

SCALE: 3/16" = 1'-0"

FRONT ELEVATION - GARAGE END UNIT

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

NO DESCRIPTION

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

FRONT ELEVATION - END UNITS

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE

B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE PRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

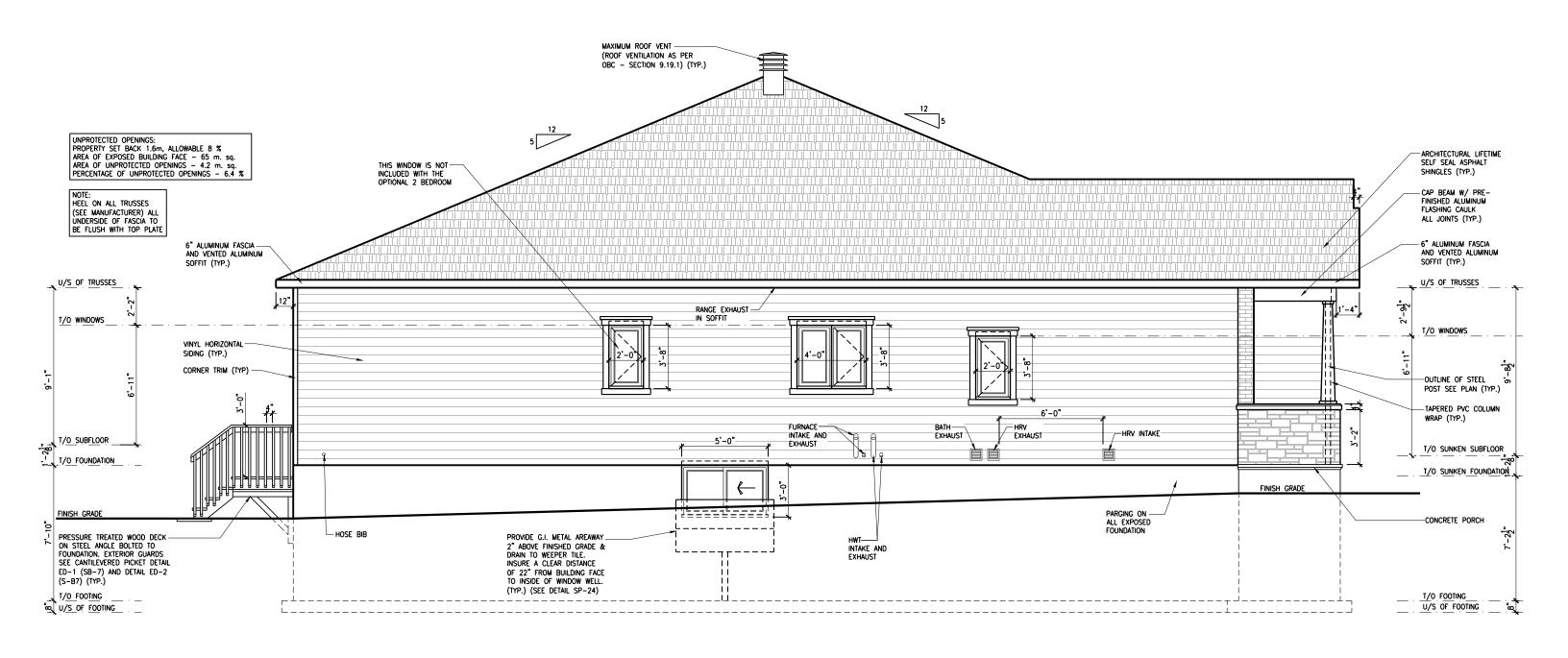
PC - PRECAST KEYSTONE

PCL10 - 10" PRECAST LINTEL

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

SHEET A.1a

xx/xx/xxxx





LOT:

LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

XXXX

XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUP-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STIE.

- This drawing is to be used in conjunction with E - HIS DRAWING IS TO BE USED IN CONJUNCTION WILL SOME OF SCHEDULE B-14 AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL HEMS CONTAINED ON A SCHEDULE OR MISS OTHER HEMS ALTOCETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

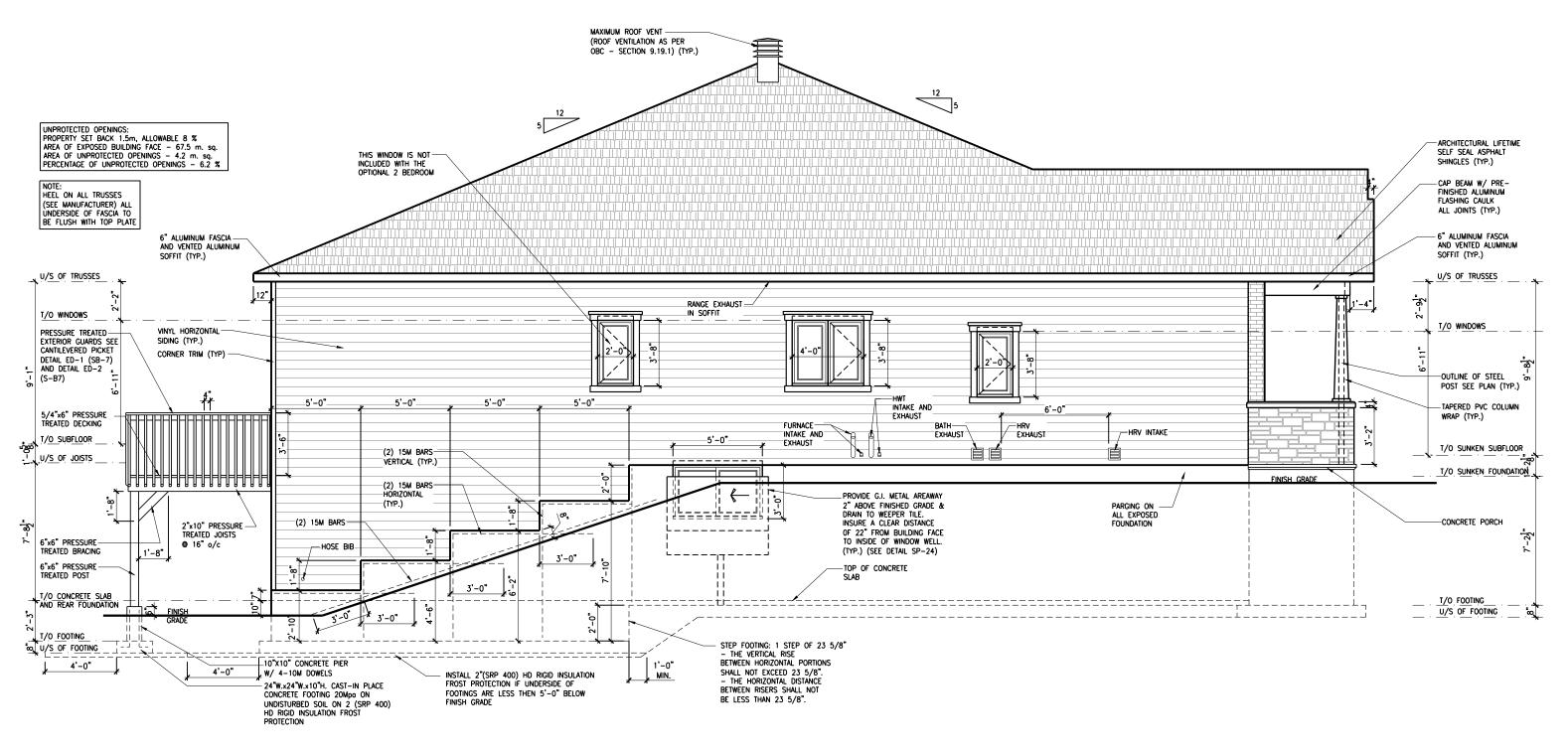
I <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.				
- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611				
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **				
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON				
NO. DESCRIPTION MM/DD/YYYY BY				

2012 O.B.C. DRAWINGS LEFT ELEVATION **PORCH END UNIT**

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET:

140 - THE GREEN **2022 FOOTPRINT** (STANDARD DRAWINGS)

A.2a



1 LEFT ELEVATION - PORCH END UNIT - WALKOUT

2b | SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valectaft

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. - PERSONAL BCIN #1989 - TARION REGISTRATION NUMBER #611				
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EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
0.	DESCRIPTION	MM/DD/YYYY	BY	j

, DANIEL GUERIN , ARCHITECTURAL MANAGER FOR

2012 O.B.C. DRAWINGS

LEFT ELEVATION

PORCH END UNIT - WALKOUT

ADDRESS:

XX

SCALE:

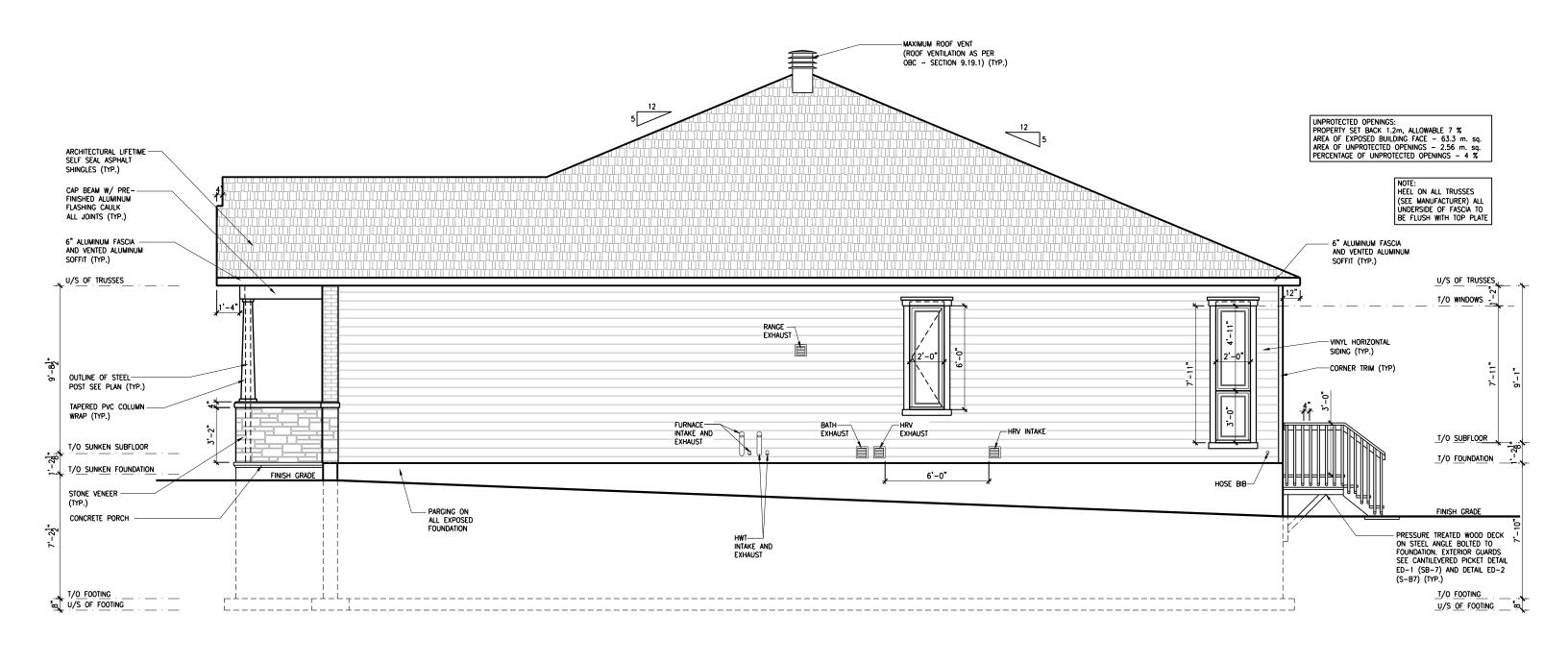
3/16" = 1'-0"

DATE:

XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2





LOT:

RIGHT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

XXXX

XX/XX/XXXX

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** S	EE SIGNED SCHEDULE 1: DESIGNER INF	ORMATION FOR	м **	
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
₩.	DESCRIPTION	MM/DD/YYYY	BY	
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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR

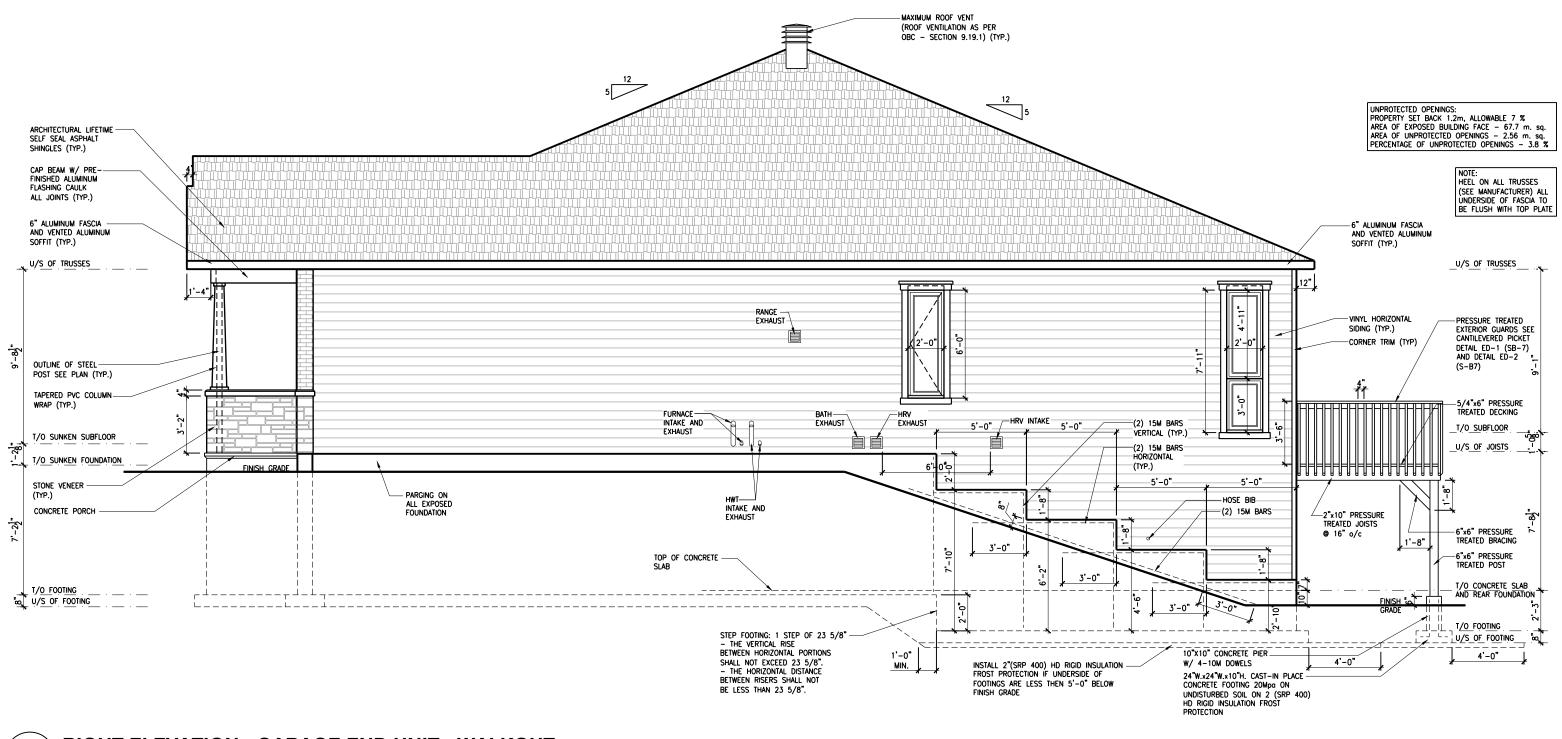
2012 O.B.C. DRAWINGS

RIGHT ELEVATION GARAGE END UNIT

ADDRESS: SCALE: 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2c





RIGHT ELEVATION - GARAGE END UNIT - WALKOUT

 $2d \int SCALE: 3/16" = 1'-0"$

DATE: XXXX

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

**

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION 1MM/DD/YYYY BY

2012 O.B.C. DRAWINGS

DRAWING: RIGHT ELEVATION

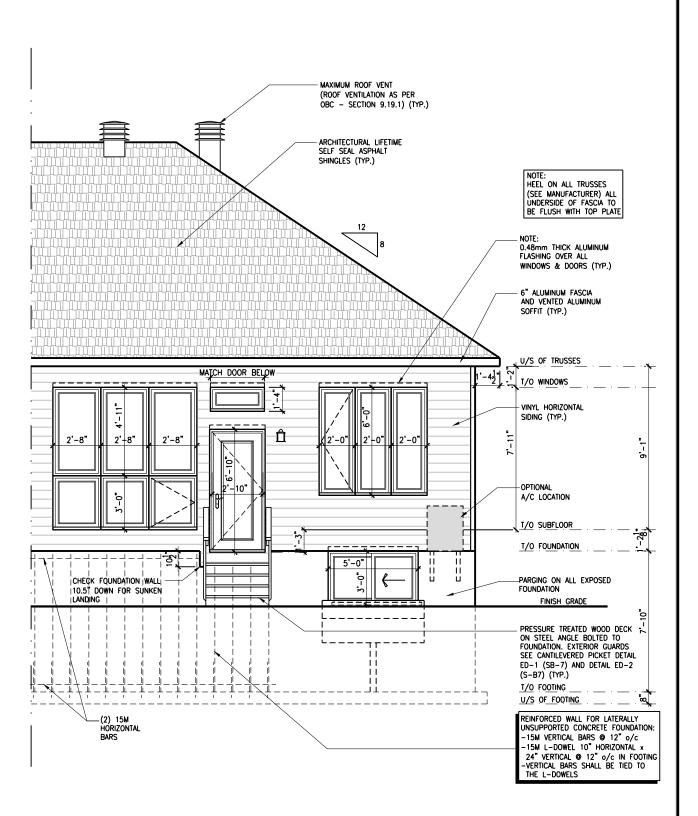
GARAGE END UNIT -WALKOUT

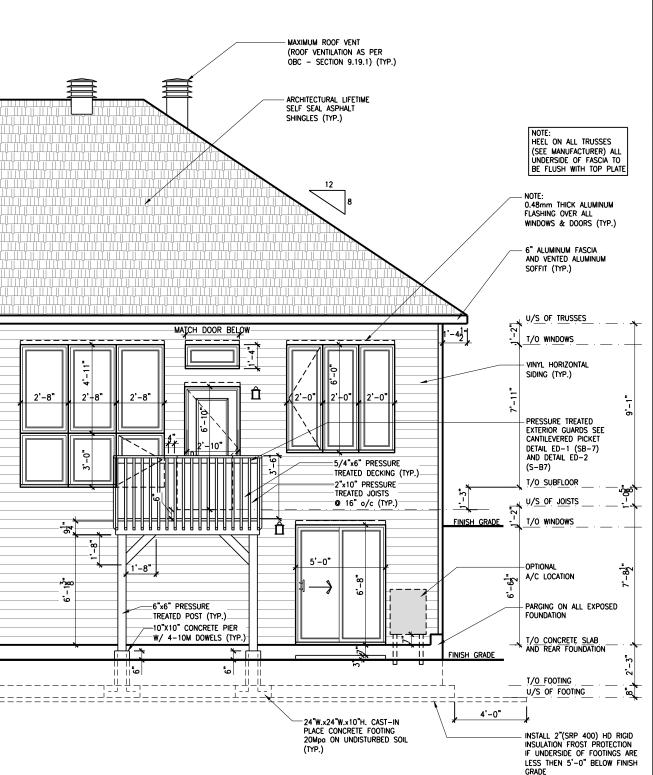
ADDRESS: I SCALE: I DATE:

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2c

XX/XX/XXXX





REAR ELEVATION - PORCH END UNIT - WALKOUT

A.2e | SCALE: 3/16" = 1'-0"

DATE: XXXX

Valecraft
Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR /ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO DESCRIPTION MM/DD/YYYY RY

REAR ELEVATION

PORCH END UNITS

SESS: | SCALE: | 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

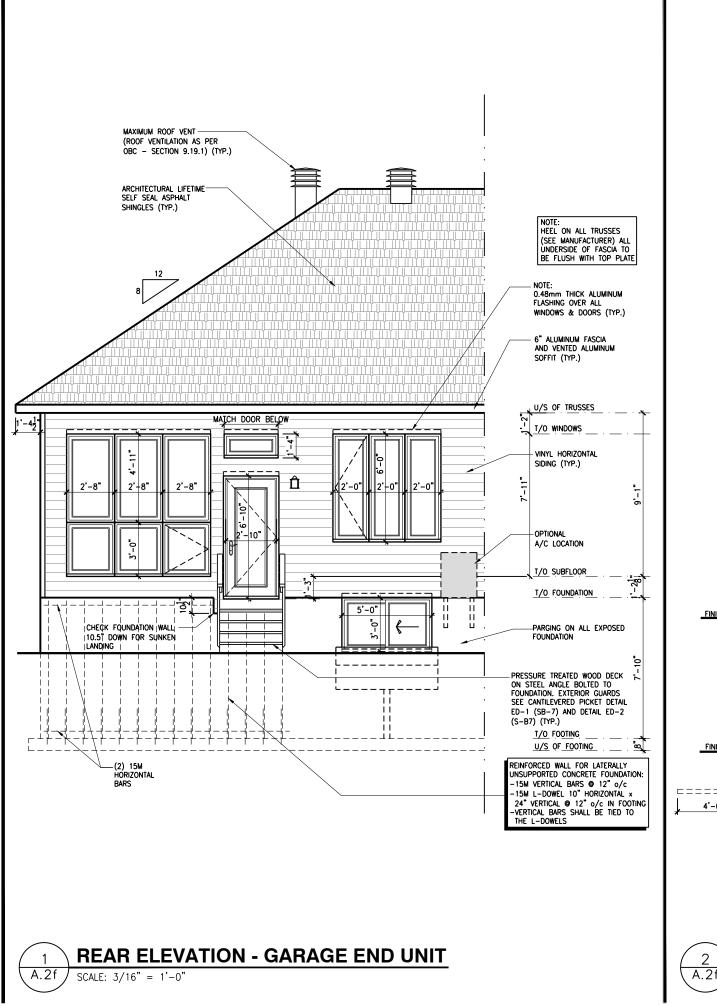
(STANDARD DRAWINGS)

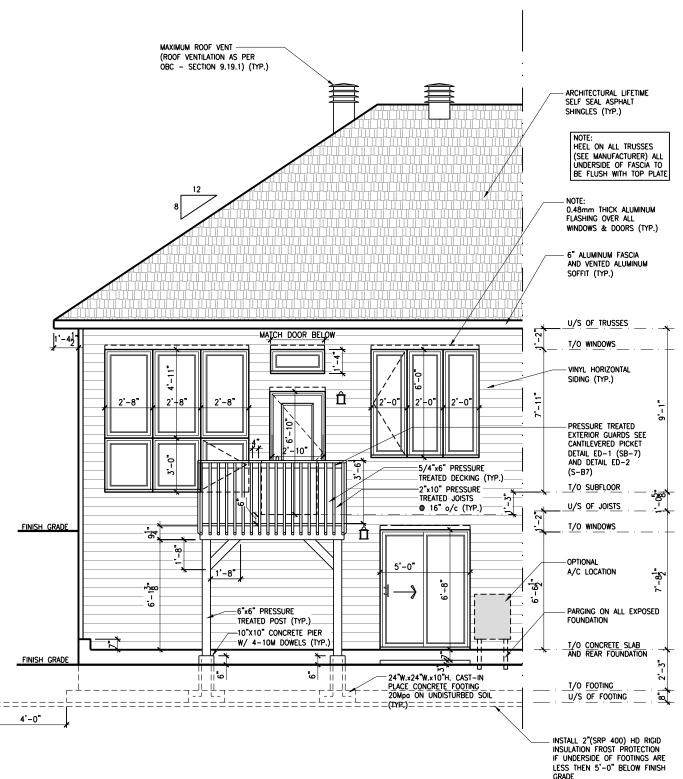
A.2e

xx/xx/xxxx

REAR ELEVATION - PORCH END UNIT

(A.2e





REAR ELEVATION - GARAGE END UNIT - WALKOUT SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

REAR ELEVATION

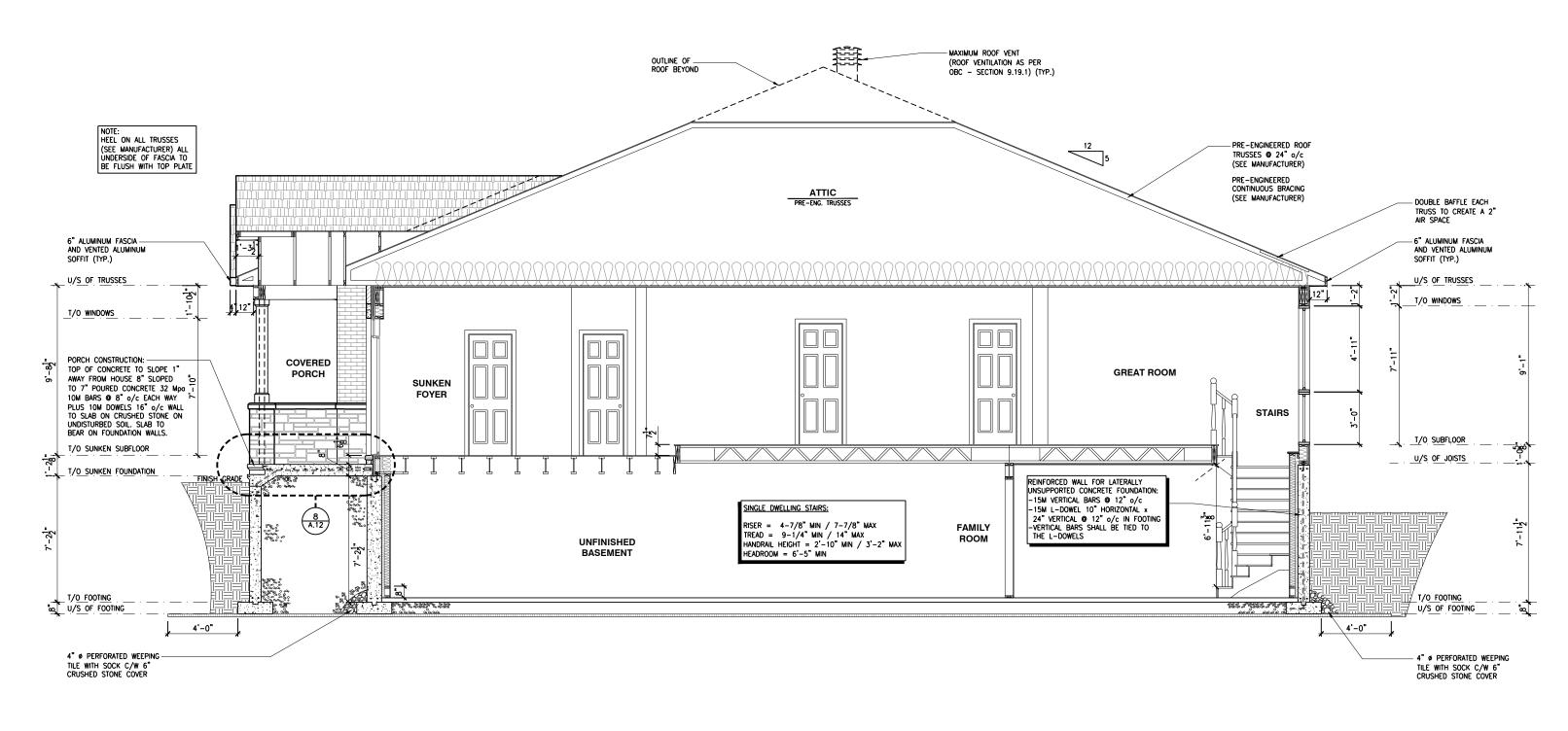
GARAGE END UNITS

SCALE: 3/16" = 1'-0" 105 - THE MANN

xx/xx/xxxx

2022 FOOTPRINT (STANDARD DRAWINGS)

A.2f





LOT: XXXX DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL DESCRIBED OR NOT, ACCORDING CODE REQUIREMENTS AND MUN B - THE GENERAL CONTRACTOR DIMENSIONS AND REPORT ERROR ARCHITECTURAL DEPARTMENT

Valecraft
Homes (2019) Limited

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B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ACCURECTURAL DEPORT

ORICHISTORY AND DEPARTMENT.

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

**

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

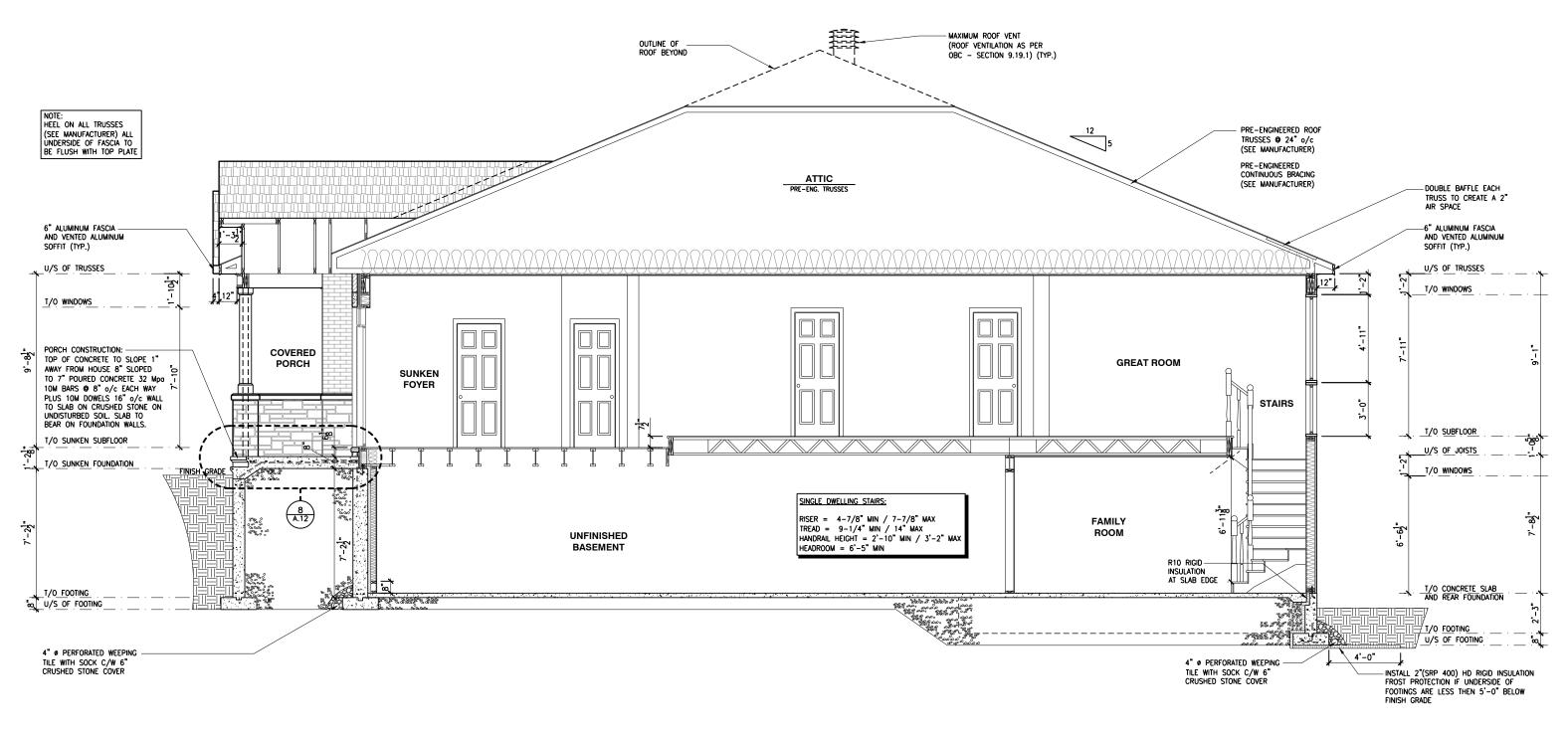
2012 O.B.C. DRAWINGS

BUILDING SECTION

ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX | SHEET:

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.3a





BUILDING SECTION - WALKOUT

 $3b \int SCALE: 3/16" = 1'-0"$

Valecraft

Homes (2019) Limited

LOT: XXXX
DATE: XX/XX/XXXX

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	I <u>, Daniel Guerin</u> , architectural manager for Valegraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.				
	- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611				
	** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **				
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ss					
	REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
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2012 O.B.C. DRAWINGS

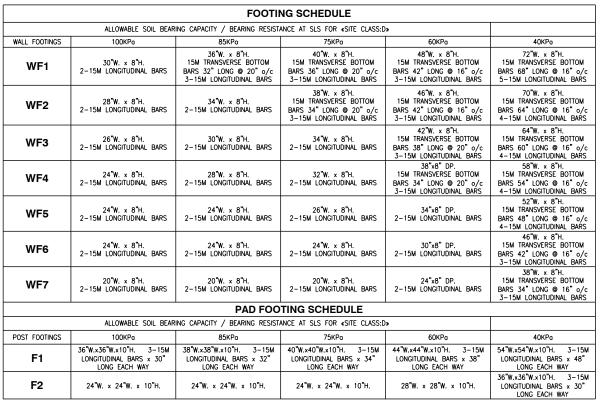
DRAWING: BUILDING SECTION
WALKOUT

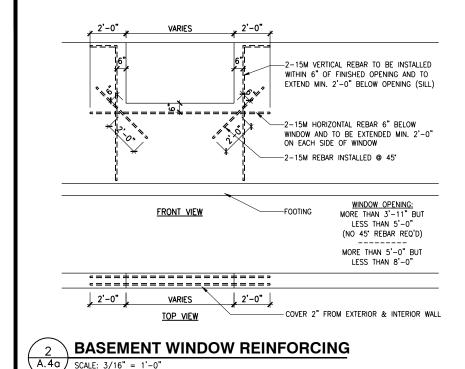
ADDRESS:
XX | SCALE: | DATE: | XX/XX/XXXXX

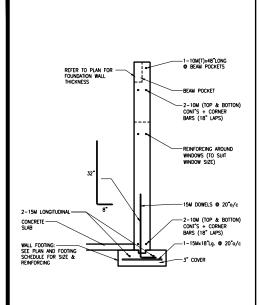
105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

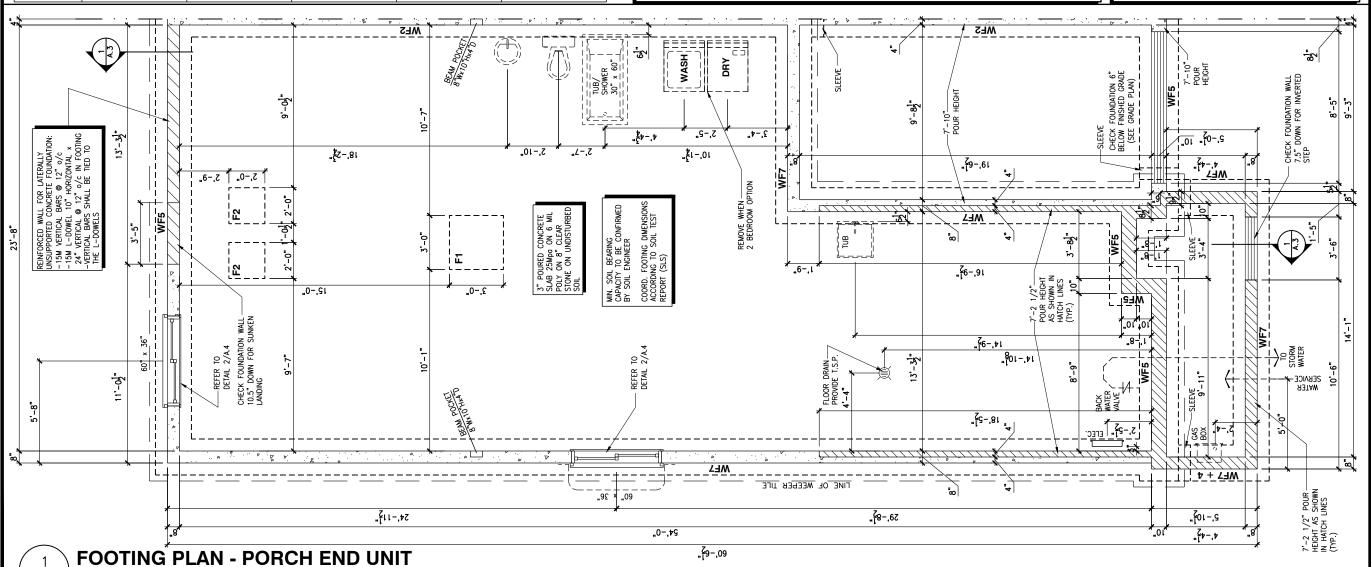
A.3b







CONCRETE WALL REINFORCING (A.4a SCALE: 1/4" = 1'-0"



LOT: XXXX DATE: XX/XX/XXXX alecraft

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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O DIMENSION SHOULD BE SCALED ON DRAWINGS.

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- Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH $\ensuremath{\mbox{\ @}}$ 28 Days for footings and wall = 20MPa and concrete for foundation walls should
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

	2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
NO.	DESCRIPTION	MM/DD/YYYY	BY	
DRAWING):			

FOOTING PLAN -PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX

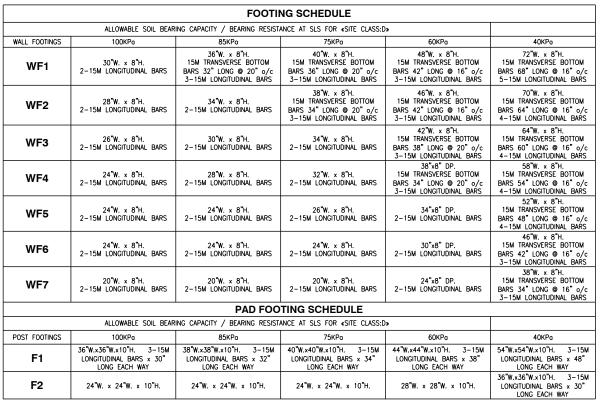
105 - THE MANN 2022 FOOTPRINT

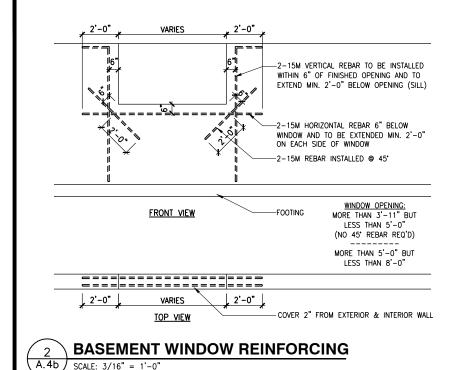
STANDARD DRAWINGS)

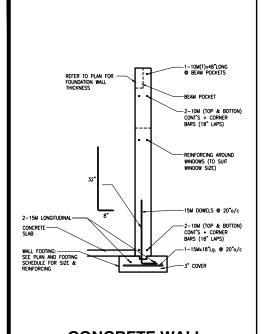
A.4a

SHEET

, A.4a SCALE: 3/16" = 1'-0"







CONCRETE WALL REINFORCING A.4b SCALE: 1/4" = 1'-0"

..²9-.61 LINE OF WEEPER TILE <u>-16−'εε</u> WF2 WF2 ₩ _ WER __ FOUNDATION 6"
FINISHED GRADE
GRADE PLAN) - CHECK FOUNDATION WALL 7.5" DOWN FOR INVERTED STEP TUB/ SHOW 30" x $9'-7\frac{1}{2}"$ 2.-0<mark>7. 10..</mark>1 R LATERALLY
SETE FOUNDAT
© 12" o/c
HORIZONTAL 3
" o/c IN FOC
LL BE TIED TA 7,-10, ..L-.Z 18.-24." "\$1-'01 ..<mark>[</mark>⊁−.⊁ ...Z ..[9-.61 5,-0, 5,-6, WF5 <u>74W</u> ARING BE CONF INEER $3^{1}-8^{\frac{1}{3}}$ 8 8 3 5 5 8 8 8 8 <u>.</u>6−,ı "<u>5</u>6−'81 1/2"— HEIGHT IOWN IN LINES 12.-0. ^Tē₹W POUR AS SH HATCH (TYP.) 36" "8⊣'। ۱۴.-6<u>].</u> -REFER TO
DETAIL 2/A.4
CK FOUNDATIO
OF DOWN FOR DING ..[01-.+1 <u>=</u>2 - SERVICE **MATER** .2<mark>5-.81</mark> 15.-25. | ELEC. t + 77W 24.-0. **FOOTING PLAN - GARAGE END UNIT** 4.-4].. 1/2" AS CH L

DATE: XX/XX/XXXX alecraft

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Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

LOT:

TARION REGISTRATION NUMBER #611

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- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

FOOTING PLAN - GARAGE END

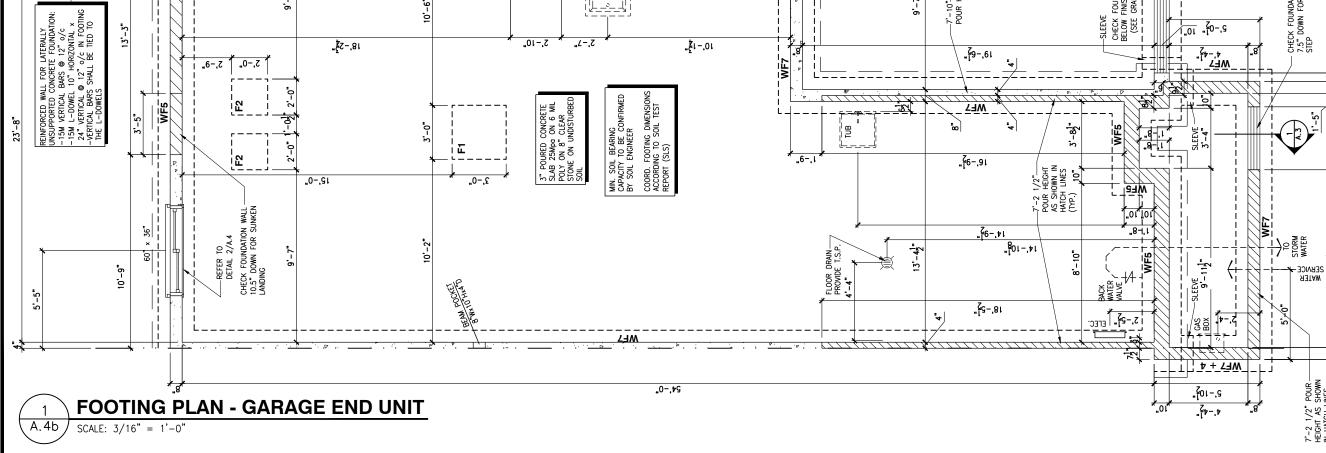
3/16" = 1'-0" XX/XX/XXXX

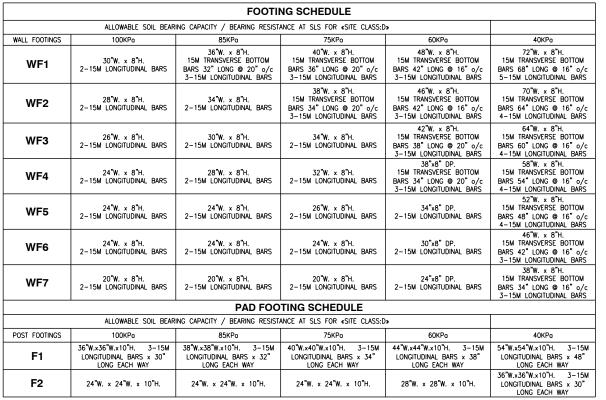
105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

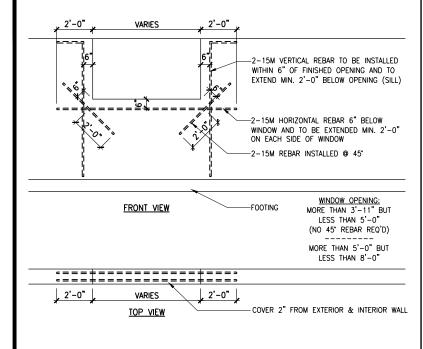
A.4b

SHEET

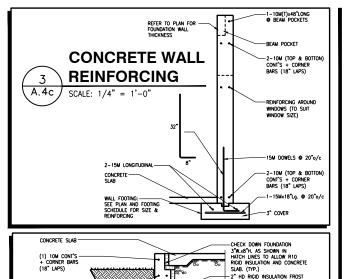


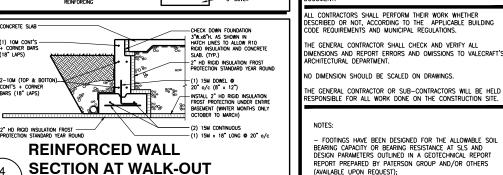


FOOTING PLÄN - WALKOUT - PORCH END UNIT

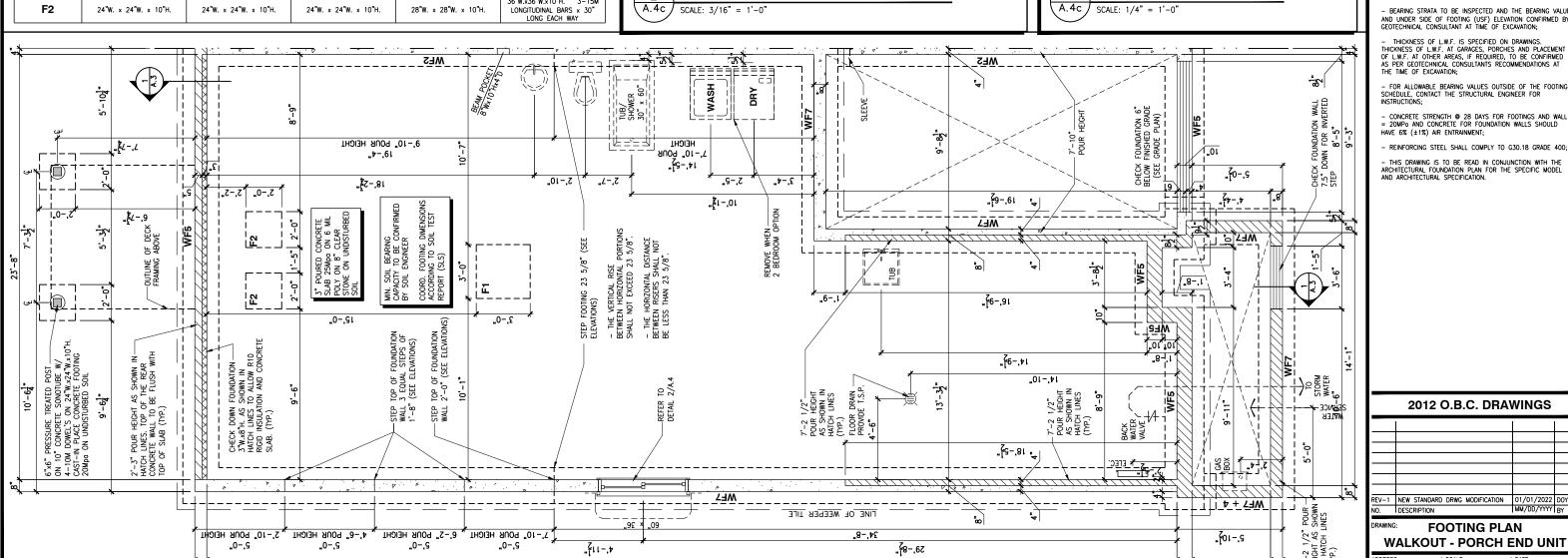


BASEMENT WINDOW REINFORCING





4,-4]..



.0-.19

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

FOOTING PLAN

WALKOUT - PORCH END UNIT

3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT SHEET A.4c

XX/XX/XXXX

STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

alecraft

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

IIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE

I ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE

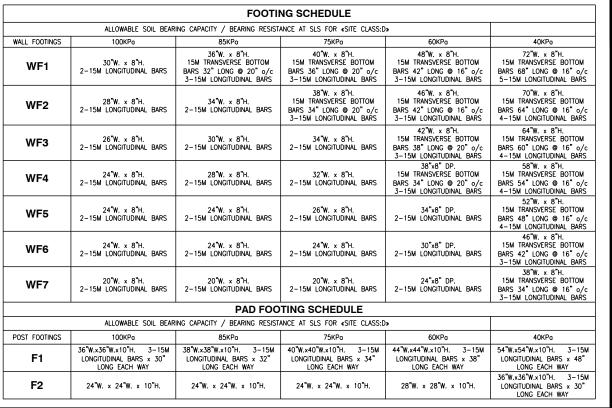
AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT

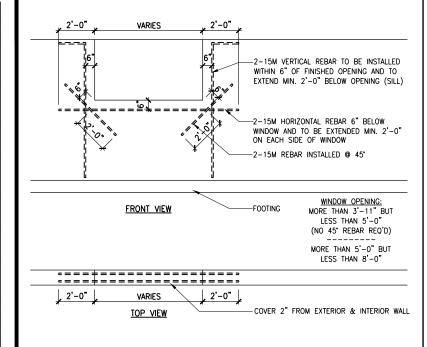
CONCRETE STRENGTH ⊕ 28 DAYS FOR FOOTINGS AND WALL
 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

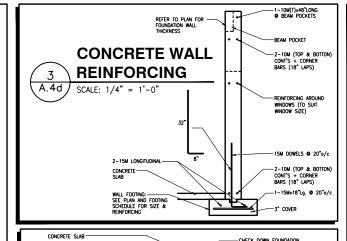
THE TIME OF EXCAVATION;

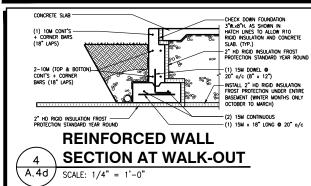
A.4c SCALE: 3/16" = 1'-0"





BASEMENT WINDOW REINFORCING A.4d SCALE: 3/16" = 1'-0"





LOT: XXXX DATE: XX/XX/XXXX

alecrafi Homes (2019) Limited

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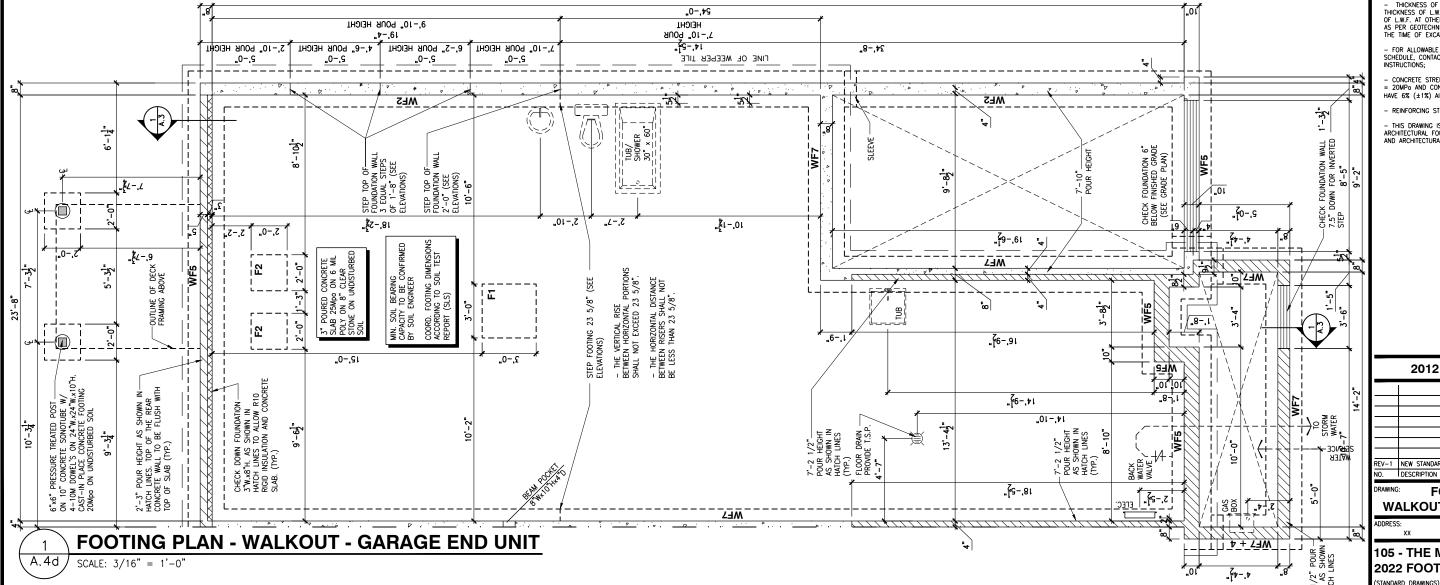
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O DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil bearing capacity or bearing resistance at SLS and design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON DESCRIPTION

FOOTING PLAN WALKOUT - GARAGE END UNIT

> 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

A.4d

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- (5) 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: **XXXX** DATE: XX/XX/XXXX

alecraft/ Homes (2019) Limited

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PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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IO DIMENSION SHOULD BE SCALED ON DRAWINGS

NOTES:

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 $= 1.200 \times 100 \times 12$

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL: WHEN DOM OPTION S7 = L 150×100×10 (8" BEARING) ₩, WALL FOR LATERALLY CAL BARS @ 12" o/c WEL 10" HORIZONTAL 3 ARRS SHALL BE TIED TH MARS SHALL BE TIED TH MALE SHALL BE THED TH MALE SHALL BE THE TH MALE SHALL BE THE TH MALE SHALL SHA WASH INTEL TABLE: EXCAVATED AREA COMPACT ALL FILL L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75×9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER 3" PO SLAB POLY STONE CHECK BELOW (SEE CHECK FOUN 7.5" DOWN STEP POST TABLE: 1<u>.01</u> | A | 유교[취-飞 P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-244 OR 2-246 P3 = 3-2x4 OR 3-2x6 <u>-</u>E <u>"\$</u>0−'8 3-5 ..⁷9-.61 (2) 2"X8 LANDING FILL W200x27 (24'-6" L RAMSET A ON TOP $-9\frac{1}{2}$ _+_1]3HS_1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)WALL STUD P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) <u>+</u> ₽ -ic/ P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. LIGHTE SHOWS (TYP.) (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED) 4.-0. **.**0-.**t** POST ARE ALL JACK c/w STUD MECHANICAL ROOM (<u>v</u>) (EX. P2 = 1 JACK + 1 STUD) IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" OPTIONAL BEDROOM 11'-4" x 12'-0" CARPET "ı −'E -<u>'</u>K UNFINISHED BASEMENT CONCRETE 12'-2" LOWER HEADFOOM 5,-5" R.O. 11'-0]" → SERVICE "∂-'₽ YZCENI R2P **MATER** "€2-'81 VENT GAS FIREPLACE DPTIONAL DIRECT (<u>5</u>) 0 \2 *****0 "8−'Σ 2,-0, <u>"</u>\$0−.7 PRAIL FOR HRV GAS POUR SHOW LINES FLOOR JC AN FOR S AND SILL 17.-2" -2 1/2" EIGHT AS HATCH L YP.) ._Z8-.62 24.-11<mark>]</mark>.. -ζ_ς 76'−8<u>5</u>" 4.-4]..

BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

A.5a

SCALE: 3/16" = 1'-0"

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING.

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

A.5a

xx/xx/xxxx

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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- JOIST HANGERS AT EVERY JOIST CONNECTION

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LOT: **XXXX** DATE: XX/XX/XXXX

alecraft/ Homes (2019) Limited

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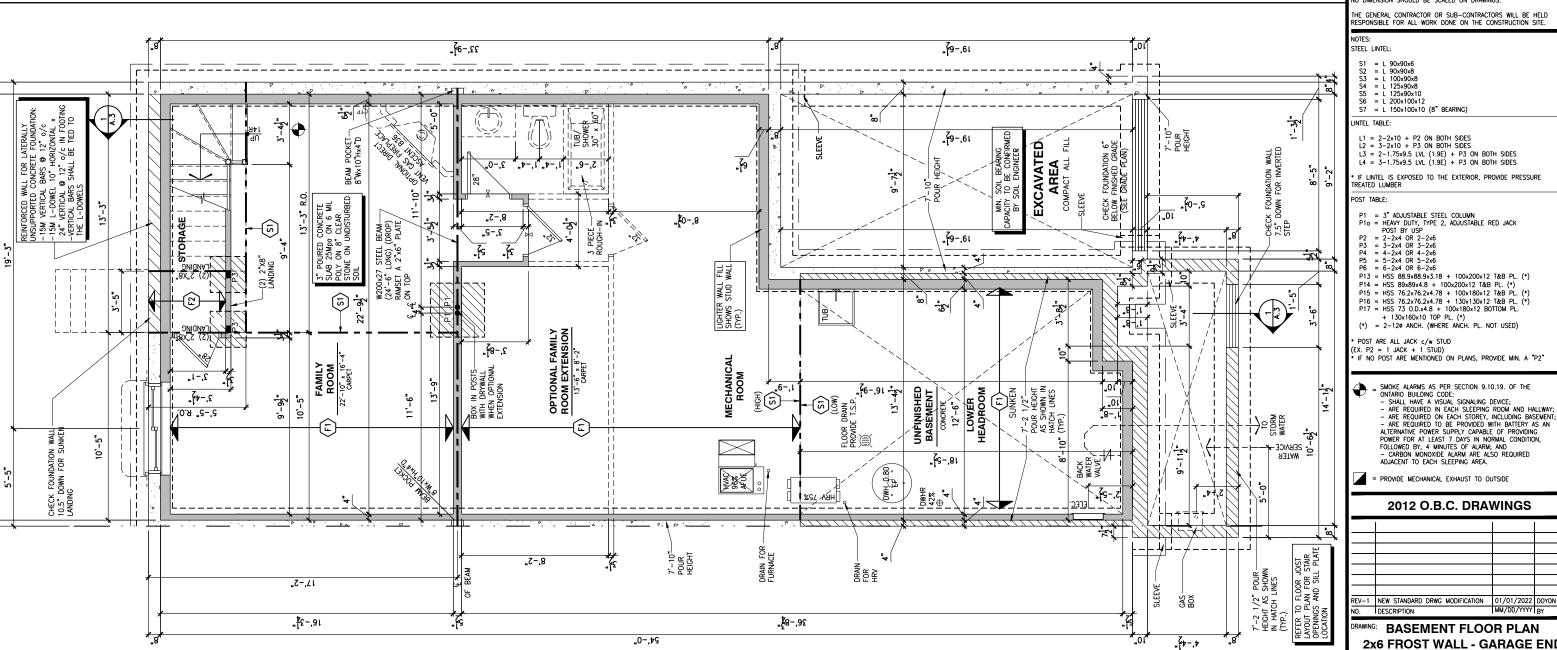
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RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - GARAGE END

3/16" = 1'-0" xx/xx/xxxx 105 - THE MANN

A.5b

2022 FOOTPRINT

STANDARD DRAWINGS)

A.5b

SCALE: 3/16" = 1'-0"

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LOT: **XXXX** DATE: XX/XX/XXXX

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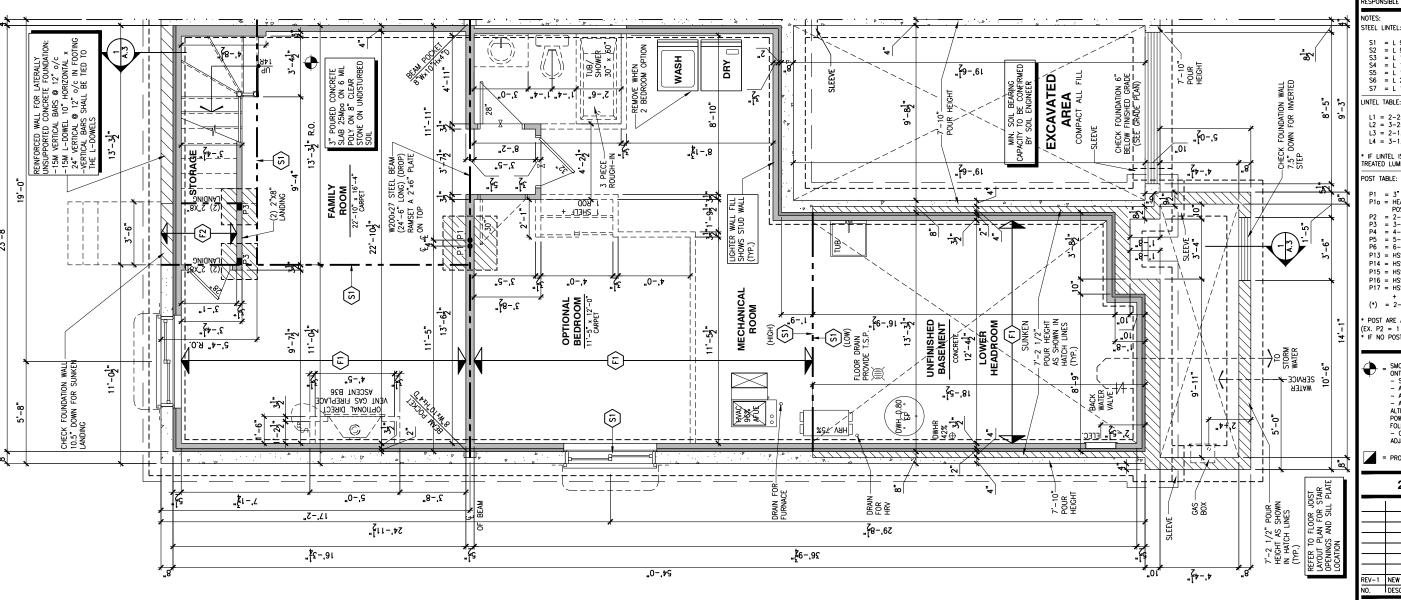
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A.5c

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 $= 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

 $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-246
P3 = 3-2x4 OR 3-2x6

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

EV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END**

3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

A.5c

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- (5) 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: **XXXX** DATE: XX/XX/XXXX

alecraft/ Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

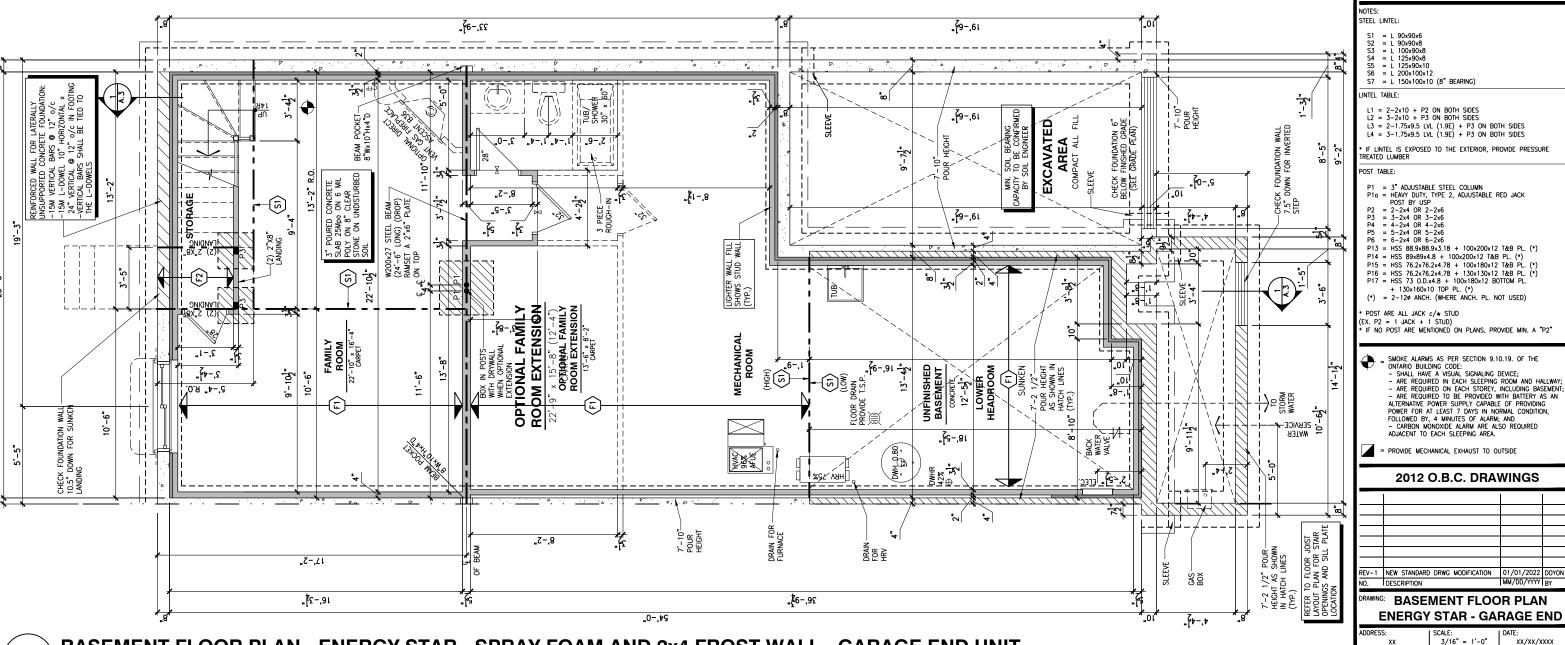
IS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW I ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT A.5d

105 - THE MANN **2022 FOOTPRINT**

STANDARD DRAWINGS)

A.5d

xx/xx/xxxx

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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LOT: **XXXX** DATE: XX/XX/XXXX

alecraft/ Homes (2019) Limited

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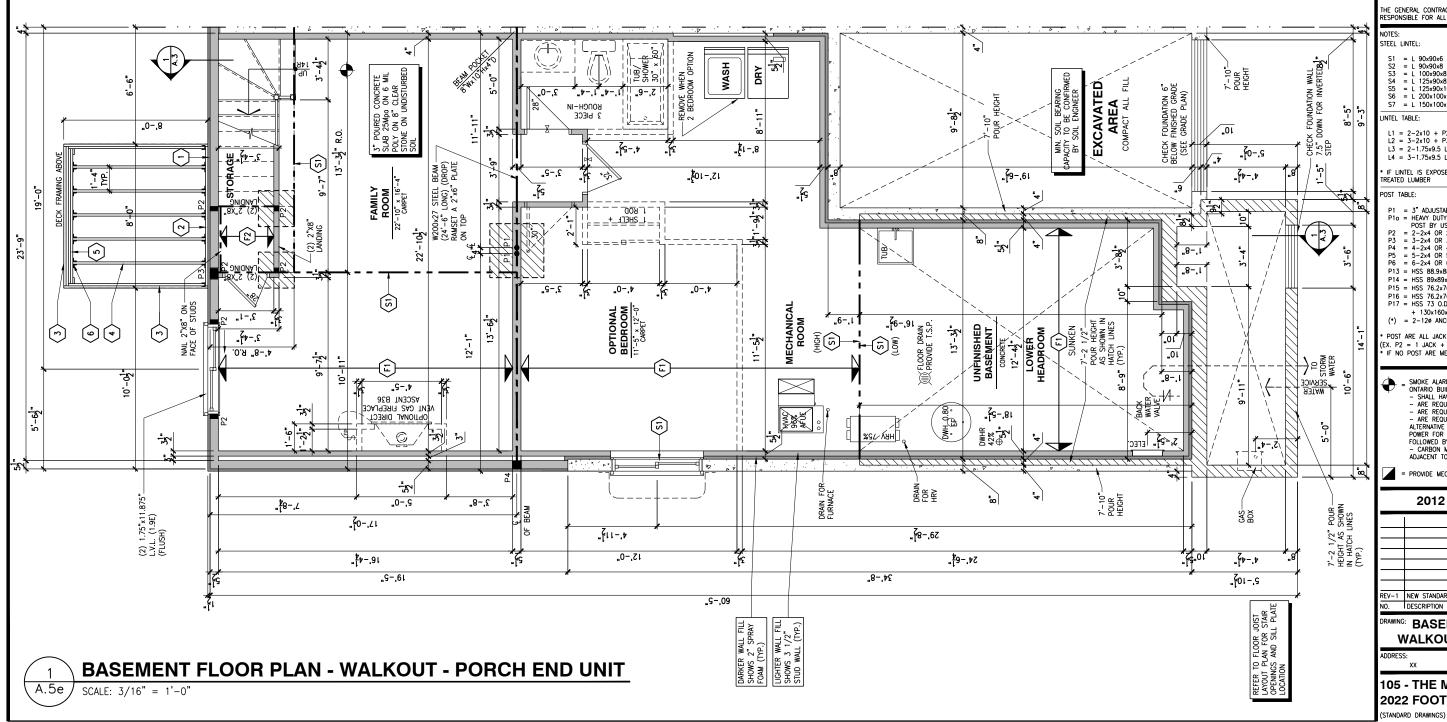
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IO DIMENSION SHOULD BE SCALED ON DRAWINGS

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

ARCHITECTURAL DEPARTMENT. OTES: STEEL LINTEL: = L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 $= 1.200 \times 100 \times 12$ INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-244 OR 2-246 P3 = 3-2x4 OR 3-2x6 = 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6 (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED) POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE: SHALL HAVE A VISUAL SIGNALING DEVICE; ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY; ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT, ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING. O DESCRIPTION



PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 * SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM IIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE

S7 = L 150×100×10 (8" BEARING)

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

	2012 O.B.C	. DRAWINGS
T		

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

RAWING: BASEMENT FLOOR PLAN

WALKOUT - PORCH END UNIT

3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

A.5e

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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alecraft/ Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

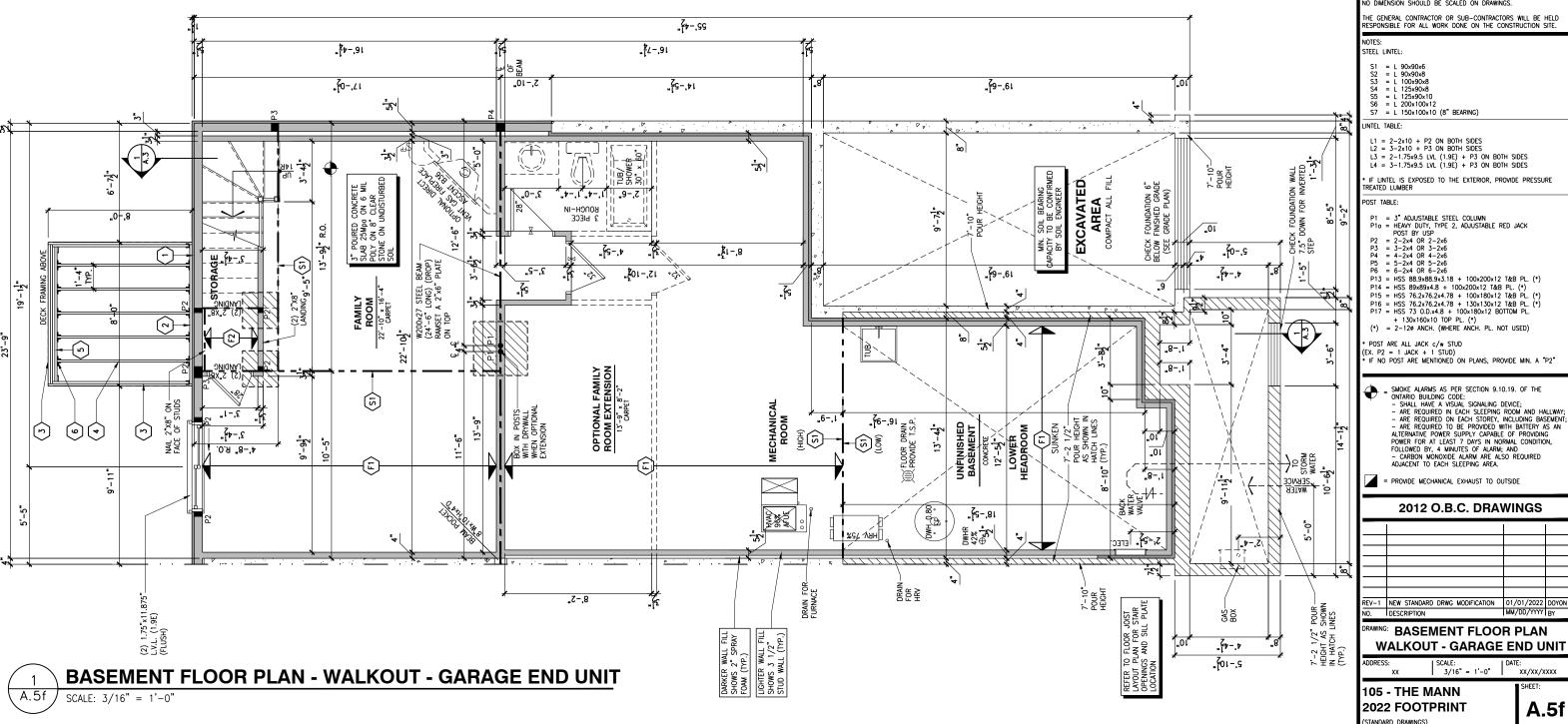
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 $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES

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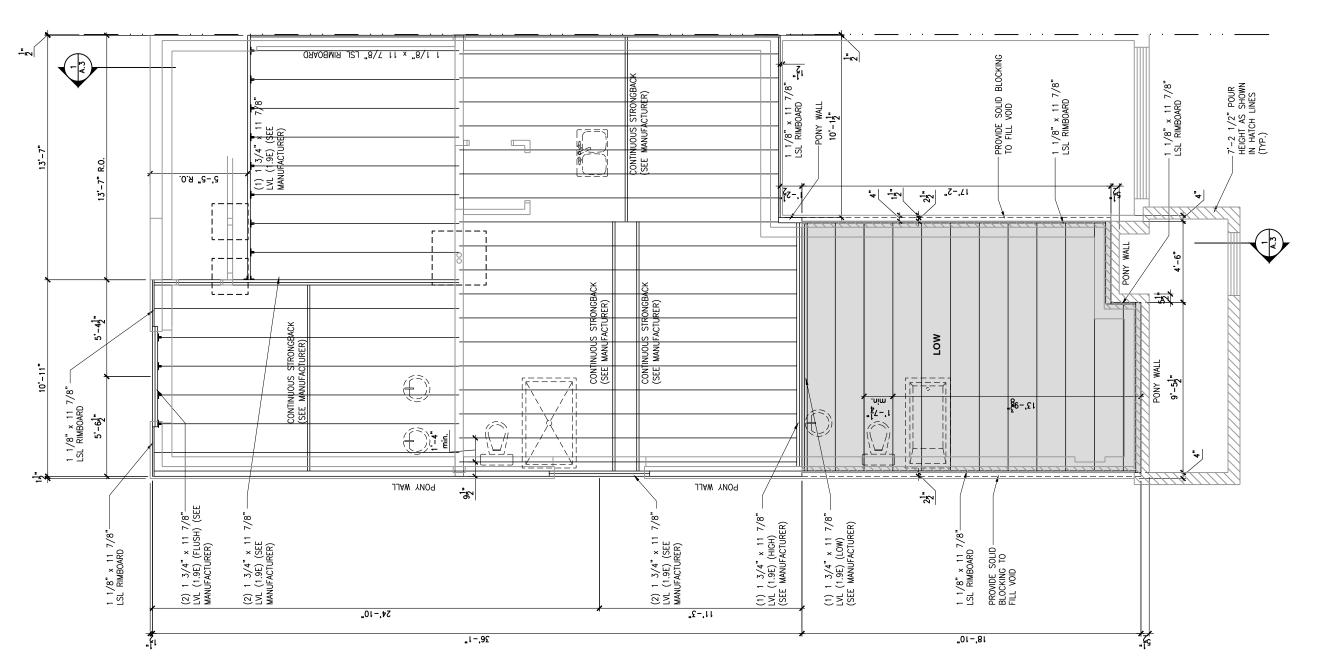
		1	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 MM/DD/YYYY	MOYOD
١0.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN

WALKOUT - GARAGE END UNIT

A.5f

xx/xx/xxxx





I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

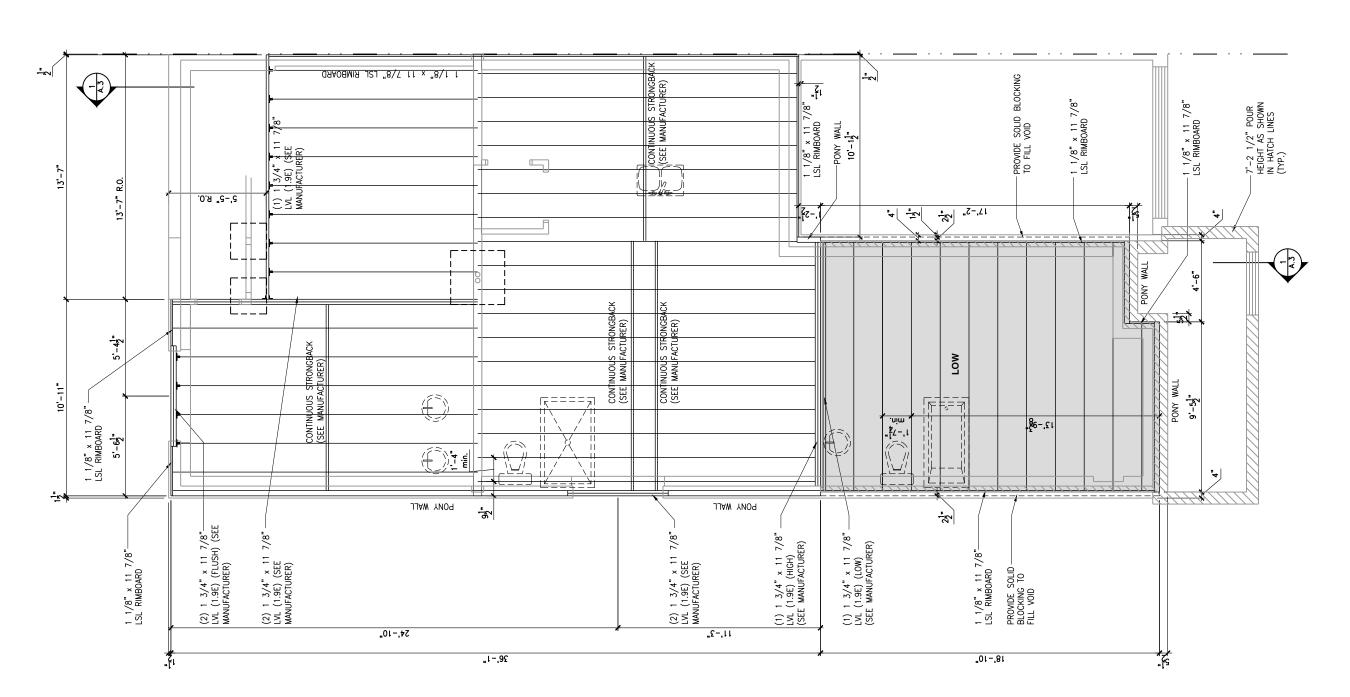
RAWING: 3 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6a

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT



LOT: XXXX
DATE: XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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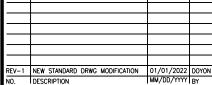
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2012 O.B.C. DRAWINGS

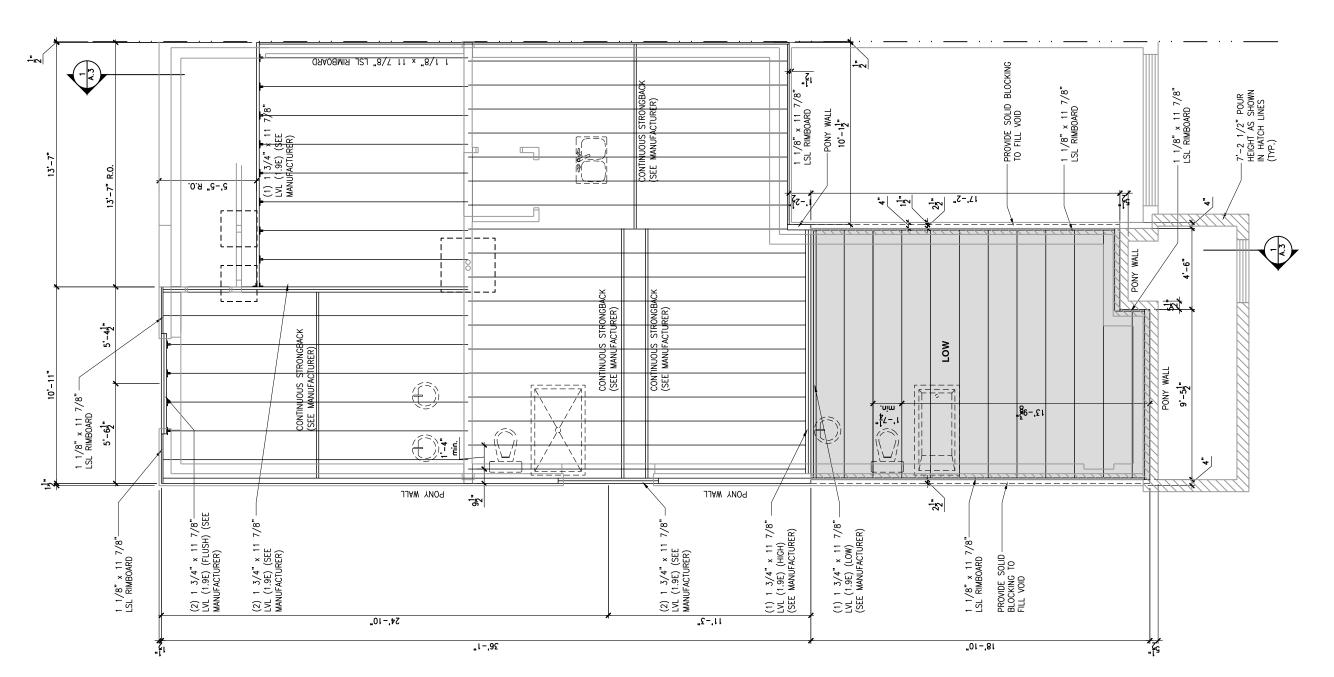


RAWING: 3 BEDROOM PLAN - FLOOR JOIST FRAMING - PORCH END

ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.6b

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

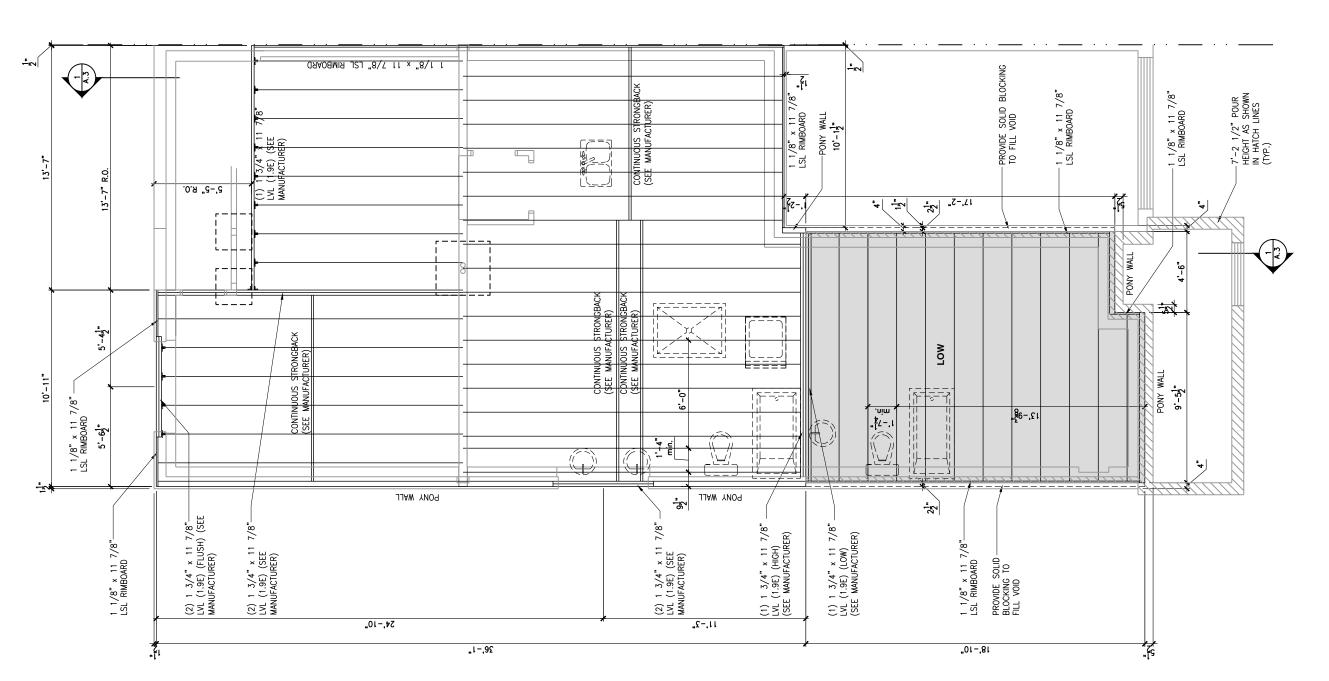
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: 3 BEDROOM PLAN - FLOOR
JOIST FRAMING - PORCH END

ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT





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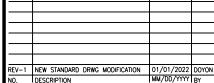
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2012 O.B.C. DRAWINGS



RAWING: 2 BEDROOM PLAN - FLOOR

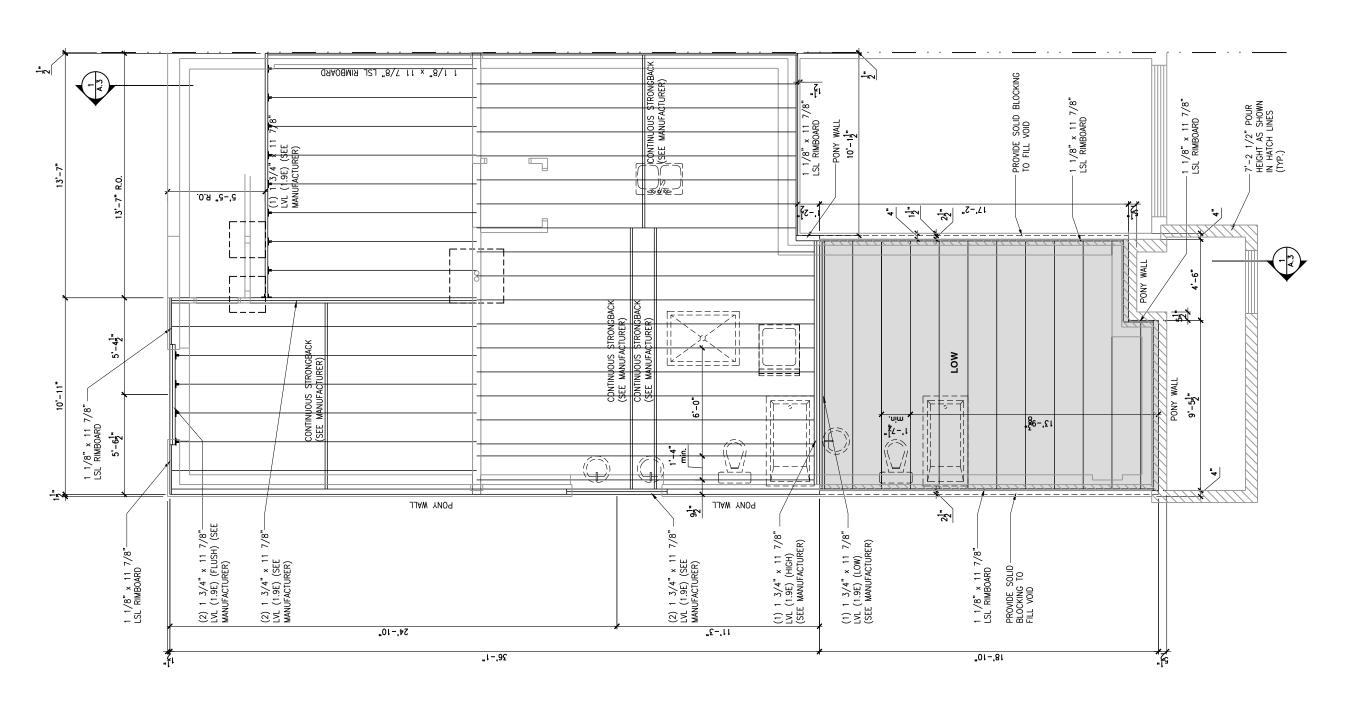
JOIST FRAMING - PORCH END DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6d

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT





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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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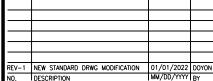
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2012 O.B.C. DRAWINGS



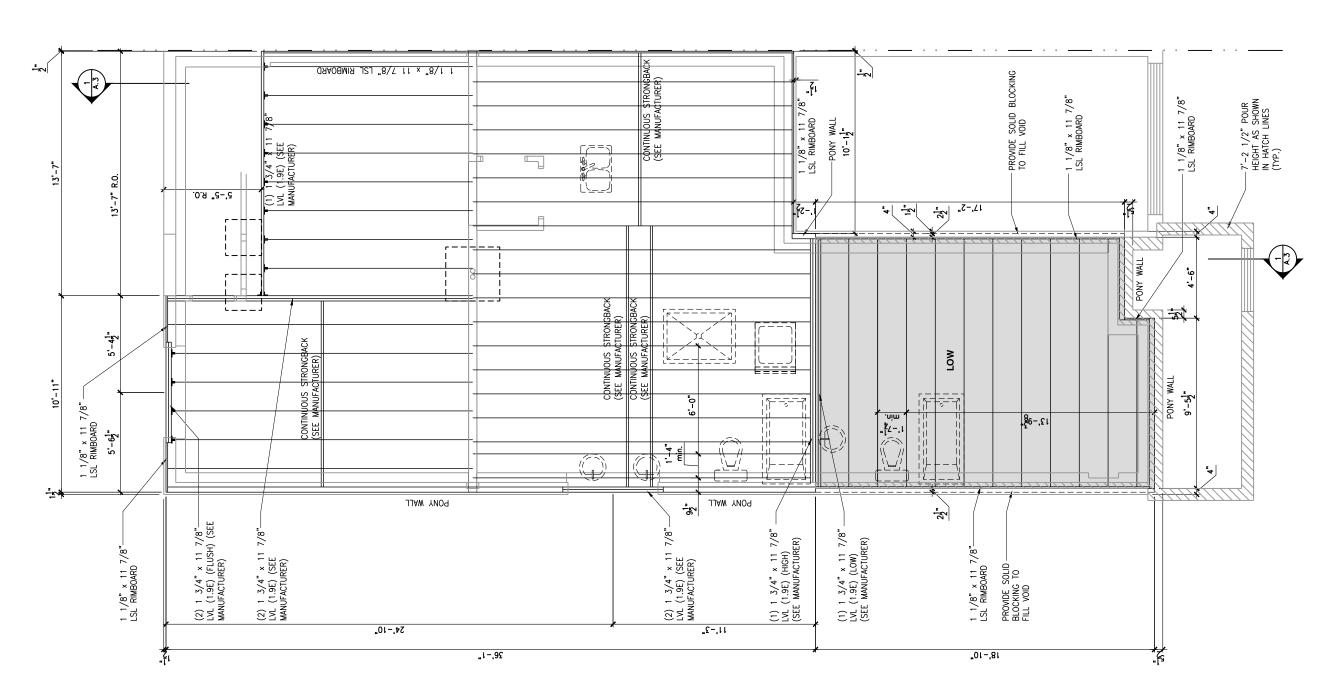
RAWING: 2 BEDROOM PLAN - FLOOR

JOIST FRAMING - PORCH END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6e

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - PORCH END UNIT



Valecraft Homes (2019) Limited

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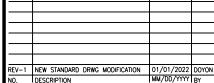
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2012 O.B.C. DRAWINGS



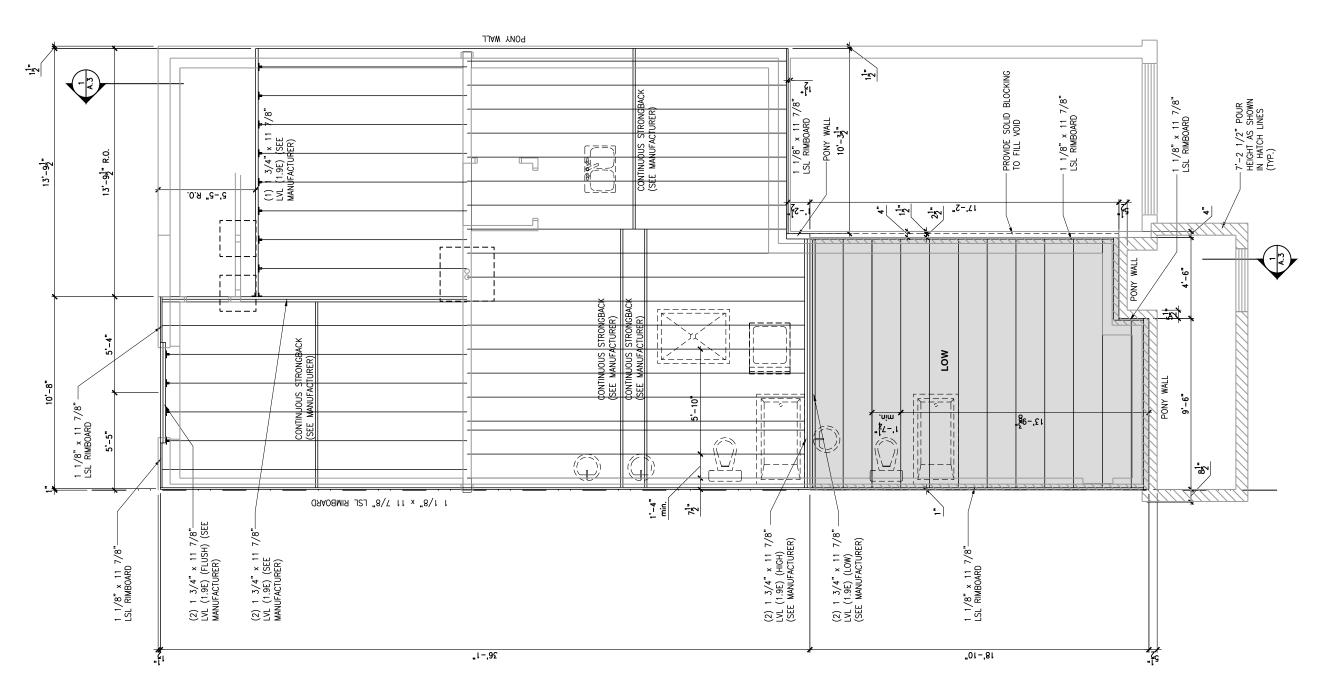
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"





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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

RAWING: 2 BEDROOM PLAN - FLOOR

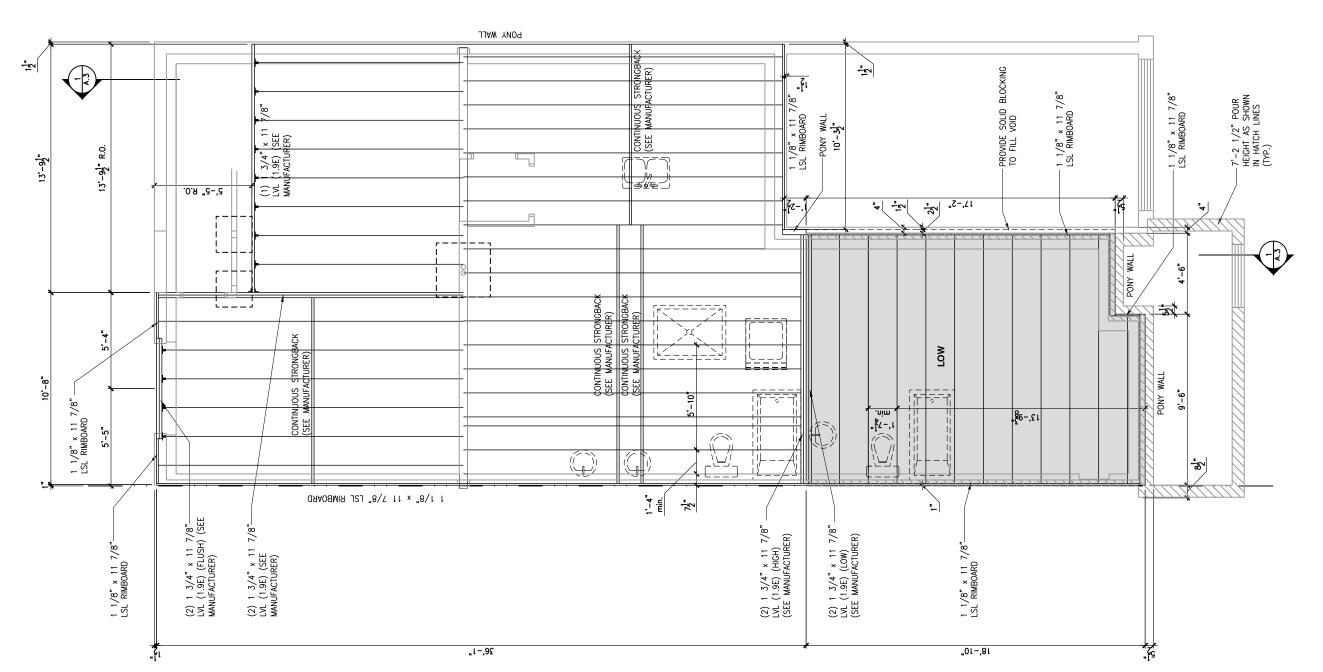
JOIST FRAMING - GARAGE END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6g

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT





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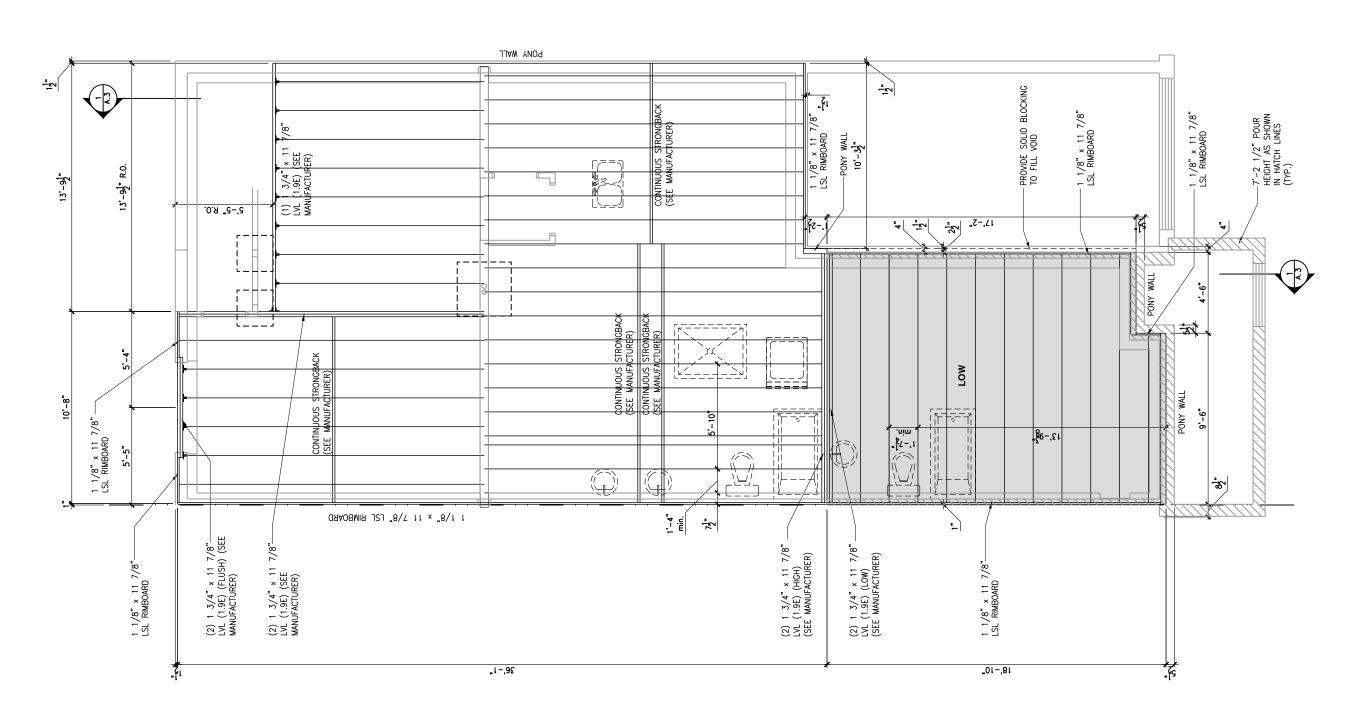
RAWING: 2 BEDROOM PLAN - FLOOR

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6h





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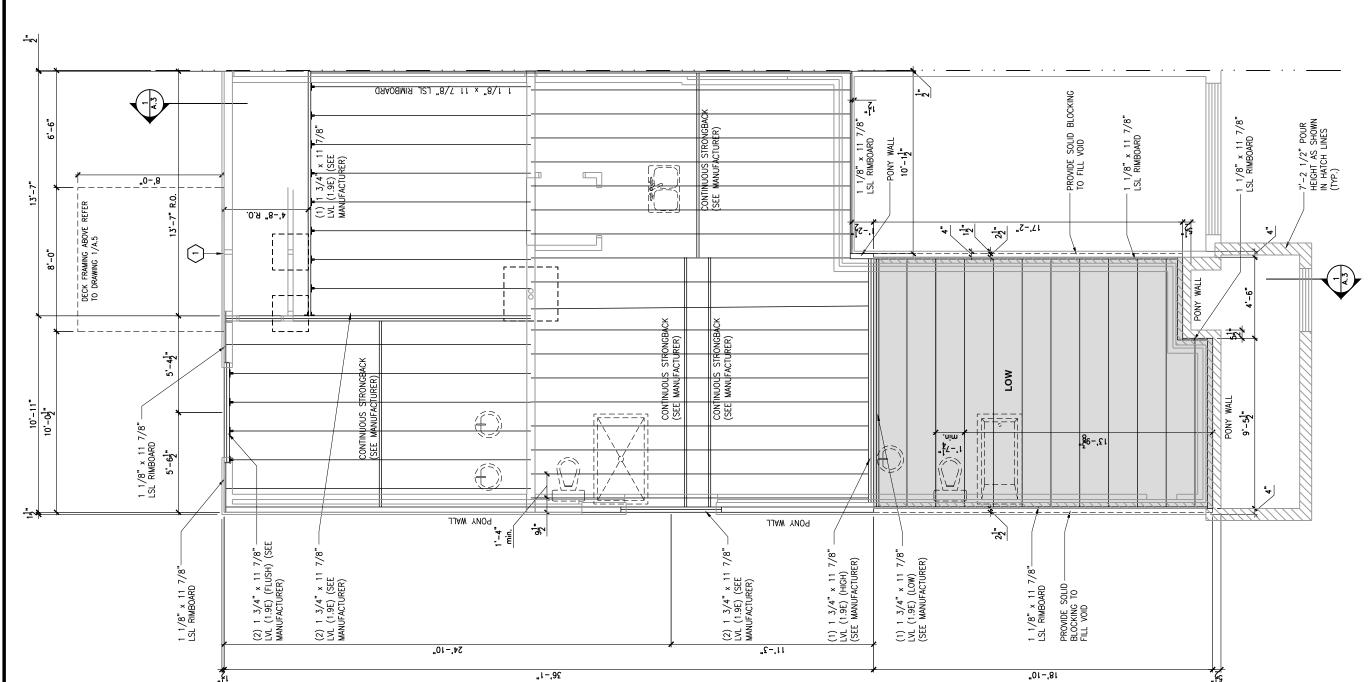
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - GARAGE END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6i

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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REV-1		01/01/2022	
٧0.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6j

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING 1 1/8" x 11 7/8" LSL RIMBOARD .1 1/8" x 11 7/8" LSL RIMBOARD -7'-2 1/2" POUR HEIGHT AS SHOWN IN HATCH LINES (TYP.) PROVIDE SOLID E TO FILL VOID 1 1/8" × 11 7 LSL RIMBOARD PONY WALL $10^{\circ}-1\frac{1}{2}^{\circ}$ 1 3/4 (1.9E) UFACTU <u>"0-'8</u> . IS DECK FRAMING ABOVE REFER TO DRAWING 1/A.5 4,-8" R.O. 17'-2" [22= .⁴[<u>-</u>-<u>-</u>-<u>-</u>-∠ \bigcirc CONT (SEE CON] (SEE 1 1/8" × 11 7/8". LSL RIMBOARD

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO DESCRIPTION MM/DD/YYYY RY

RAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

.ge−.εı

23-

1 1/8" × 11 7 LSL RIMBOARD

"01-'81

(1) 1 3/4" × 11 7/8" – LVL (1.9E) (LOW) (SEE MANUFACTURER)

(1) 1 LVL ((SEE

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6k

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT

5'-67"

1 1/8" × 11 7/8"-LSL RIMBOARD

SEE

(2) 1 3/4" × 11 7/8" -LVL (1.9E) (SEE MANUFACTURER)

MAN (2)

JJAW YNO9

74,-10,,

"1-'8E

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING 1 1/8" x 11 7/8" LSL RIMBOARD .1 1/8" × 11 7/8" LSL RIMBOARD .1 1/8" × 11 7/8" LSL RIMBOARD -7'-2 1/2" POUR HEIGHT AS SHOWN IN HATCH LINES (TYP.) 1 1/8" x 11 7 LSL RIMBOARD PONY WALL 10'-13" 3/4" .9E) "0-**'**8 DECK FRAMING ABOVE REFER
TO DRAWING 1/A.5 4.-8" R.O. 17'-2" <u>+</u>ic/ \bigcirc 旋 ONGBA RER)

CONT (SEE

1 3/4" × 11 (1.9E) (SEE IUFACTURER)

PONY WALL

11,-3"

1 3/4" (1.9E) (MANUF

[F-7]

-22

1 1/8" × 11 7/8"-LSL RIMBOARD

"01-'81

PROVIDE SOLID -BLOCKING TO FILL VOID

1 3/4" × 11 7/8"-- (1.9E) (LOW) EE MANUFACTURER)

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO DESCRIPTION MM/DD/YYYY RY

RAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6I

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT

JJAW YNO9

74,-10,

"1−'8č

SCALE: 3/16" = 1'-0"

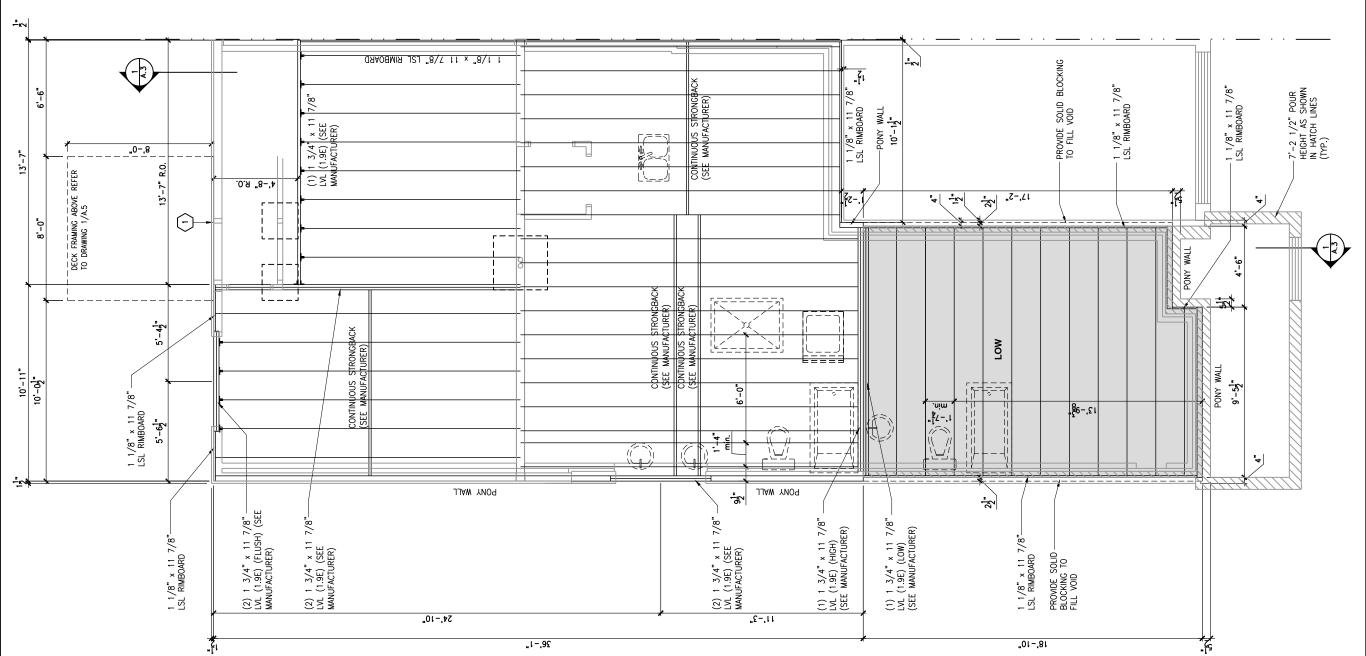
1 1/8" × 11 7/8". LSL RIMBOARD 5'-6]"

1 1/8" × 11 7/8"-LSL RIMBOARD

- 1 3/4" × 11 7/8" — - (1.9E) (FLUSH) (SEE NUFACTURER)

1 3/4" × 11 (1.9E) (SEE JUFACTURER)

MAN(2)



LOT: XXXX DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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NO DESCRIPTION MM/DD/YYYY RY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6m

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



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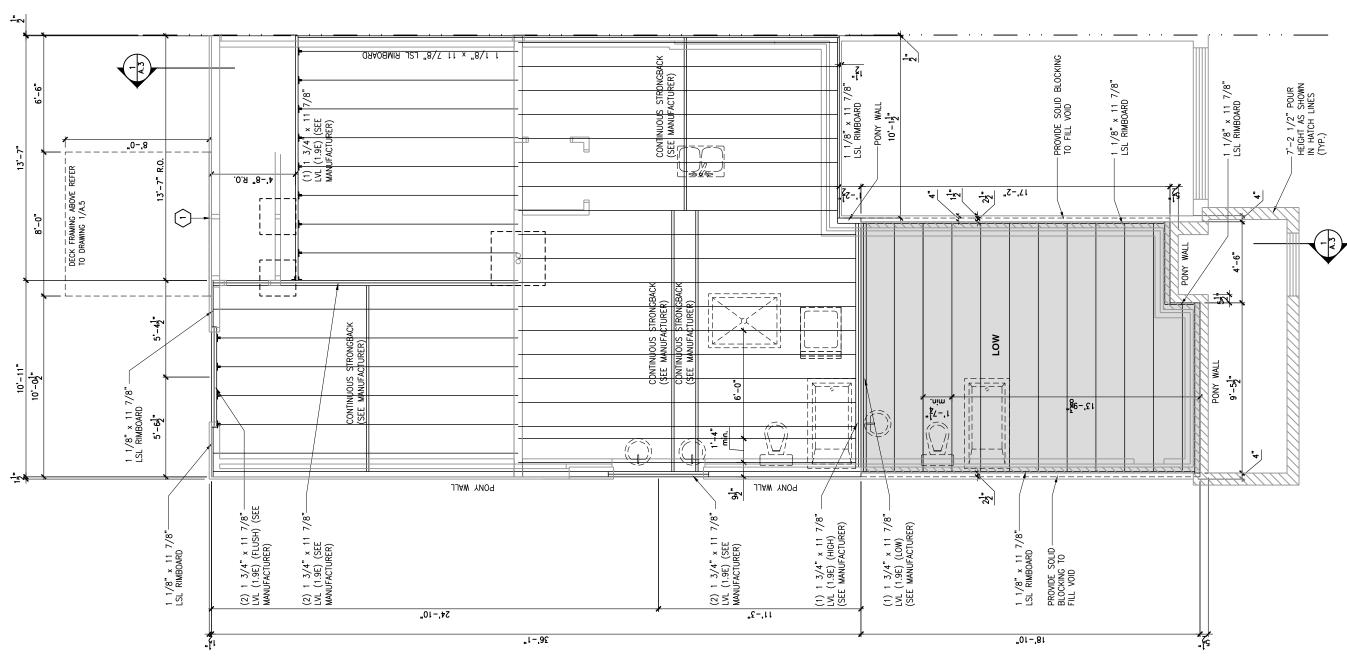
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2012 O.B.C. DRAWINGS

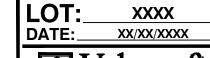
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105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6n

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



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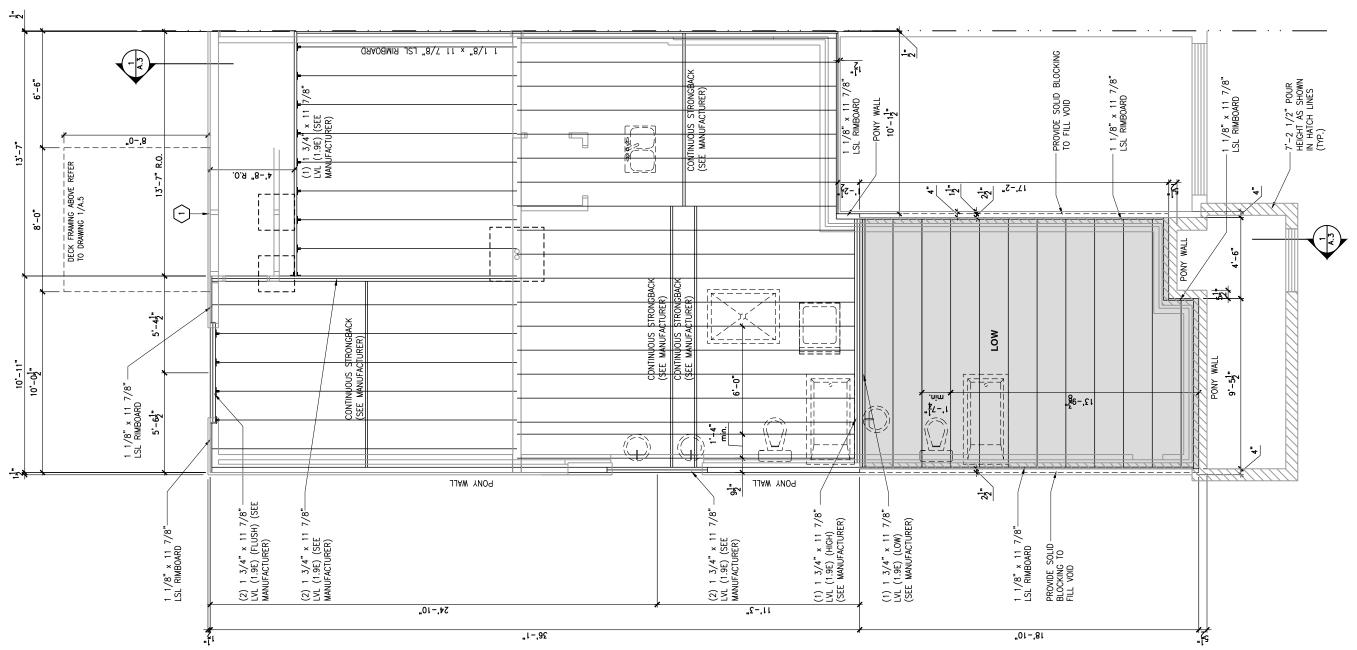
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2012 O.B.C. DRAWINGS

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NO. DESCRIPTION MM/DD/YYYY BY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

A.60

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

(A.60) SCALE: 3/16" = 1'-0"

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT



** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

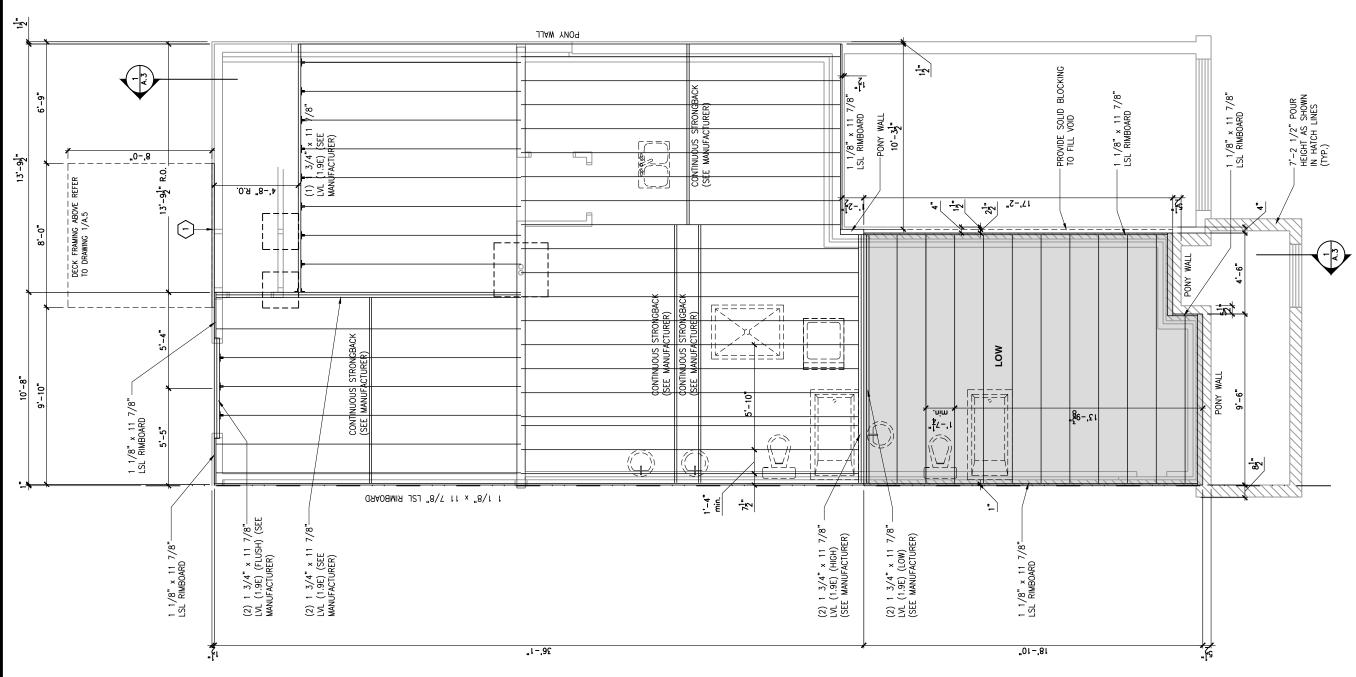
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NO DESCRIPTION MM/DD/YYYY RY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

SCALE: 3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

A.6p

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT SCALE: 3/16" = 1'-0"

LOT:

DATE:

XXXX

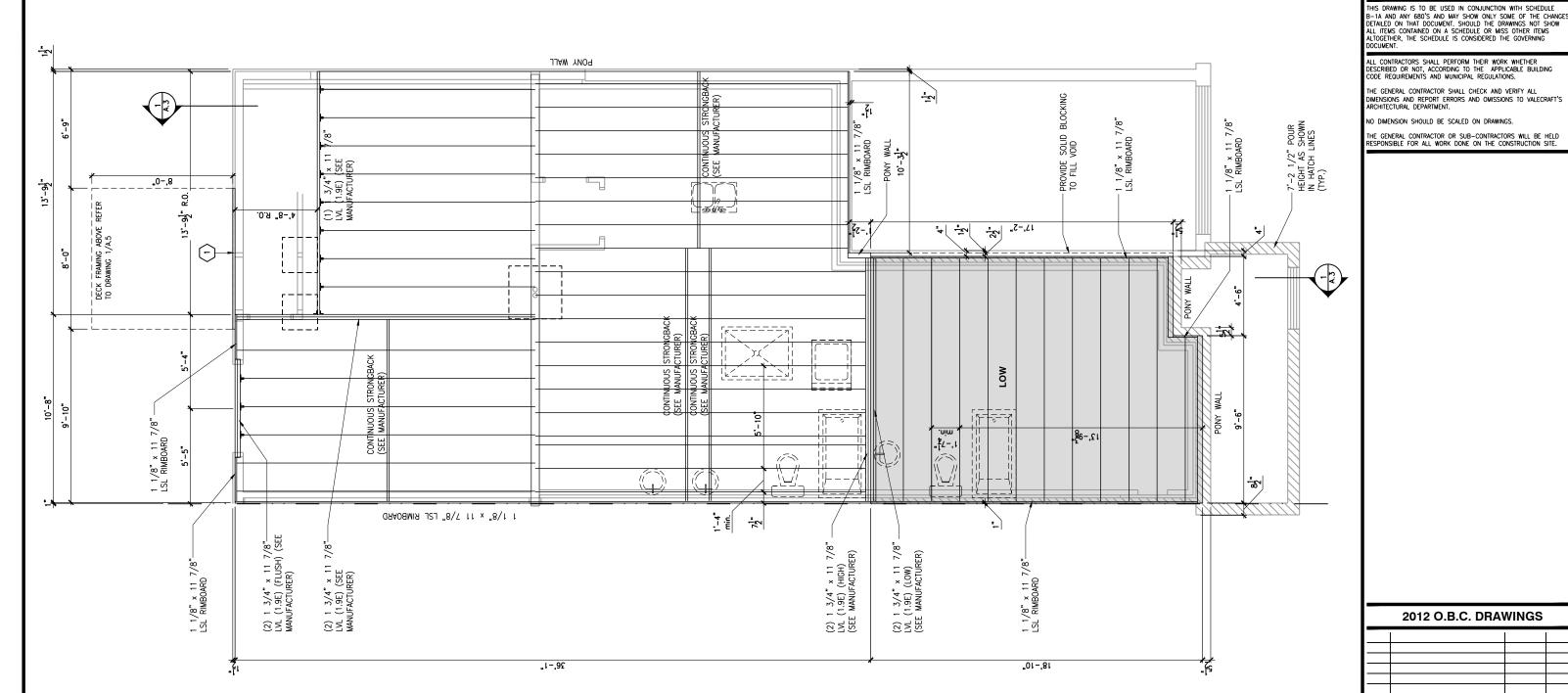
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611



ADDRESS: | SCALE: | 3/16" = 1'-0"

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: 2 BEDROOM PLAN - JOIST

FRAMING-WALKOUT-GARAGE END

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.6q

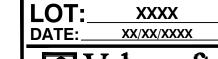
xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - GARAGE END UNIT

(A.6q)

SCALE: 3/16" = 1'-0"

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING



Valecraft Homes (2019) Limited <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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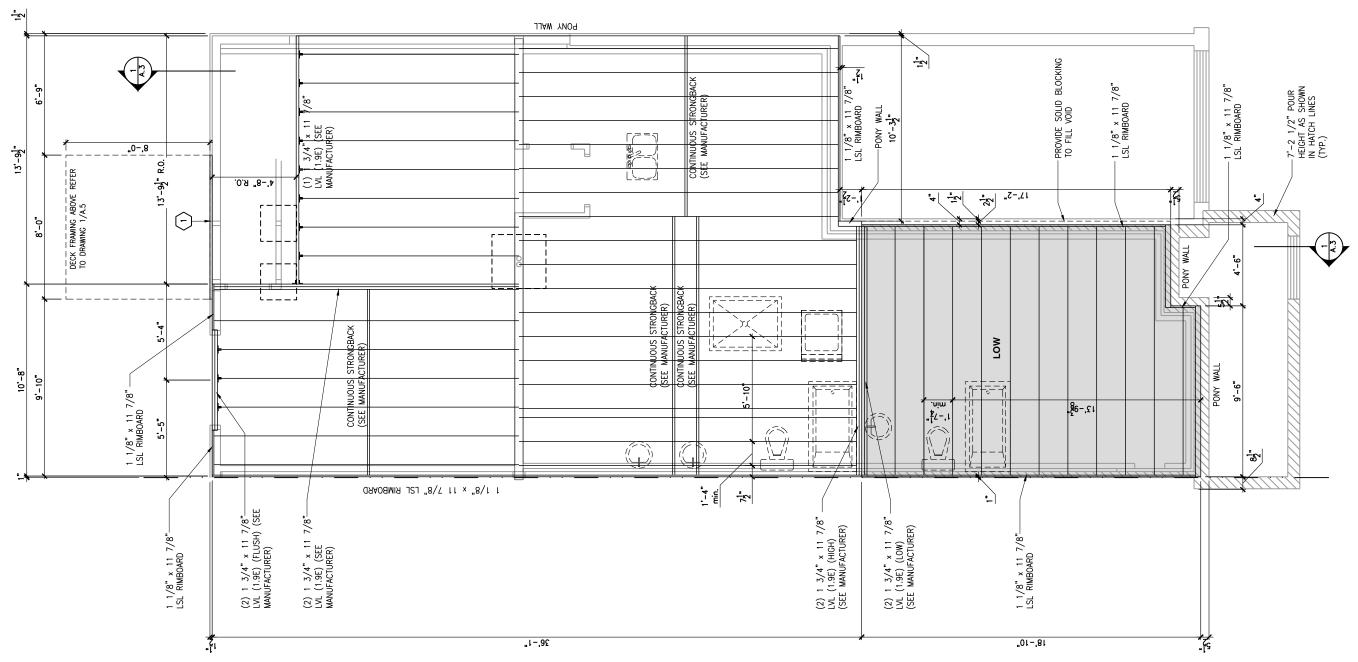
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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

SCALE: 3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

A.6r

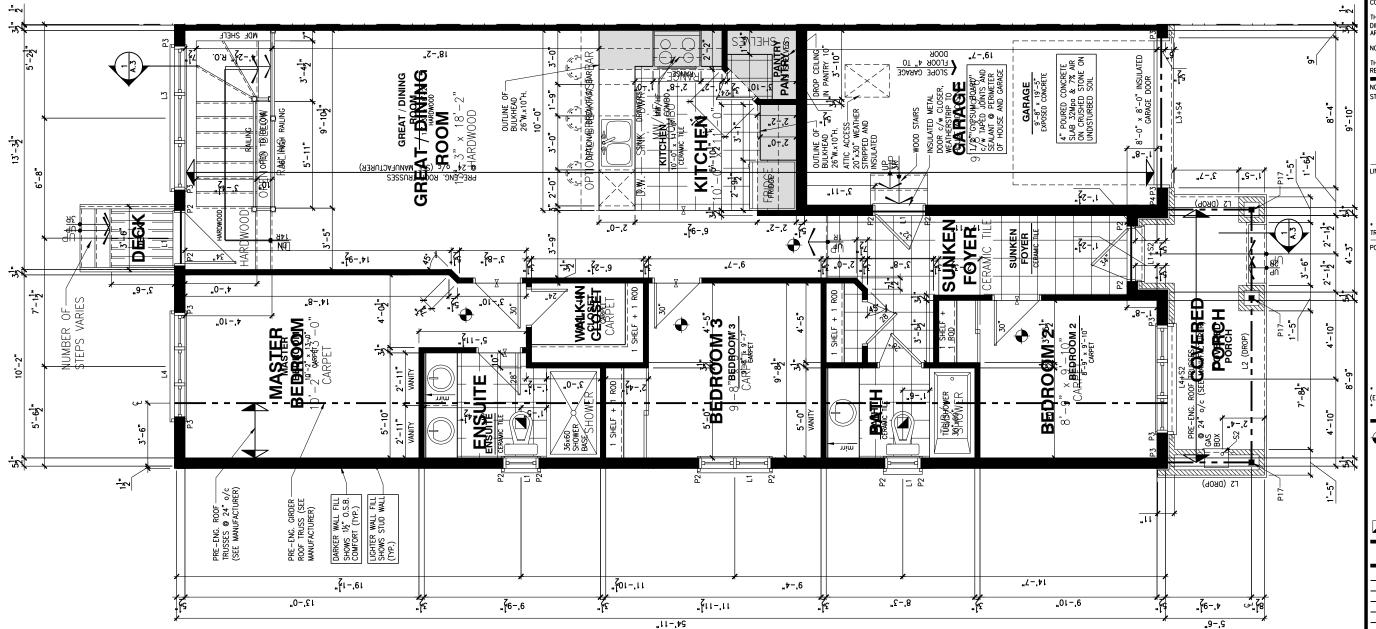
xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT

- 11 76" PRE-ENG. OPEN JOIST TRIFORCE ◎ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
 SOLL SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

alecraft Homes (2019) Limited

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = 1.200 \times 100 \times 12$ S7 = L 150×100×10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE REATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

- = 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING.
- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

COLO O D O DDAWINGO

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS		

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR-3 BEDROOM STANDARD KITCHEN - PORCH END

3/16" = 1'-0" 105 - THE MANN

XX/XX/XXXX 2022 FOOTPRINT

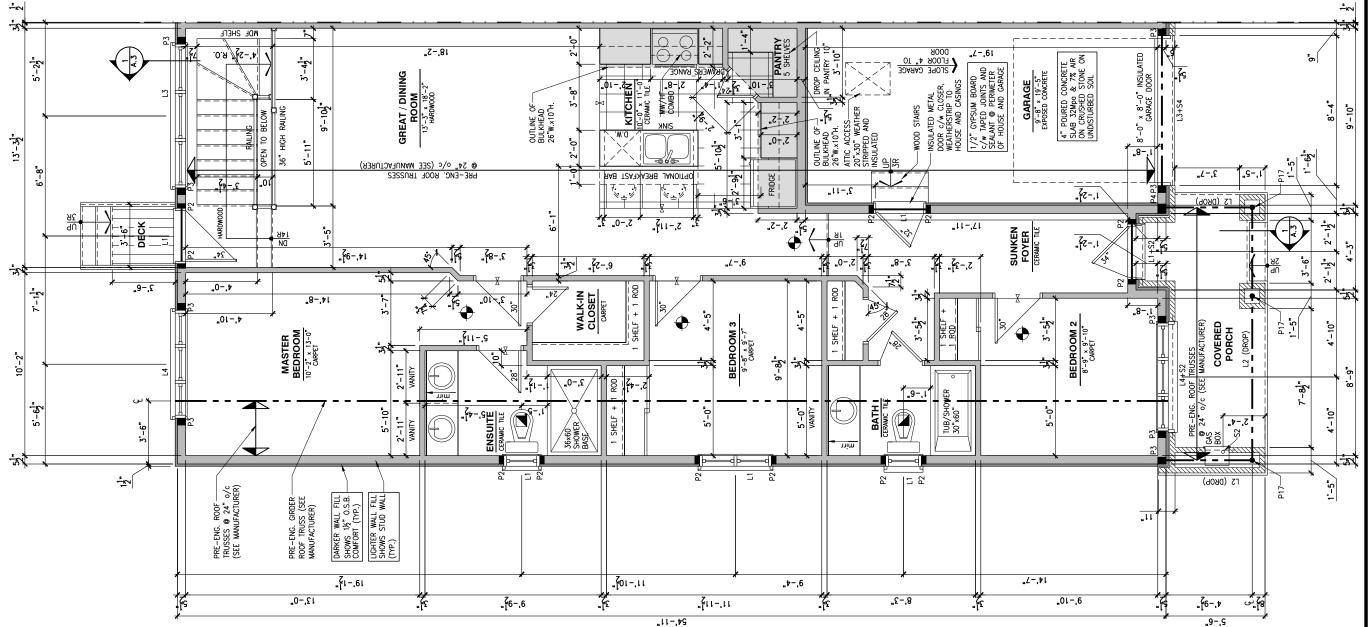
(STANDARD DRAWINGS)

A.7a

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GENERAL NOTES:

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GROUND FLOOR - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAV	VINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" xx/xx/xxxx

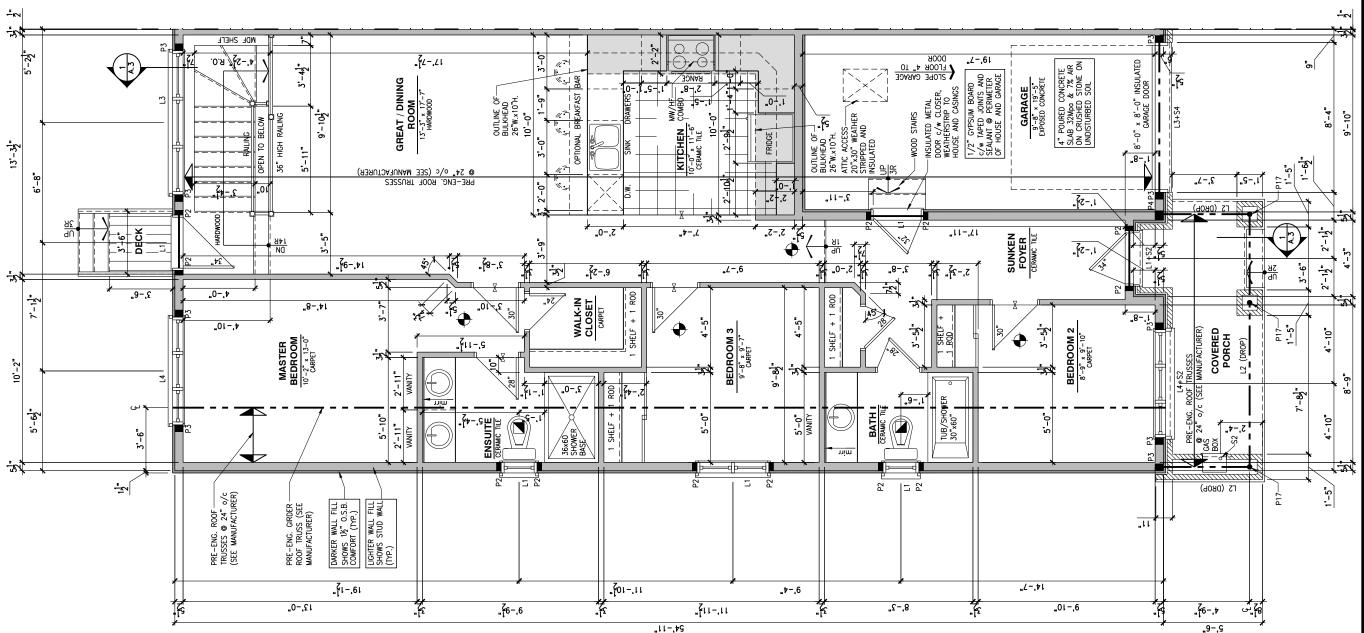
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.7b

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GROUND FLOOR - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS		
	2012 O.B.C. DRAV	

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

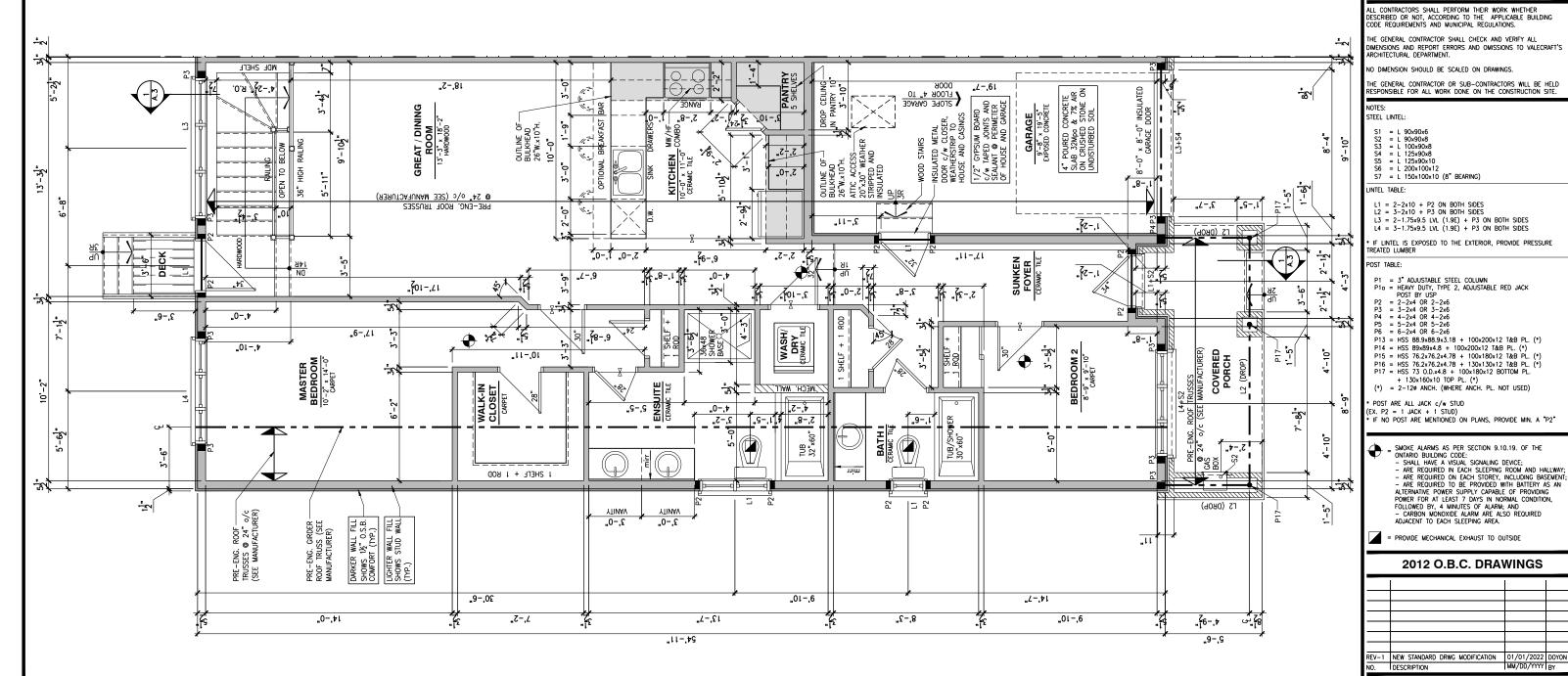
(STANDARD DRAWINGS)

A.7c

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STANDARD KITCHEN - PORCH END

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

Homes (2019) Limited

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3/16" = 1'-0" XX/XX/XXXX 105 - THE MANN 2022 FOOTPRINT

RAWING: GROUND FLOOR-2 BEDROOM

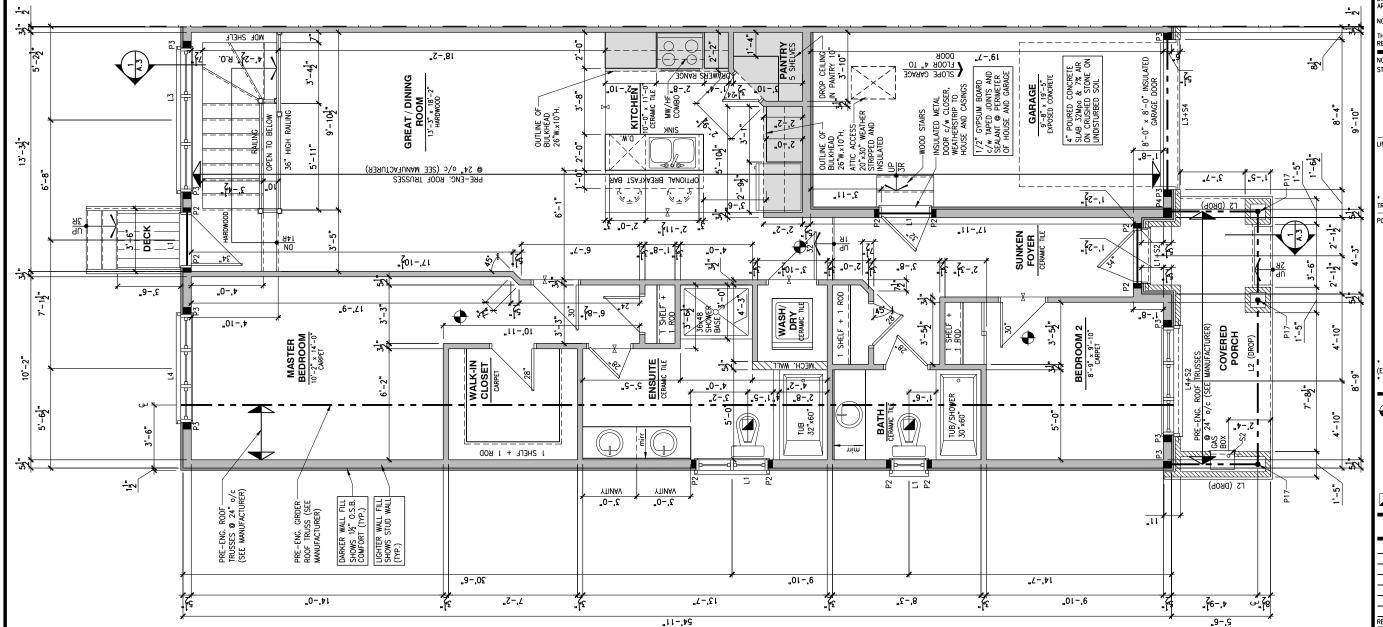
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SHEET A.7d

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GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TARLE

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
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- P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

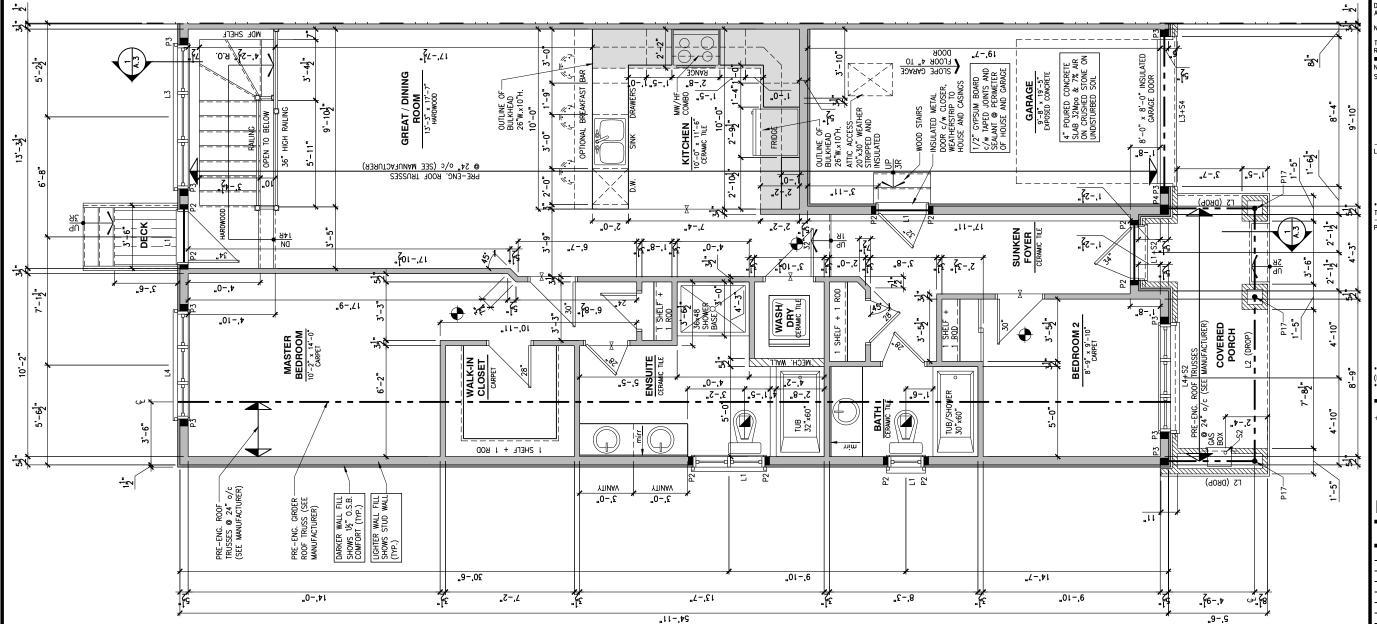
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.7e

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - PORCH END UNIT

2022 FOOTPRINT

A.7f

XX/XX/XXXX

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

XX/XX/XXXX Homes (2019) Limited

DANIEL GUERIN., ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

XXXX

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611
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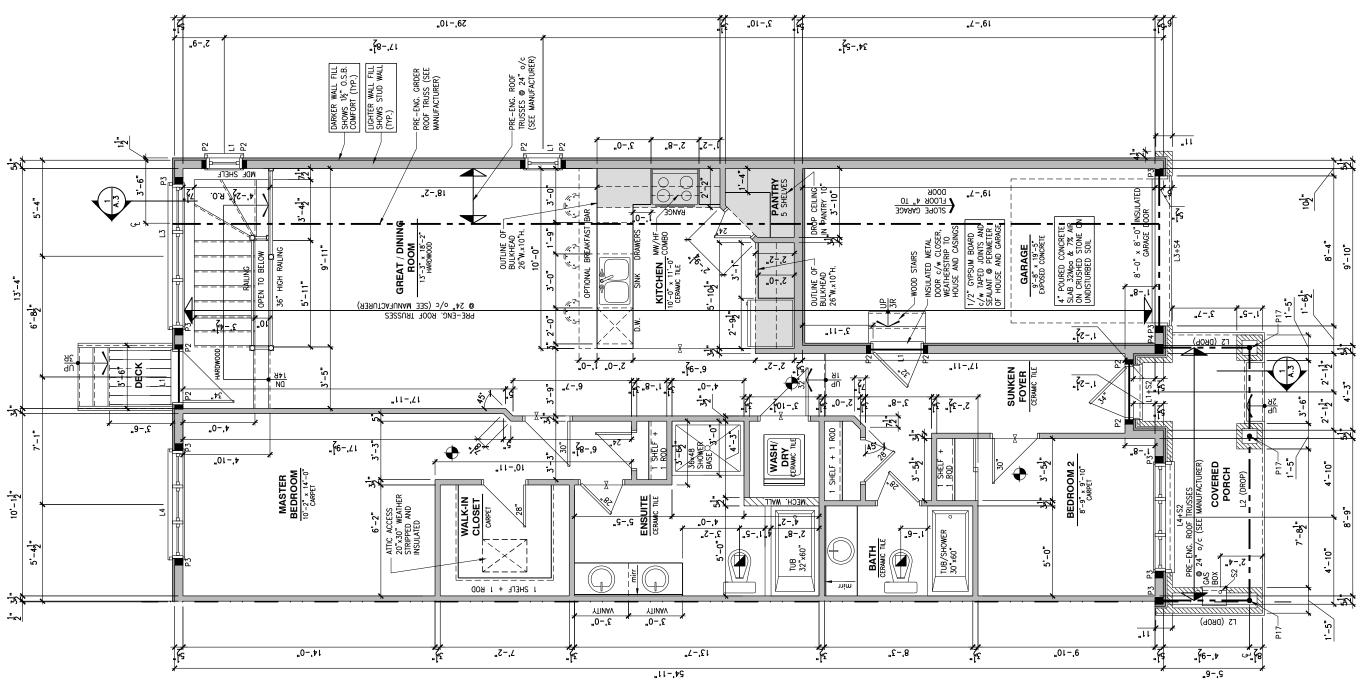
RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #2 - PORCH END**

3/16" = 1'-0" 105 - THE MANN

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GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT **A.**7g

XX/XX/XXXX



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Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR-2 BEDROOM STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0"

STANDARD DRAWINGS)

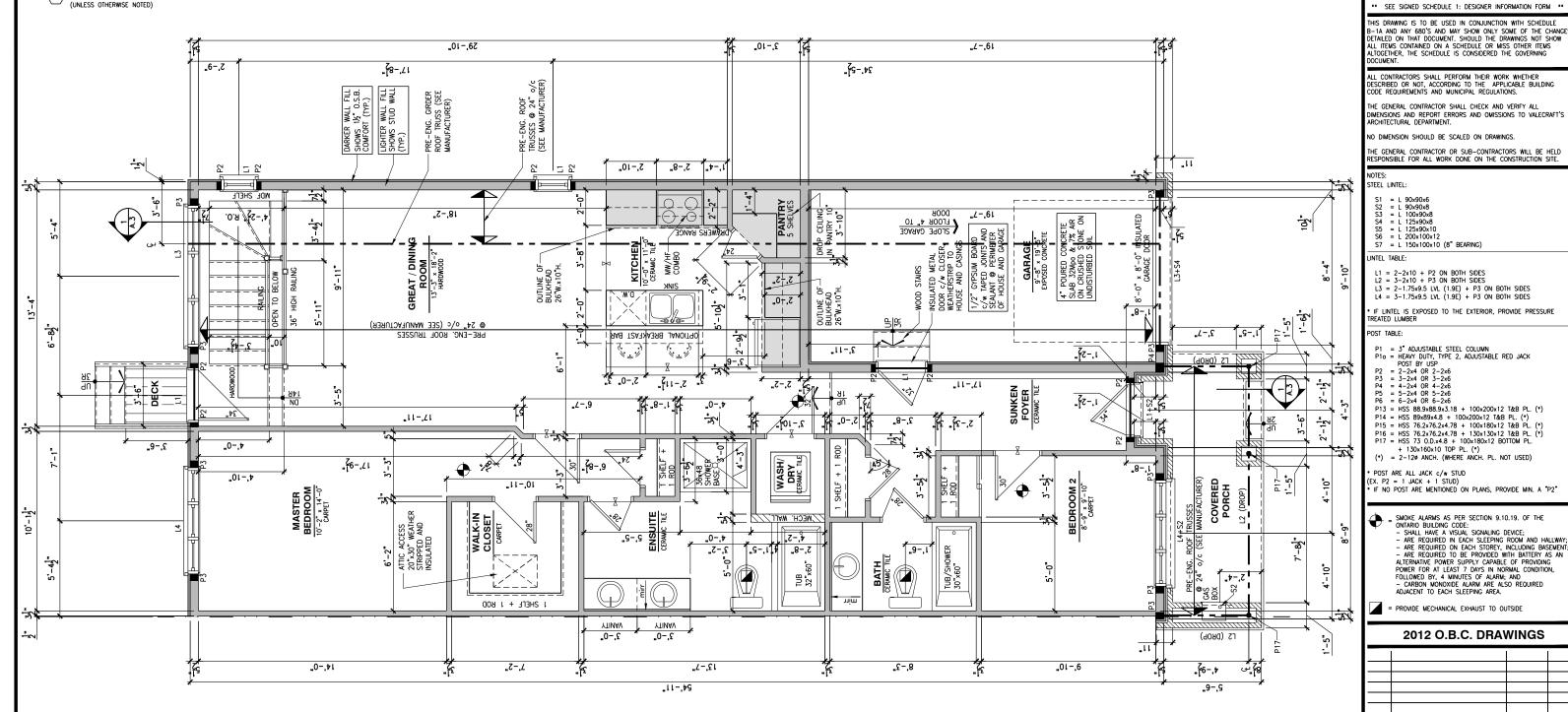
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

RAWING: GROUND FLOOR-2 BEDROOM OPT. KITCHEN #1 - GARAGE END

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

105 - THE MANN 2022 FOOTPRINT STANDARD DRAWINGS)

NO DESCRIPTION

LOT:

XXXX

XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10

A.7h

GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

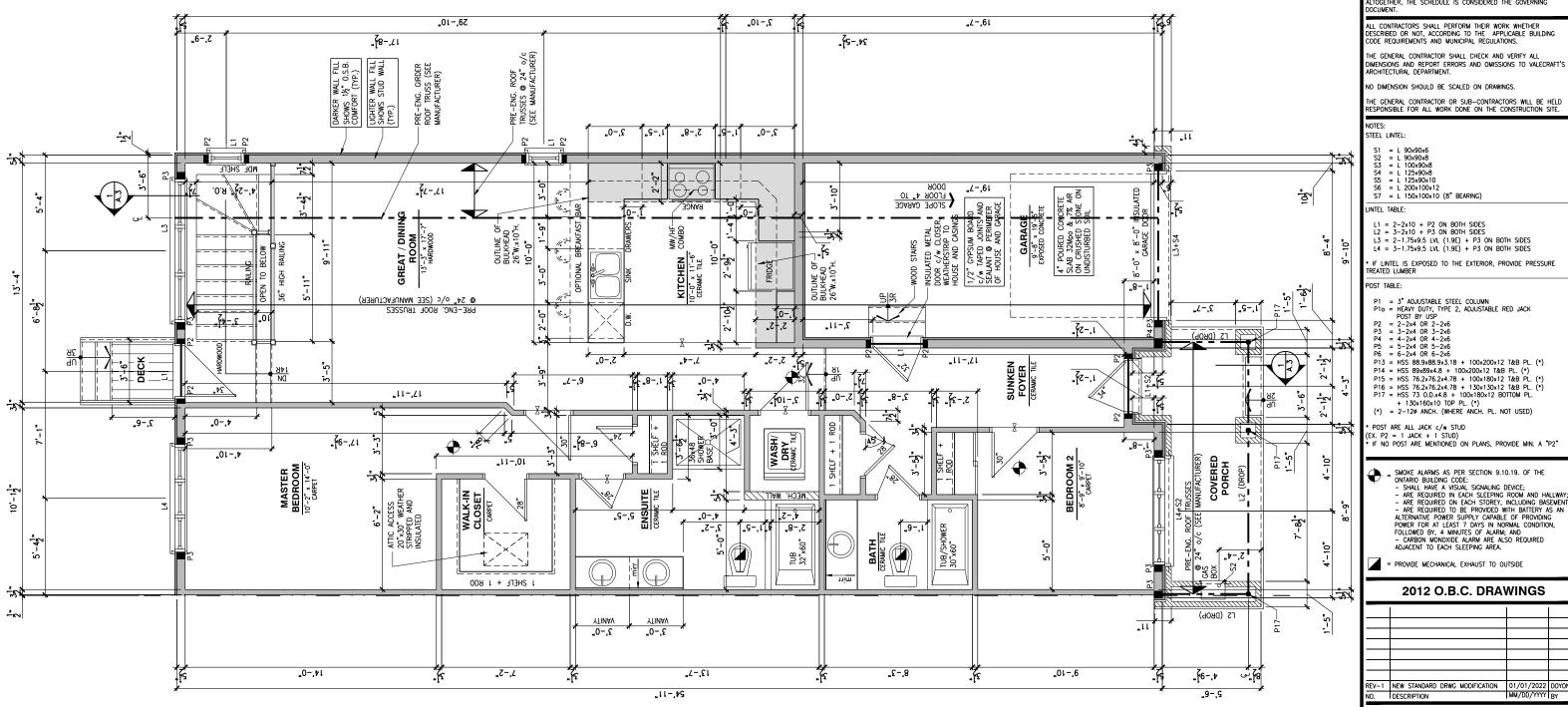
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GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

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LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

NO DESCRIPTION RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #2 - GARAGE END**

3/16" = 1'-0" XX/XX/XXXX

A.7i

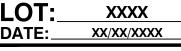
105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

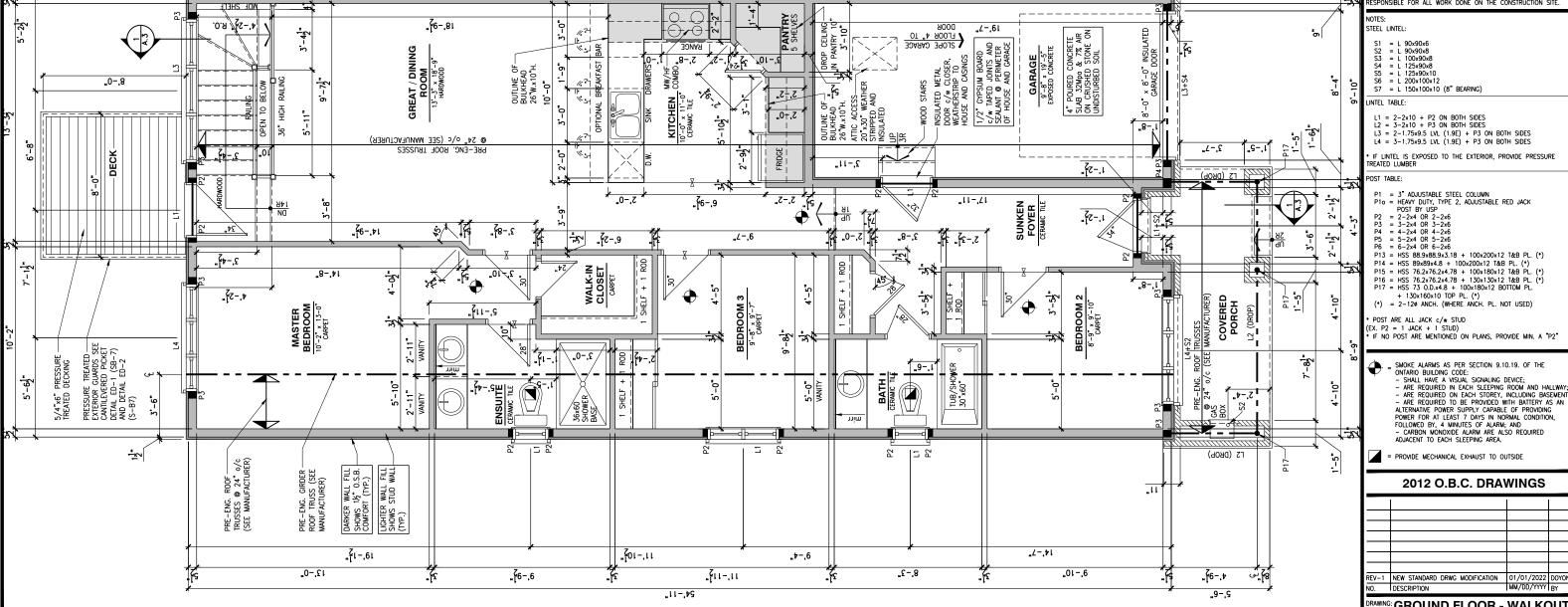
2012 O.B.C. DRAWINGS

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

> 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

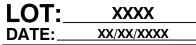
A.7j (STANDARD DRAWINGS)



- 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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Homes (2019) Limited

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 TARION REGISTRATION NUMBER #611
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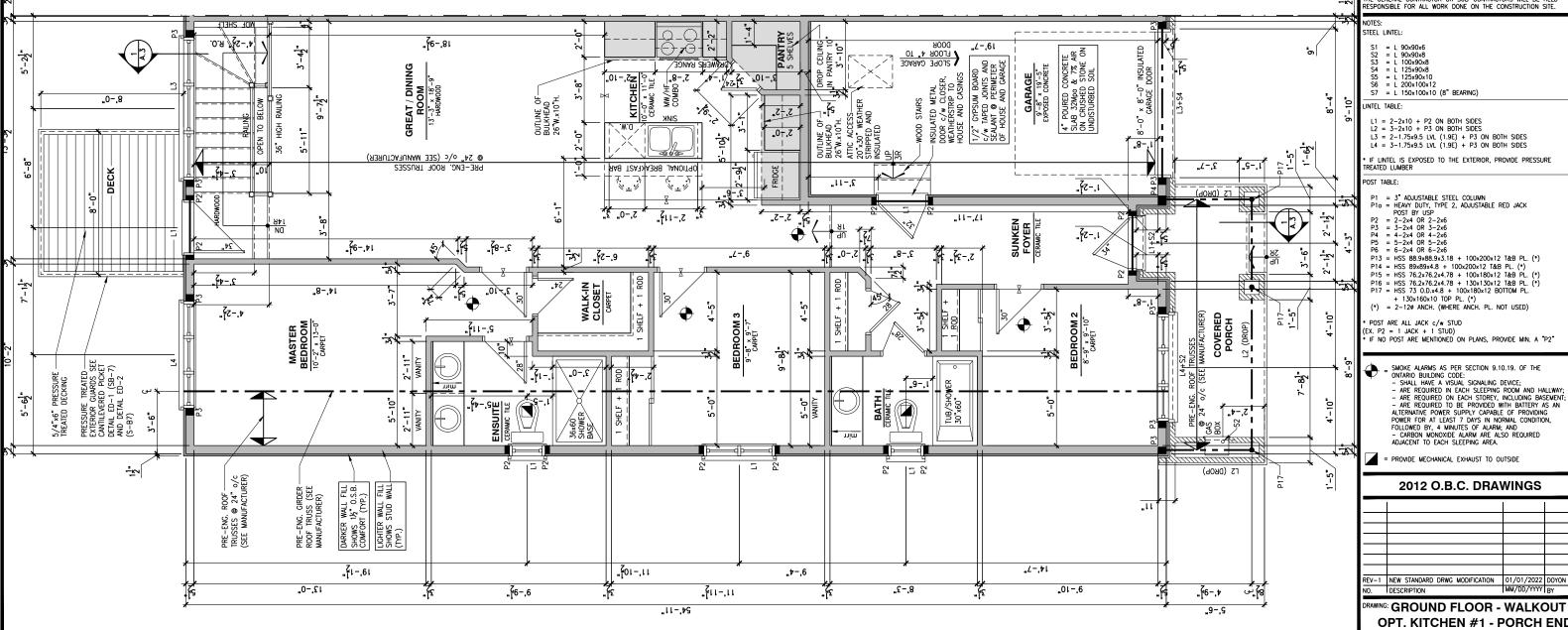
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GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

3/16" = 1'-0"

STANDARD DRAWINGS)

A.7k

xx/xx/xxxx

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..0-.8

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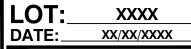
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4.-2¹/₂ 8.0.

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"Σ−'81

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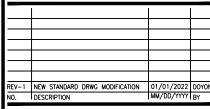
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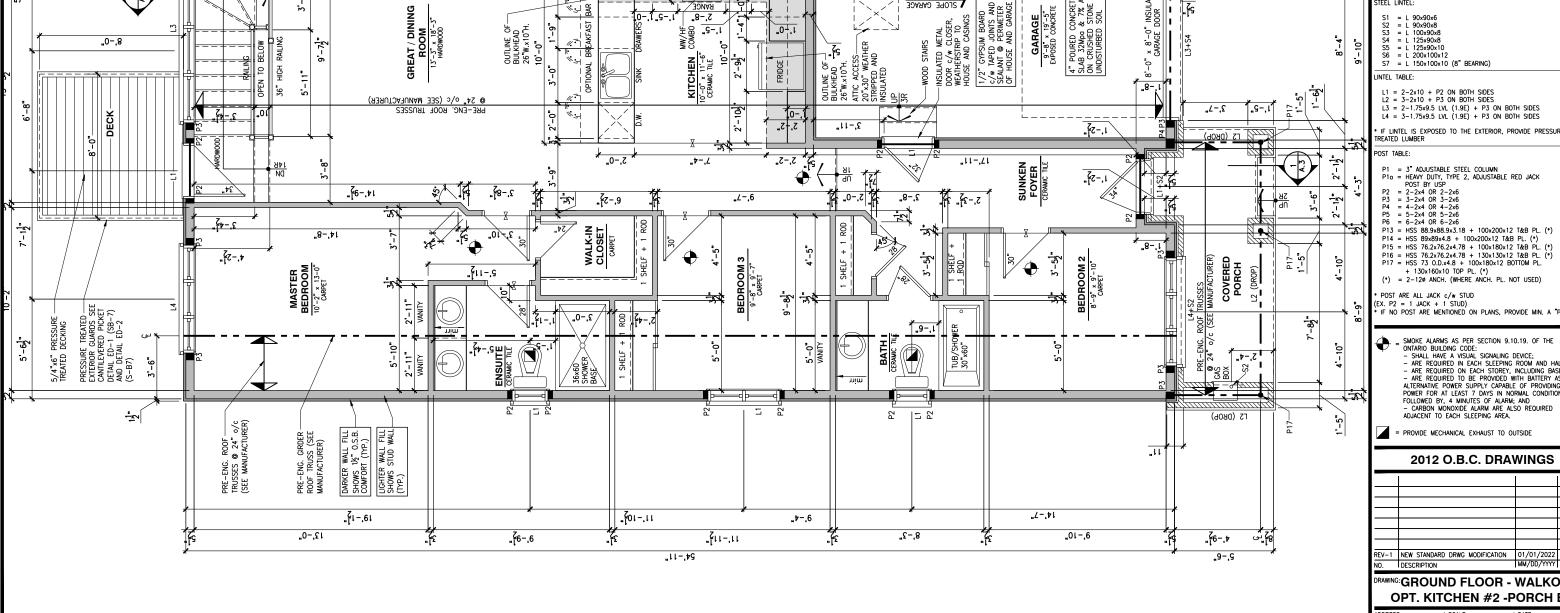
RAWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -PORCH END**

3/16" = 1'-0"

xx/xx/xxxx

A.7I

105 - THE MANN 2022 FOOTPRINT STANDARD DRAWINGS)

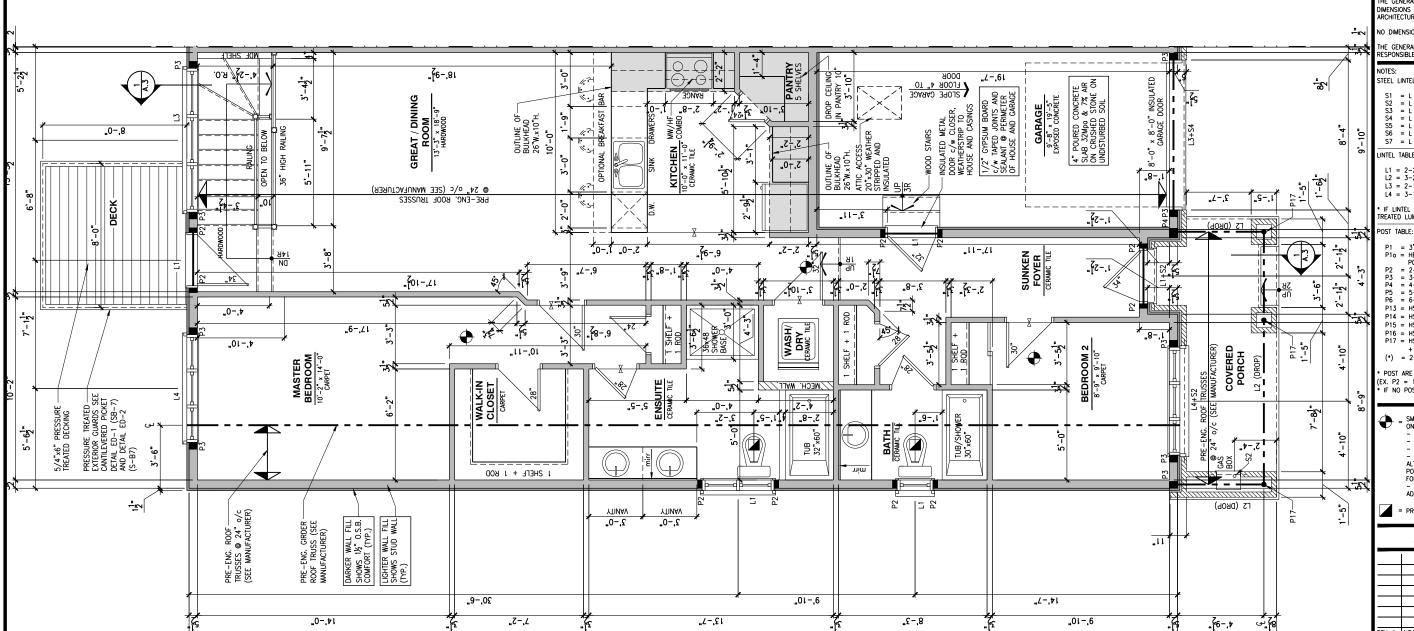


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GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

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POST BY USP
P2 = 2-244 OR 2-246
P3 = 3-2x4 OR 3-2x6

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

STANDARD KITCHEN - PORCH END

RAWING: GROUND FLOOR - WALKOUT

..9-.5

3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

A.7m

SHEET

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.0-'8

PRESSURE TREATED EXTERIOR GUARDS S CANTILEVERED PICKE DETAIL ED-1 (SB-7 AND DETAIL ED-2 (S-B7)

₽2

PRESSURE DECKING

REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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4.-5<mark>5</mark>..

36" r

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..⁶-.81

 □ 24" o/c (SEE MANUFACTURER) PRE-ENG. ROOF TRUSSES

"501-'71

"6-<u>,</u>∠1

DARKER WALL FILL SHOWS 1½" 0.S.B. COMFORT (TYP.)

WALL | STUD W

ENG. GIRDER TRUSS (SEE FACTURER)

14.-0.

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OPTIONAL BREAKFAST BAR

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3,-0.

3,-0.

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STOPE CARAGE

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3'-51"

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11-.41

5.-35...35.

3.-11.

WASH/ DRY CERAMIC TILE

7.-8"

TUB 32"x

.01-.6

"8-'I

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1.-2^z..

1.-51.

"7-'41

.01-.6

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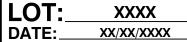
COVERED PORCH

7.-4.

-52

L2 (DROP)

.-6-,₽





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<u>-</u>E2

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3/16" = 1'-0"

105 - THE MANN

xx/xx/xxxx

A.7n

STANDARD DRAWINGS)

2022 FOOTPRINT

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

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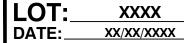
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- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
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STEEL LINTEL: = L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 $S6 = 1.200 \times 100 \times 12$ S7 = L 150×100×10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-246
P3 = 3-2x4 OR 3-2x6

POST BY USP P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 5-2x6 P13 = HSS 88.9x8.9x3.18 + 100x200x12 T&B PL. (*)

13 69 89894.8 + 100x200x12 1&B PL. (*) P15 = HSS 89x69x4.8 + 100x200x12 1&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 1&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 1&B PL. (*) P17 = HSS 73 0.0.x4.8 + 100x180x12 B0TTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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2012 O.B.C. DRAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

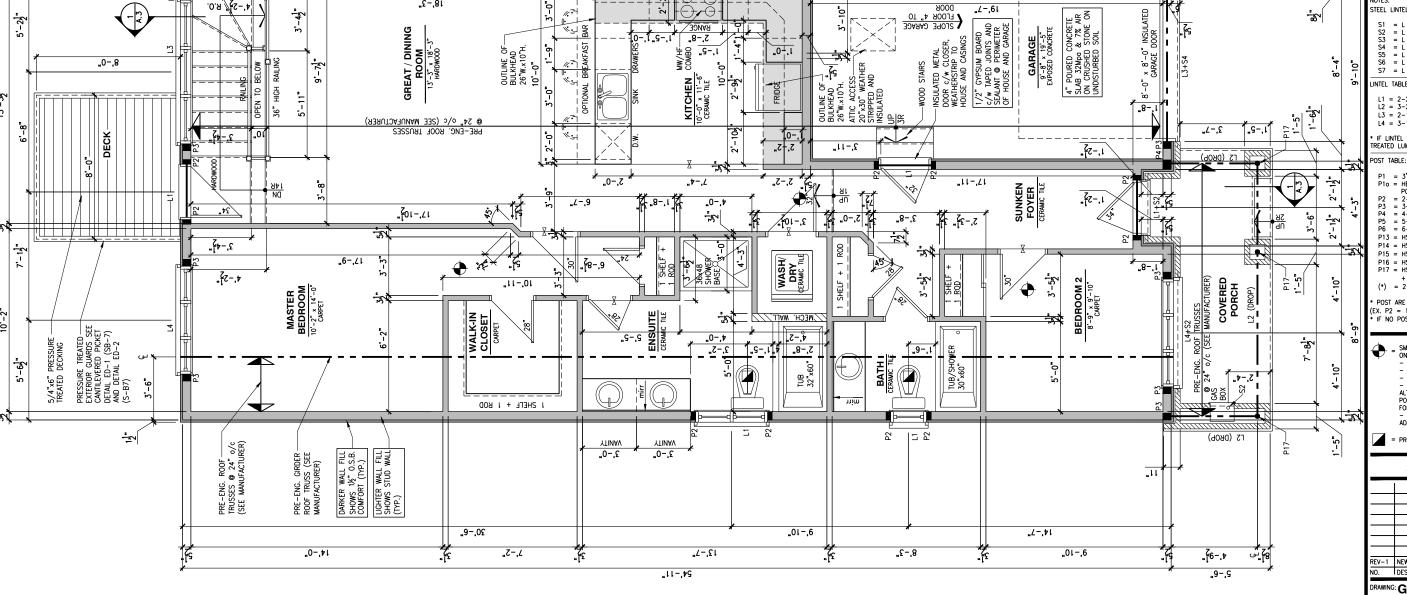
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 - PORCH END

3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

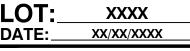
A.70 STANDARD DRAWINGS)



- 11 7%" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
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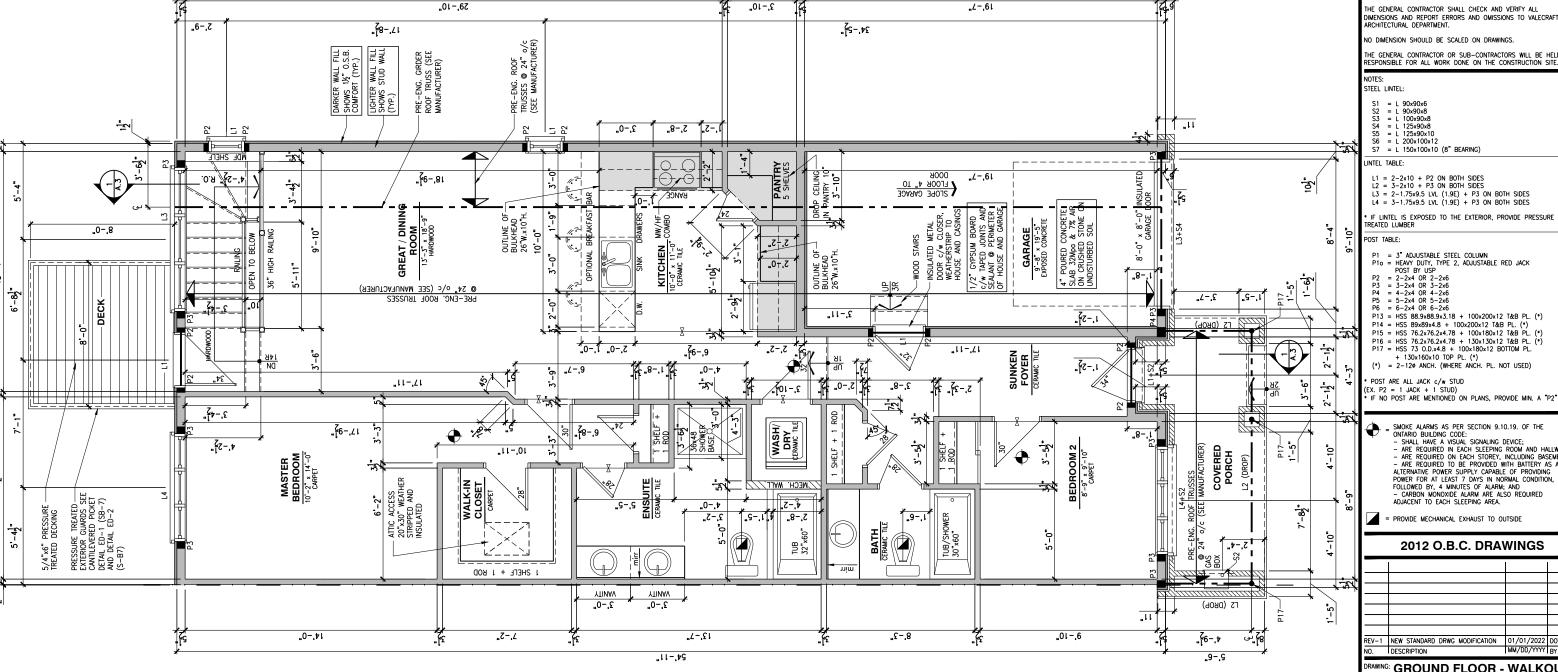
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= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

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2012 O.B.C. DRAWINGS

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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN-GARAGE END

3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT

A.7p STANDARD DRAWINGS)

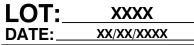
xx/xx/xxxx

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

- 11 7%" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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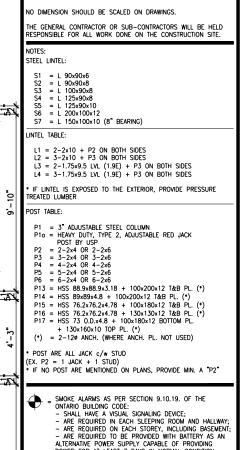
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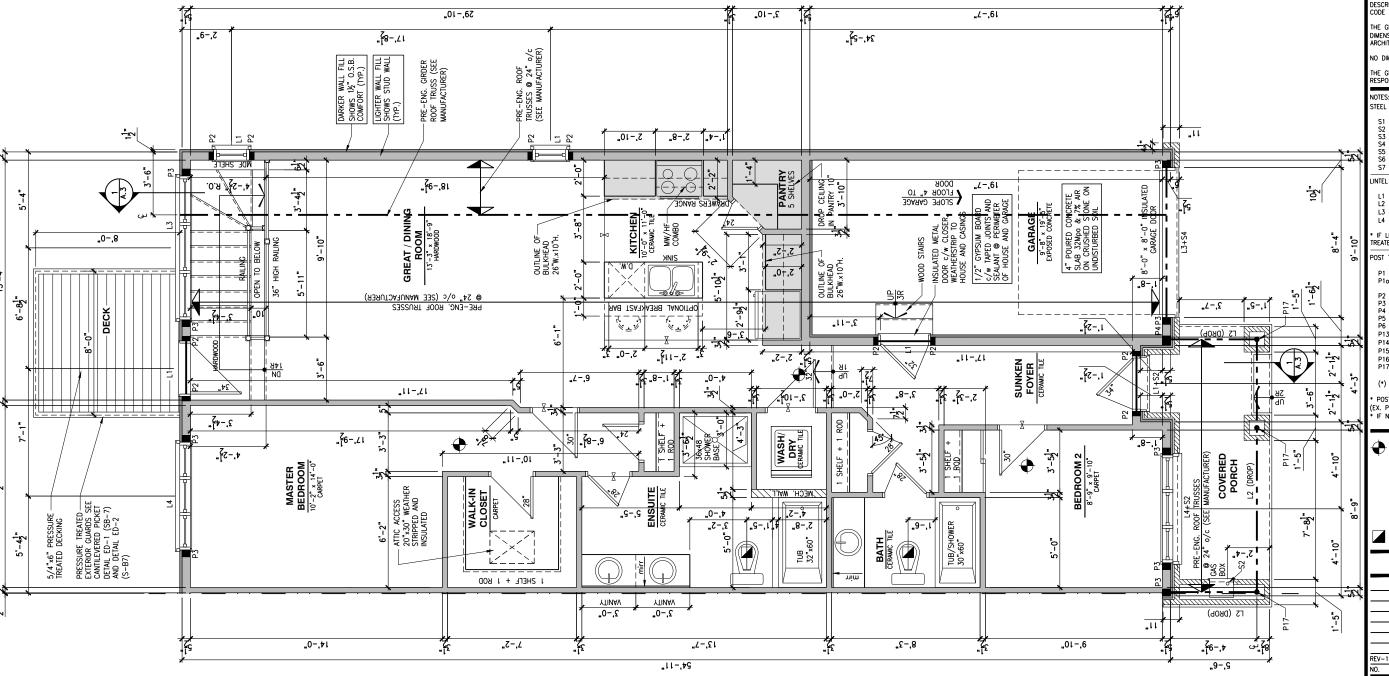
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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING:CROLLIND EL COR WALKOLL			

GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - GARAGE END**

STANDARD DRAWINGS)

3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

A.7q

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

<u>+</u>C

"0–'8

Pressure Treated— Exterior Guards SI Cantilevered Picke Detail ED—1 (SB—7) And Detail ED—2 (S—87)

PRESSURE DECKING

4.-2<mark>1</mark>/2 R.O.

3.-4]"

4.-5<mark>]</mark>..

36, ||

GENERAL NOTES:

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"<u>[</u>8-'71

LIGHTER WALL SHOWS STUD V (TYP.)

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ENG. TRU

PRE-ENG, ROOF IRUSSES

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14.-0.

PRE-ENG. TRUSSES ((SEE MANU

P2

- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
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"Z-**.**9

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.8-.Z

RANGE

KITCHEN
0'-0" × 11'-6"
CERAMIC TILE

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3.-2.

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3.-0"

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"7-'91

–WOOD STARS

—INSULATED METAL

—DOOR c/w CLOSER

MEATHERSTRIP TO

HOUSE AND CASINGS

1/2" CYPSUM BOAR

5/w TAPED JOINTS

SEAAMT ® PERMITED

OF HOUSE AND GAR

11-.21

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"8−'₹

BATH CERAMIC TILE

"ε-'8

 $3^{\circ}-5\frac{1}{2}^{\circ}$

3.-11

5.-5.

WASH/ DRY CERAMIC TILE

__8-_Z

TUB 32"x

,t2+

8'-0"

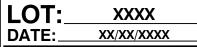
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1,-5<mark>]</mark>..

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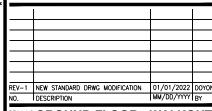
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS



RAWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END**

3/16" = 1'-0" xx/xx/xxxx

A.7r

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

<u>+</u>z

4'-10"

1

COVERED PORCH

_b-.71

L2 (DROP)

<u>..</u>6−.⊅

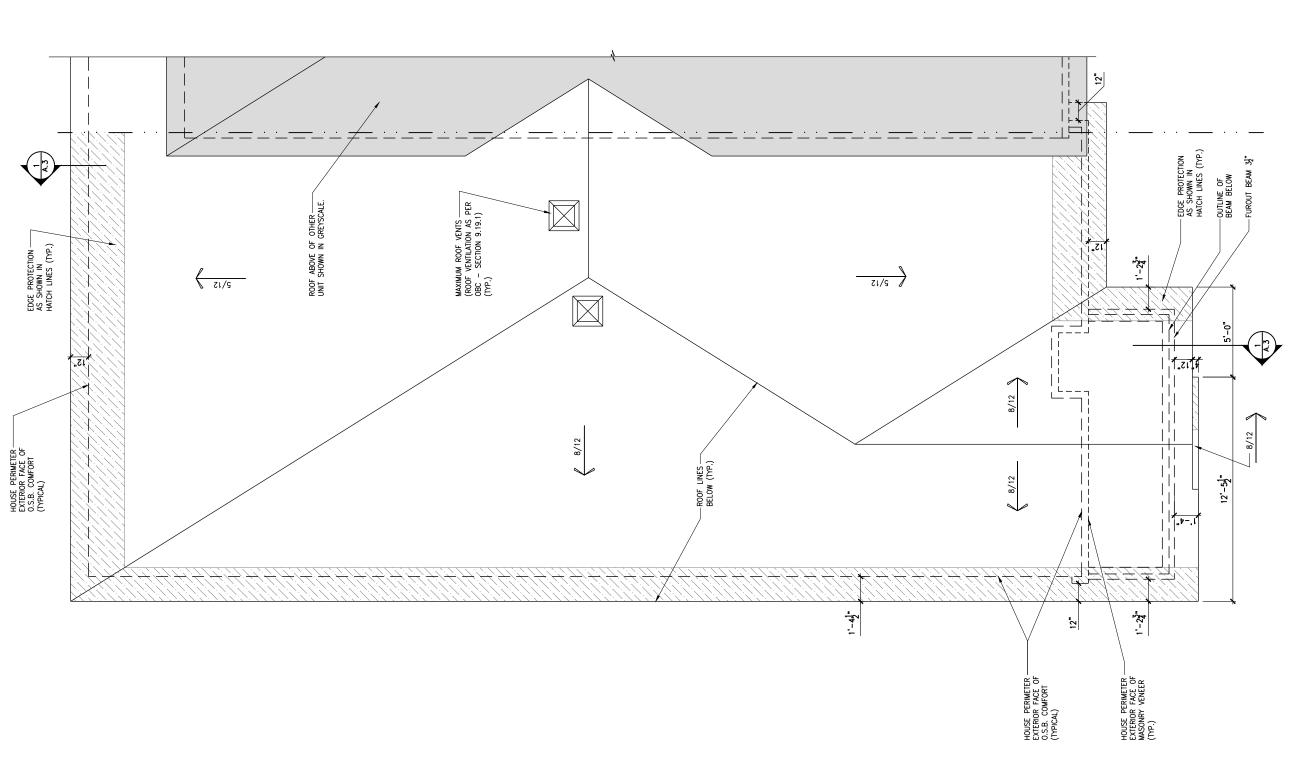
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GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT SCALE: 3/16" = 1'-0"

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10.-11.

1 SHEFE + 1 BOD





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2012 O.B.C. DRAWINGS

 REV-1
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 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

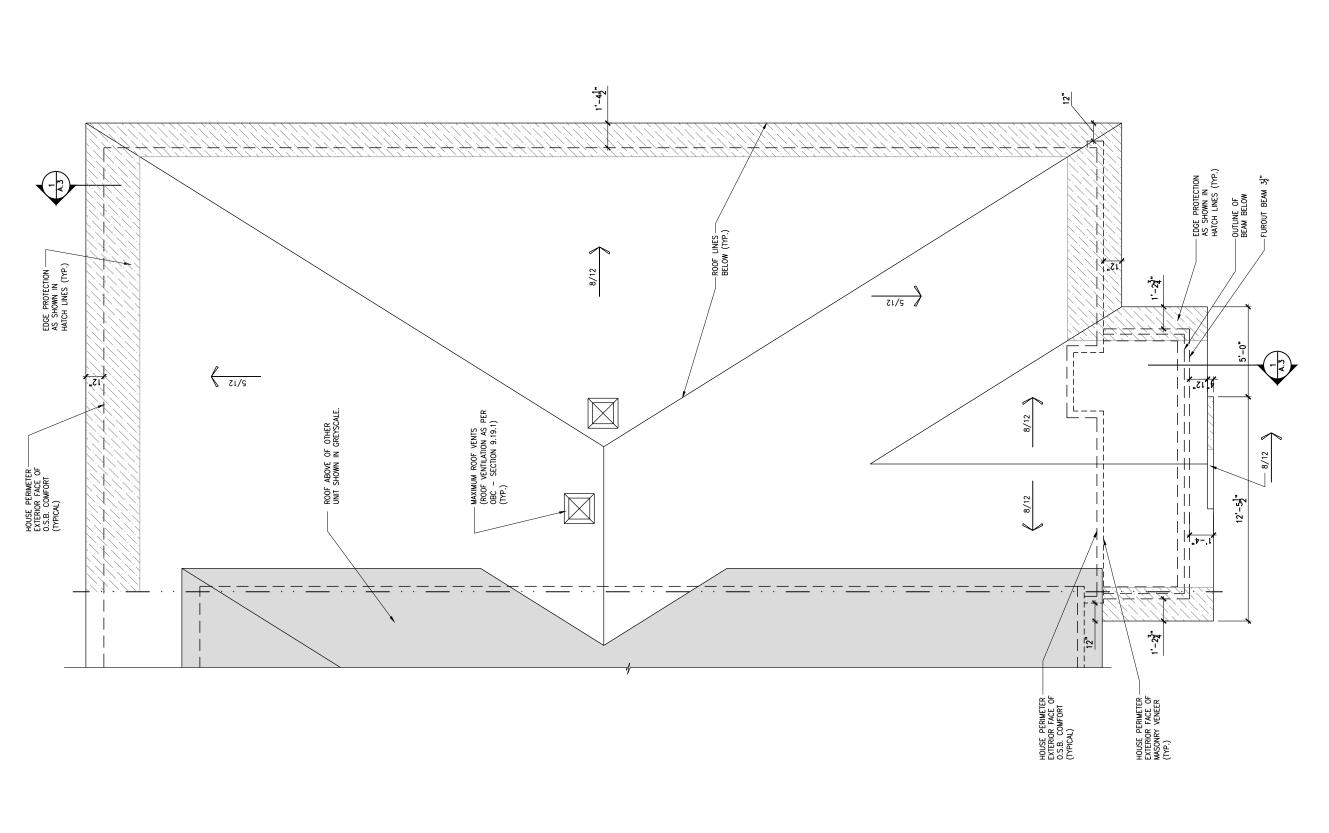
ROOF PLAN - PORCH END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

A.8a

(STANDARD DRAWINGS)





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2012 O.B.C. DRAWINGS

 REV-1
 NEW STANDARD DRWG MODIFICATION
 01/01/2022
 DOYON

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

ROOF PLAN - GARAGE END UNIT

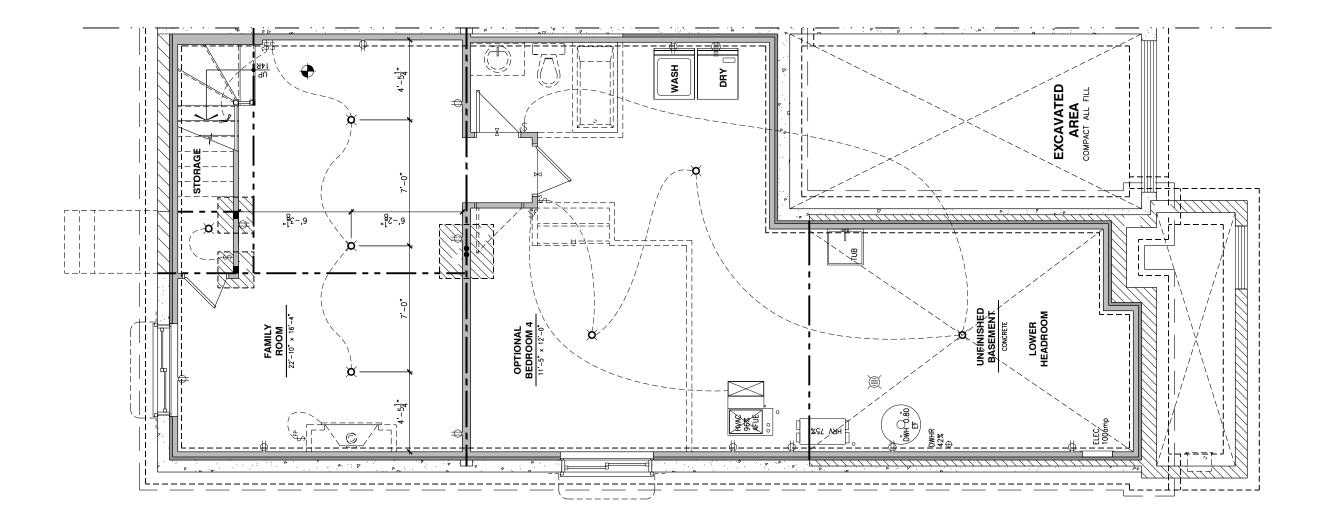
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

A.8b

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

ROOF PLAN - GARAGE END UNIT





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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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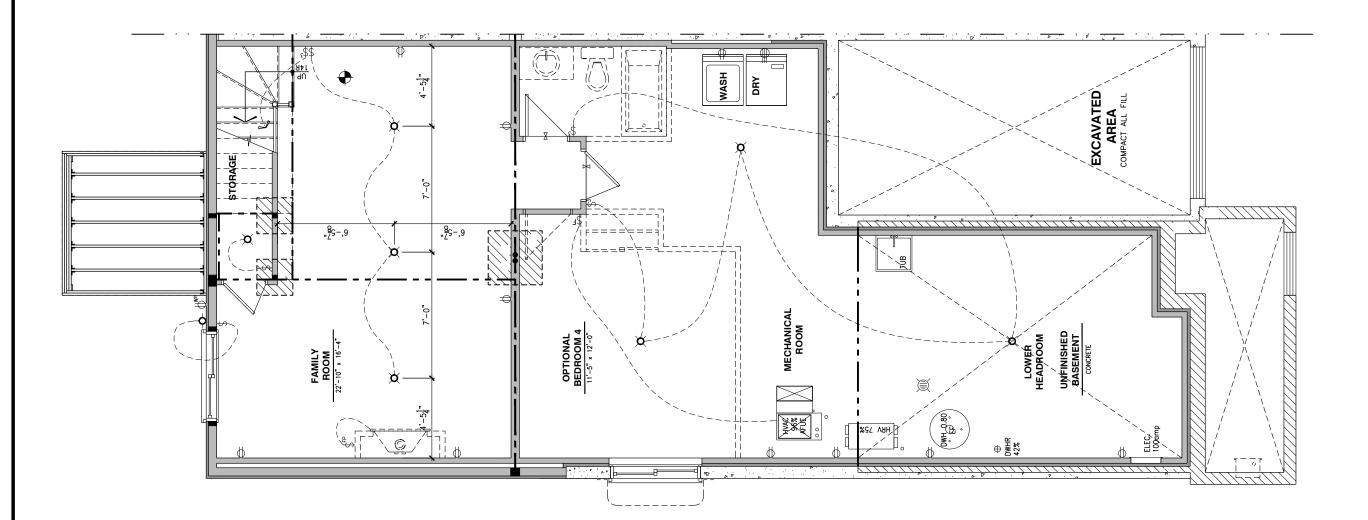
NO DESCRIPTION

ELECTRICAL PLAN BASEMENT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

SHEET E.1a





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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

ELECTRICAL PLAN BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

SHEET:

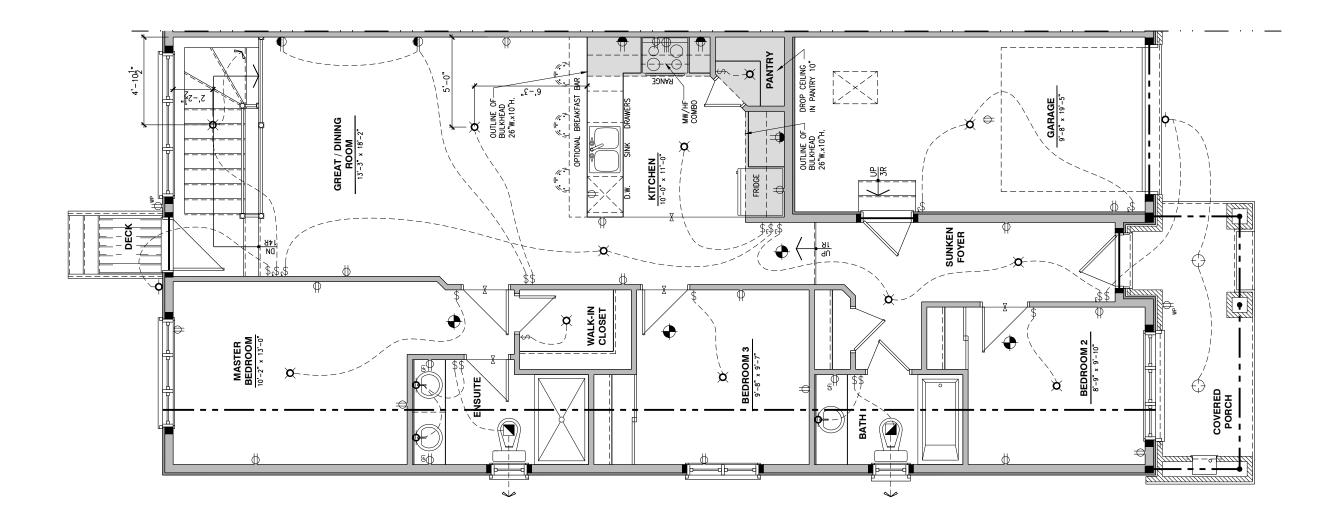
E.1b

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - BASEMENT - WALKOUT



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

weather proof duplex outlet

SPLIT OUTLET

220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOMIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

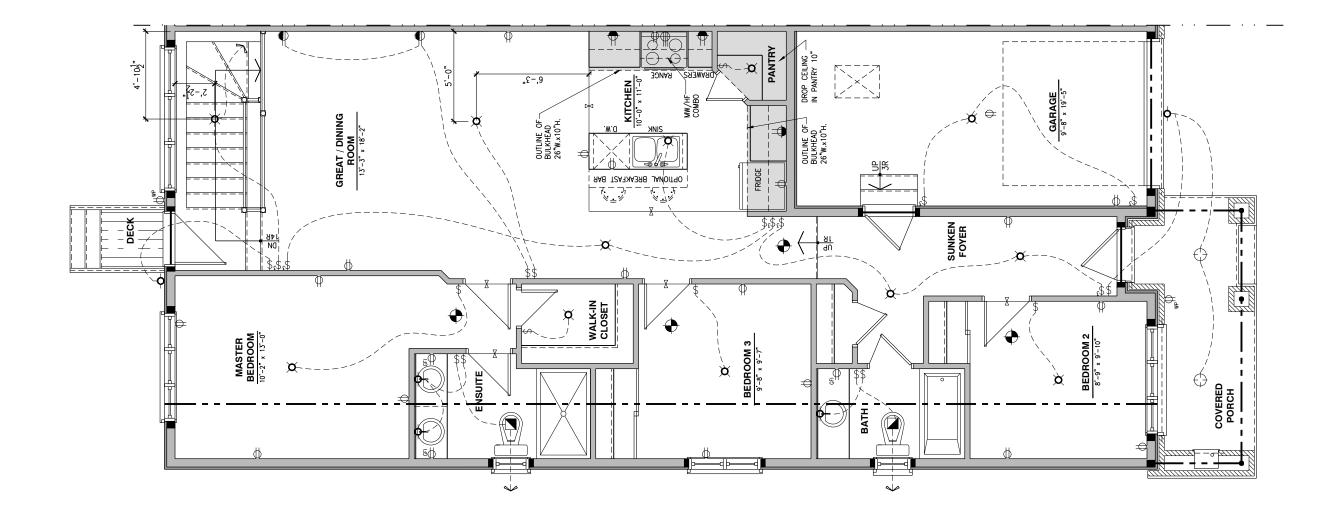
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0"

xx/xx/xxxx

E.2a

2022 FOOTPRINT





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220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

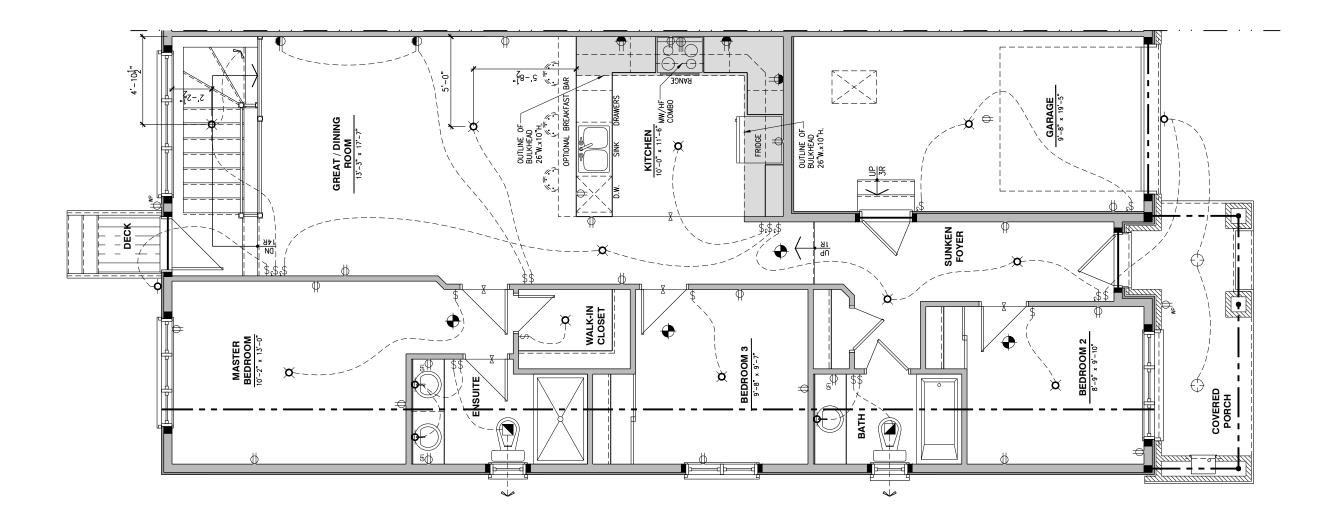
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

SHEET:

E.2b

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)





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DUPLEX OUTLET (12" HIGH)

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GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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2012 O.B.C. DRAWINGS

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ELECTRICAL PLAN GROUND FLOOR

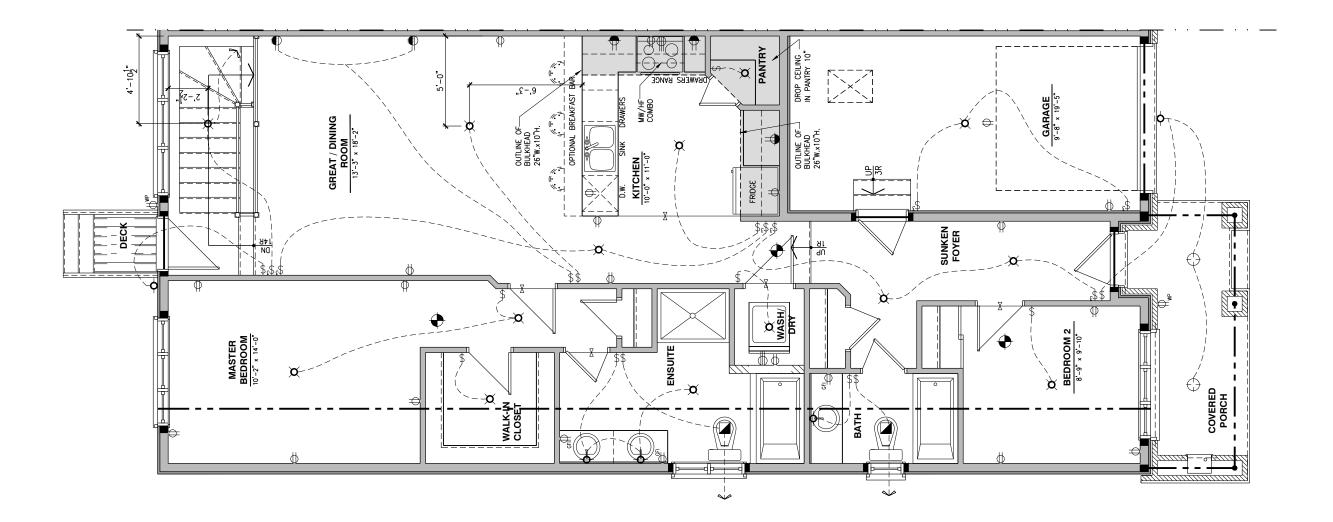
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

E.2c

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN SCALE: 3/16" = 1'-0"



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX



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\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

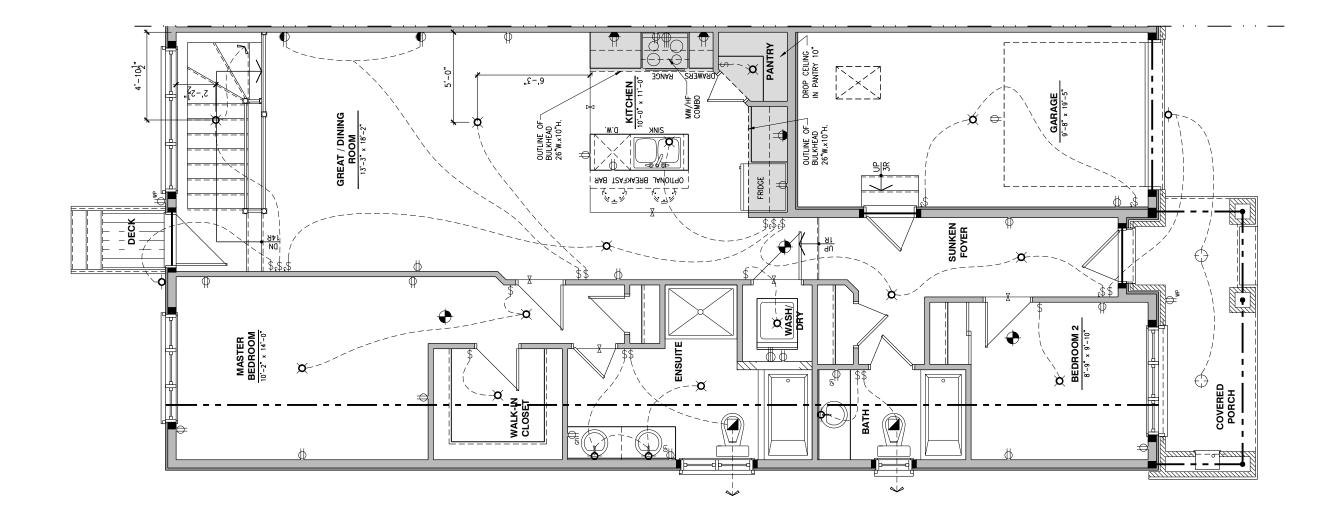
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

SHEET:

E.2d

105 - THE MANN 2022 FOOTPRINT



Homes (2019) Limited

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DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

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CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

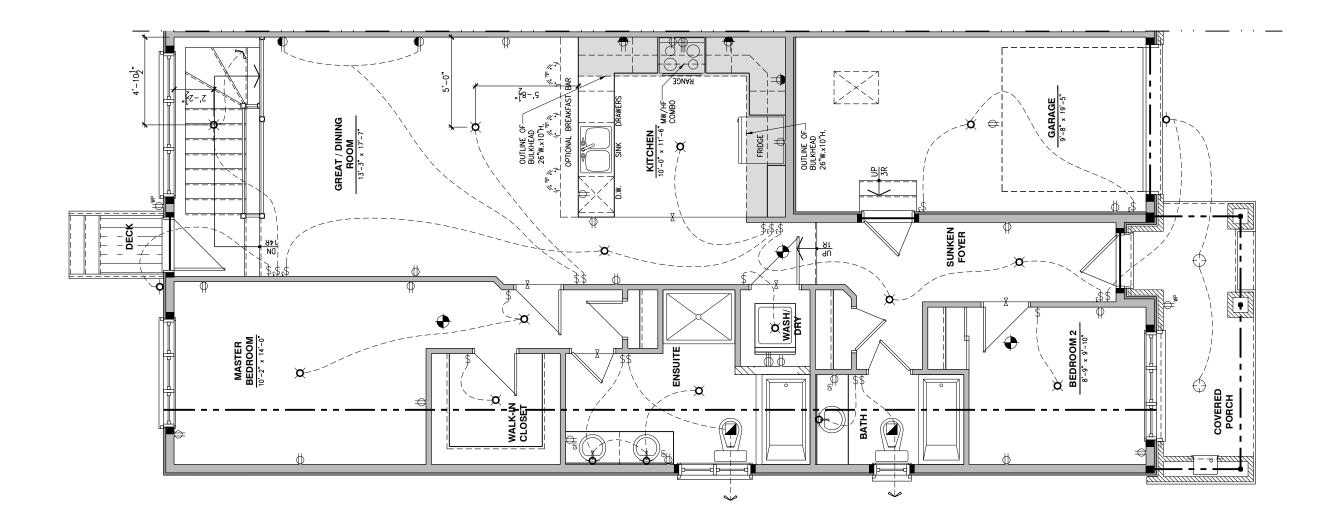
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0"

xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

E.2e





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- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
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- 220 VOLT OUTLET
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

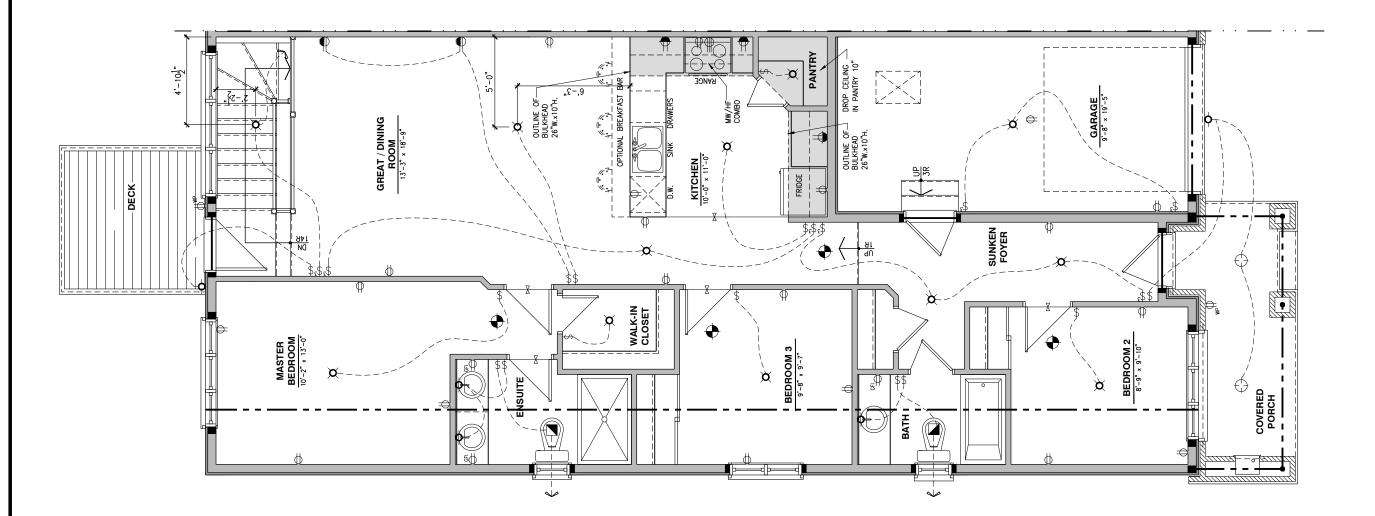
(STANDARD DRAWINGS)

| SCALE: | DATE: | XX/XX/XXXX

E.2f

105 - THE MANN 2022 FOOTPRINT

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN



Homes (2019) Limited

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

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GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

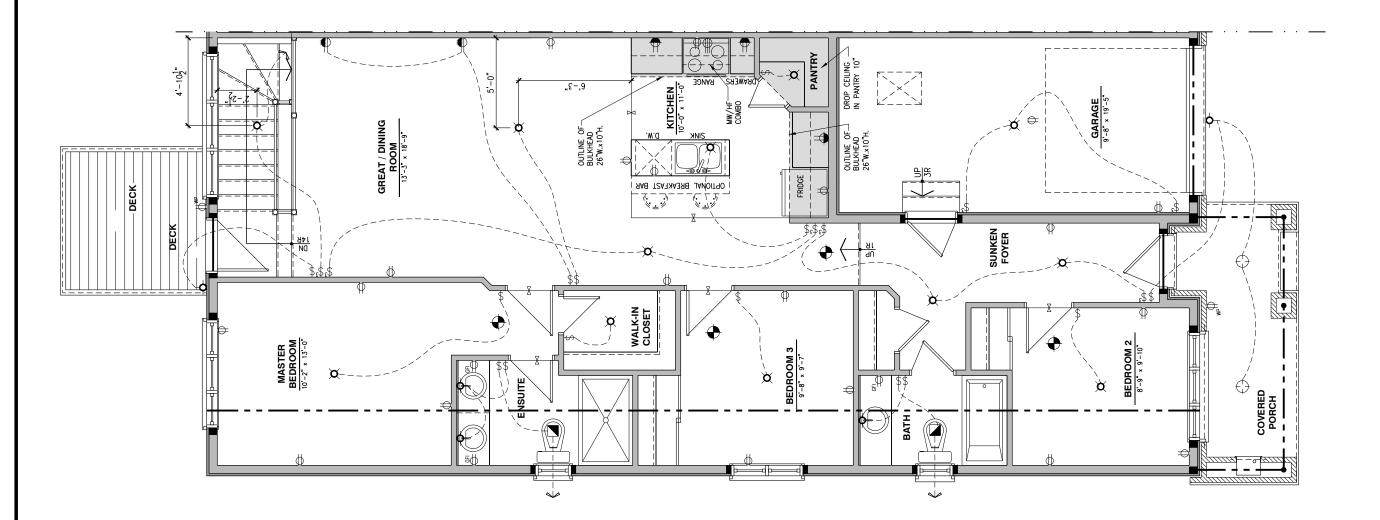
E.2g

105 - THE MANN

2022 FOOTPRINT

E.2g SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - WLAKOUT





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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

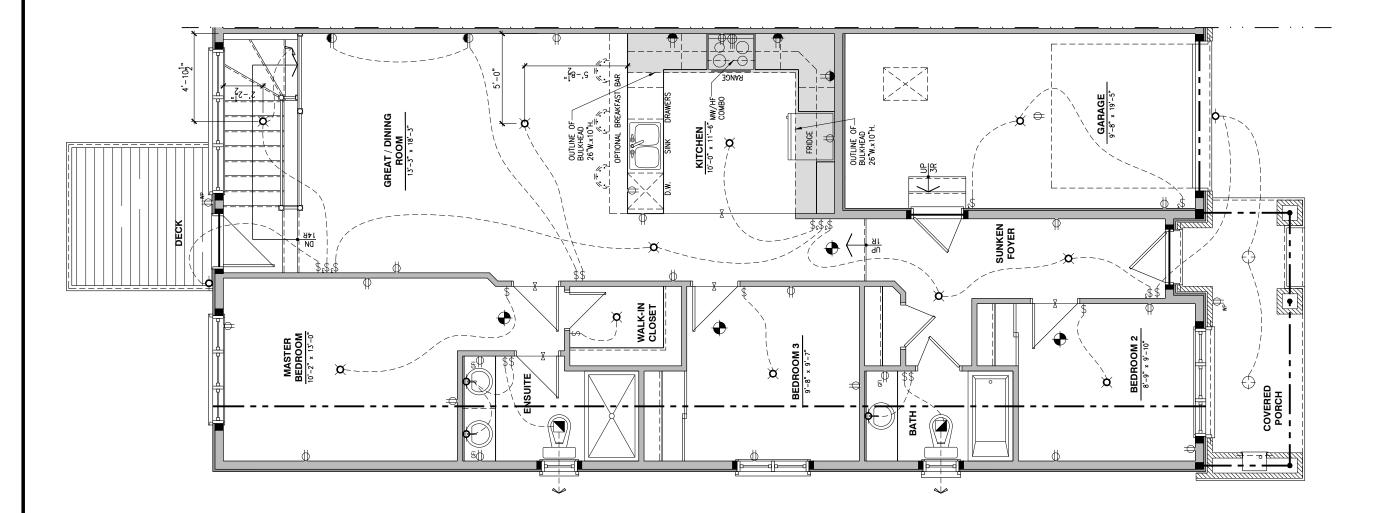
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET

E.2h

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - WALKOUT



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - WALKOUT

LOT: XXXX DATE: XX/XX/XXXX



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DUPLEX OUTLET (12" HIGH)

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220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

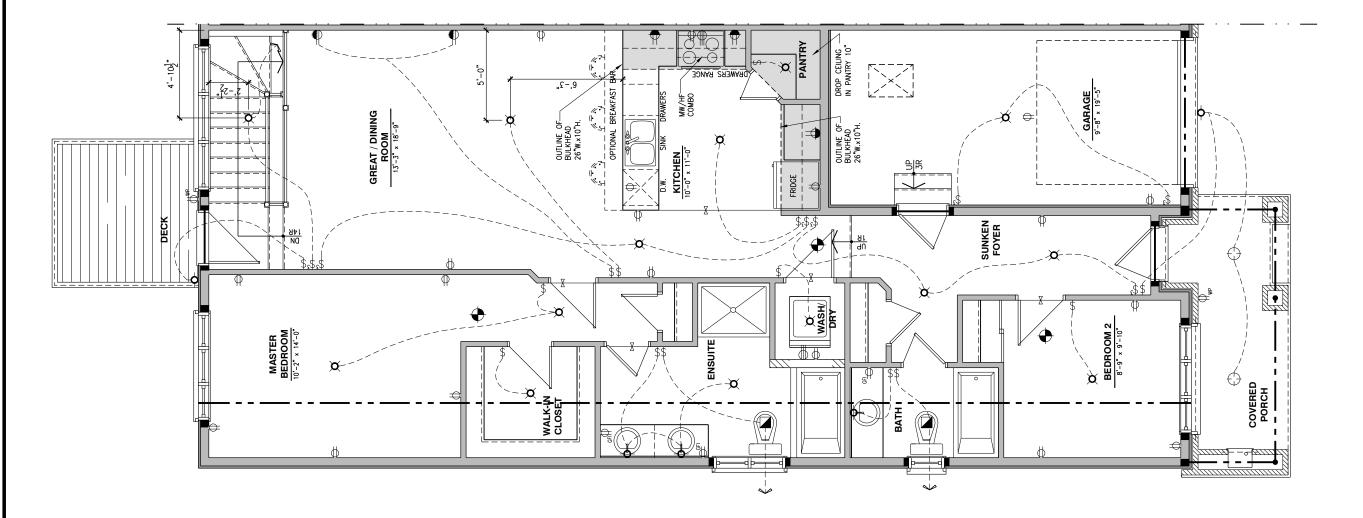
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

E.2i

105 - THE MANN 2022 FOOTPRINT





I, <u>Daniel Guerin</u> , architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE COVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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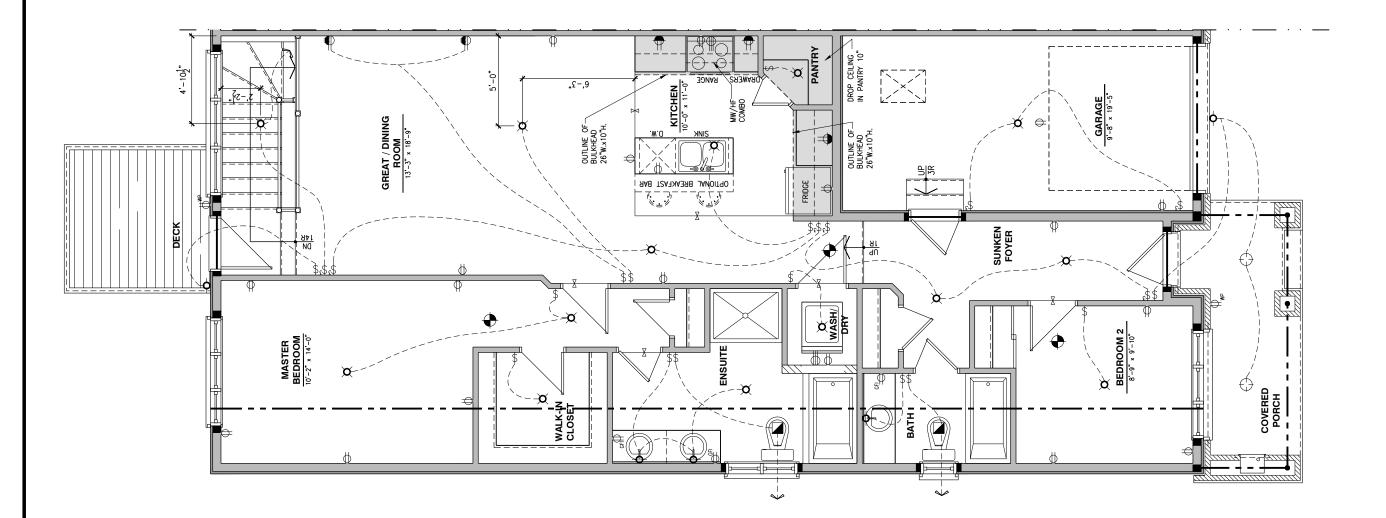
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

E.2j

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - WLAKOUT E.2j SCALE: 3/16" = 1'-0"



Homes (2019) Limited

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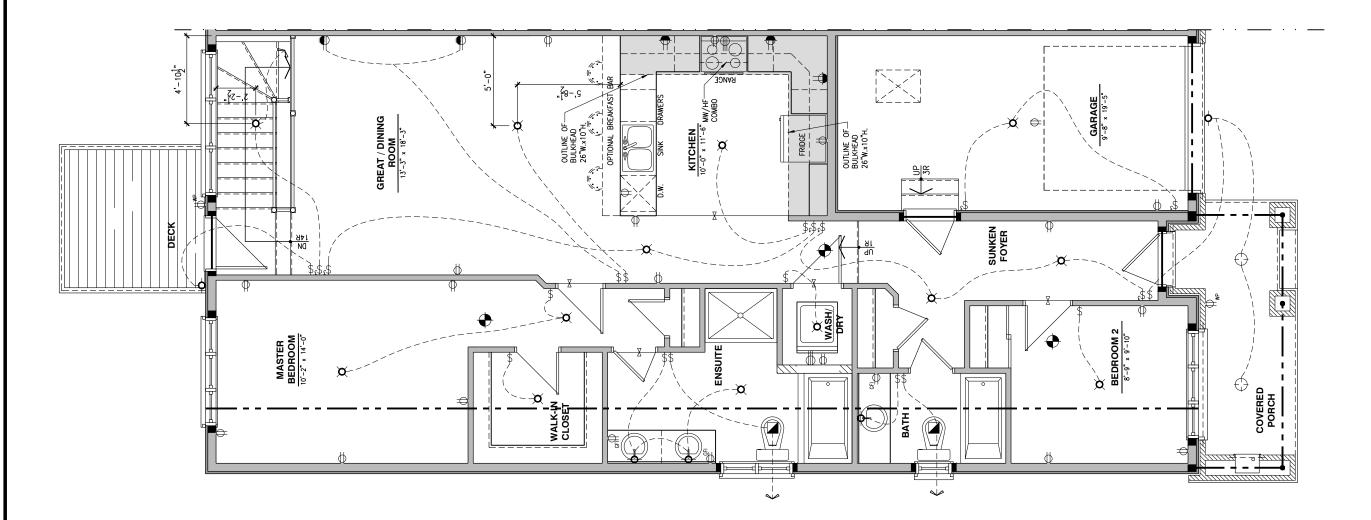
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0"

xx/xx/xxxx SHEET

E.2k

105 - THE MANN 2022 FOOTPRINT



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - WALKOUT

LOT: XXXX DATE: XX/XX/XXXX



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