XX/XXXX

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

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REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION -15M VERTICAL BARS @ 12" o/c 15M L-DOWEL 10" HORIZONTAL > 24" VERTICAL @ 12" o/c IN FOOTING -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS 1,01 P . P . P .011 -<u>₽</u>Z ...Z.-.61 :-11<u>-</u>,1 EXCAVATED AREA COMPACT ALL FILL NAIL 2"X8" ON— FACE OF STUDS -7'-2 1/2" POUR HEIGHT AS SHOWN IN HATCH LINES (TYP.) -CHECK FOUNDATION WALL 7.5" DOWN FOR INVERTEC STEP EXCAVATED
AREA
COMPACT ALL FILL OPEN (<u>s</u>) _b-.zS OURED CONCRET 25Mpa ON 6 N ON 8" CLEAR E ON UNDISTURI 4₹ BACK **ZEBAICE** 1.,+-,1 ~ # - A3TAW CHANIC -ζ_ς H-0.80 9--9 1 5.-0.. \<u>_{_1</u>/4.-4]" FLOOR JC AN FOR S AND SILL

A.5f

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

SHEA VILLAGE

CONSTRUCTION SITES:

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896

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2012 O B C DBAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: BASEMENT FLOOR PLAN **ENERGY STAR - GARAGE END**

3/16" = 1'-0" XX/XX/XXXX

(STANDARD DRAWINGS)

140 - THE GREEN 2022 FOOTPRINT

SHEET **A.5f**

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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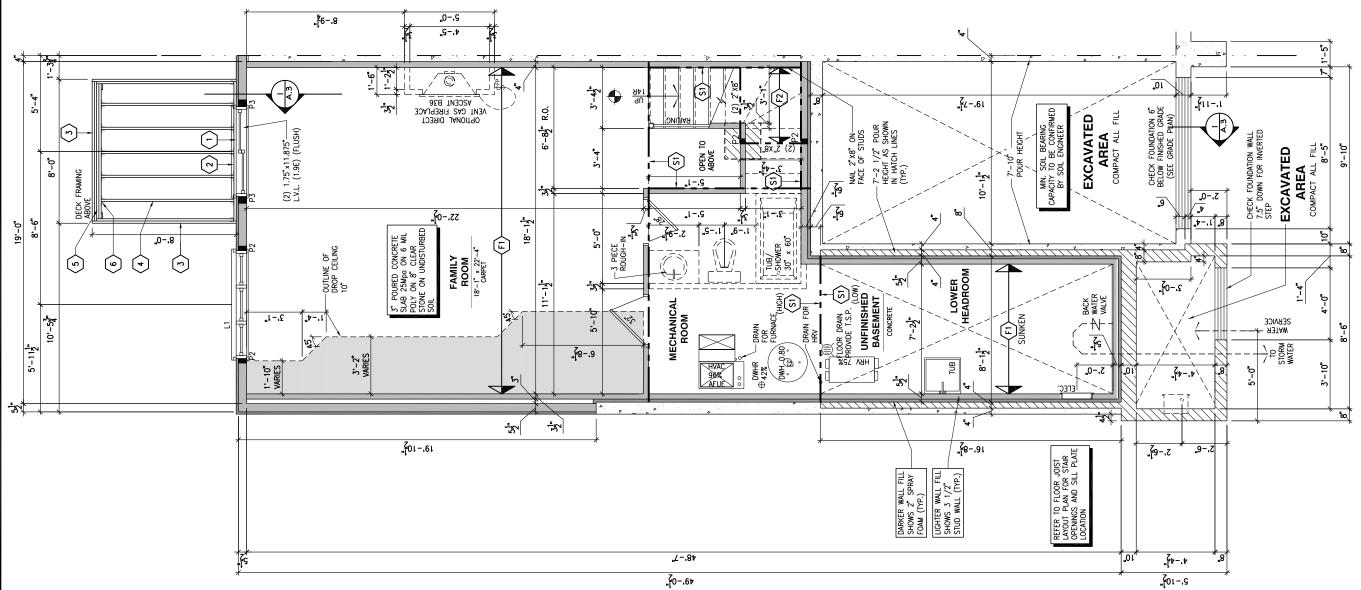
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BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

A.5g/ SCALE: 3/16" = 1'-0"

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Homes (2019) Limited

XXXX

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PERSONAL BCIN #19896

LOT:

DATE:

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SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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POST BY USP
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O B C DBAWINGS

	2012 O.B.C. DRAWINGS			
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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON IO. DESCRIPTION

RAWING: BASEMENT FLOOR PLAN **WALKOUT - PORCH END UNIT**

3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.5g

XX/XX/XXXX

SHEET

CONSTRUCTION SITES: SHEA VILLAGE

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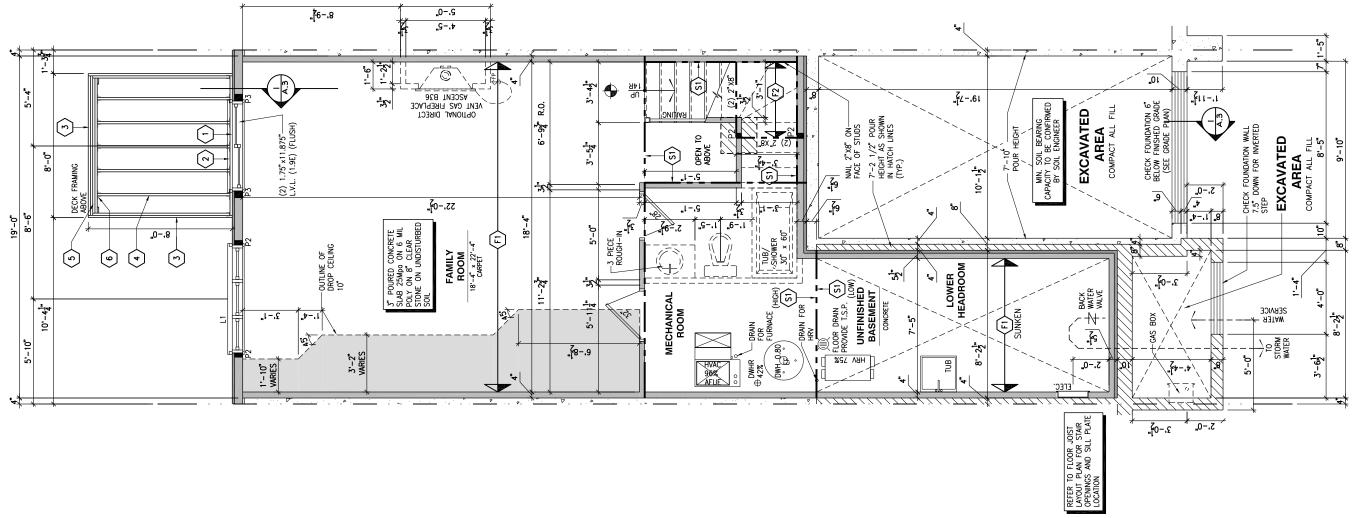
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A.5h,

BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

Homes (2019) Limited

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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)F NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYC
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN **WALKOUT - MID UNIT**

3/16" = 1'-0" XX/XX/XXXX

SHEET 140 - THE GREEN

2022 FOOTPRINT (STANDARD DRAWINGS)

A.5h

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

REINFORCED WALL FOR LATERALLY UNSUPPORTED CONCRETE FOUNDATION 15M VERTICAL BARS @ 12" o/c 15M L-DOWEL 10" HORIZONTAL 24" VERTICAL @ 12" o/c IN FOOTING -VERTICAL BARS SHALL BE TIED TO THE L-DOWELS 2,-0 <u>-F</u>2 8.-61. .01 **"**⊆−.⊅ 10. 0 "<u>\</u>7-'91 "<u>-</u>11-'1 **YECENT B36** EXCAVATED AREA COMPACT ALL FILL VENT GAS FIREPLACE OPTIONAL DIRECT 2"X8" ON—
OF STUDS
172" POUR
HT AS SHOWN
ATCH LINES SOIL BEARING TO BE CONFI SOIL ENGINEER 0 ION WALL EXCAVATED
AREA
COMPACT ALL FILL FILL 8'-5 0 NAIL 2' FACE 0.

- 7'-2 1/
HEIGHT 4 IN HATCH (TYP.) (\sim) OPEN ABOVE 75"×11. (1.9E) (<u>5</u>) CHECK BELOW (SEE NDATI FOR Ġζ (<u>2</u>) **.**0−.Z 55.-0⁵.. "p-'1]"8 5.-8<u>J</u> ..0-.8 3 PIECE ROUGH-(v) (m) (\circ) ...OE T.S.P. (LOW) / (UNFINISHED / BASEMENT / CONCPT BACK WATER VALVE <u>.</u>‡4 MECHANIC/ ROOM **ZEBAICE** "l –′δ ~ +4 - A3TAW <u>Z</u>g \ 6.-8₁" <u>~</u> 48V 75% Z.-0**..** JOIST STAIR L PLATE FLOOR JC AN FOR S AND SILL 5 J S

BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT A.5i SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

S DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE I-- IA AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

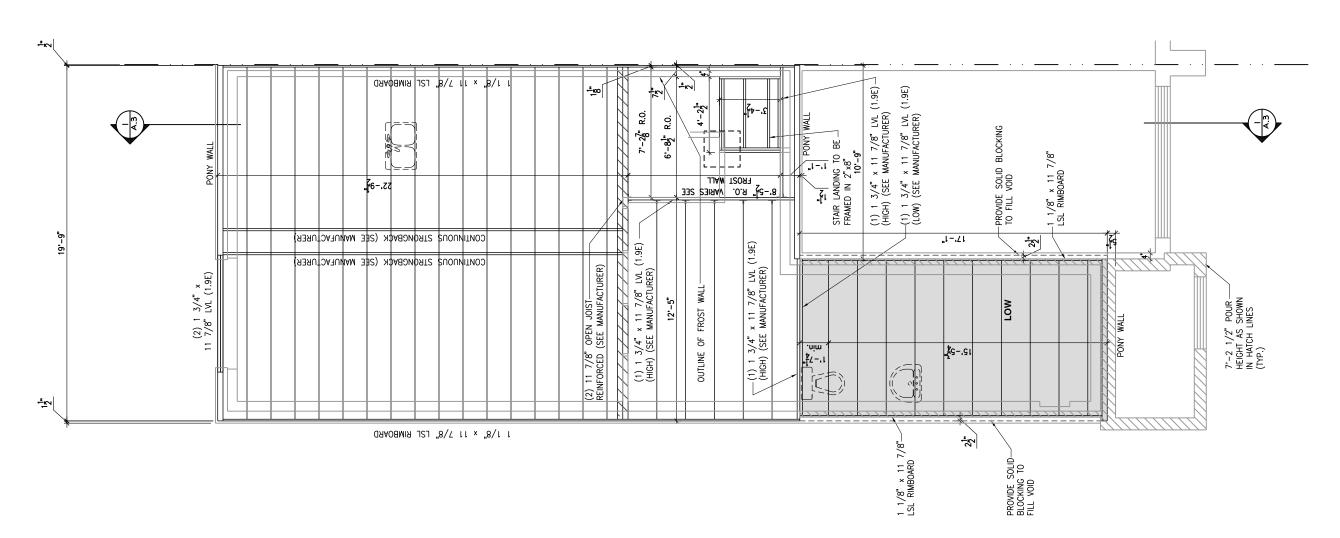
AWING: BASEMENT FLOOR PLAN **WALKOUT - GARAGE END UNIT**

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.5i**



(A.6a)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY 5HOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

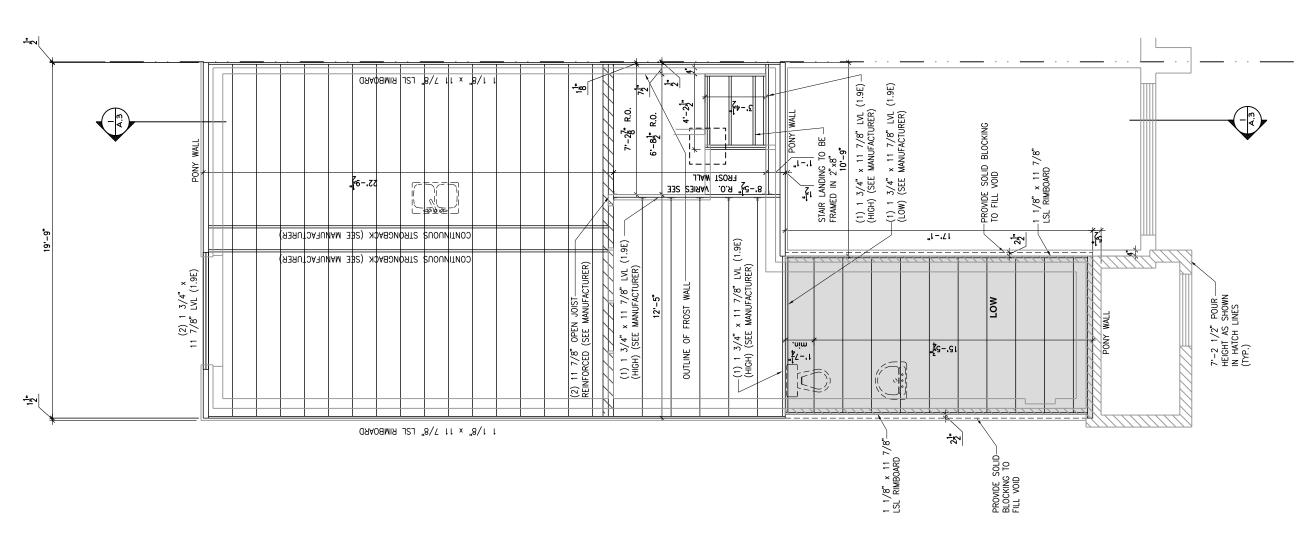
 NO.
 DESCRIPTION
 MM/DD/YYYY BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6a



(A.6b

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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 01/01/2022 DOYON

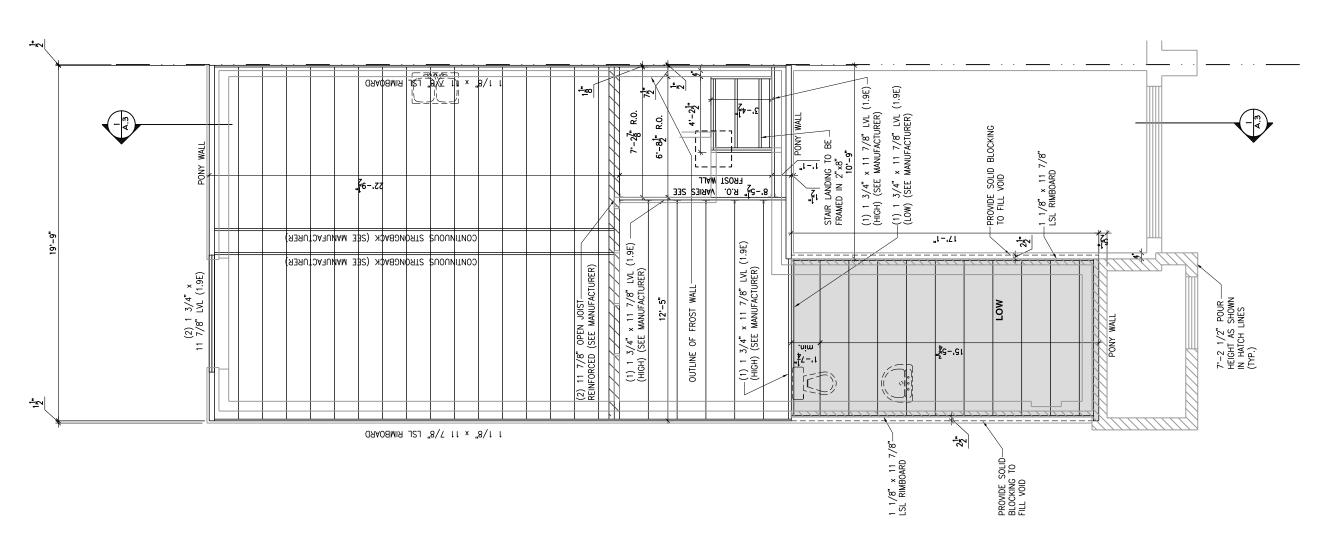
 NO.
 DESCRIPTION
 MM/DD/YYYY BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6b



(A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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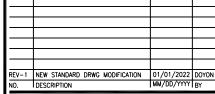
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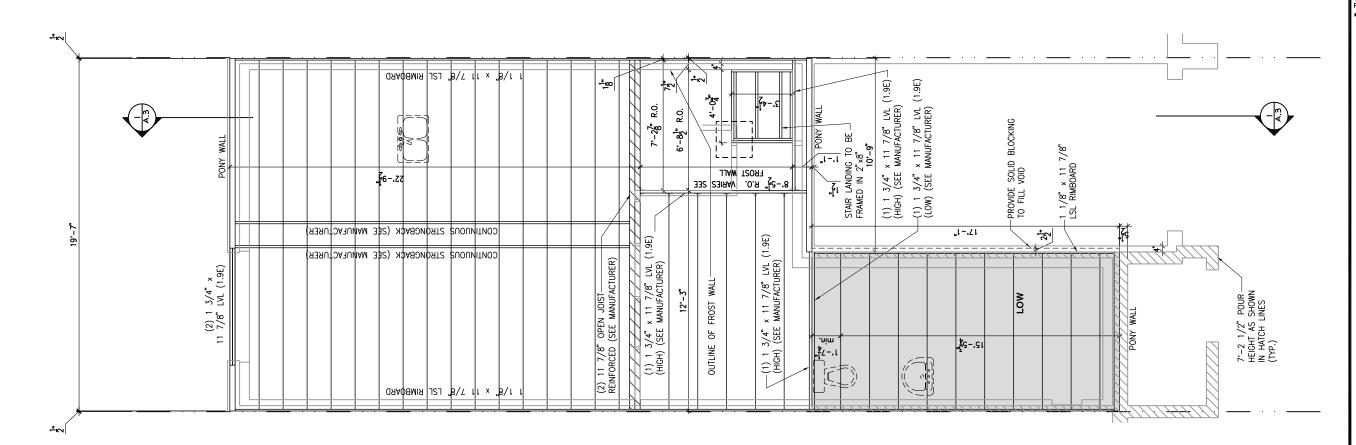


RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6c





Homes (2019) Limited

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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6d

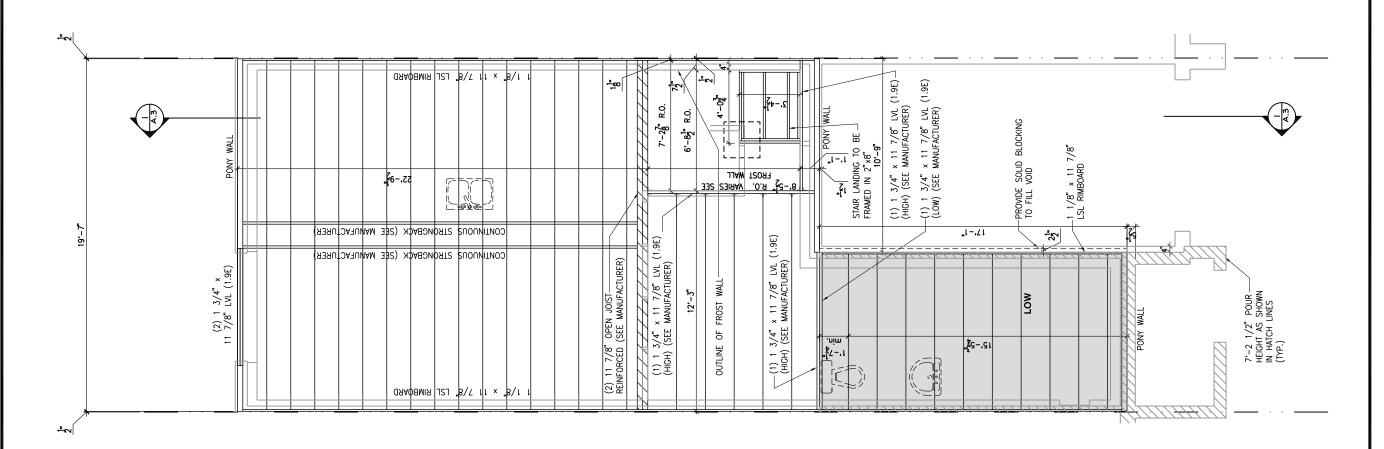
DATE: XX/XX/XXXX

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

(A.6d

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:



Homes (2019) Limited

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 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

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 DESCRIPTION
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DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

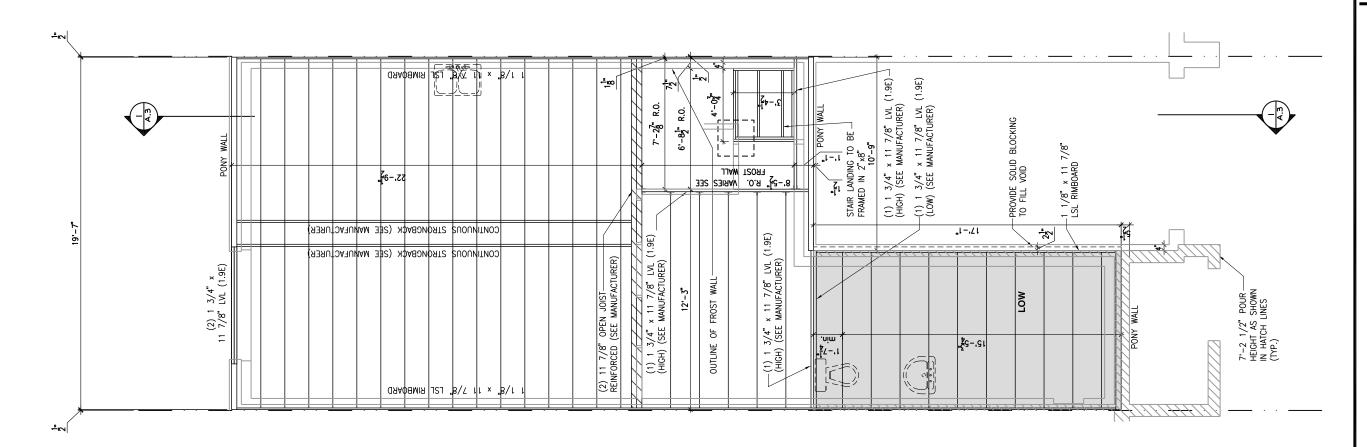
SHEET: A.6e

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT

(A.6e)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:





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 NEW STANDARD DRWG MODIFICATION
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DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

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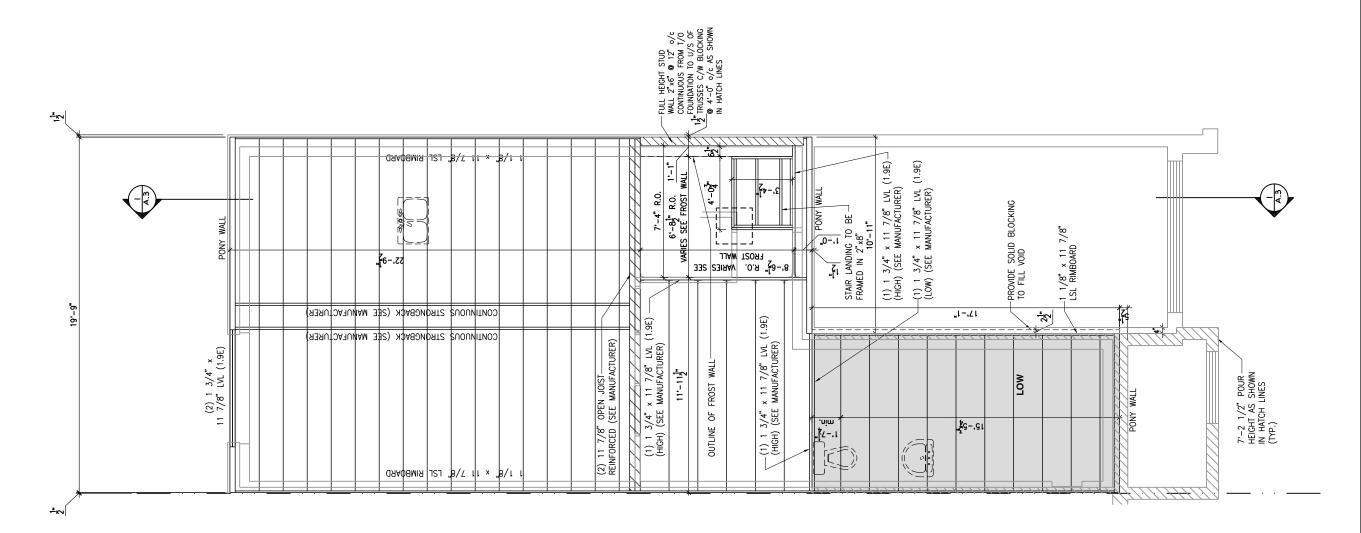
140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

SHEET: A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT



(A.6g*)*

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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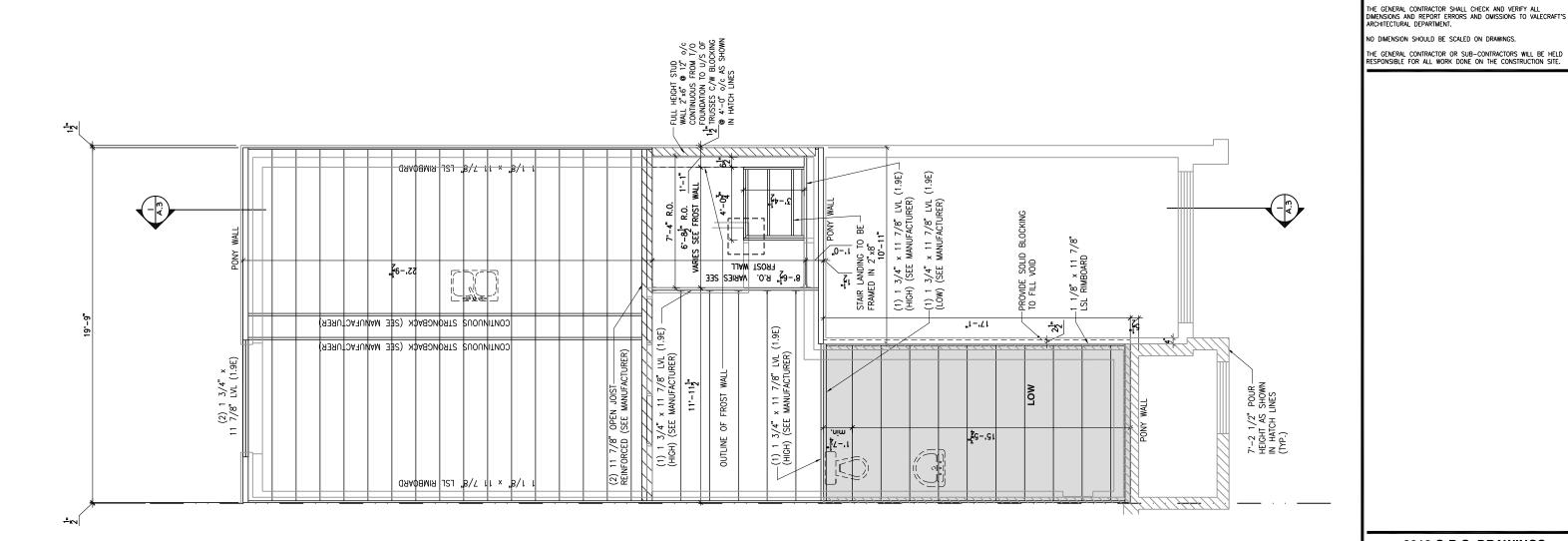
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET A.6g



 REV-1
 NEW STANDARD DRWG MODIFICATION
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 NO.
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 RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END** | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

SHEET:

A.6h

2012 O.B.C. DRAWINGS

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

LOT:

DATE:

DOCUMENT

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XX/XX/XXXX

Valecraft
Homes (2019) Limited

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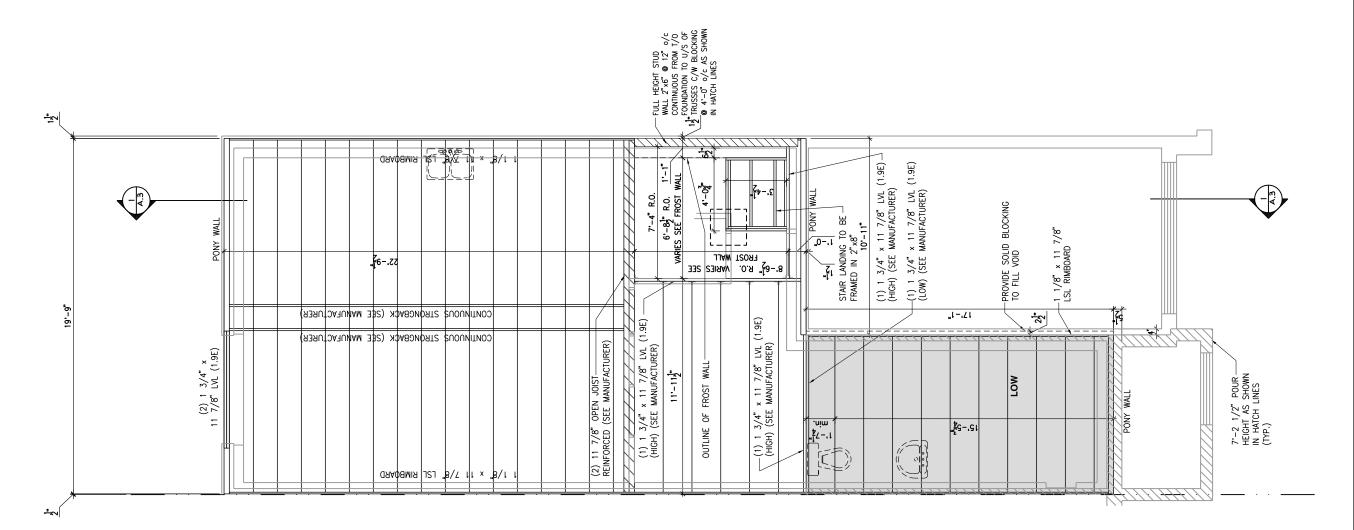
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

CONSTRUCTION SITES: SHEA VILLAGE



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY BY

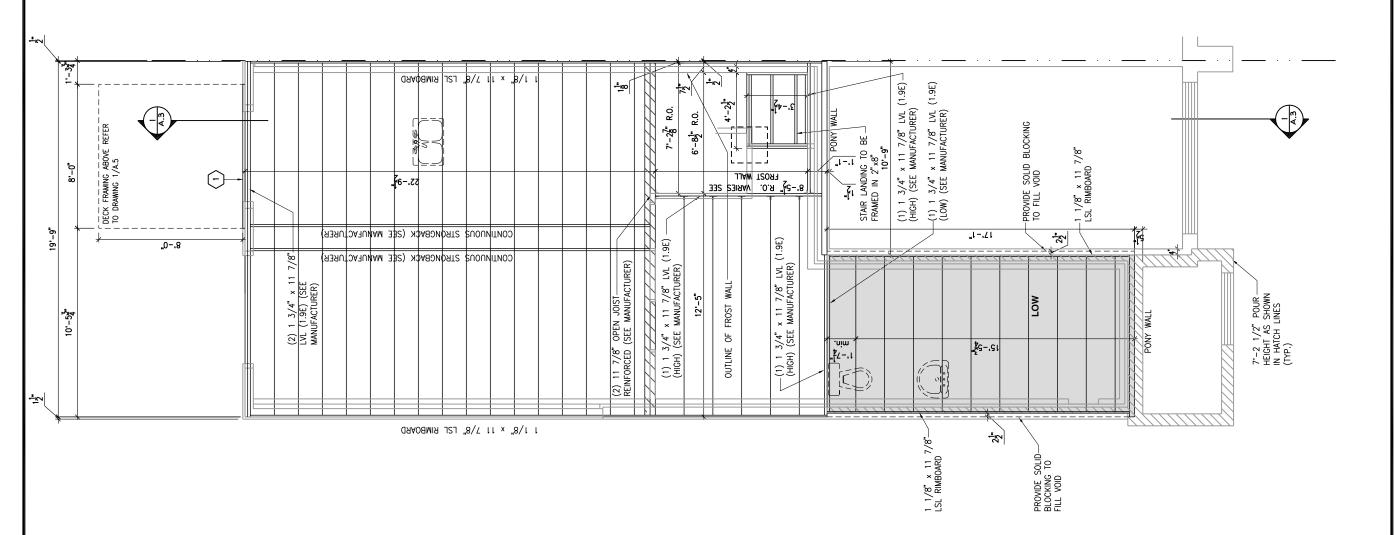
PRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6i

 $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewap or equivalent continuous over solid blocking



LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

| SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

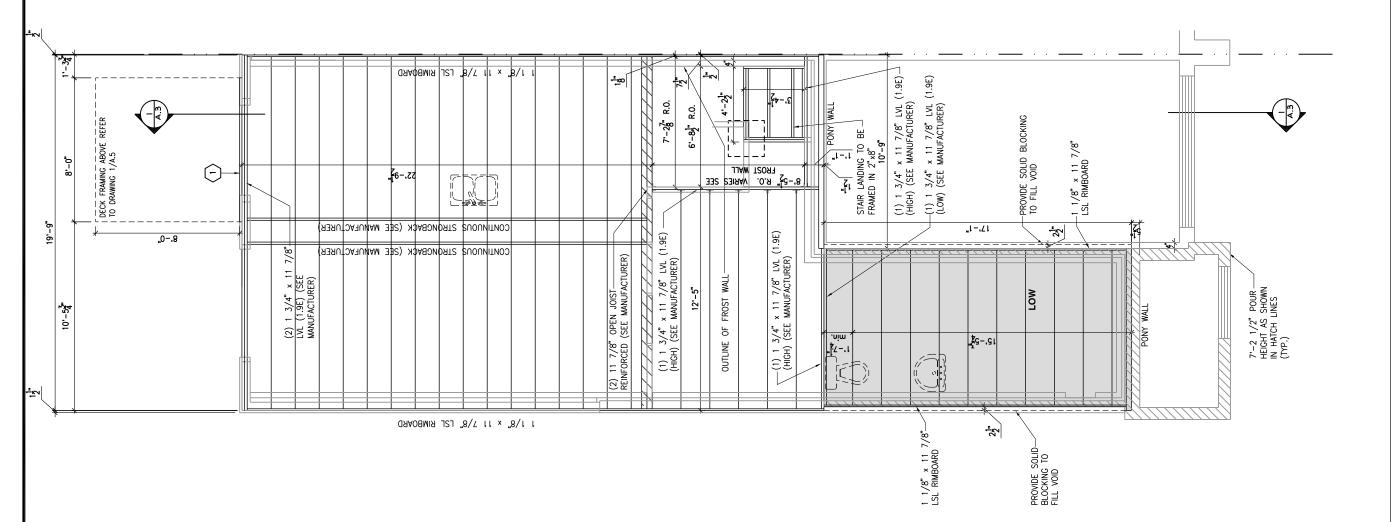
SHEET A.6j

xx/xx/xxxx

CONSTRUCTION SITES:

SHEA VILLAGE

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

(A.6k) SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	RY

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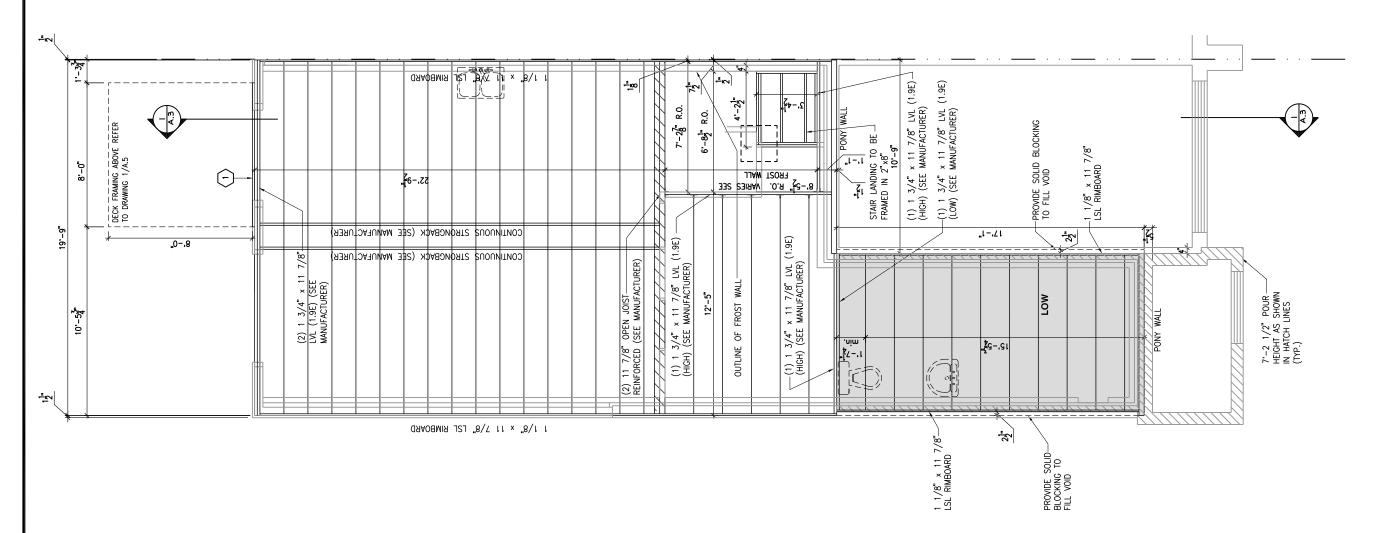
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140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6k

DATE: XX/XX/XXXX



LOT: XXXX DATE: XX/XX/XXXX



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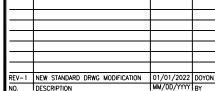
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2012 O.B.C. DRAWINGS



DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

| SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

SHEET: **A.6**I

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

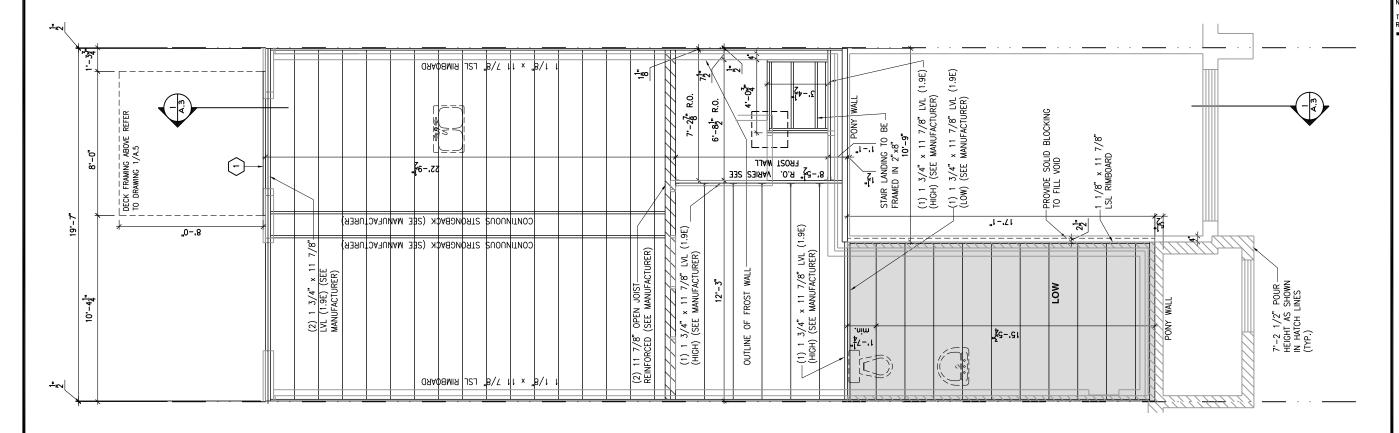
A.61

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE

(STANDARD DRAWINGS)



LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

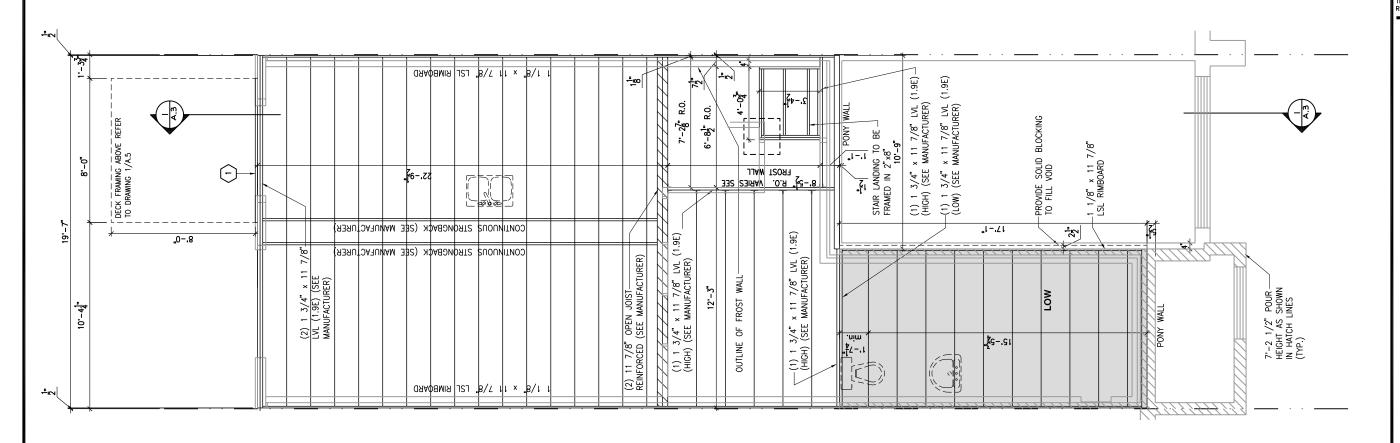
140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

SHEET: |A.6m|

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT



LOT: XXXX DATE: XX/XX/XXXX



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 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

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 DESCRIPTION
 MM/DD/YYYY BY

DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

| SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

SHEET: A.6n

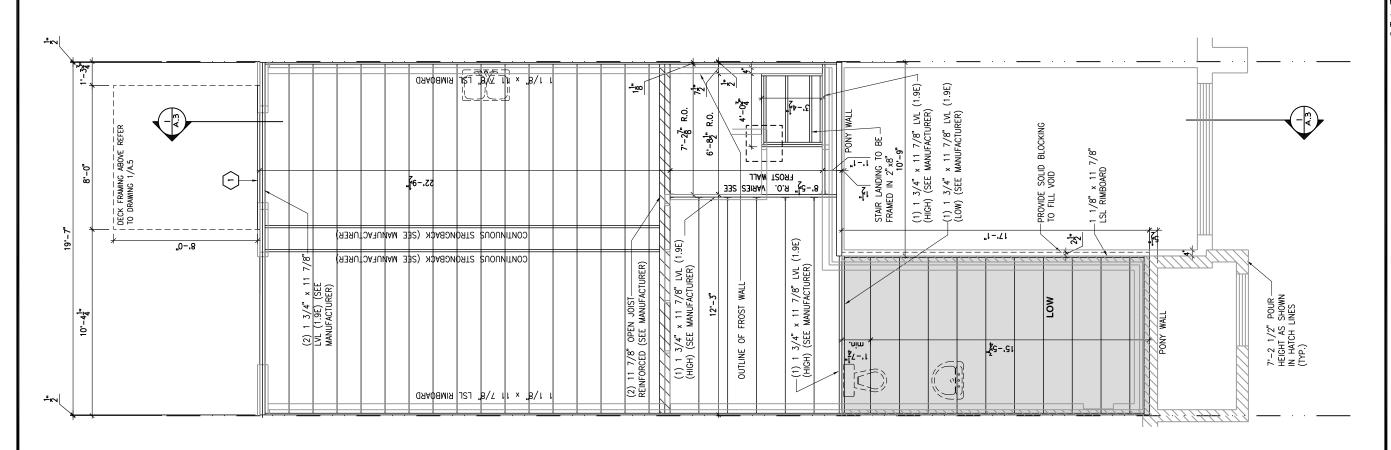
xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

(A.6n

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:



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| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

CONSTRUCTION SITES:

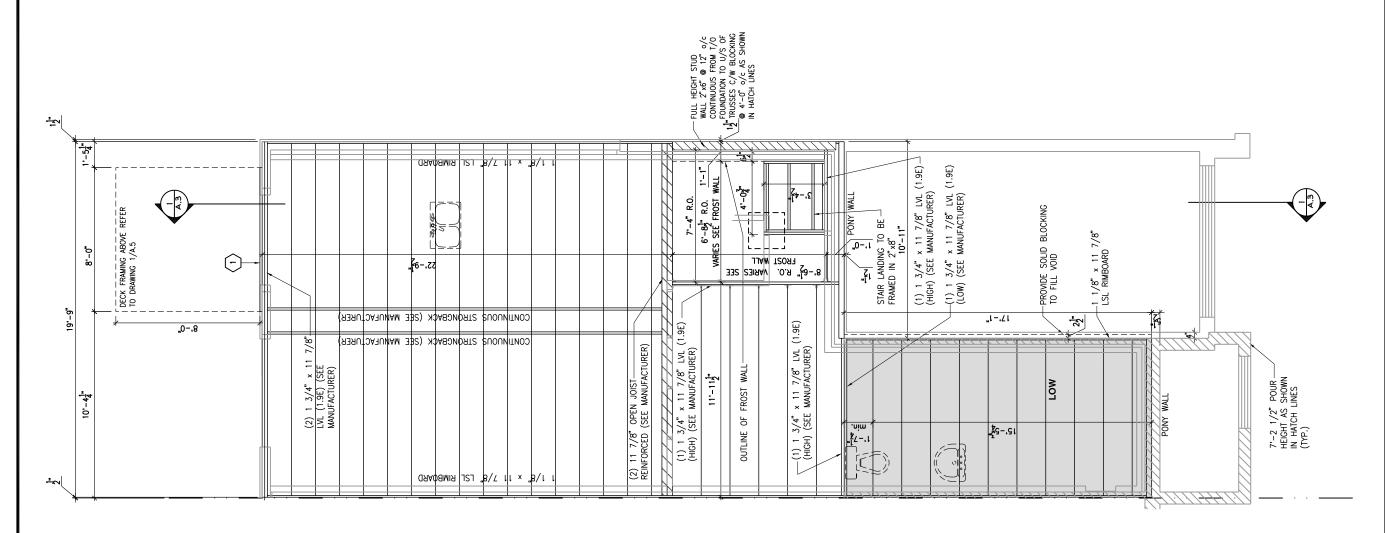
SHEA VILLAGE

SHEET: A.60

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT

(A.60

SCALE: 3/16" = 1'-0"



LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END | SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

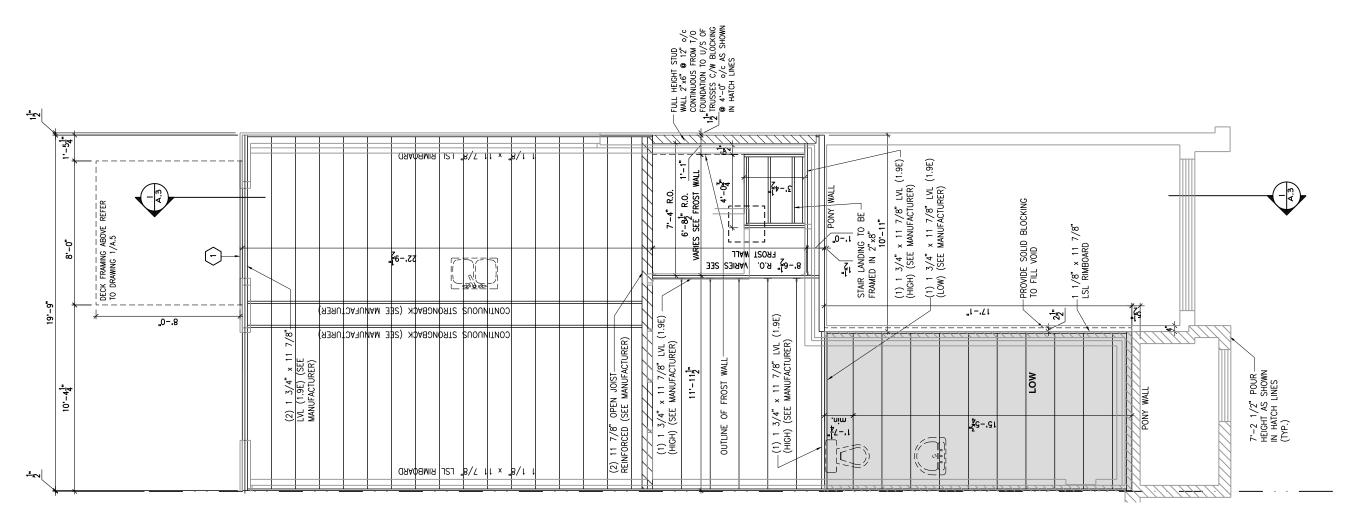
xx/xx/xxxx SHEET: (A.6p

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

(A.6p)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT (A.6q)

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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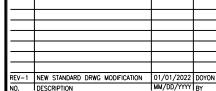
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DRAWING: GROUND FLOOR - JOIST

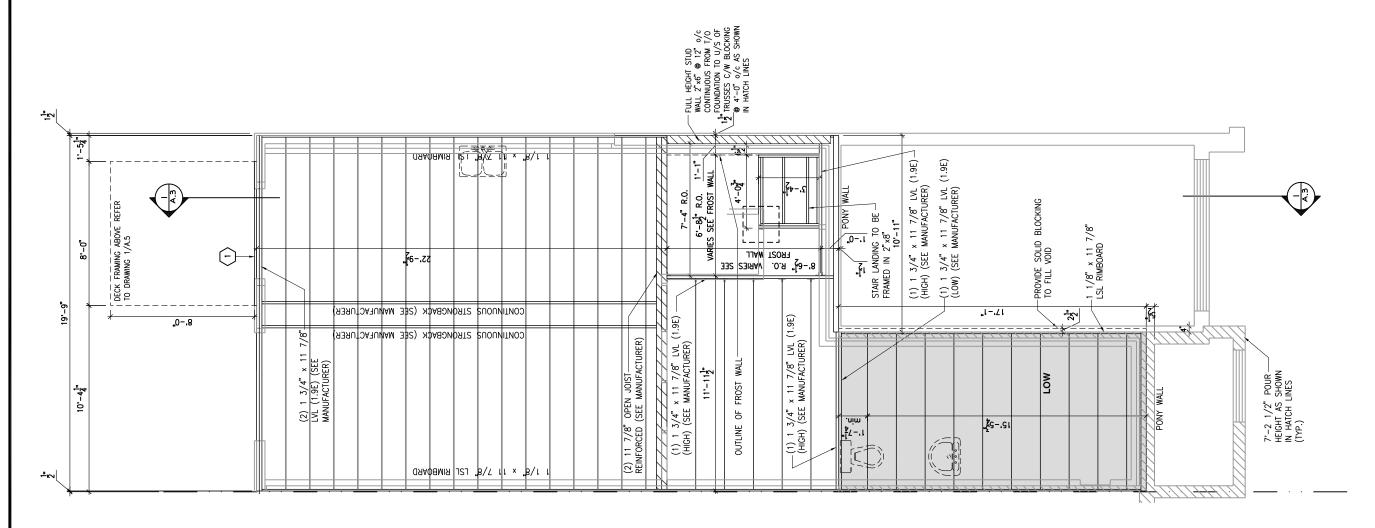
FRAMING-WALKOUT-GARAGE END | SCALE: | 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6q

SCALE: 3/16" = 1'-0"



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Homes (2019) Limited

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 MM/DD/YYYY BY

DRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END | SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

xx/xx/xxxx SHEET: A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

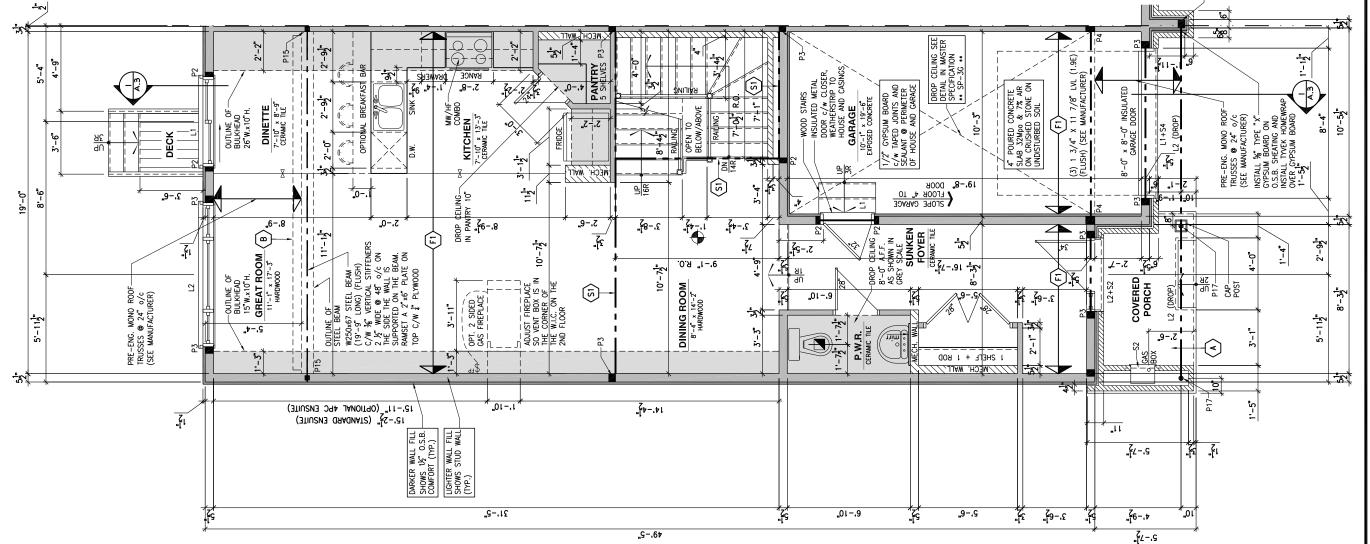
CONSTRUCTION SITES:

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD) • IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
 - POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
 - = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

COLO O D O DDAWINGS

2012 O.B.C. DRAWINGS			

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

DRAWING: GROUND FLOOR PLAN STANDARD KITCHEN - PORCH END

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

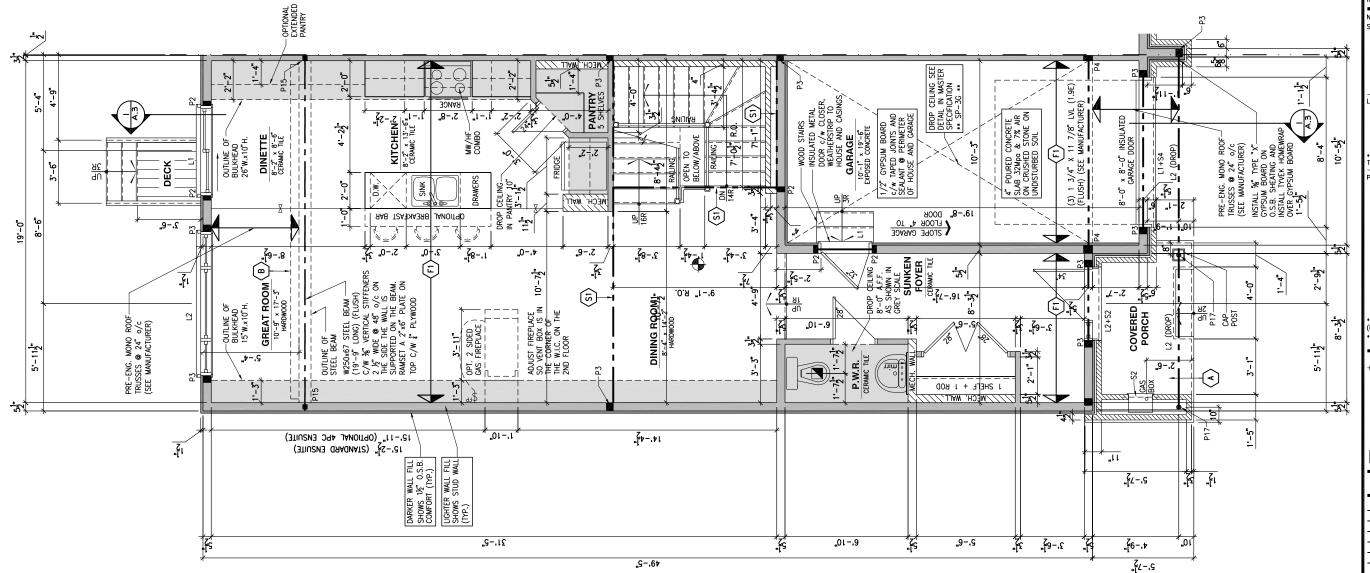
(STANDARD DRAWINGS)

SHEET **A.7**a

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE

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 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

PRAWING: GROUND FLOOR PLAN **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" XX/XX/XXXX SHEET

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7b

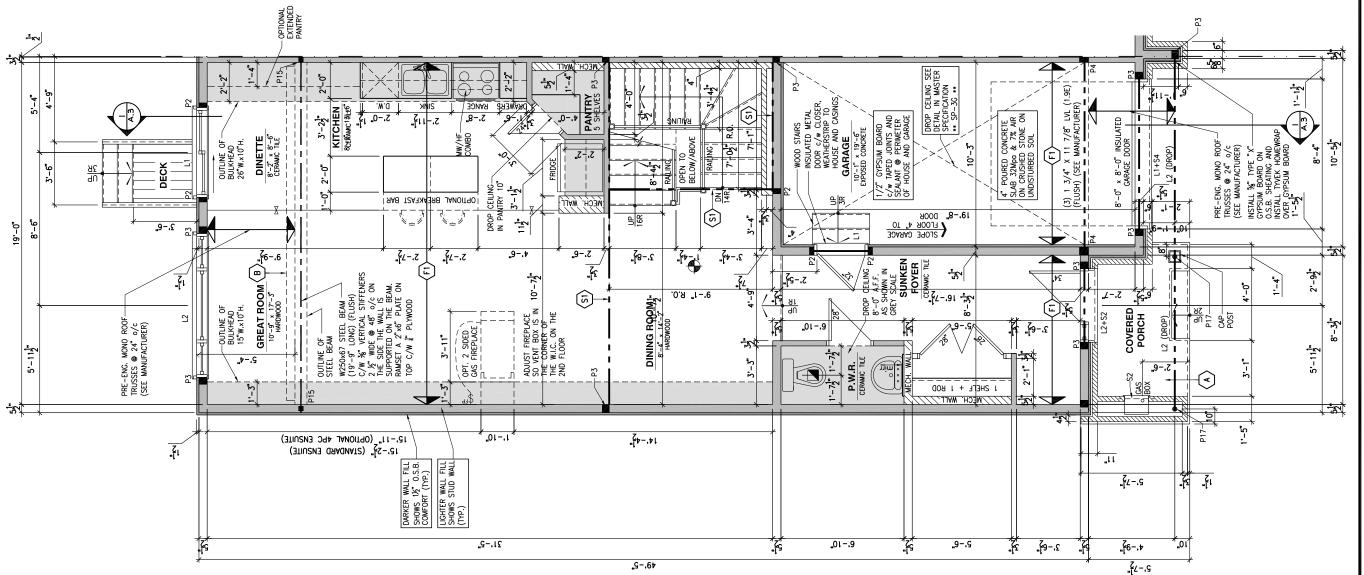
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GENERAL NOTES:

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PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAV	VINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

PRAWING: GROUND FLOOR PLAN OPT. KITCHEN #2 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

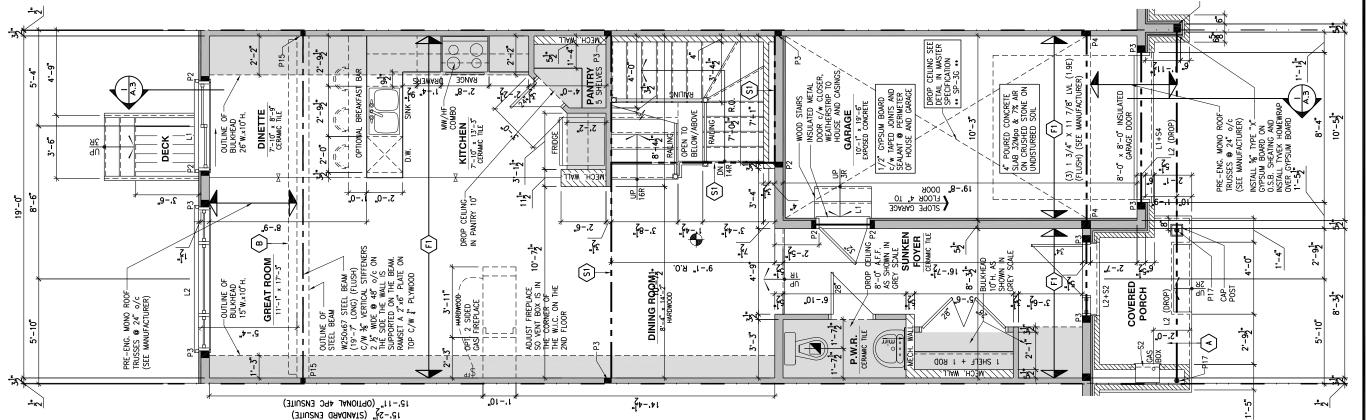
SHEET A.7c

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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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2012 O B C DBAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRAWINGS			
		1		
		<u> </u>		
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

GROUND FLOOR PLAN **STANDARD KITCHEN - MID**

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7d

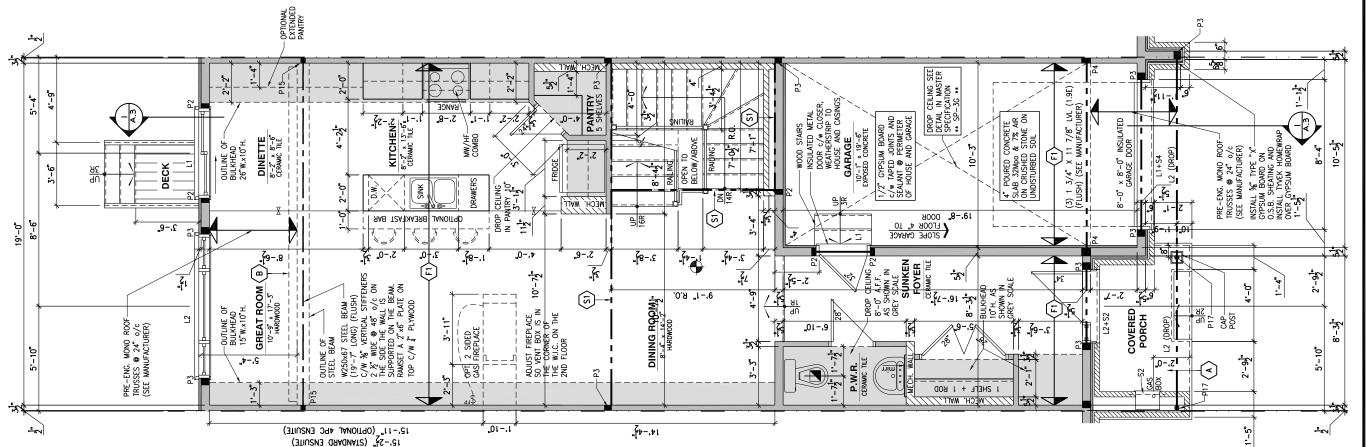
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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	2012 O.B.C. DRAWINGS			
		1		
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
NO.	DESCRIPTION	MM/DD/YYYY	BY	

RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #1 - MID**

3/16" = 1'-0" xx/xx/xxxx

> SHEET A.7e

2022 FOOTPRINT (STANDARD DRAWINGS)

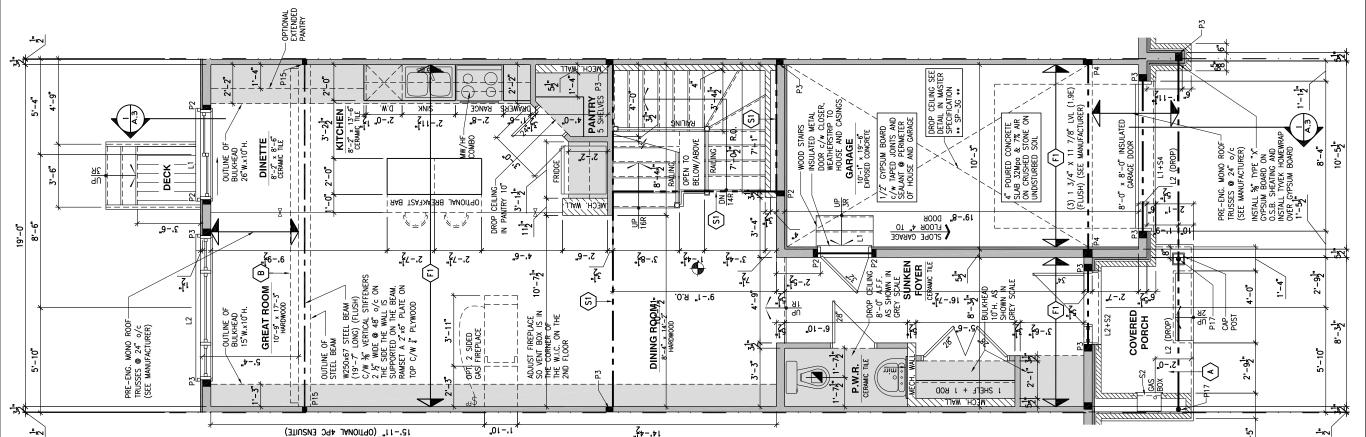
140 - THE GREEN

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

15'-2" (STANDARD ENSUITE)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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NOTES:						
STEEL	LIN	ΤEI	.:			
S1	=	L	90×90×6			
S2	=	L	90x90x8			
S3	=	L	100x90x8			
S4	=	L	125x90x8			
S5	=	L	125x90x10			
S6	=	L	200x100x12			
S7	=	L	150x100x10	(8"	BEARING)	
					-	-

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
		-	
		<u> </u>	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	

RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2 - MID**

3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7f

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

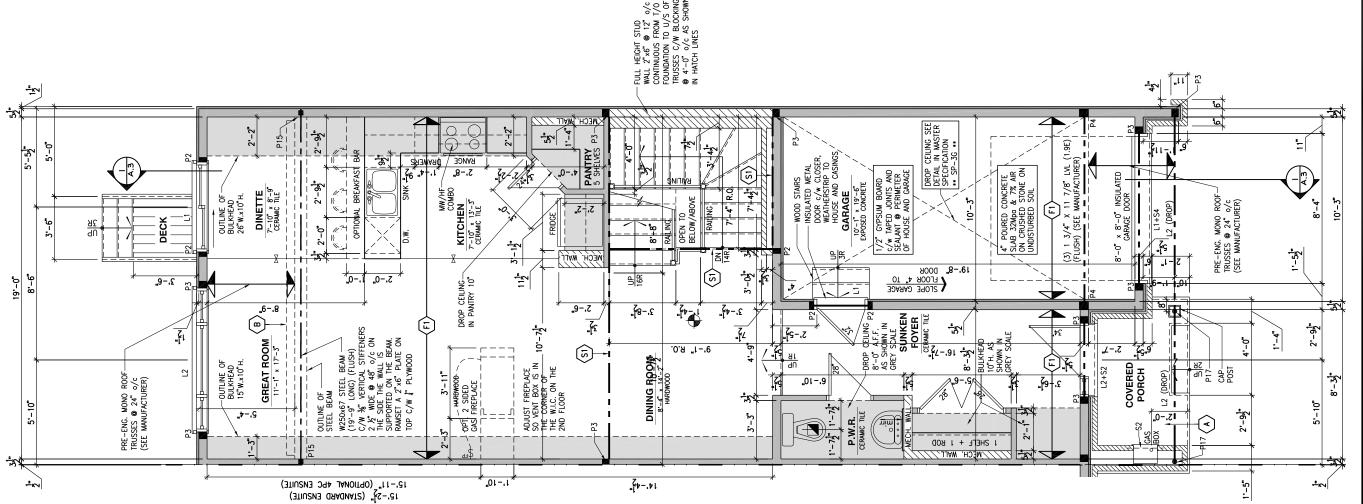
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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NOTES:	
STEEL LINTEL:	
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.7g

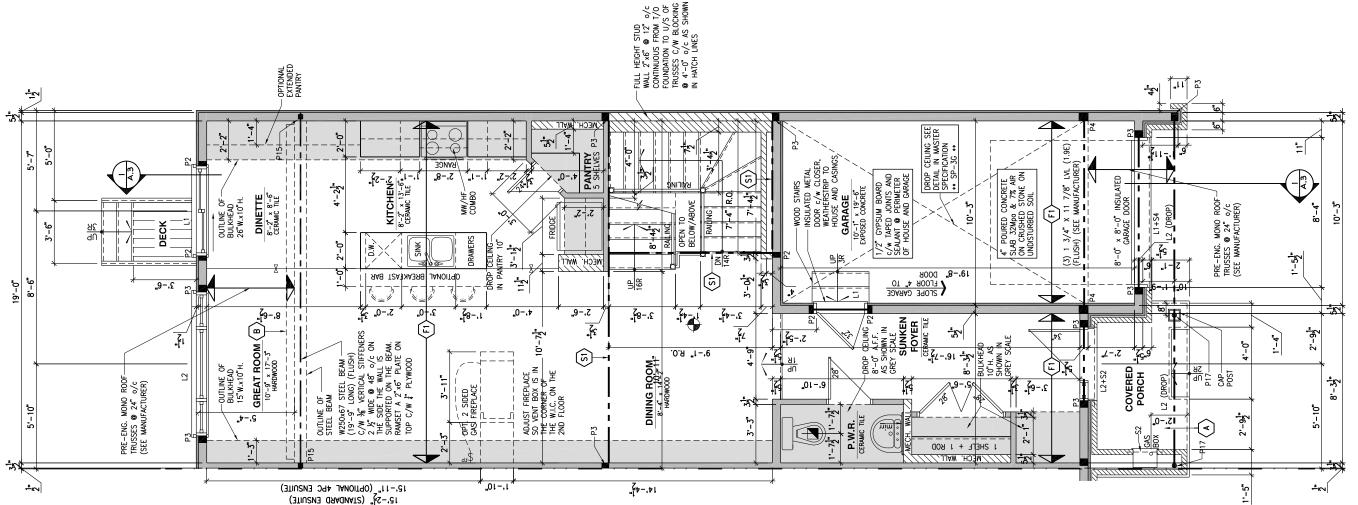
XX/XX/XXXX

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

ZOIZ OIDIOI DITATITITA				
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
١٥.	DESCRIPTION	MM/DD/YYYY	BY	

2012 O B C DRAWINGS

RAWING: GROUND FLOOR PLAN OPT. KITCHEN #1 - GARAGE END

3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.7h

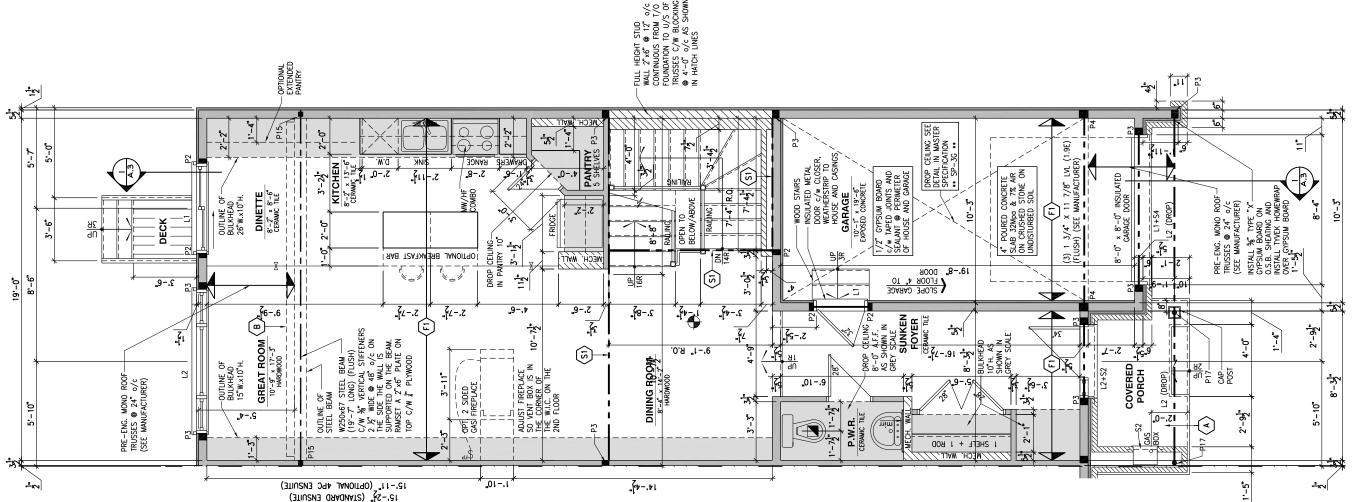
XX/XX/XXXX

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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NOTES: STEEL LINTEL:		
S4 = L 125x S5 = L 125x S6 = L 200x	00x8 k90x8 k90x8 k90x10	BEARING)

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	2012 O.B.C. DRA	WINGS	
		1	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: GROUND FLOOR PLAN OPT. KITCHEN #2 - GARAGE END

3/16" = 1'-0"

(STANDARD DRAWINGS)

140 - THE GREEN 2022 FOOTPRINT

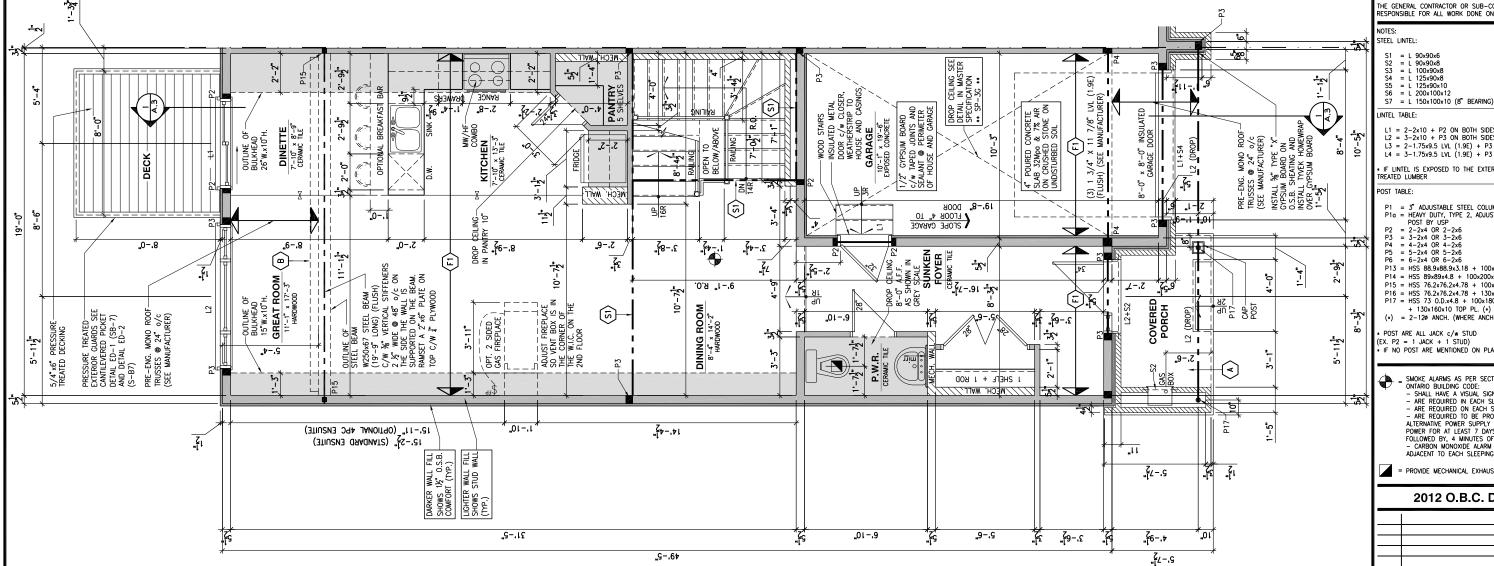
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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	RY

WGROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET A.7j

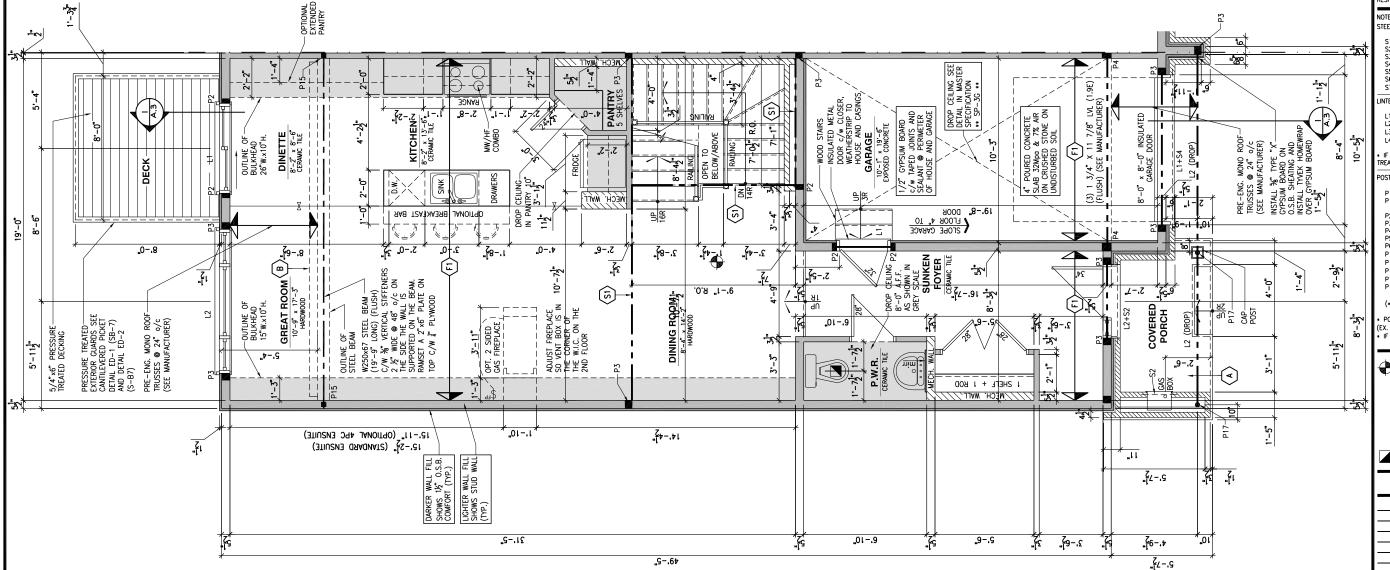
- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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S7 = L 150x100x10 (8" BEARING)

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.7k

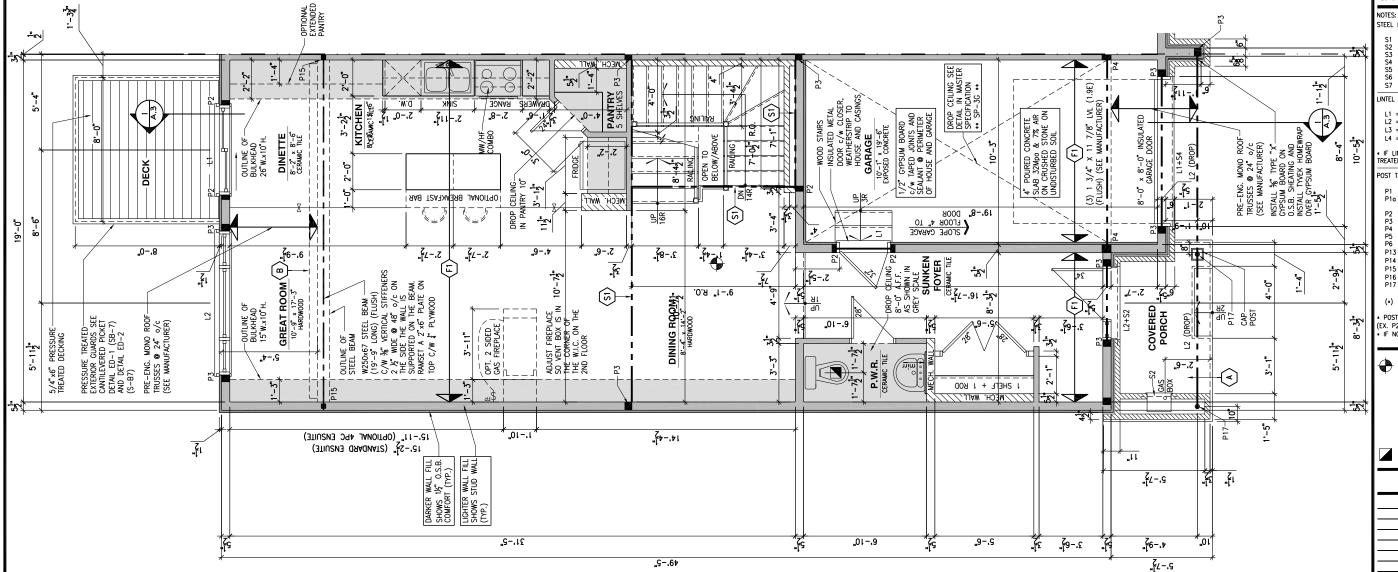
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CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 -PORCH END

3/16" = 1'-0" XX/XX/XXXX SHEET

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

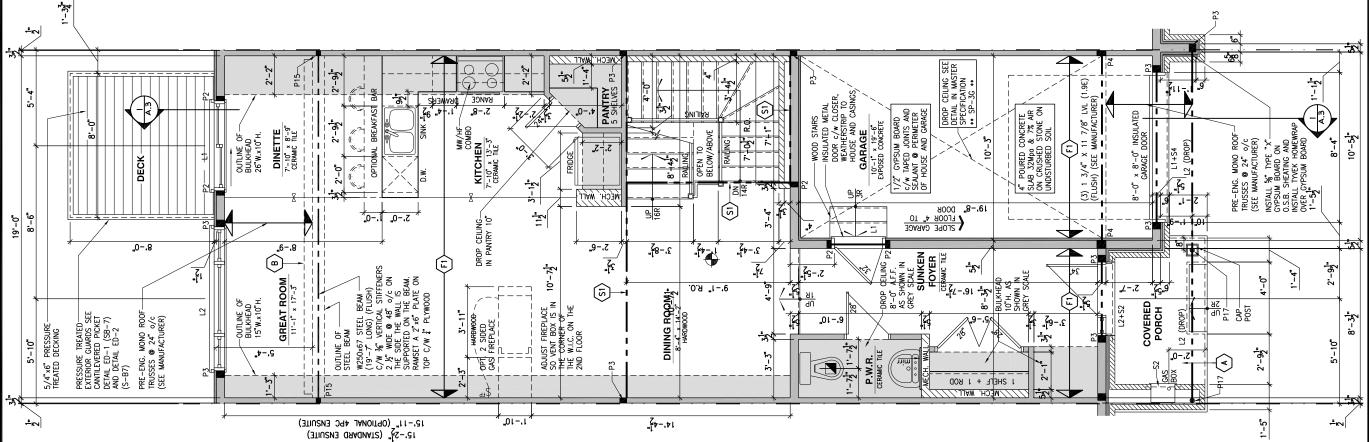
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2012 O B C DBAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
	+	+	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT **STANDARD KITCHEN - MID**

SCALE: 3/16" = 1'-0" 140 - THE GREEN

2022 FOOTPRINT

(STANDARD DRAWINGS)

XX/XX/XXXX SHEET A.7m

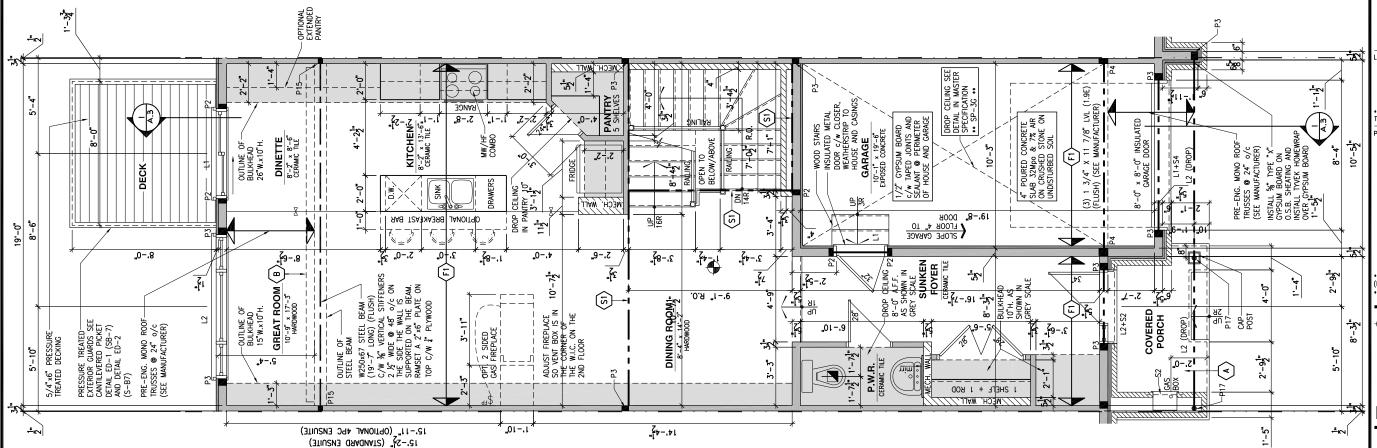
GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - WALKOUT OPTIONAL KITCHEN #1 - MID

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

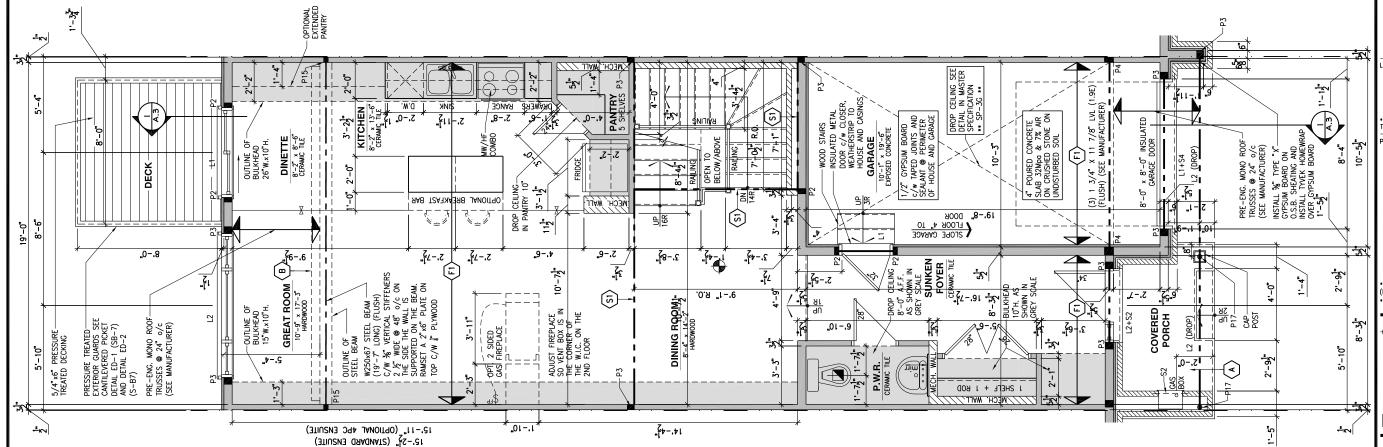
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SCALE: 3/16" = 1'-0" 140 - THE GREEN 2022 FOOTPRINT

CONSTRUCTION SITES: SHEA VILLAGE (STANDARD DRAWINGS)

DATE: XX/XX/XXXX Homes (2019) Limited

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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1
- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE RECOURED IN EACH SILEPING ROOM AND HALLWAY;
- ARE RECOURED ON EACH STOREY, INCLUDING BASEMENT;
- ARE RECOURED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

ALTERNATIVE PURPLY CAPABLE OF PROVIDING.
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM, AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWING	S
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EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYO
10.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - WALKOUT

OPTIONAL KITCHEN #2 - MID

SHEET **A.70**

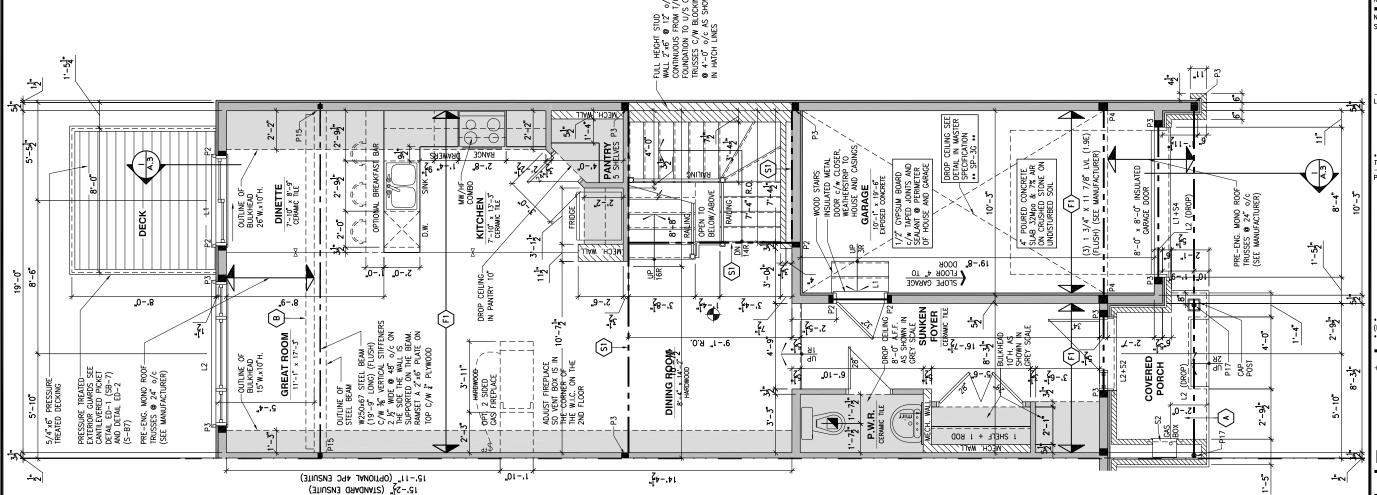
XX/XX/XXXX

- , 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM * THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE P1 = 3" ADJUSTABLE STEEL COLUMN
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P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED) * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

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ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING, FOLLOWED BY, 4 MINUTES OF ALARM; AND - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. = PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION AWGROUND FLOOR - WALKOUT

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

3/16" = 1'-0" XX/XX/XXXX SHEET 140 - THE GREEN **A.7**p 2022 FOOTPRINT

STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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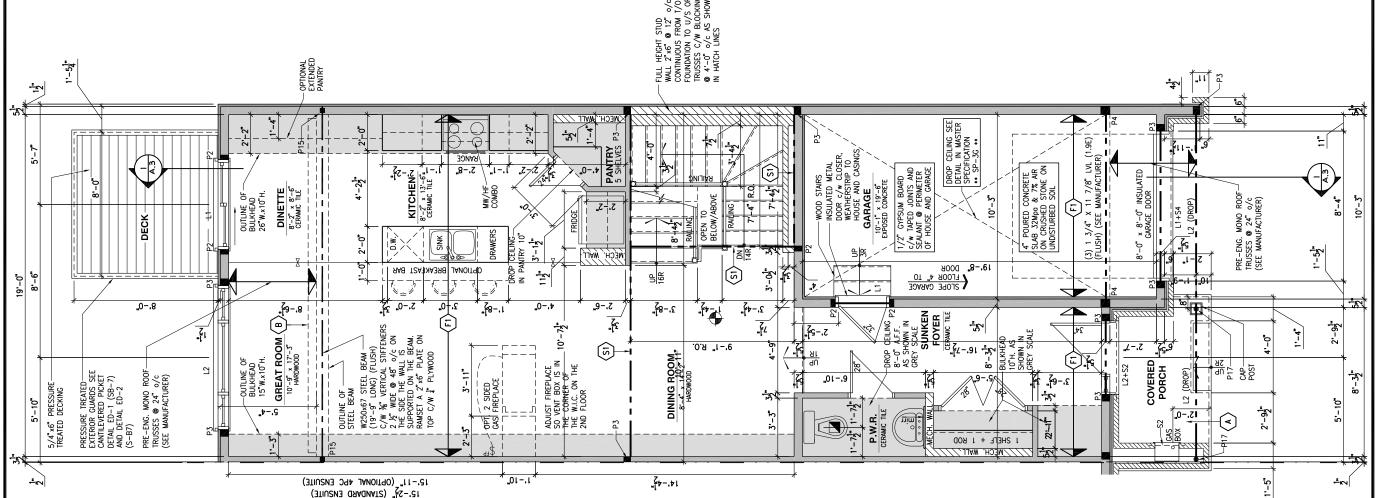
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
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140 - THE GREEN CONSTRUCTION SITES: 2022 FOOTPRINT SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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STEEL	LINTEL:
S1 S2 S3 S4 S5 S6 S7	= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - GARAGE END

XX/XX/XXXX

A.7q

SHEET

3/16" = 1'-0"

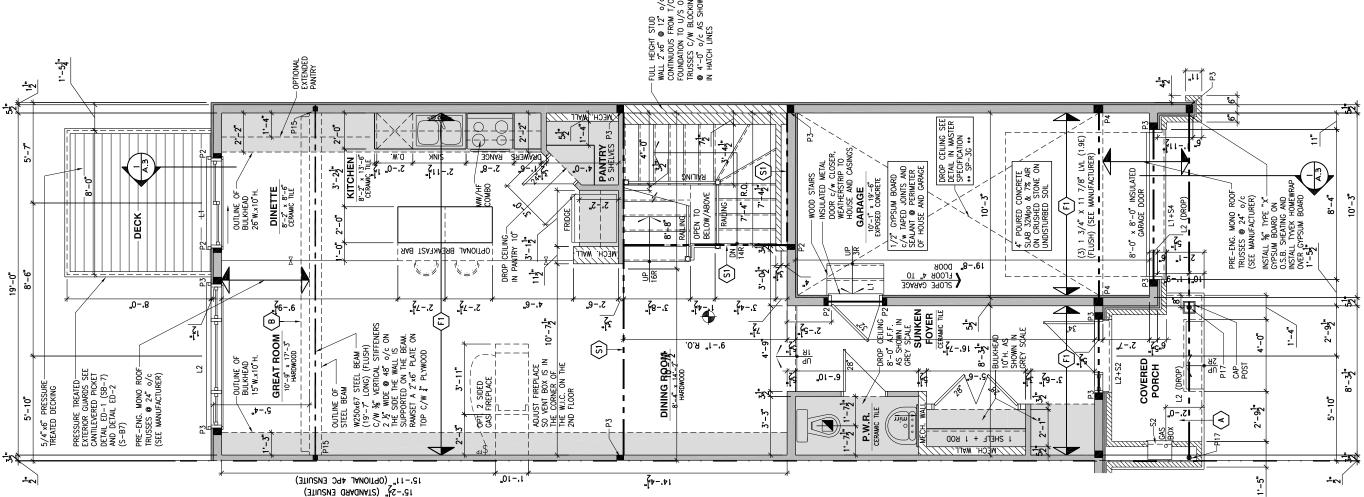
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140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

CONSTRUCTION SITES:

SHEA VILLAGE

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT SCALE: 3/16" = 1'-0"

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LINTEL TABLE:

LOT:

DATE:

DOCUMENT

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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2012 O B C DRAWINGS

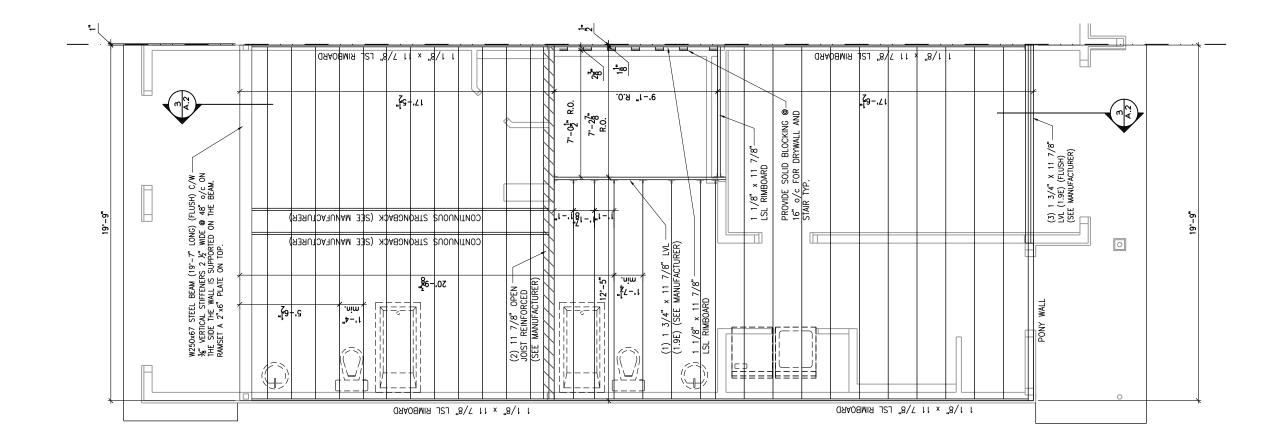
= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 OIBIOI BILITINIA				
		i I	l		
/-1	NEW STANDARD DRWG MODIFICATION	01/01/2022			
	DESCRIPTION	MM/DD/YYYY	RY		

AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END**

3/16" = 1'-0" XX/XX/XXXX SHEET

A.7r



(A.8a)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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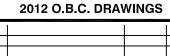
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 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022 DOYON

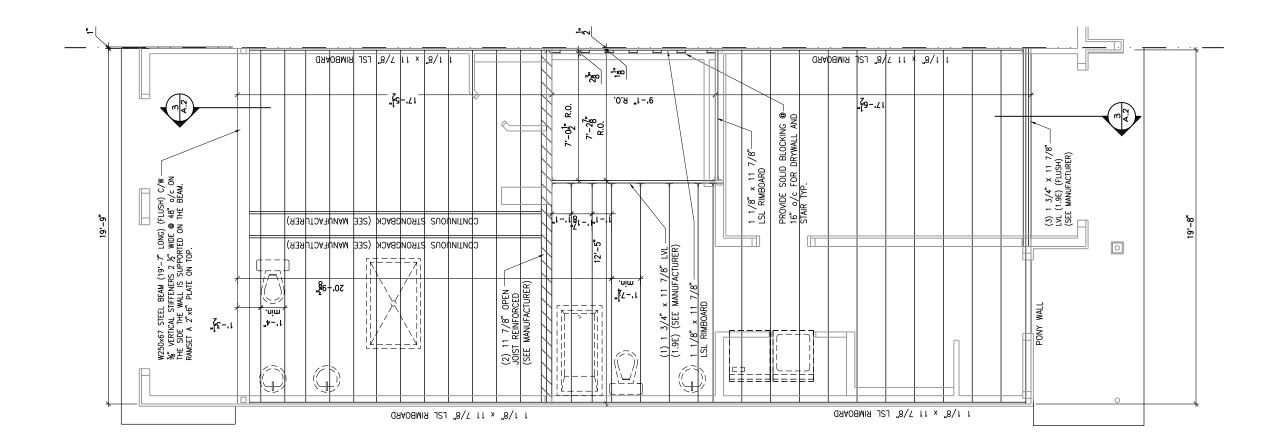
 NO.
 DESCRIPTION
 MM/DD/YYYY BY

ORAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8a



(A.8b

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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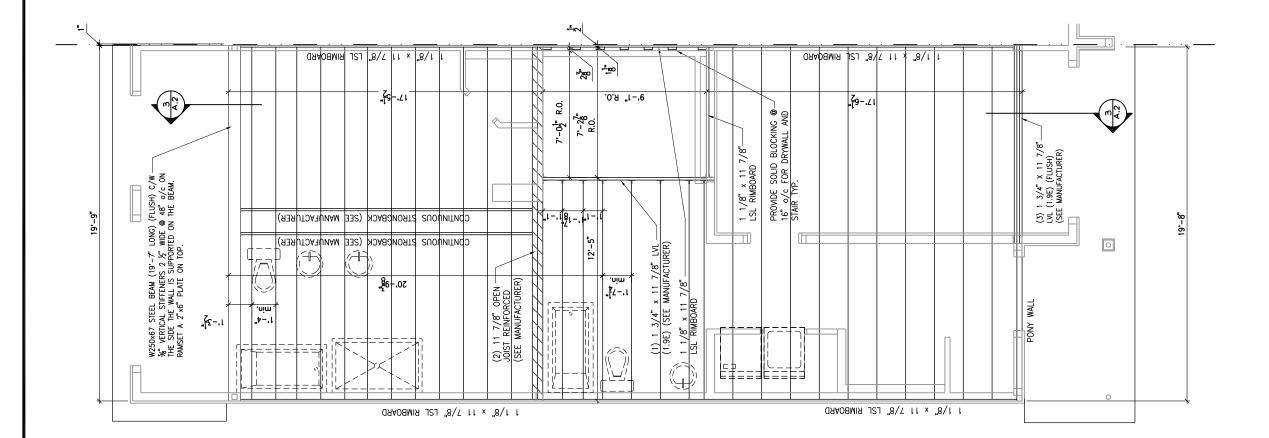
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8b



(A.8c

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

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•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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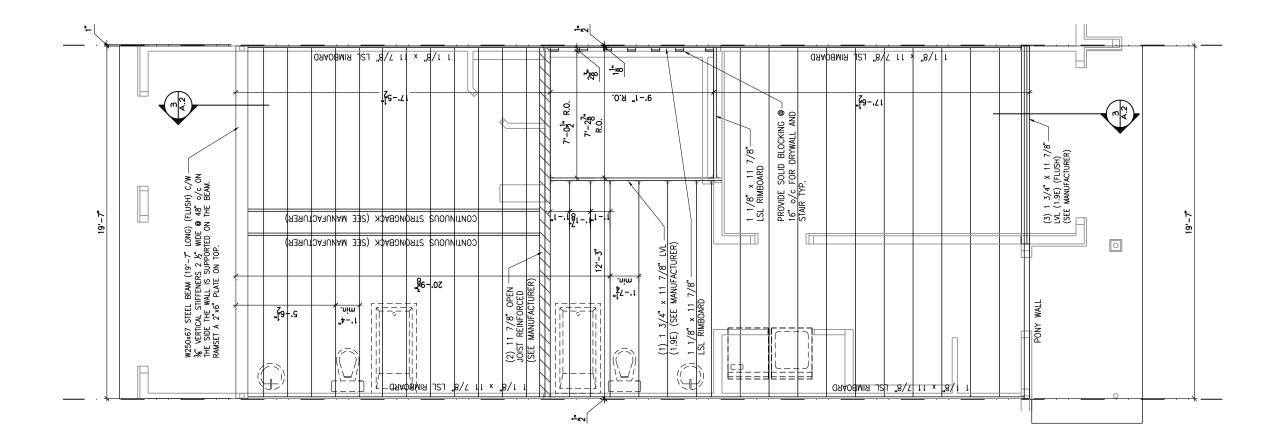
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8c



(A.8d

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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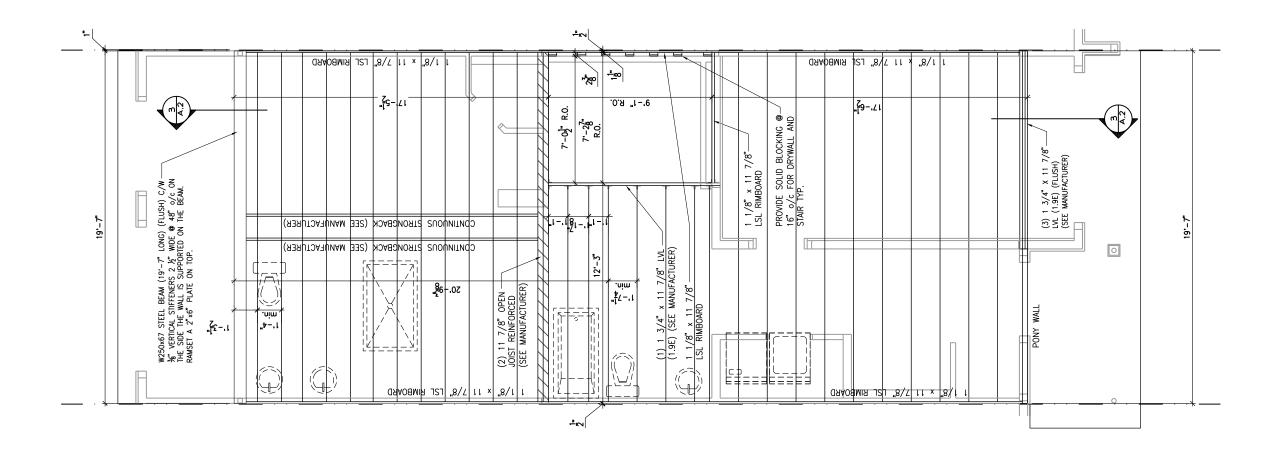
PRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN-MID**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.8d



(A.8e)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



Homes (2019) Limited

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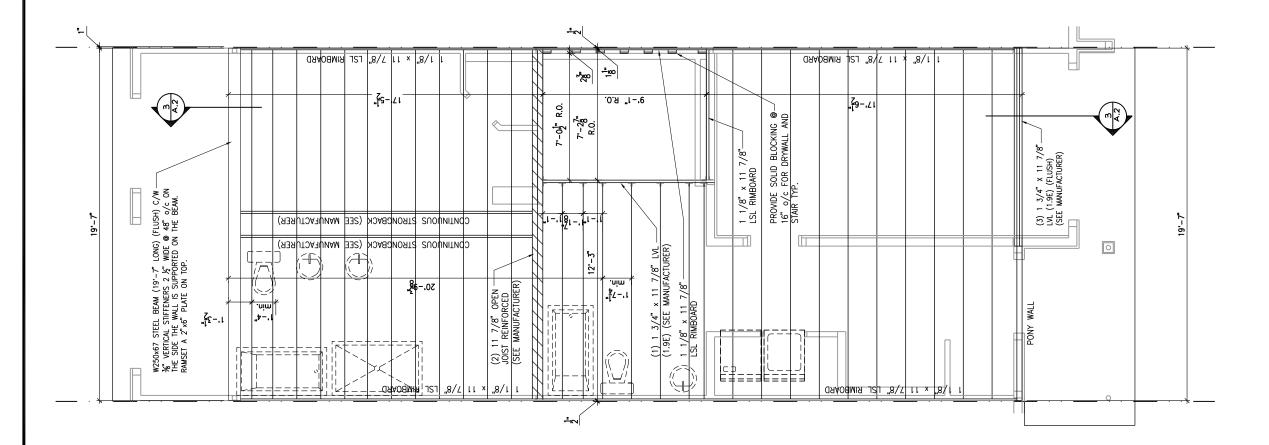
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

SHEET: A.8e

DATE: XX/XX/XXXX



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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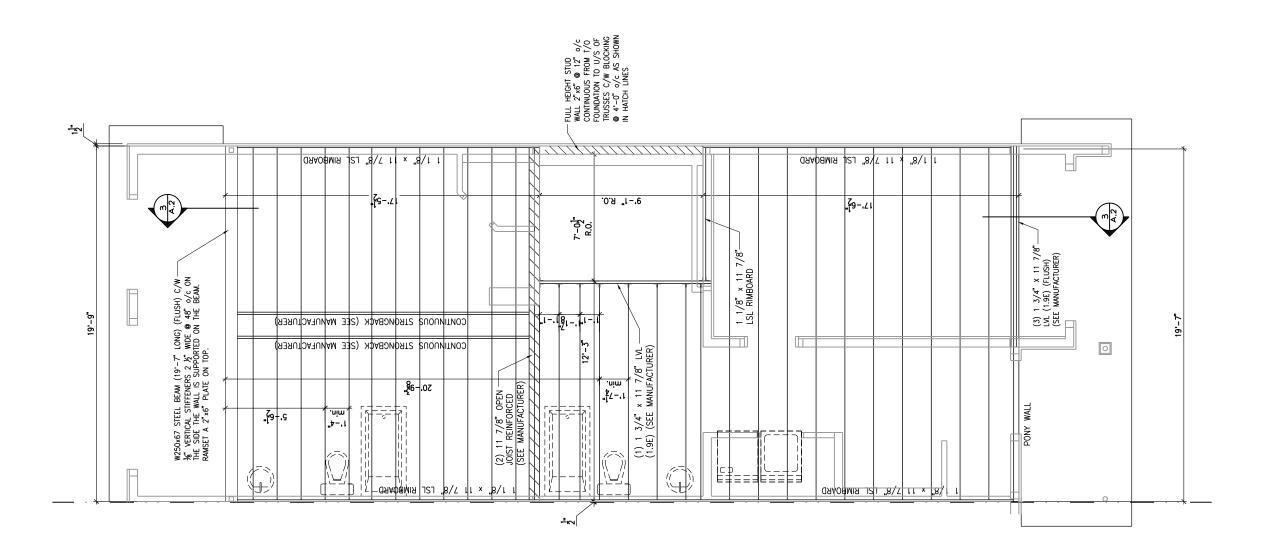
REV-1		01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8f



(I A.8g)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT

CONSTRUCTION SITES:
SHEA VILLAGE

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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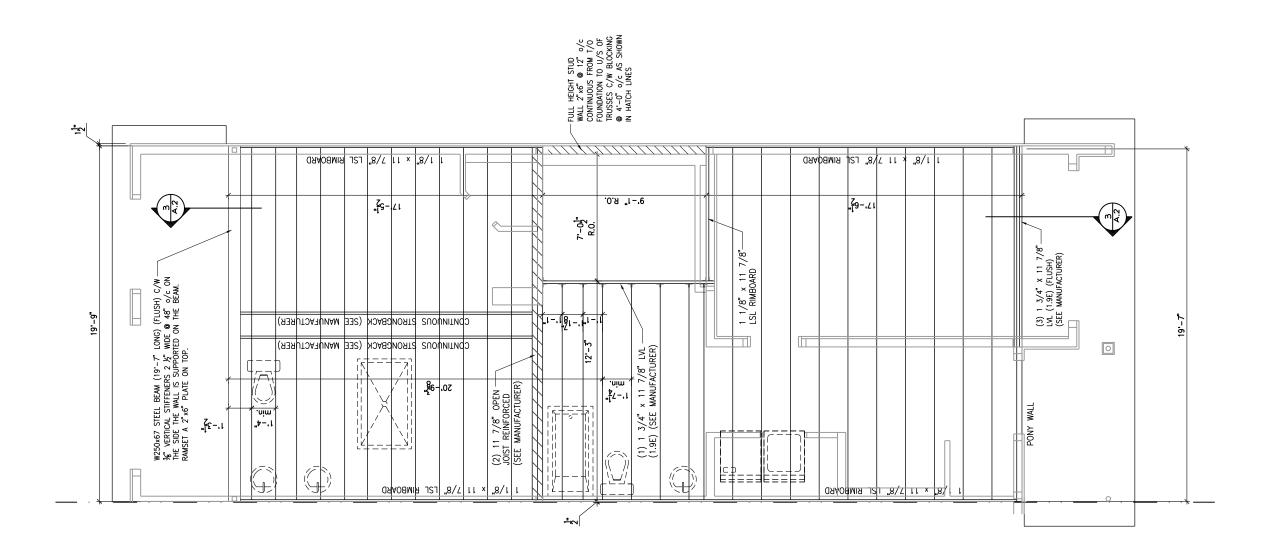
2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS) A.8g



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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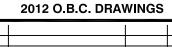
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 REV-1
 NEW STANDARD DRWG MODIFICATION
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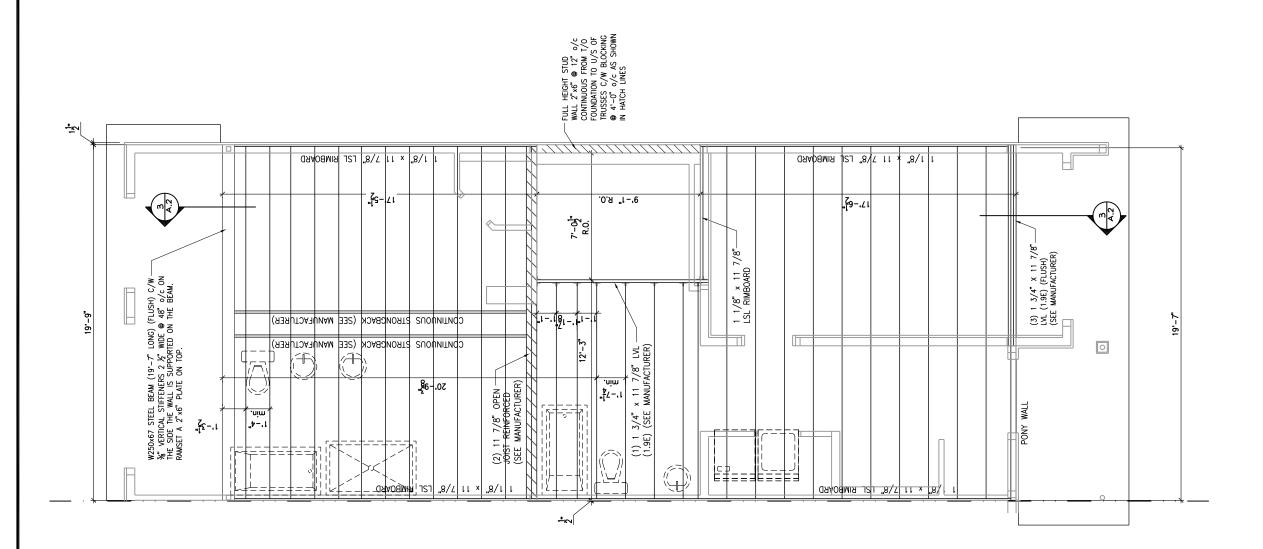
 NO.
 DESCRIPTION
 MM/DD/YYYY BY

DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8h



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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DRAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

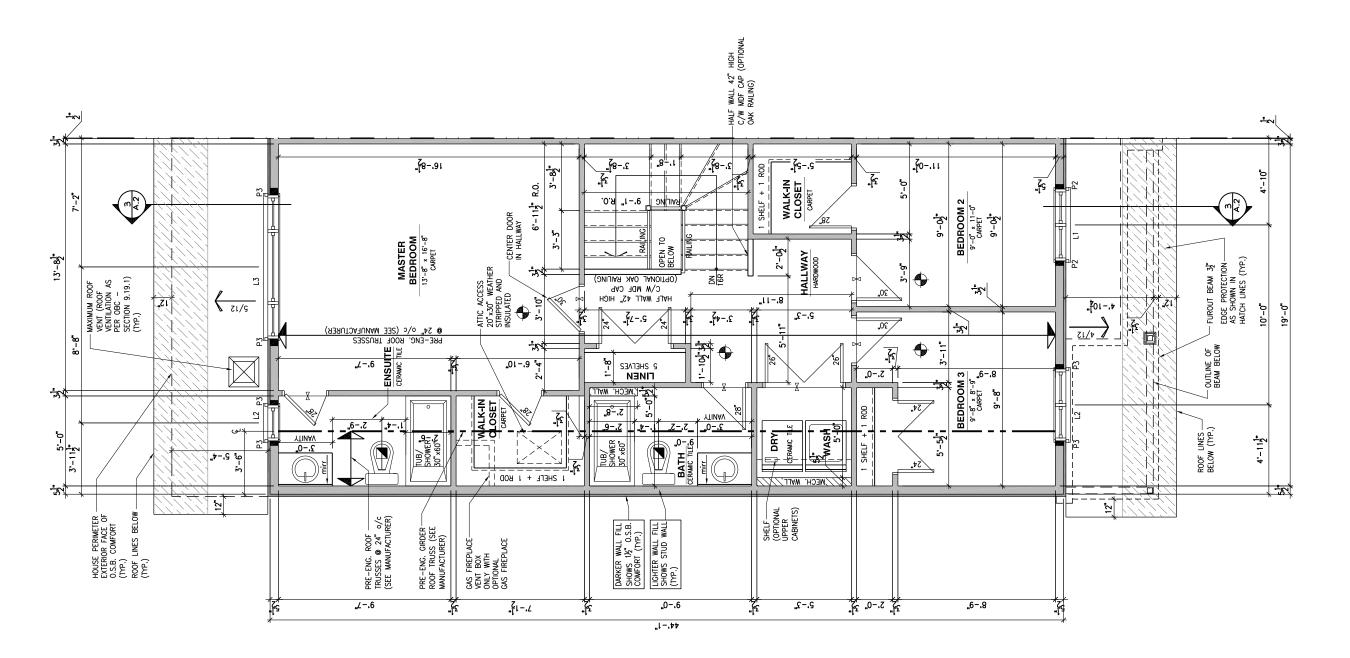
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.8i

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT

(A.9a)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



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- 1	_		
١	NOTES:		
١	STEEL	LINTEL:	
1	S1	= L 90x90x6	
1	S2	= L 90x90x8	
-	S3	= L 100x90x8	
-	S4	= L 125x90x8	
1	\$5	= L 125x90x10	
	S6	= L 200x100x12	
	S7	= L 150x100x10 (8" BEARING)	
	LINITEL	TADI E.	

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL. + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O B C DRAWINGS

	2012 O.B.C. DITAWINGS		
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 MM/DD/YYYY	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY
		•	

DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE - PORCH END

SCALE: 3/16" = 1'-0"

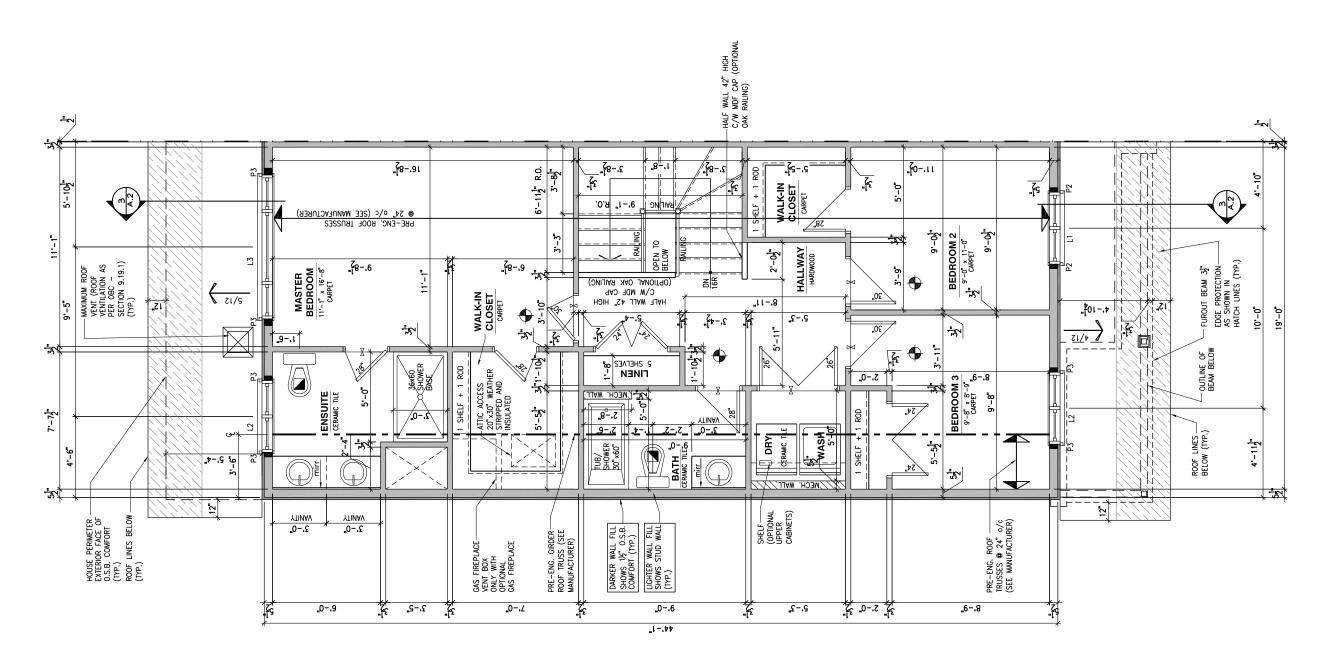
140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.9a

XX/XX/XXXX

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

(A.9b) SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



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S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

1	=	PROVIDE
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MECHANICAL EXHAUST TO OUTSIDE

			Ī
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: SECOND FLOOR PLAN **OPT 4PC ENSUITE - PORCH END**

SCALE: 3/16" = 1'-0"

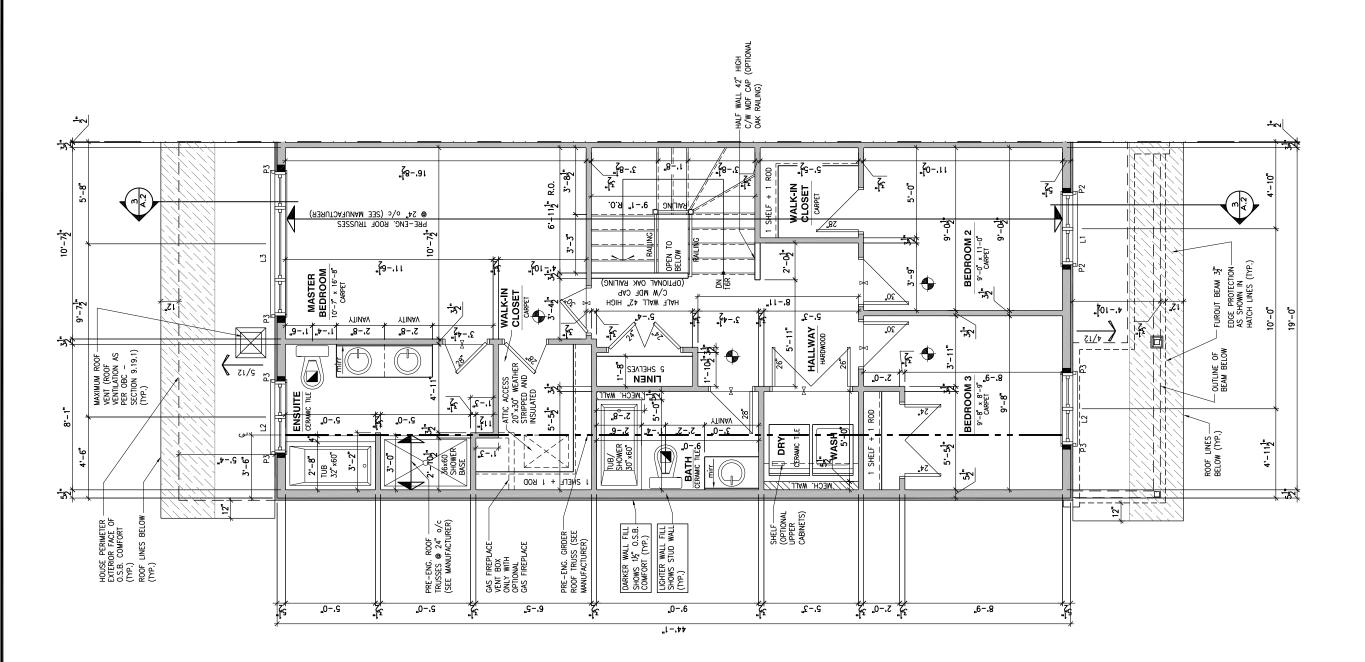
140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.9b

XX/XX/XXXX

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
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 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: XXXX DATE: XX/XX/XXXX



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P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2x76 2x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2x76 2x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL. + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 MM/DD/YYYY	DO
NO.	DESCRIPTION	MM/DD/YYYY	BY

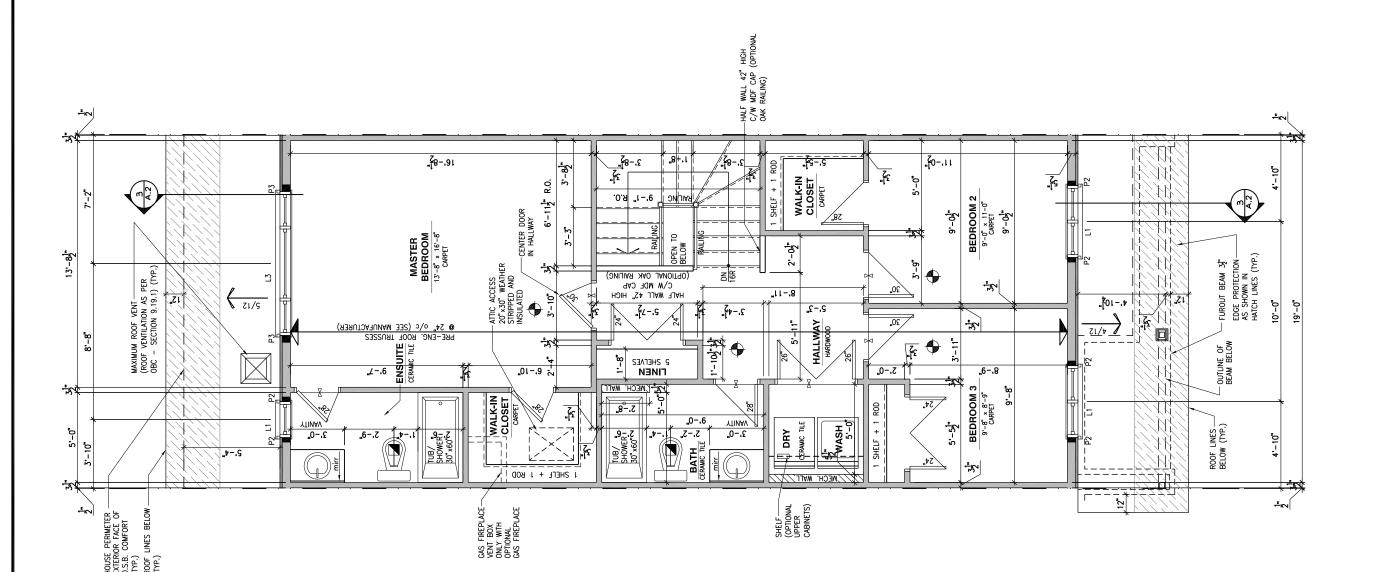
DRAWING: SECOND FLOOR PLAN **OPT 5PC ENSUITE - PORCH END**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.9c

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT (A.9d)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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١	NOTES:						
١	STEEL	LINTE	L:				
ı	S1	= L	90x90x6				
1	S2	= Ī	90x90x8				
1	S3	= L	100x90x8				
ı	S4	= L	125x90x8				
ı	S5	= L	125×90×10				
ı	S6	= L	200x100x1	2			
ı	S7	= L	150×100×1	0 (8"	BEARING)		
	LINTEL	TABLI	E:				

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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 POST BY USP
 P2 = 2-244 OR 2-2x6
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 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

		1	
EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYC
0.	DESCRIPTION	MM/DD/YYYY	BY

SECOND FLOOR PLAN **STANDARD ENSUITE - MID**

SCALE: 3/16" = 1'-0"

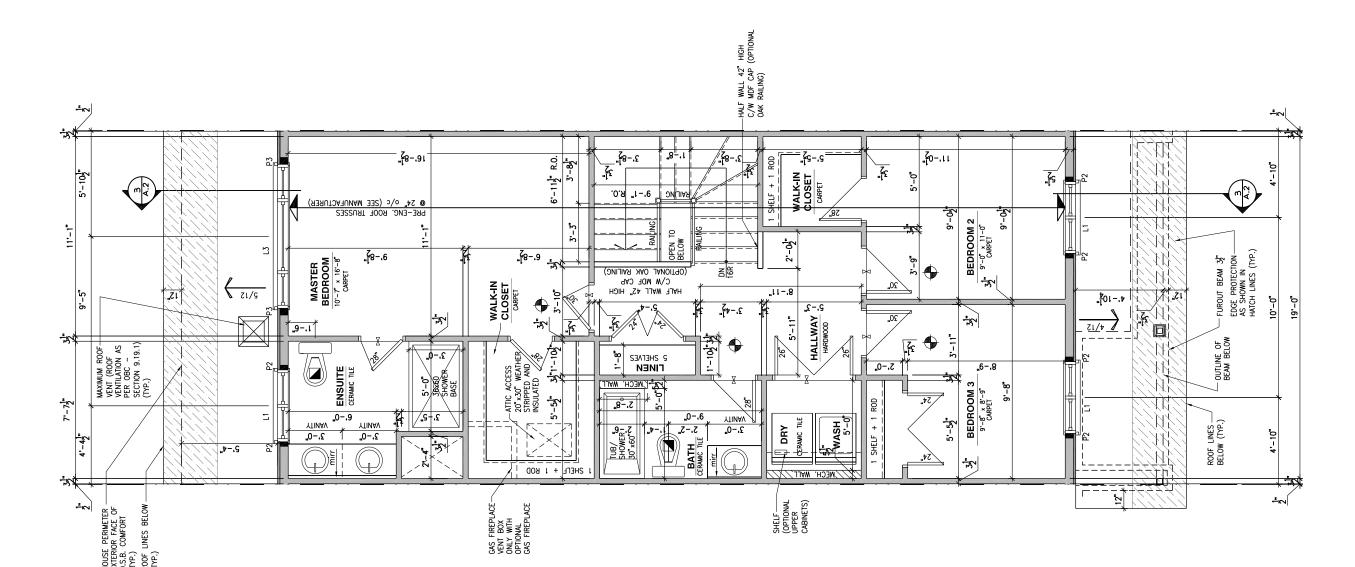
140 - THE GREEN

2022 FOOTPRINT (STANDARD DRAWINGS)

A.9d

xx/xx/xxxx

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT (A.9e)

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: **XXXX** DATE: XX/XX/XXXX



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	_		
	NOTES:		
	STEEL	LINTEL:	
	S1	= L 90x90x6	
	S2	= L 90x90x8	
	S3	= L 100x90x8	
	S4	= L 125×90×8	
	S5	= L 125×90×10	
	S6	= L 200x100x12	
-	S7	= L 150x100x10 (8" BEARING)	
-	LINTEL	TABLE:	

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2012 O B C DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 012101 2181		
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO	DESCRIPTION	MM/DD/YYYY	Ιον

SECOND FLOOR PLAN **OPT 4 PC ENSUITE - MID**

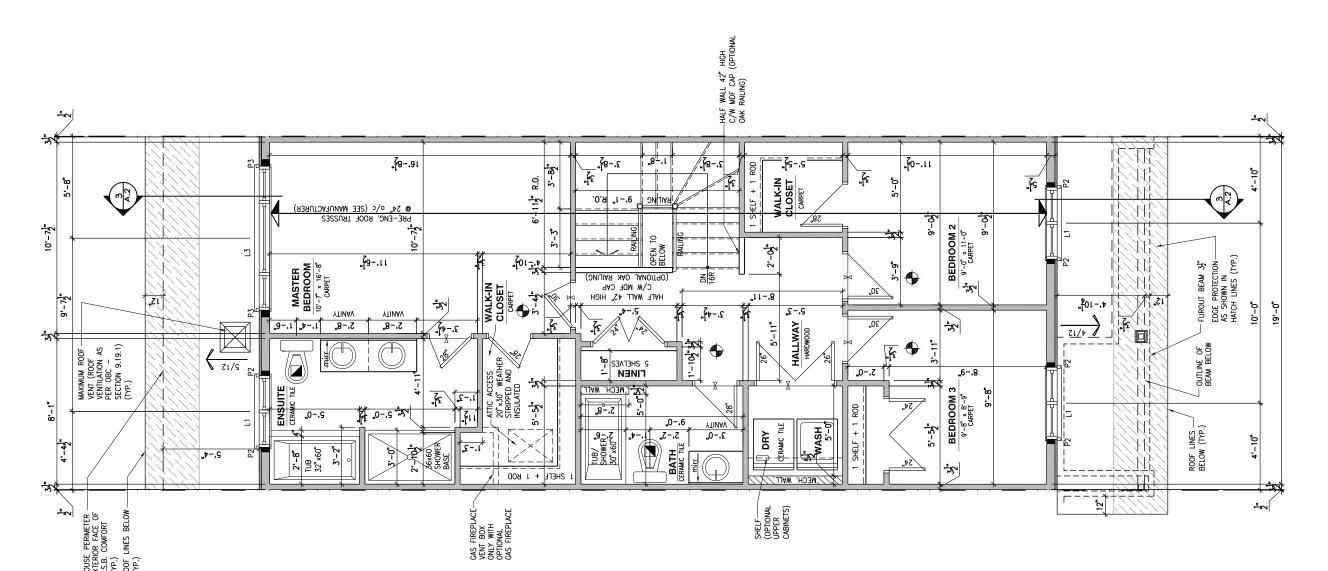
SCALE: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.9e

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: **SHEA VILLAGE** LOT: XXXX DATE: XX/XX/XXXX



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RESPUR	ASIBLE	FUR ALL	WURK	DONE	UN	IHE	CONSTRUCTION	SIIE.
NOTES:								
STEEL	LINTEL:							
S1		90×90×6						
		90x90x8						
S3		100x90x8						
S4	= L	125×90×8						
S5	= L 1	125×90×10)					
S6	= L :	200×100×	12					
S7	= L	150×100×	10 (8"	BEARI	NG)			
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 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- F13 = R35 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.0x4.8 + 100x180x12 B0TTOM PL.
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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022			
NO.	DESCRIPTION	MM/DD/YYYY	BY		
DRAWING: CECOND EL COD DI ANI					

SECOND FLOOR PLAN **OPT 5 PC ENSUITE - MID**

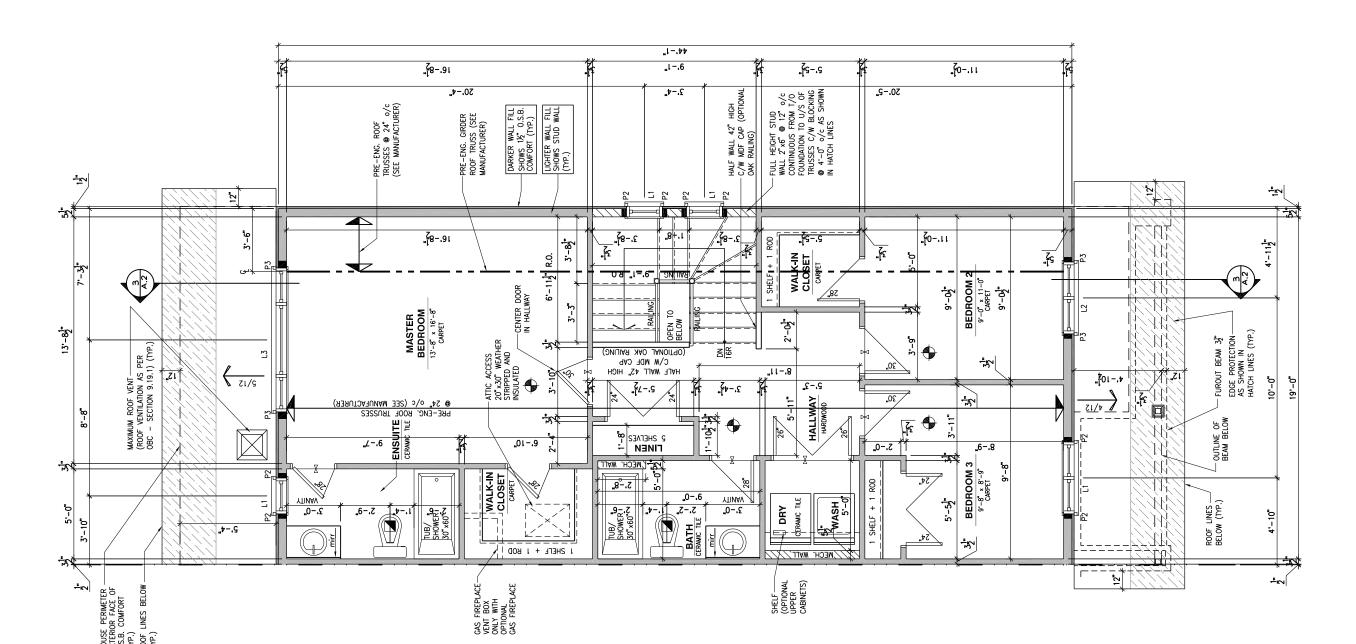
SCALE: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.9f**

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: **XXXX** DATE: XX/XX/XXXX



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NOTES:
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE-GARAGE END

SCALE: 3/16" = 1'-0"

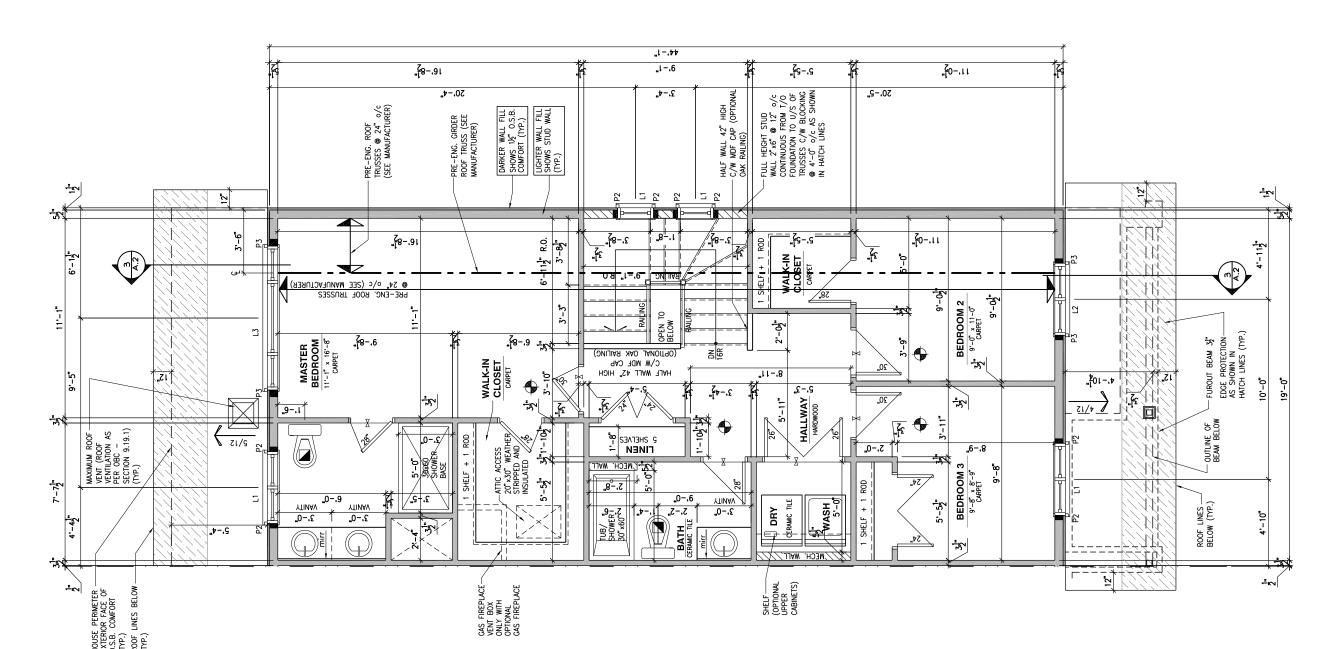
140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.9g

XX/XX/XXXX

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

CONSTRUCTION SITES: **SHEA VILLAGE**

LOT: **XXXX** DATE: XX/XX/XXXX



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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM, AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

			l
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY

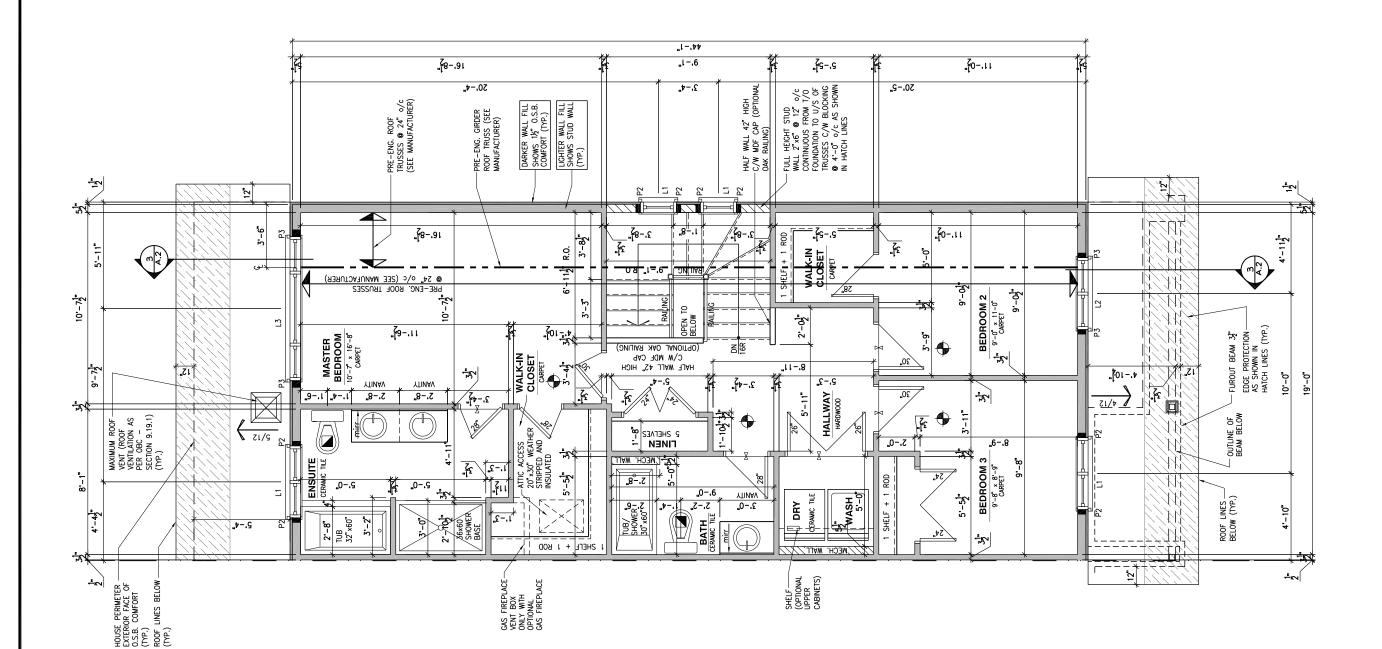
DRAWING: SECOND FLOOR PLAN OPT 4PC ENSUITE - GARAGE END

SCALE: 3/16" = 1'-0" XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.9h

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

SHEA VILLAGE

LOT: **XXXX** DATE: XX/XX/XXXX



I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

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NOTES: STEEL		L:			
S3 S4 S5 S6	= L = L = L = L	90×90×6 90×90×8 100×90×8 125×90×8 125×90×10 200×100×12 150×100×10	BEARING)		
LINTEL	TABL	Ε:			

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1
- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2x76 2x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2x76 2x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE RECOURED IN EACH SILEPING ROOM AND HALLWAY;
- ARE RECOURED ON EACH STOREY, INCLUDING BASEMENT;
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: SECOND FLOOR PLAN OPT 5PC ENSUITE - GARAGE END

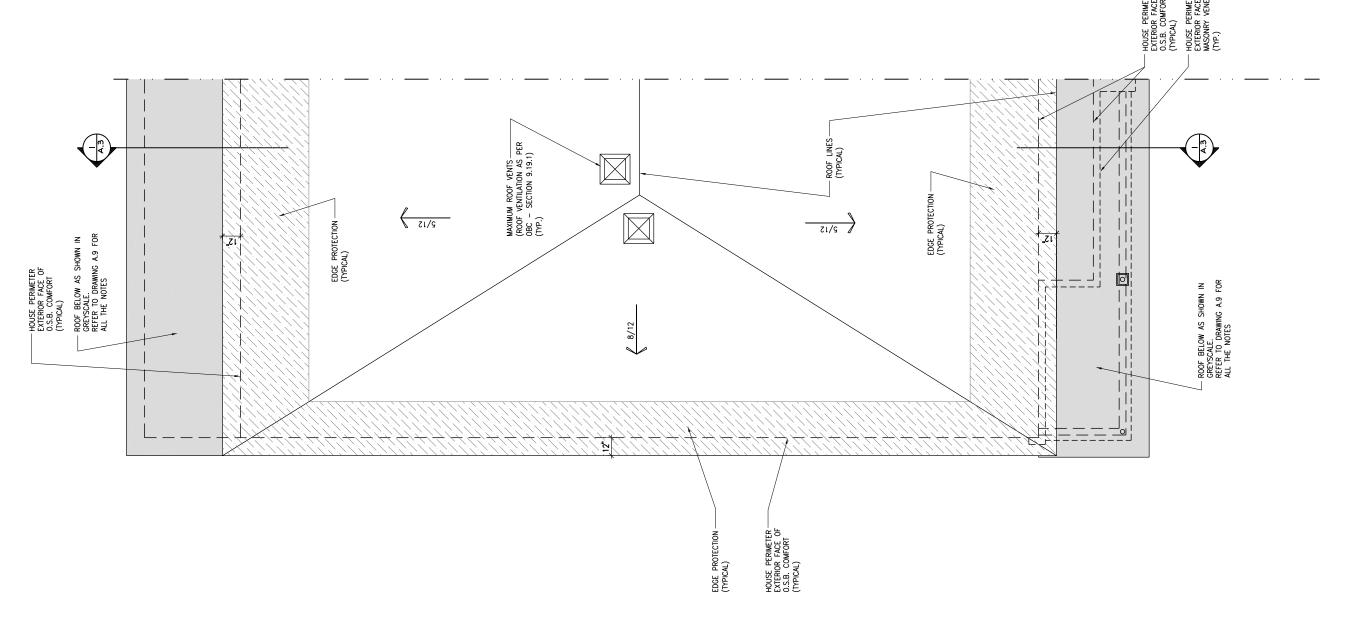
SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.9i**

XX/XX/XXXX



ROOF PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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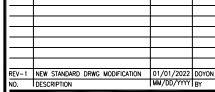
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2012 O.B.C. DRAWINGS



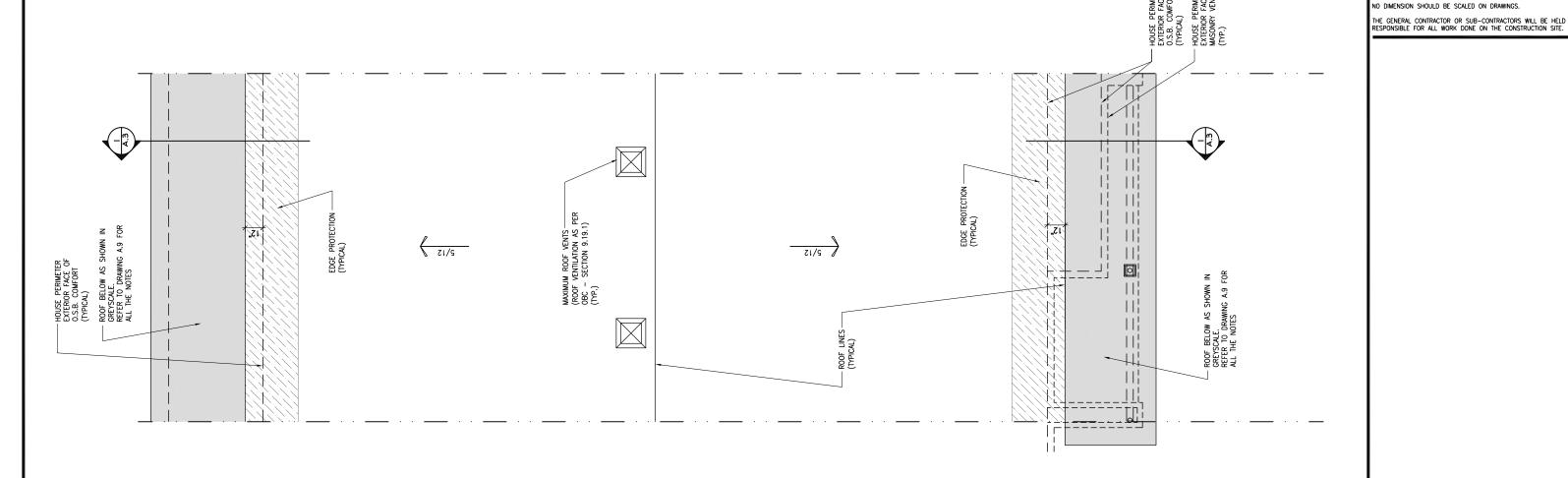
ROOF PLAN - PORCH END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)





LOT:

DATE:

XXXX

XX/XX/XXXX

Valectaft

Homes (2019) Limited

1. DANIEL GUERIN., ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
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PERSONAL BOIN \$19896

1. TABLON BOOKS.

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY
 ROOF PLAN - MID UNIT

2012 O.B.C. DRAWINGS

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

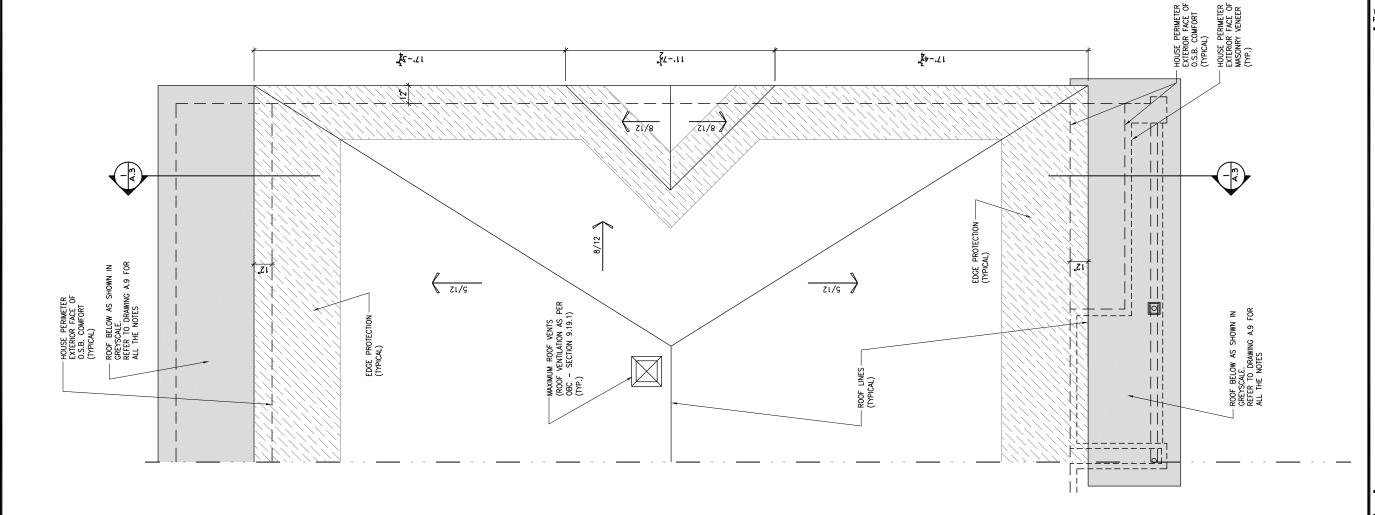
SHEET: A.10b

ROOF PLAN - MID UNIT

(A.10b) SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES:

SHEA VILLAGE



ROOF PLAN - GARAGE END UNIT SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Valectaft
Homes (2019) Limited

I. DANIEL GUERIN. ARCHITECTURAL MANGER FOR
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PERSONAL BCIN #19896
TARION DECISION

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

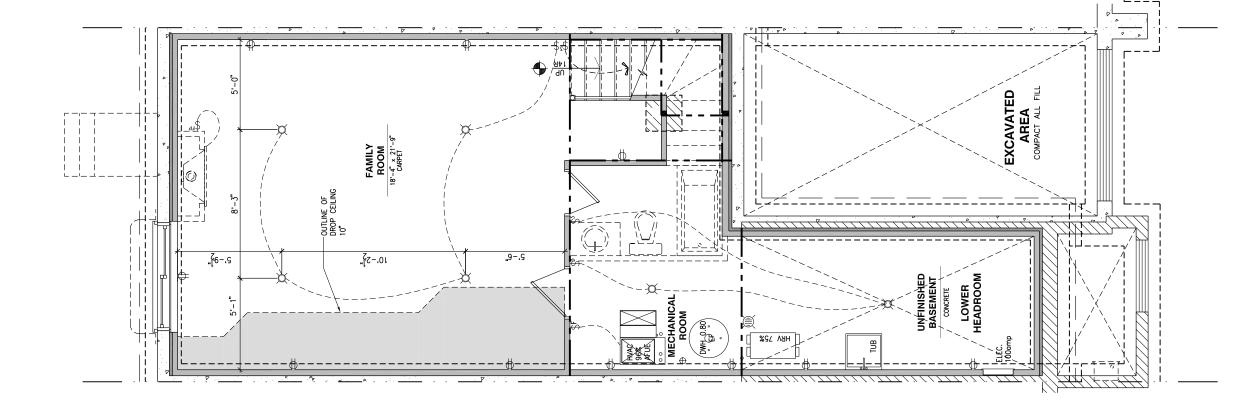
 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

ROOF PLAN - GARAGE END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.10c



ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX



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 TARION REGISTRATION NUMBER #611
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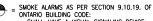
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

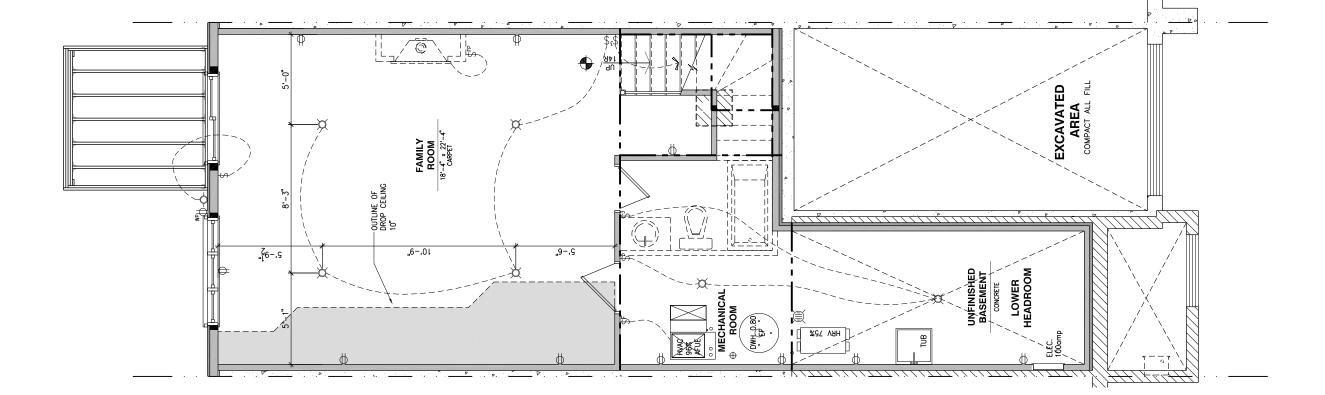
ELECTRICAL PLAN

BASEMENT SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.1a



ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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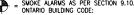
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- \$ SINGLE POLE SWITCH
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- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 ARE REGUIRED IN EACH SLEEPING ROOM AND HALLWAY:
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 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

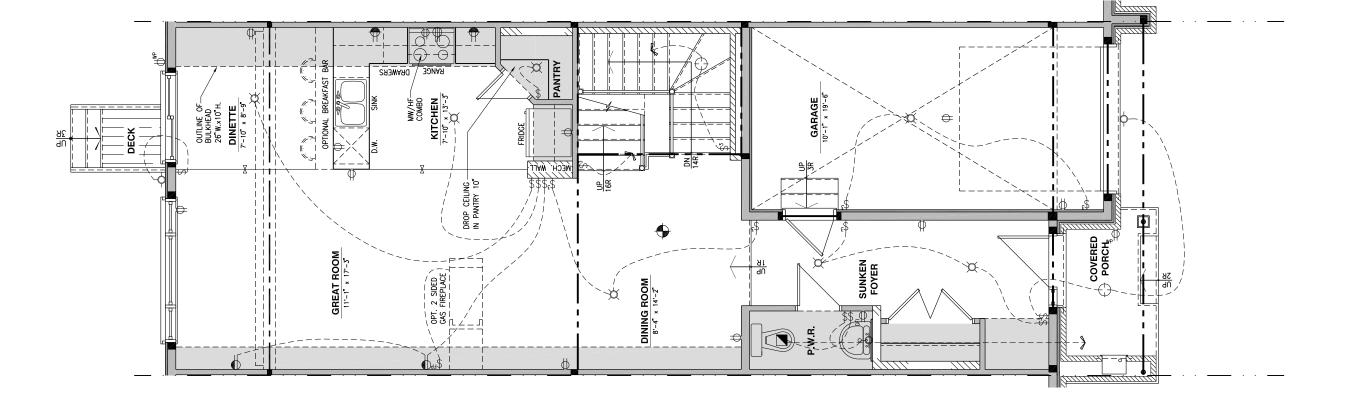
ELECTRICAL PLAN BASEMENT - WALKOUT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.1b



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 • SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM • THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. \$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH \$FP FIREPLACE SWITCH DUPLEX OUTLET (12" HIGH) DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT WP WEATHER PROOF DUPLEX OUTLET SPLIT OUTLET 220 VOLT OUTLET - WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
		1	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING	ELECTRICAL I	DI ANI	

ELECTRICAL PLAN **GROUND FLOOR**

SHEET:

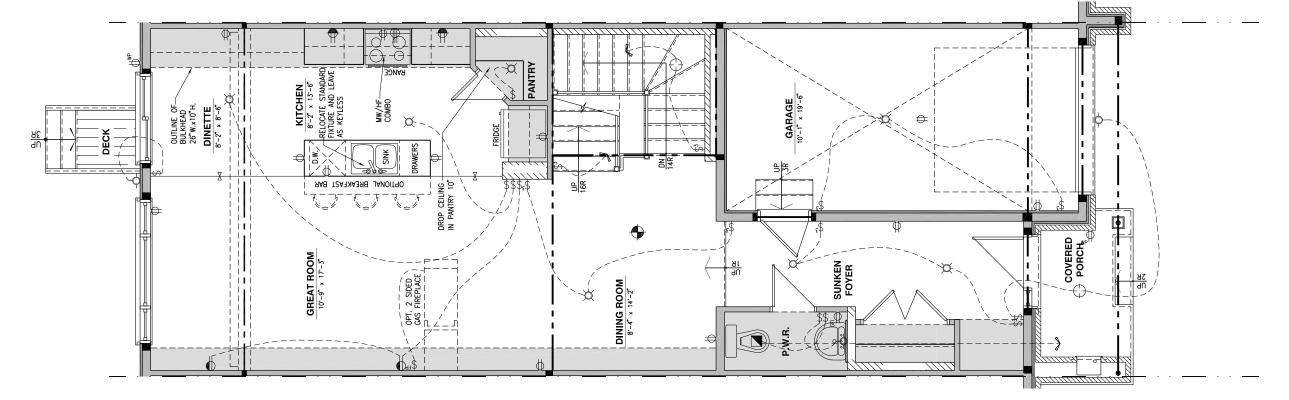
E.2a

SCALE: 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN

2022 FOOTPRINT SHEA VILLAGE (STANDARD DRAWINGS)

CONSTRUCTION SITES:



DATE: XX/XX/XXXX Homes (2019) Limited I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896
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LOT:

XXXX

	2012 O.B.C. DRA	WINGS	
			l
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOY
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING		PLAN	11

GROUND FLOOR

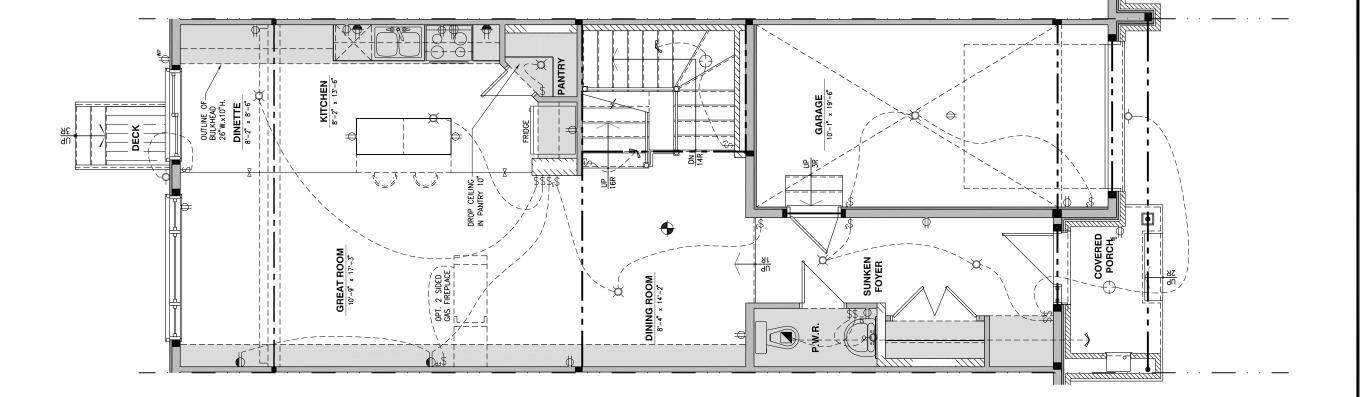
SHEET:

E.2b

DATE: XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2b/



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

NO. DESCRIPTION

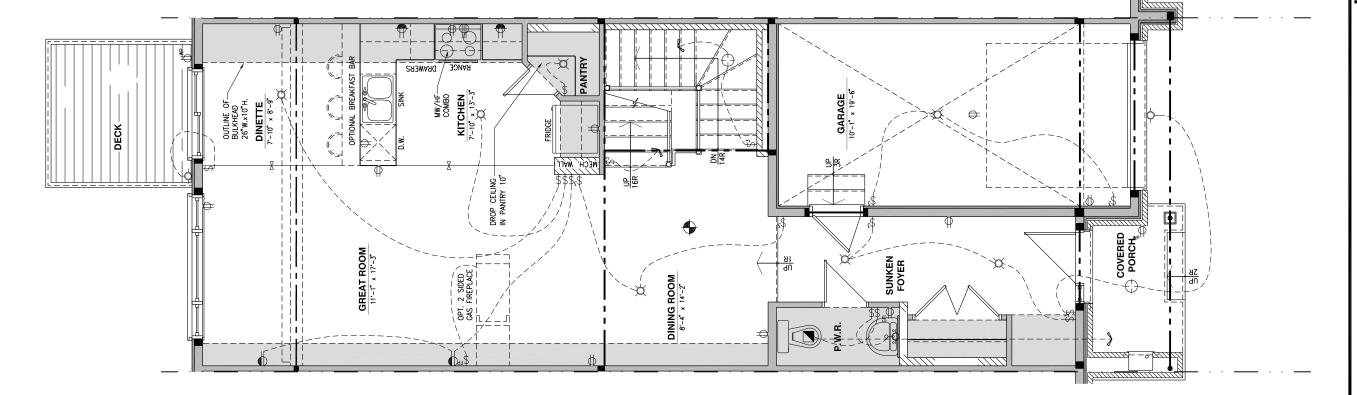
SHEET: E.2c

xx/xx/xxxx

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"

E.2c/



E.2d/

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING	: ELECTRICAL I	DI ANI	

ELECTRICAL PLAN **GROUND FLOOR**

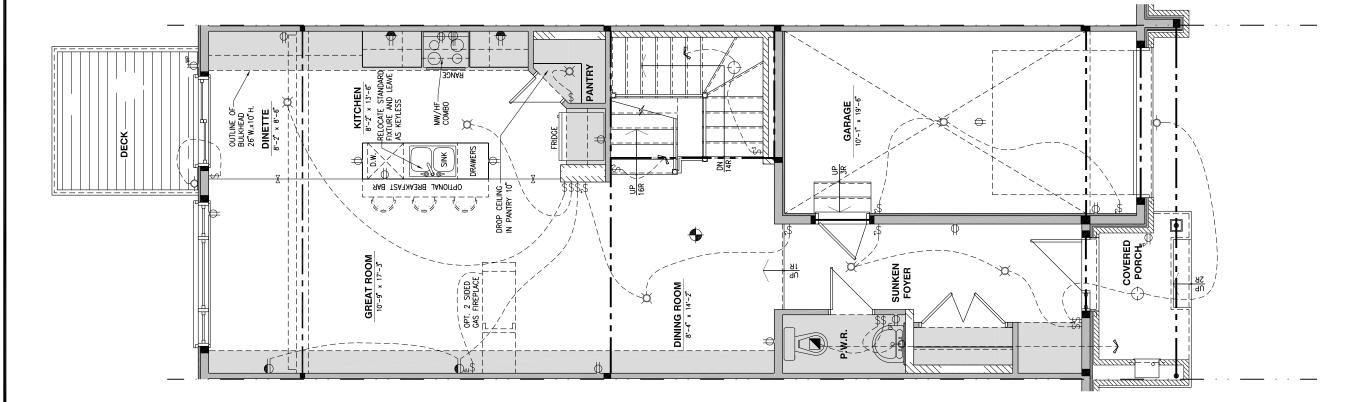
| SCALE: | 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2d

xx/xx/xxxx



E.2e)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

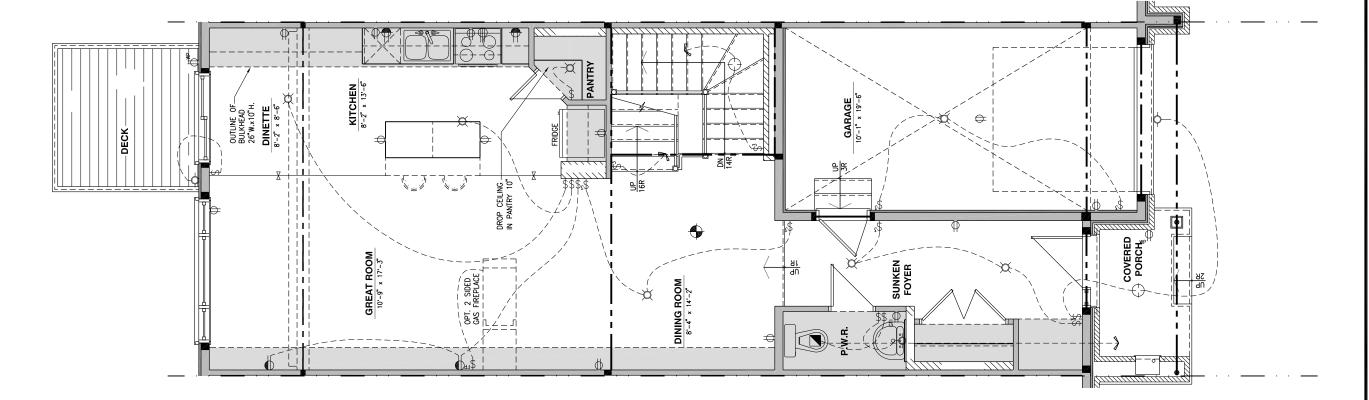
	2012 O.B.C. DRA	WINGS	
			_
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	I BY

ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2e



LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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2012 O.B.C. DRAWINGS				

REY-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

ELECTRICAL PLAN GROUND FLOOR

xx/xx/xxxx

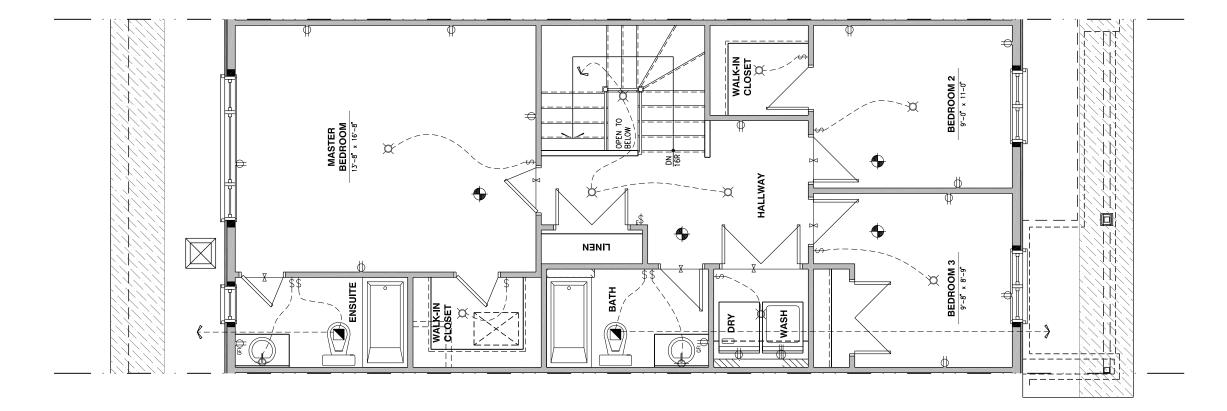
E.2f

SHEET:

SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT



ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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•	SINGLE	POI F	SWIT
)	SHITOLL	· OLL	31111

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET



220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN

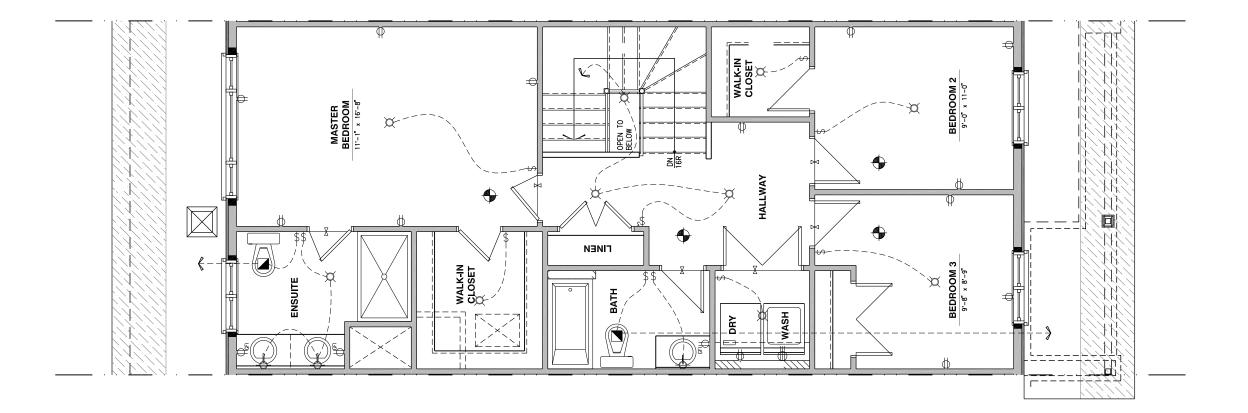
SECOND FLOOR SCALE: 3/16" = 1'-0"

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.3a

xx/xx/xxxx



ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE

LOT: XXXX DATE: XX/XX/XXXX



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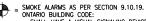
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- \$ SINGLE POLE SWITCH
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- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				
	_			

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

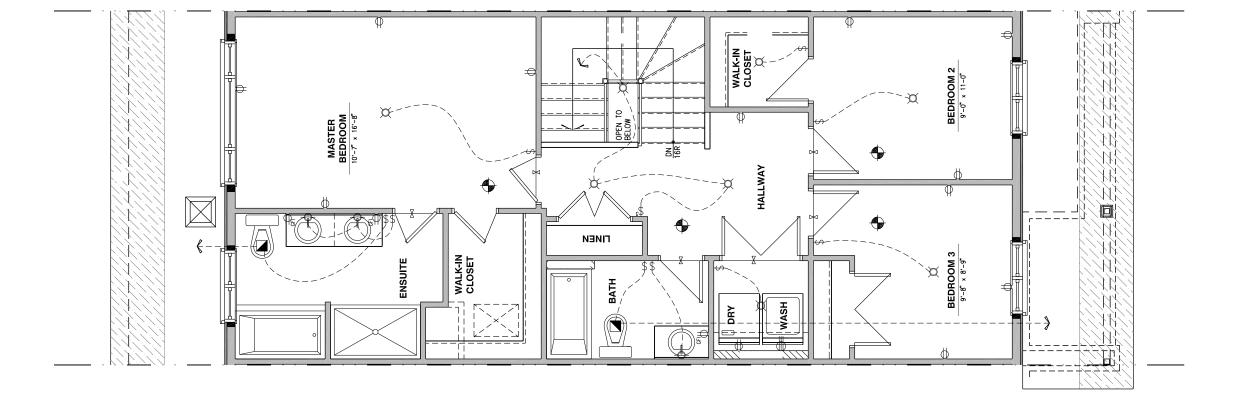
ELECTRICAL PLAN SECOND FLOOR

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.3b



E.3c

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

CONSTRUCTION SITES: SHEA VILLAGE LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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- DUPLEX OUTLET (12" HIGH)
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYC		
NO.	DESCRIPTION	MM/DD/YYYY	BY		

ELECTRICAL PLAN

SECOND FLOOR | SCALE: | 3/16" = 1'-0" xx/xx/xxxx

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

E.3c