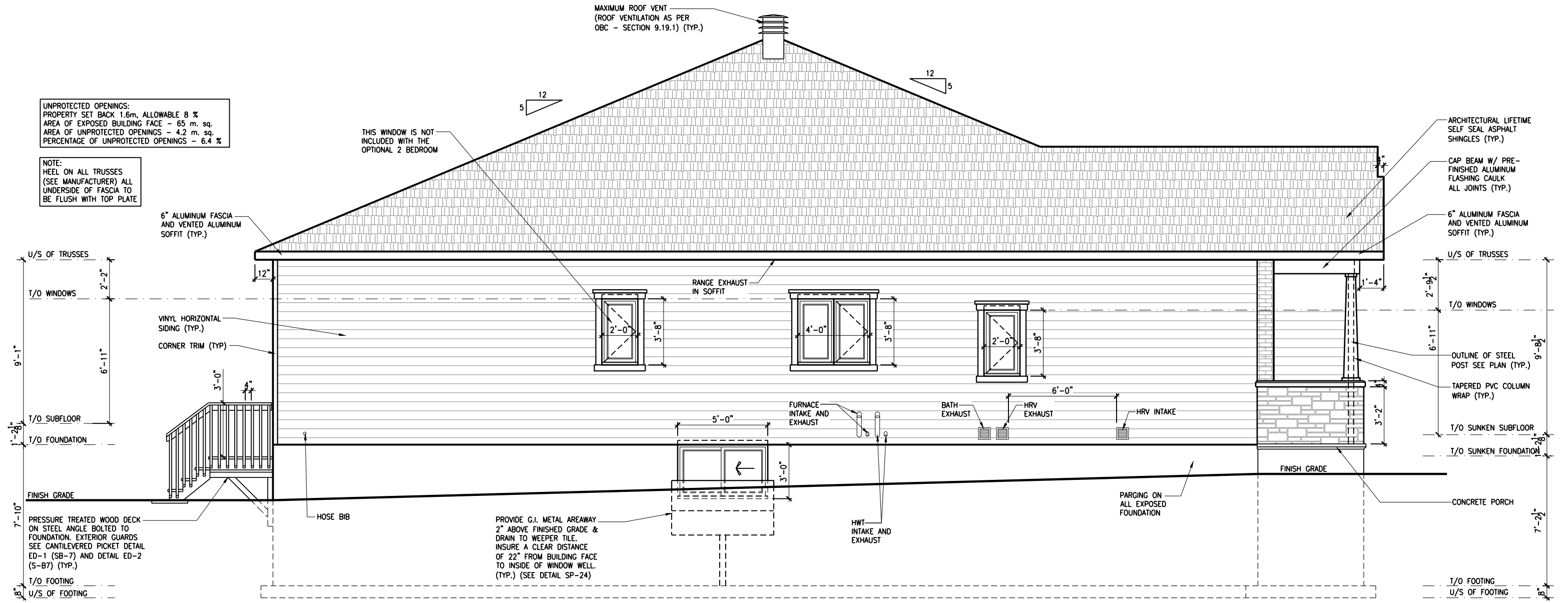


SHEET:
A.1a



1

A.2a

LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS

DRAWING: LEFT ELEVATION PORCH END UNIT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

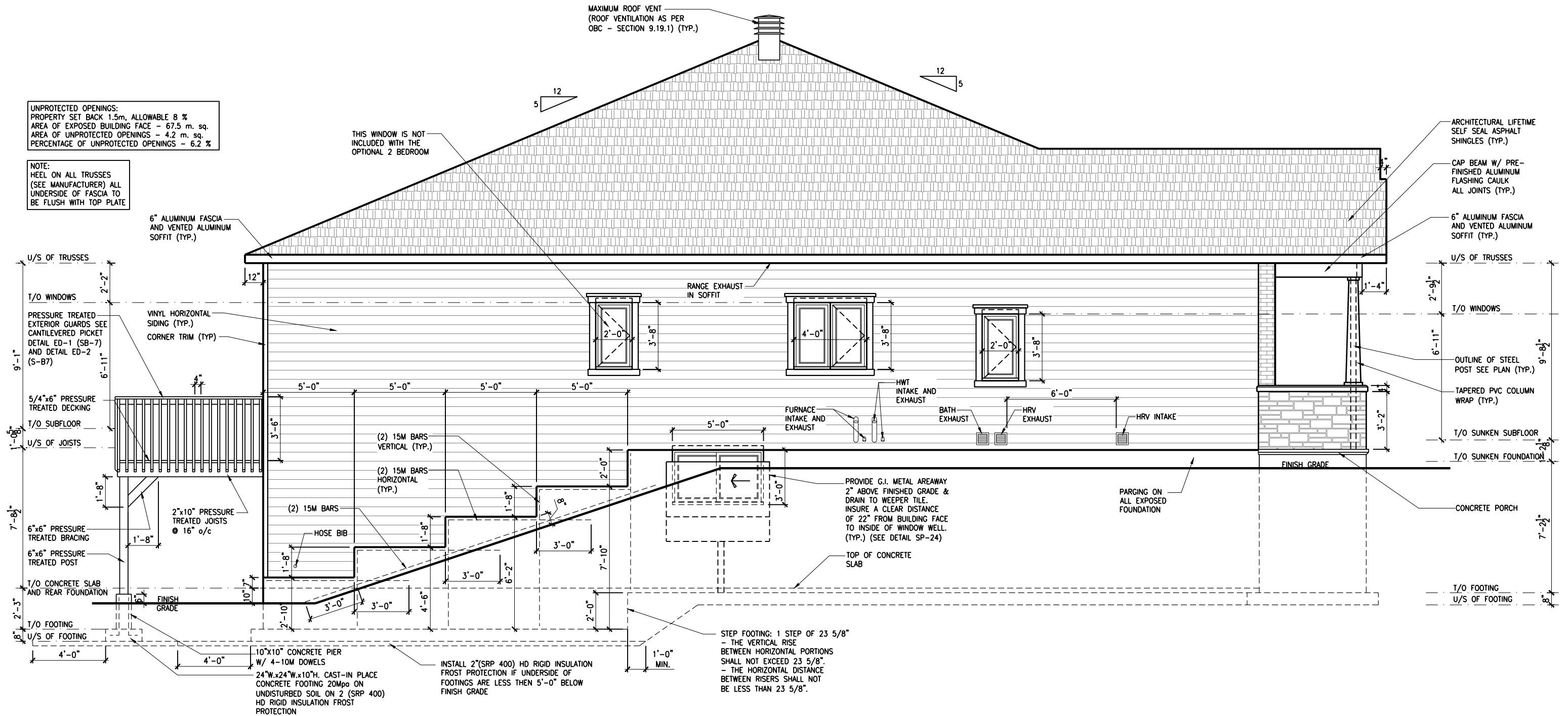
140 - THE GREEN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.2a

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.5m, ALLOWABLE 8 %
AREA OF EXPOSED BUILDING FACE - 67.5 m. sq.
AREA OF UNPROTECTED OPENINGS - 4.2 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 6.2 %

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



1 LEFT ELEVATION - PORCH END UNIT - WALKOUT
A.2b SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

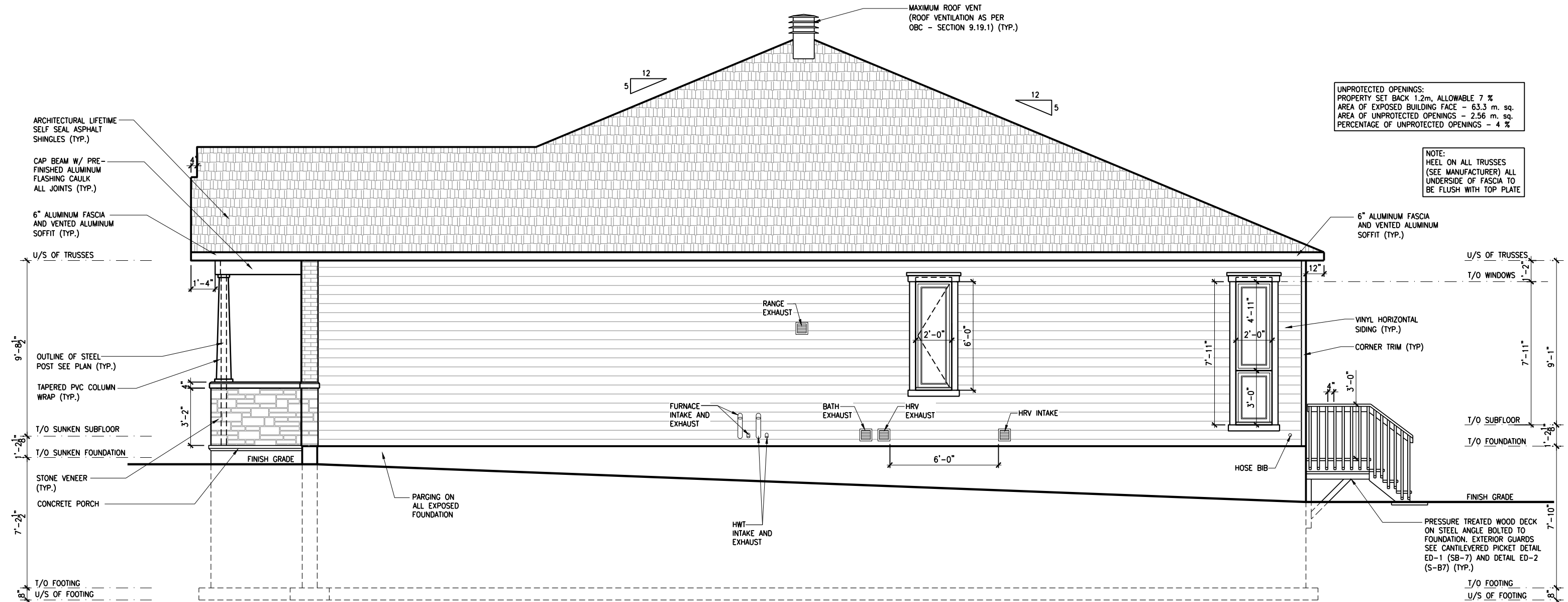
2012 O.B.C. DRAWINGS

DRAWING: LEFT ELEVATION
PORCH END UNIT - WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

140 - THE GREEN
2022 FOOTPRINT
(STANDARD DRAWINGS)

A.2b



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 63.3 m. sq.
AREA OF UNPROTECTED OPENINGS - 2.56 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 4 %

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

1 RIGHT ELEVATION - GARAGE END UNIT
A.2c SCALE: 3/16" = 1'-0"

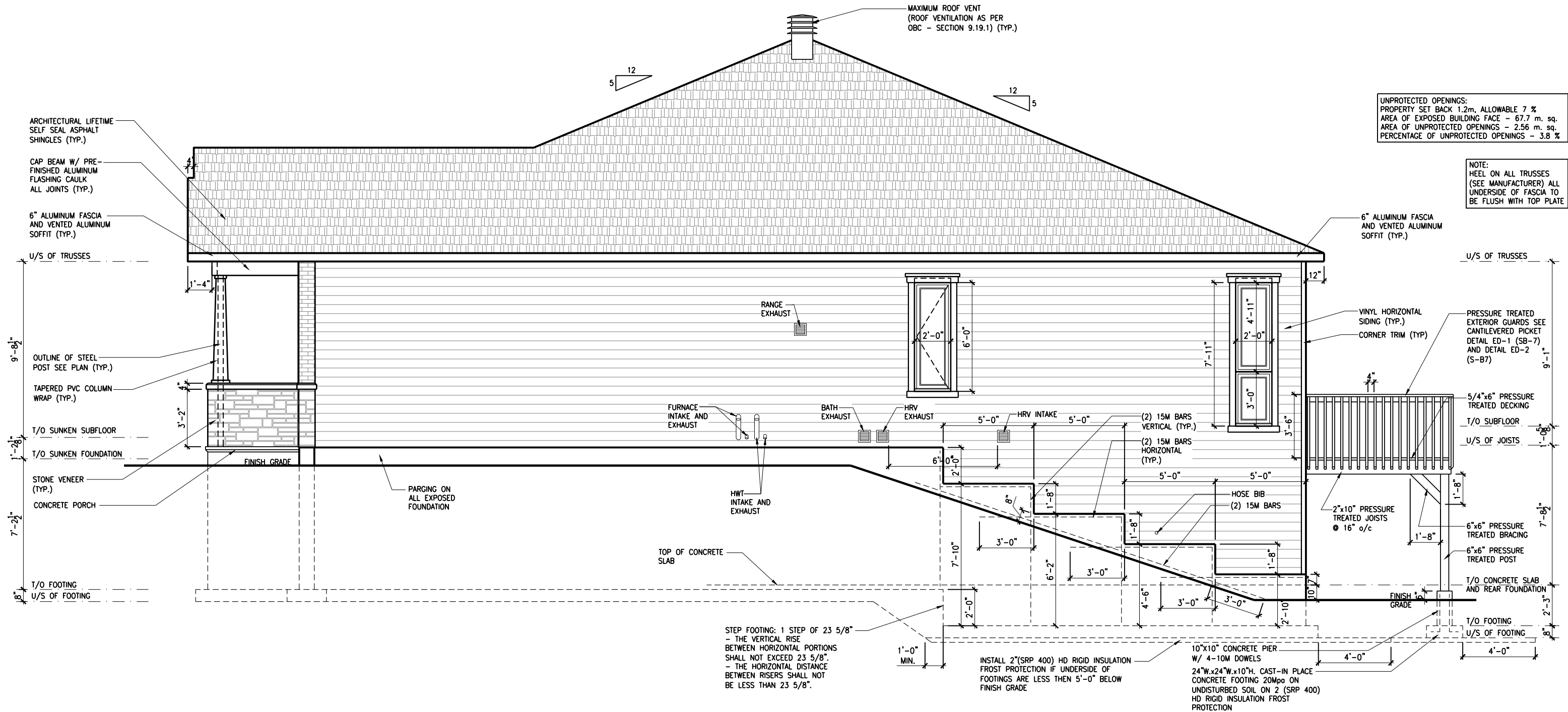
LOT: XXXX
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
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- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS		
DRAWING: RIGHT ELEVATION GARAGE END UNIT		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
105 - THE MANN 2022 FOOTPRINT		SHEET: A.2c
(STANDARD DRAWINGS)		



1 RIGHT ELEVATION - GARAGE END UNIT - WALKOUT
A.2d SCALE: 3/16" = 1'-0"

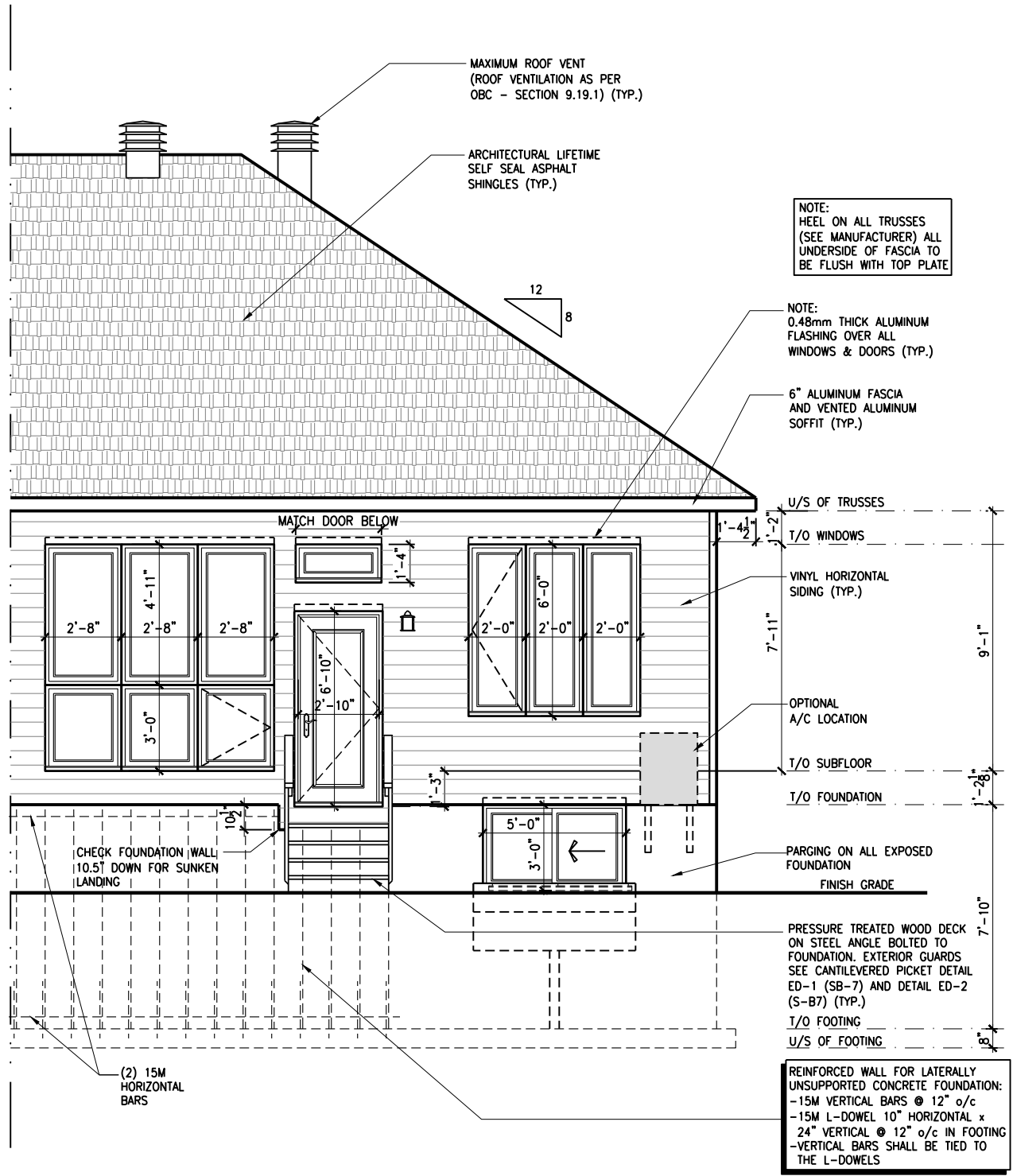
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DATE: XX/XX/XXXX



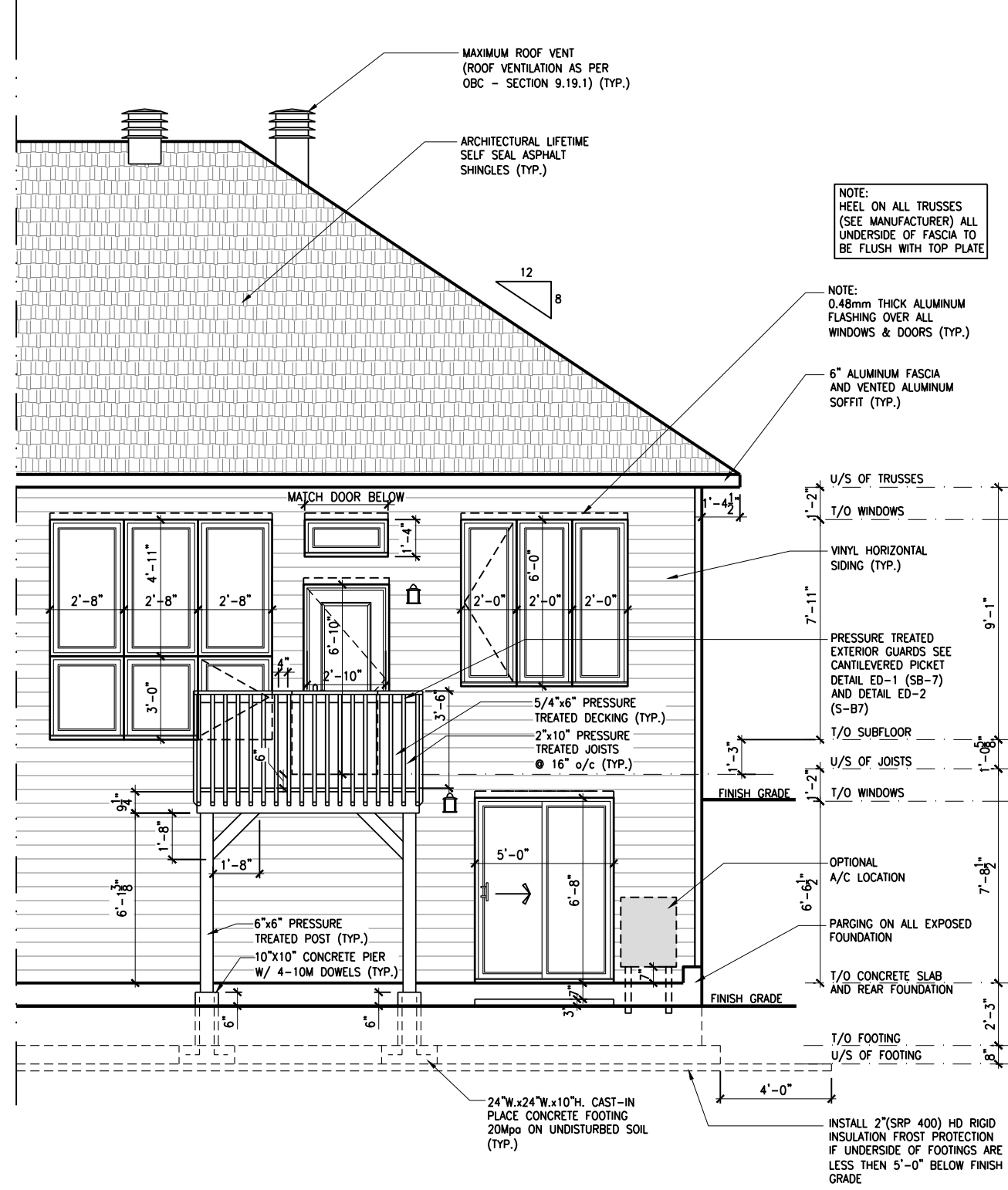
A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS		
DRAWING: RIGHT ELEVATION GARAGE END UNIT -WALKOUT		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
105 - THE MANN 2022 FOOTPRINT		SHEET: A.2d
(STANDARD DRAWINGS)		



1
A.2e REAR ELEVATION - PORCH END UNIT
SCALE: 3/16" = 1'-0"



2
A.2e REAR ELEVATION - PORCH END UNIT - WALKOUT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

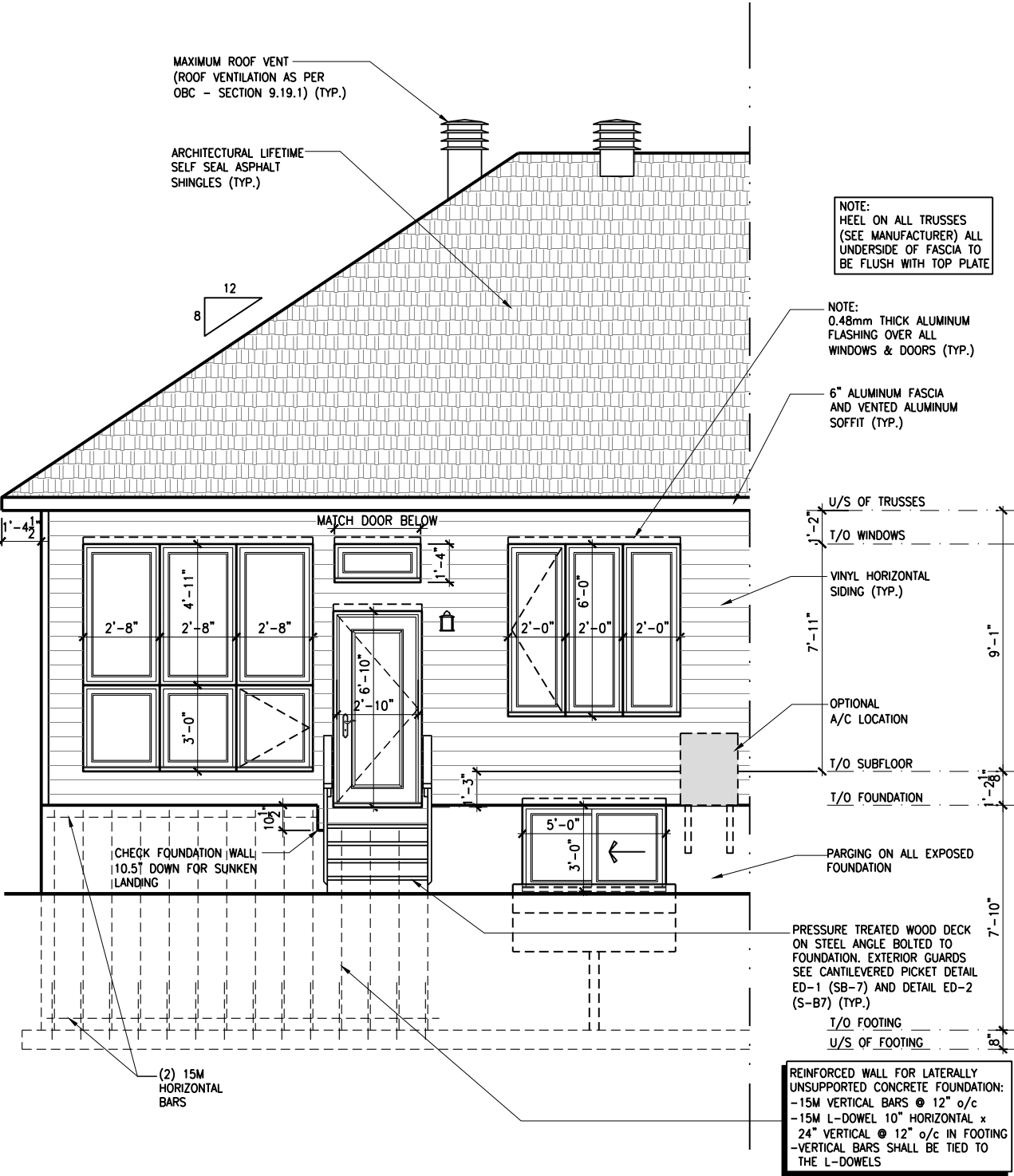
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

REAR ELEVATION
PORCH END UNITS

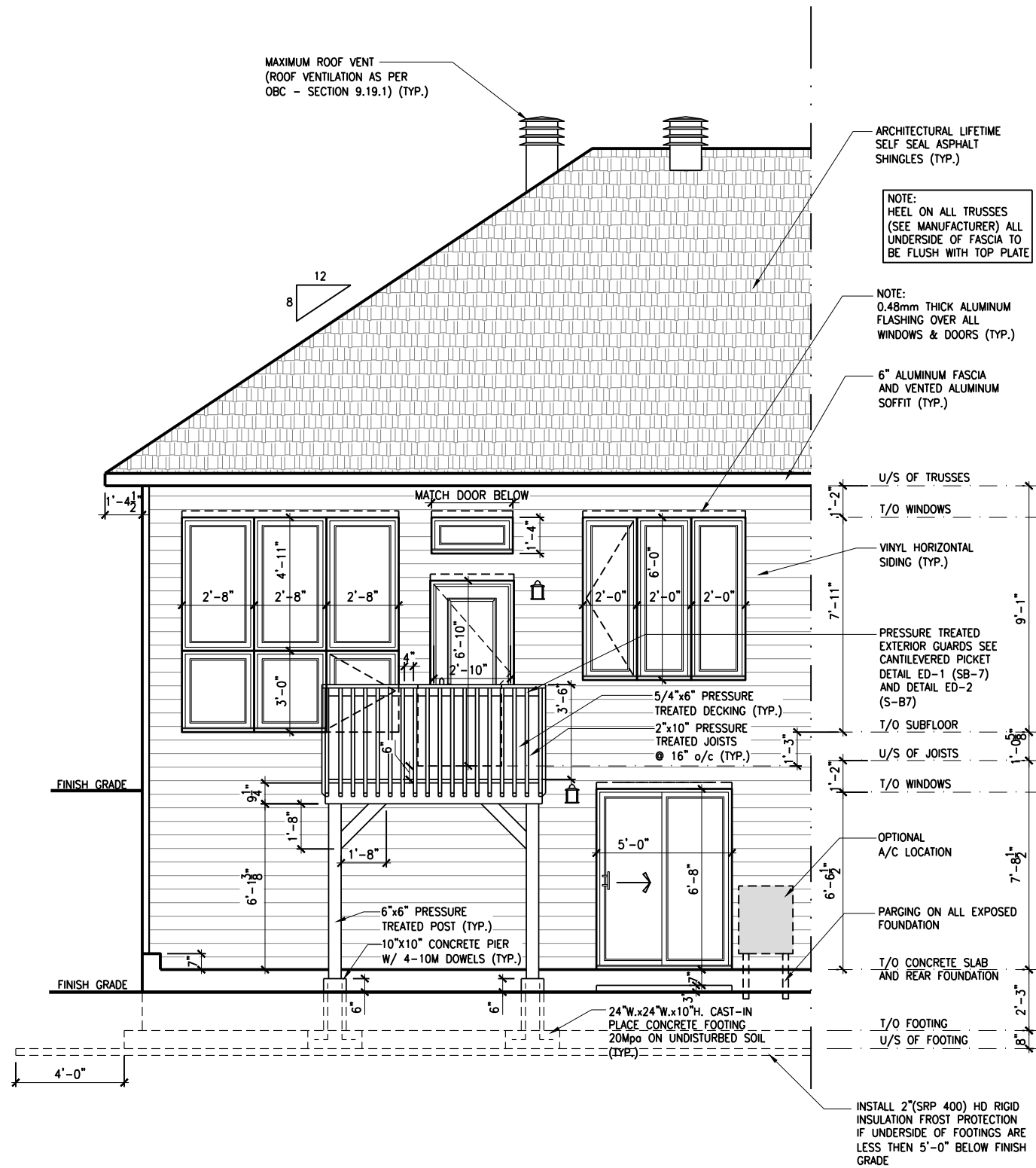
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.2e



1 REAR ELEVATION - GARAGE END UNIT
A.2f SCALE: 3/16" = 1'-0"



2 REAR ELEVATION - GARAGE END UNIT - WALKOUT
A.2f SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
1	NEW STANDARD DRWG	01/01/2022	DOYON

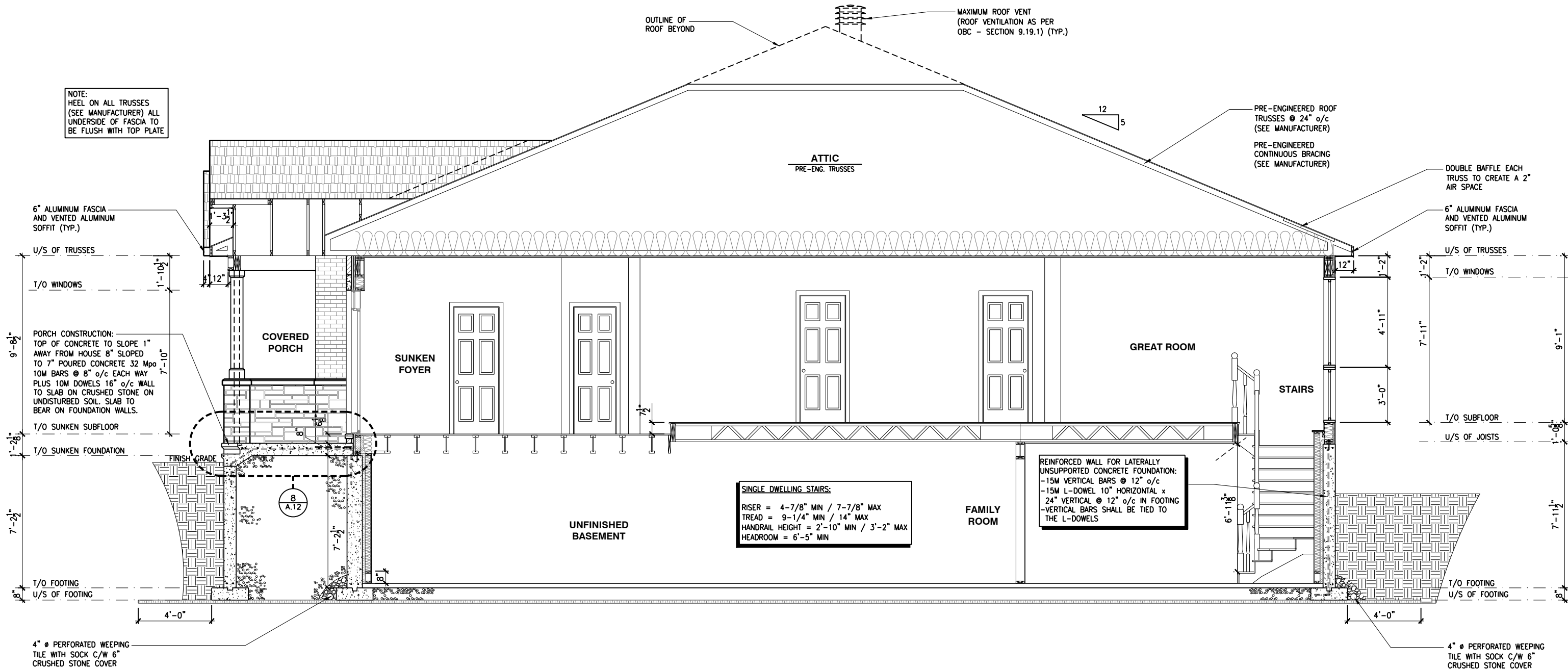
REAR ELEVATION
GARAGE END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

A.2f



1 BUILDING SECTION
A.3a SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

 Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

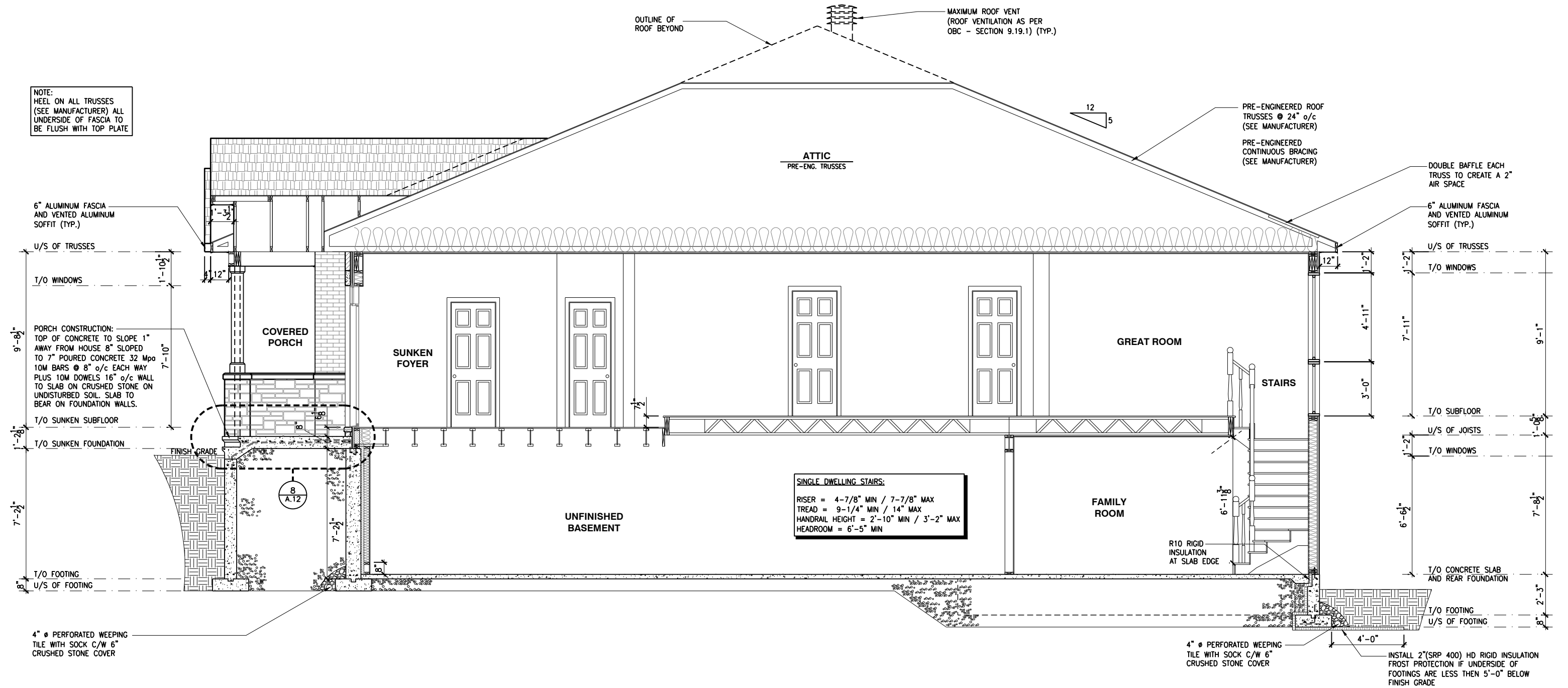
2012 O.B.C. DRAWINGS

DRAWING: BUILDING SECTION

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.3a



1
A.3b

BUILDING SECTION - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
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- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

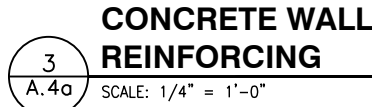
2012 O.B.C. DRAWINGS

DRAWING: BUILDING SECTION WALKOUT

ADDRESS: XX **SCALE:** 3/16" = 1'-0" **DATE:** XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

A.3b

[illegible]

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VARECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

FOOTING PLAN-PORCH END UNIT

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
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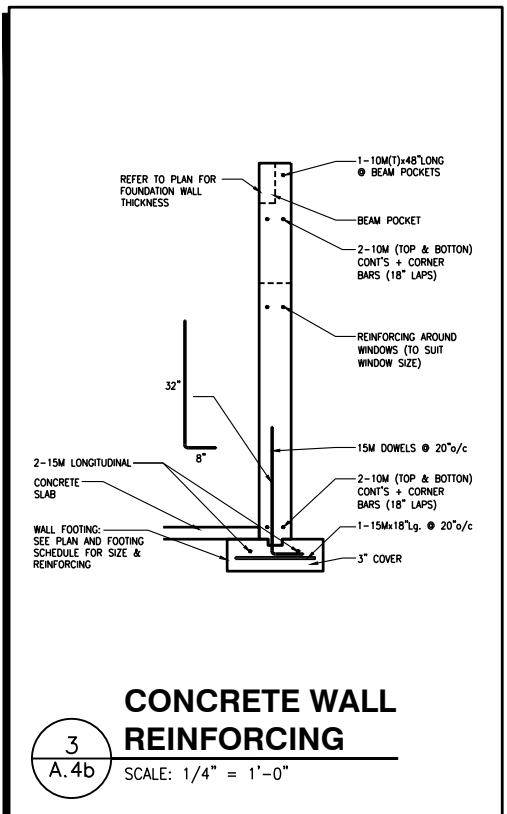
105 - THE MANN

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.4a

[illegible]

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

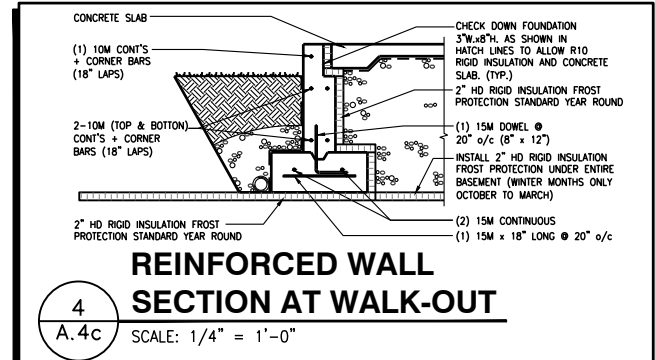
DRAWING:

FOOTING PLAN - GARAGE END

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

105 - THE MANN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.4b

[illegible]

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS			
REV--1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **FOOTING PLAN**
WALKOUT - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

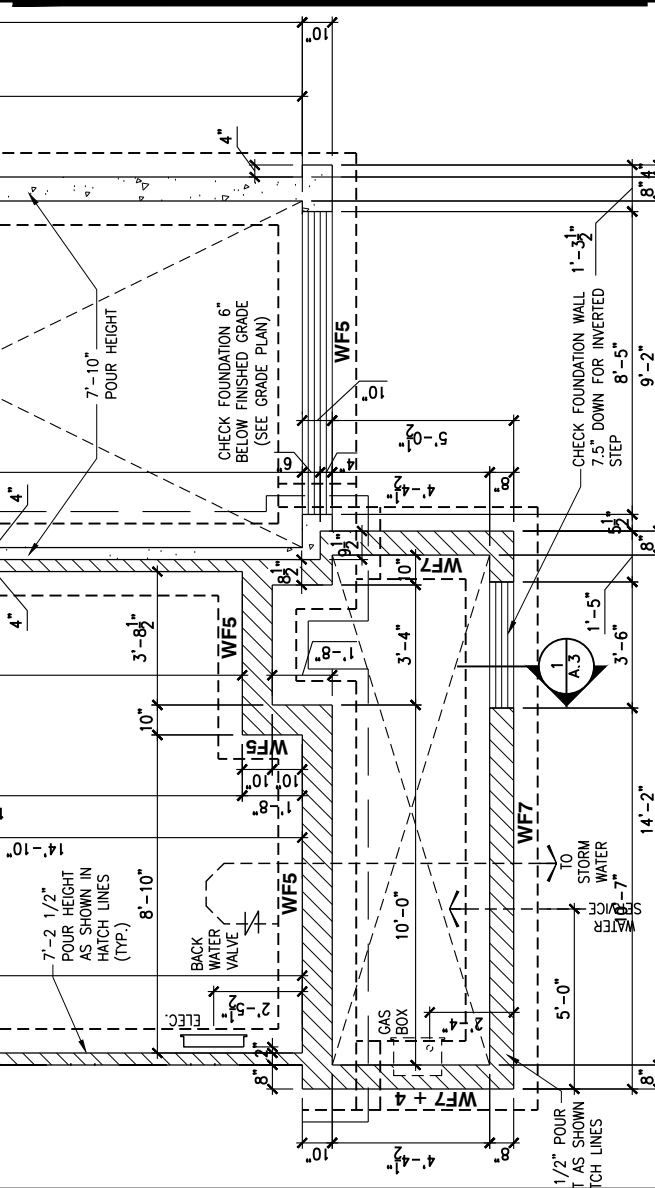
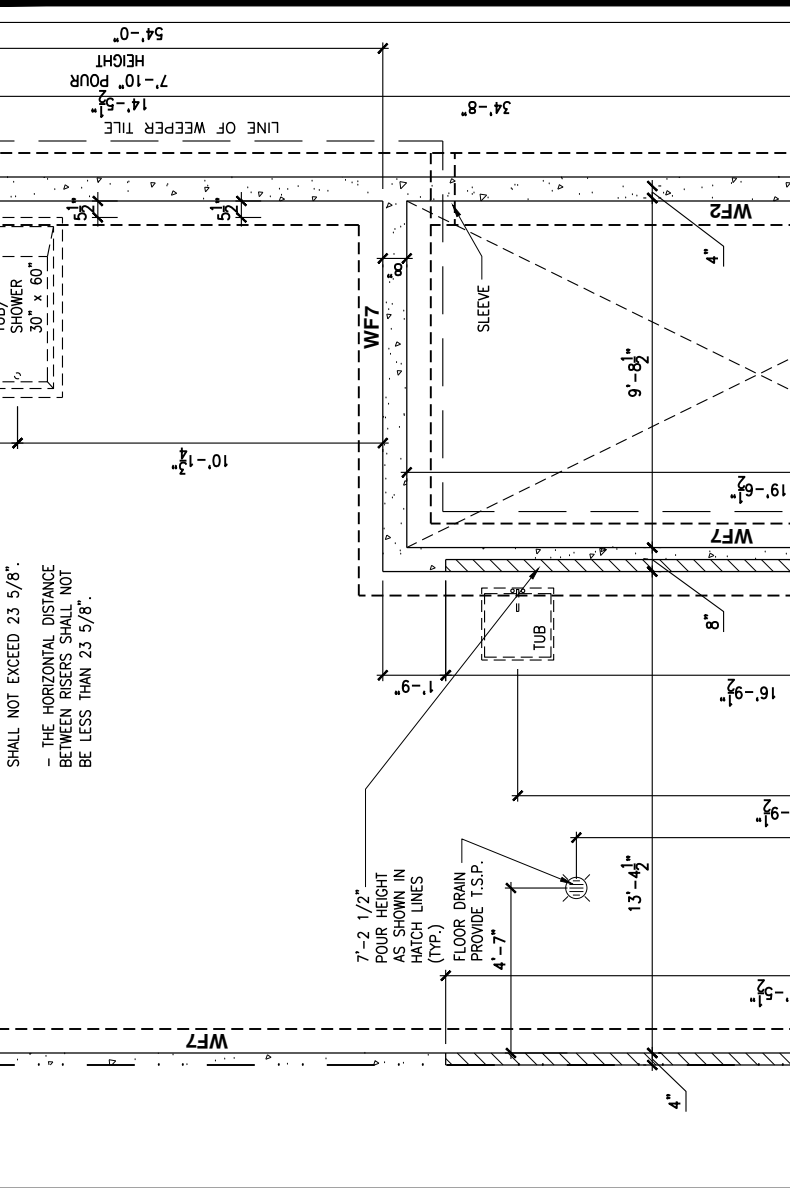
105 - THE MANN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:
A.4c

1
A.4d

SCALE: 3/16" = 1'-0"

FOOTING PLAN - WALKOUT - GARAGE END UNIT



- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
AS PER GEOTECHNICAL CONSULTANTS' RECOMMENDATIONS AT
THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING
SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR
INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL
= 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD
HAVE 6% ($\pm 1\%$) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE
ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL
AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **FOOTING PLAN**

WALKOUT - GARAGE END UNIT

ADDRESS: xx	SCALE: 3/16" = 1'-0"	DATE: xx/xx/xxxx
----------------	-------------------------	---------------------

105 - THE MANN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

SHEET:

A.4d

- FLOOR FRAMING:
- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 3-2"x10" PRESSURE TREATED (FLUSH)
 - JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
 - EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
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 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

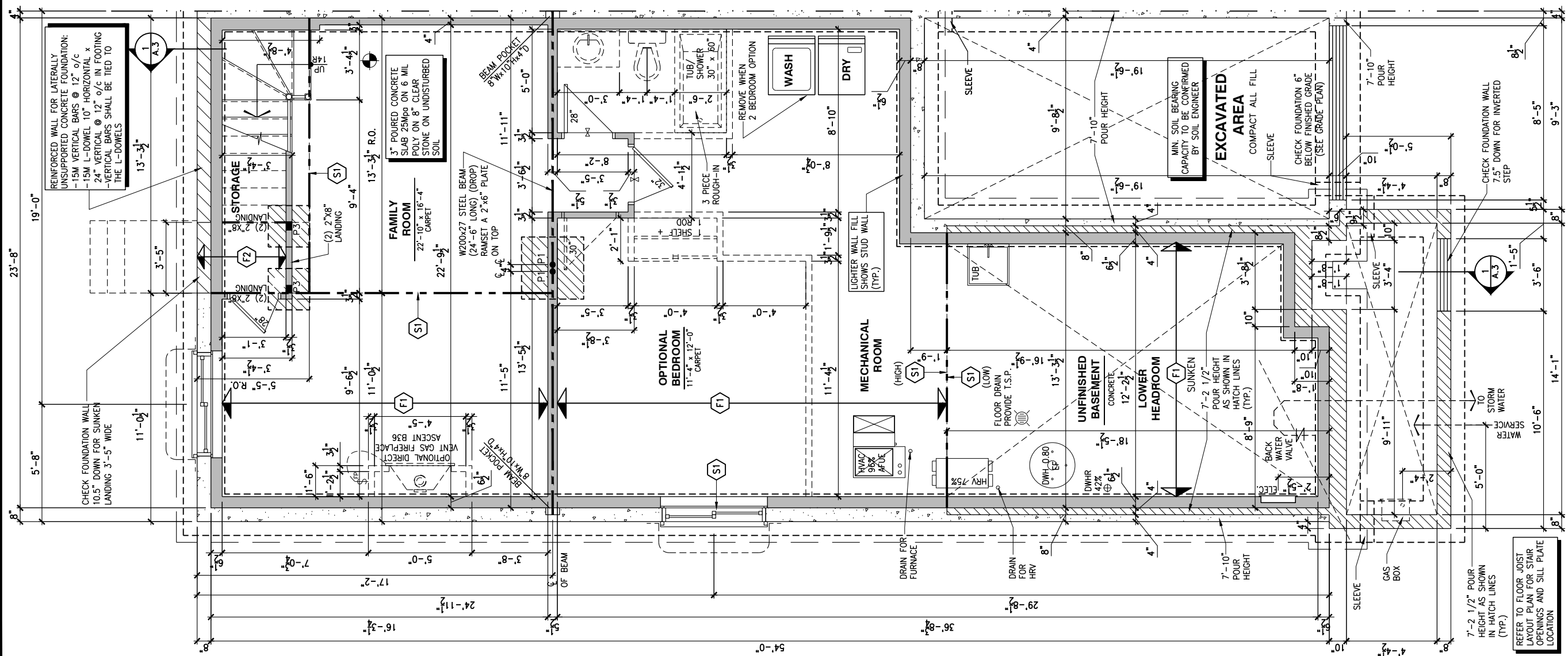
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5a



1 BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

A.5a SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

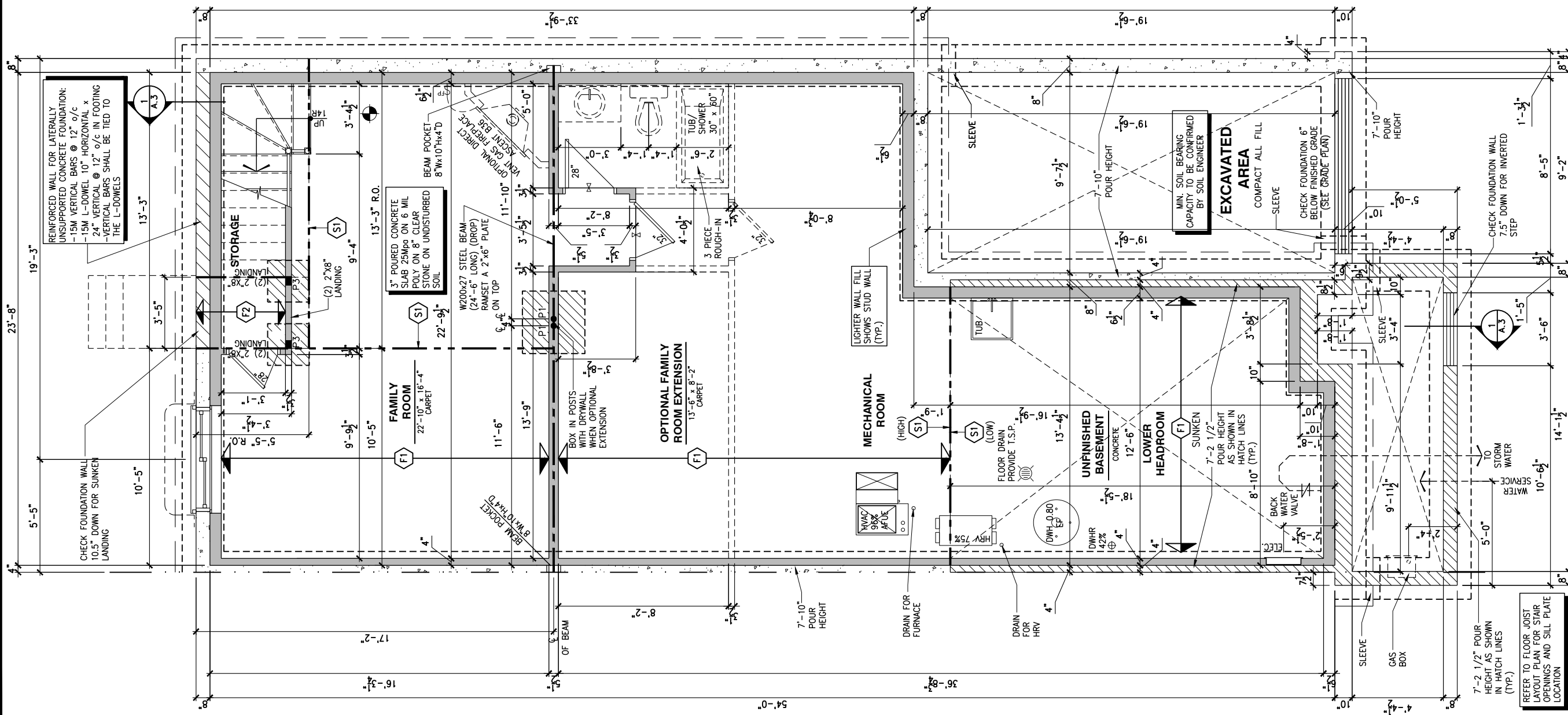
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5b



1 BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT
A.5b SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

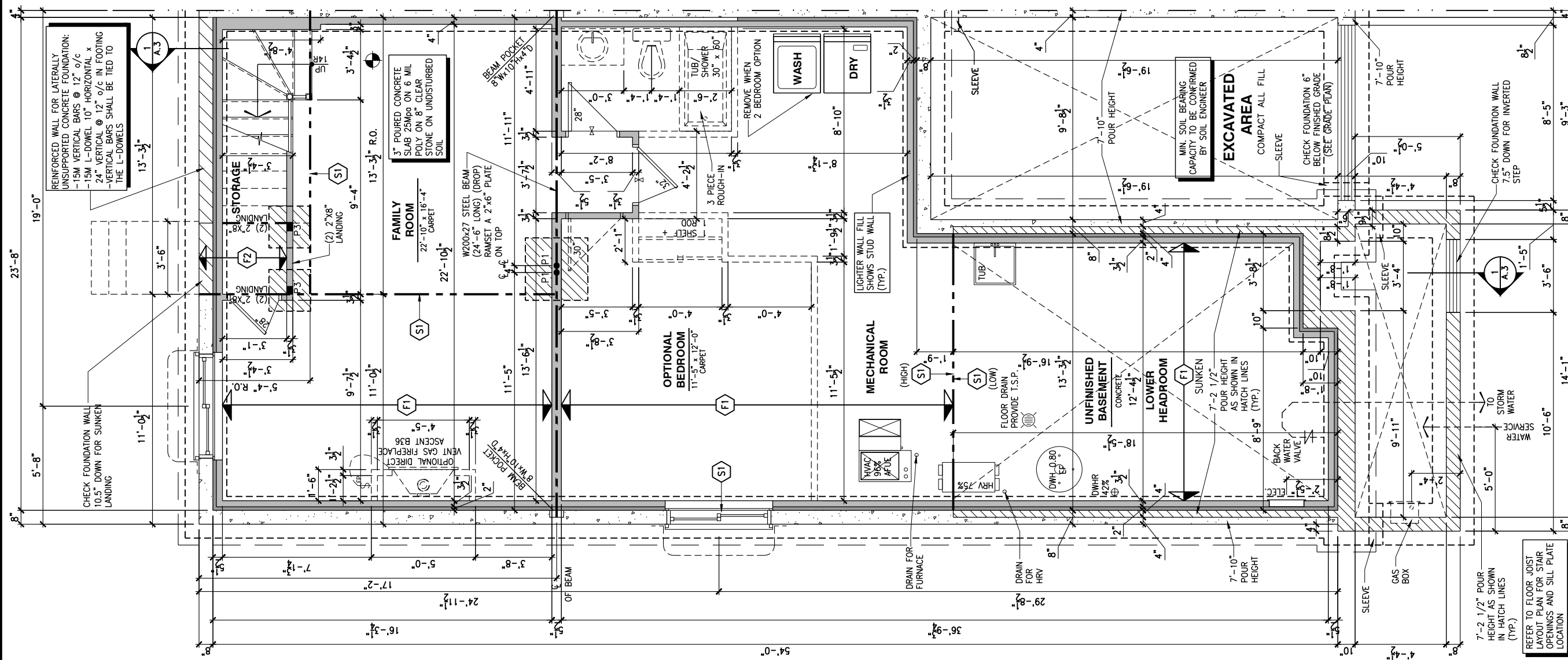
REV.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
ENERGY STAR - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.5c



1 A.5c BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P10	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
	= 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

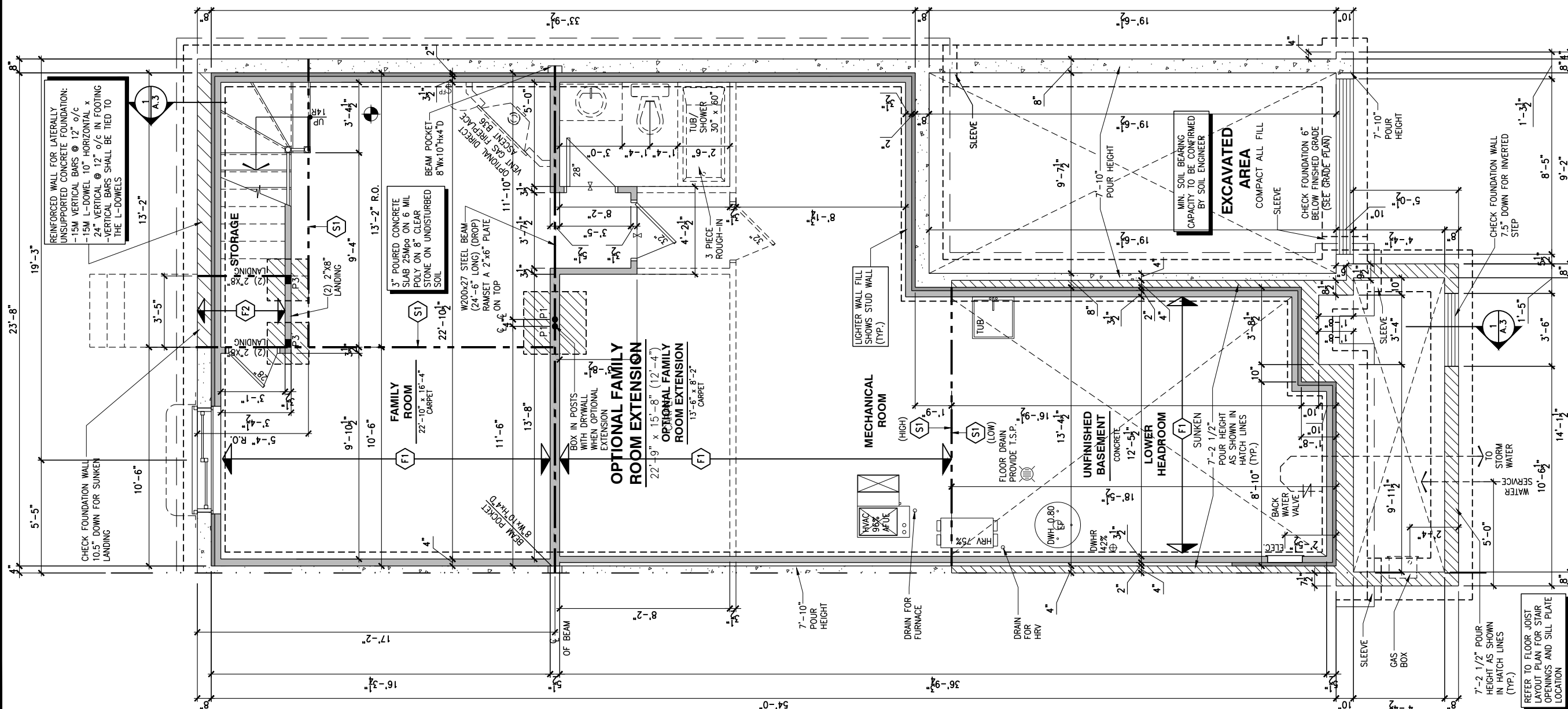
REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
			MM/DD/YYYY	

DRAWING: BASEMENT FLOOR PLAN
ENERGY STAR - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.5d



1 BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT
A.5d SCALE: 3/16" = 1'-0"

F1	11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
F2	2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
F3	2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1	REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 to 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING FLYWALL SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL
P14 = HSS 89.8x94.4 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.8 + 100x180x12 T&B PL
P16 = HSS 76.2x76.2x4.8 + 100x130x12 T&B PL
P17 = HSS 73.0x84.8 + 100x180x12 BOTTOM PL
+ 130x160x10 TOP PL. (*)
(*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STU

(EX. P2 = 1 JACK + 1 STUD)
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2012 O.B.C. DRAWINGS

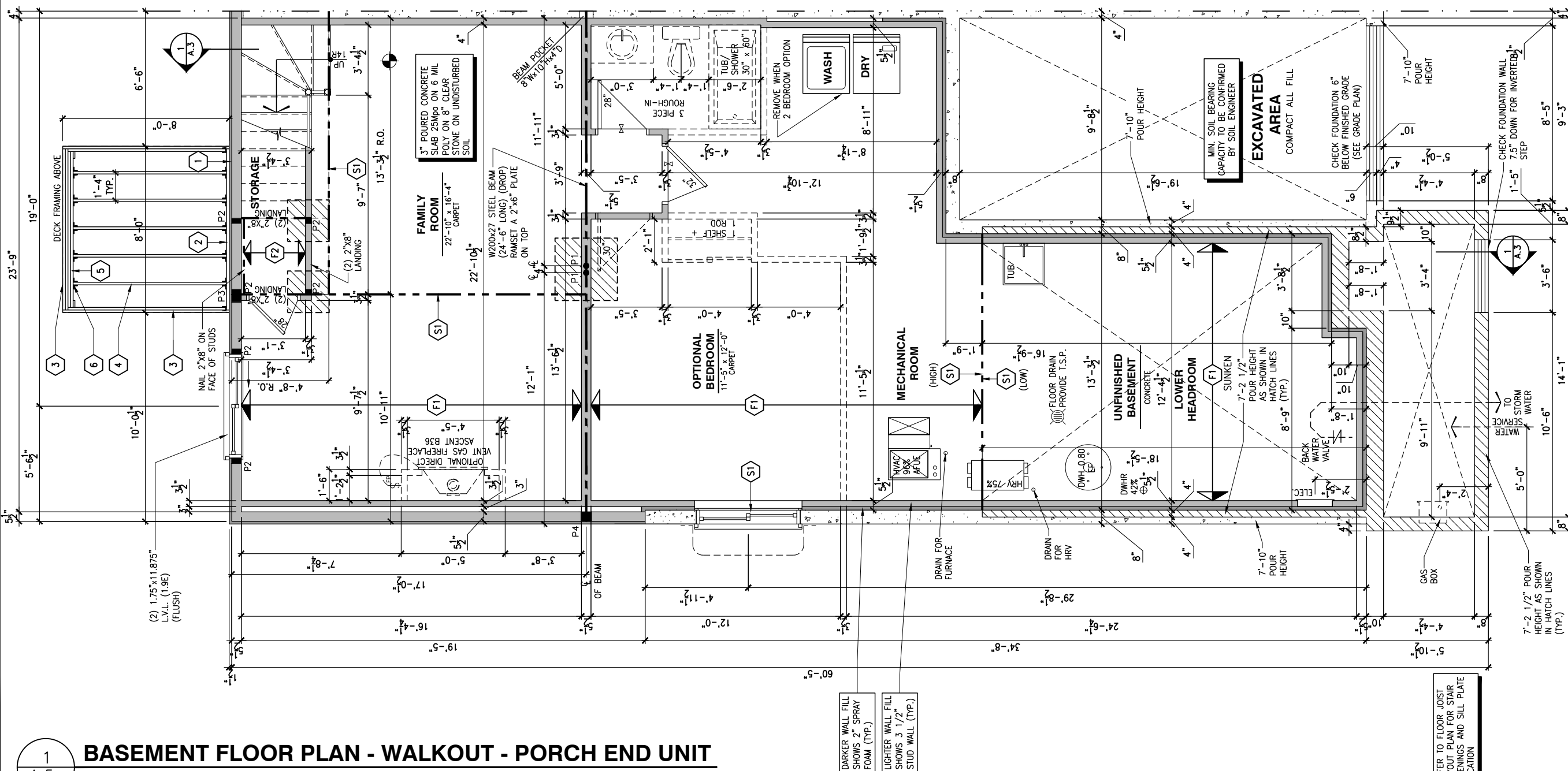
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **BASEMENT FLOOR PLAN**
WALKOUT - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**105 - THE MANN
2022 FOOTPRINT**

SHEET:
A 5e



- FLOOR FRAMING:
- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
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LOT: XXXX

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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

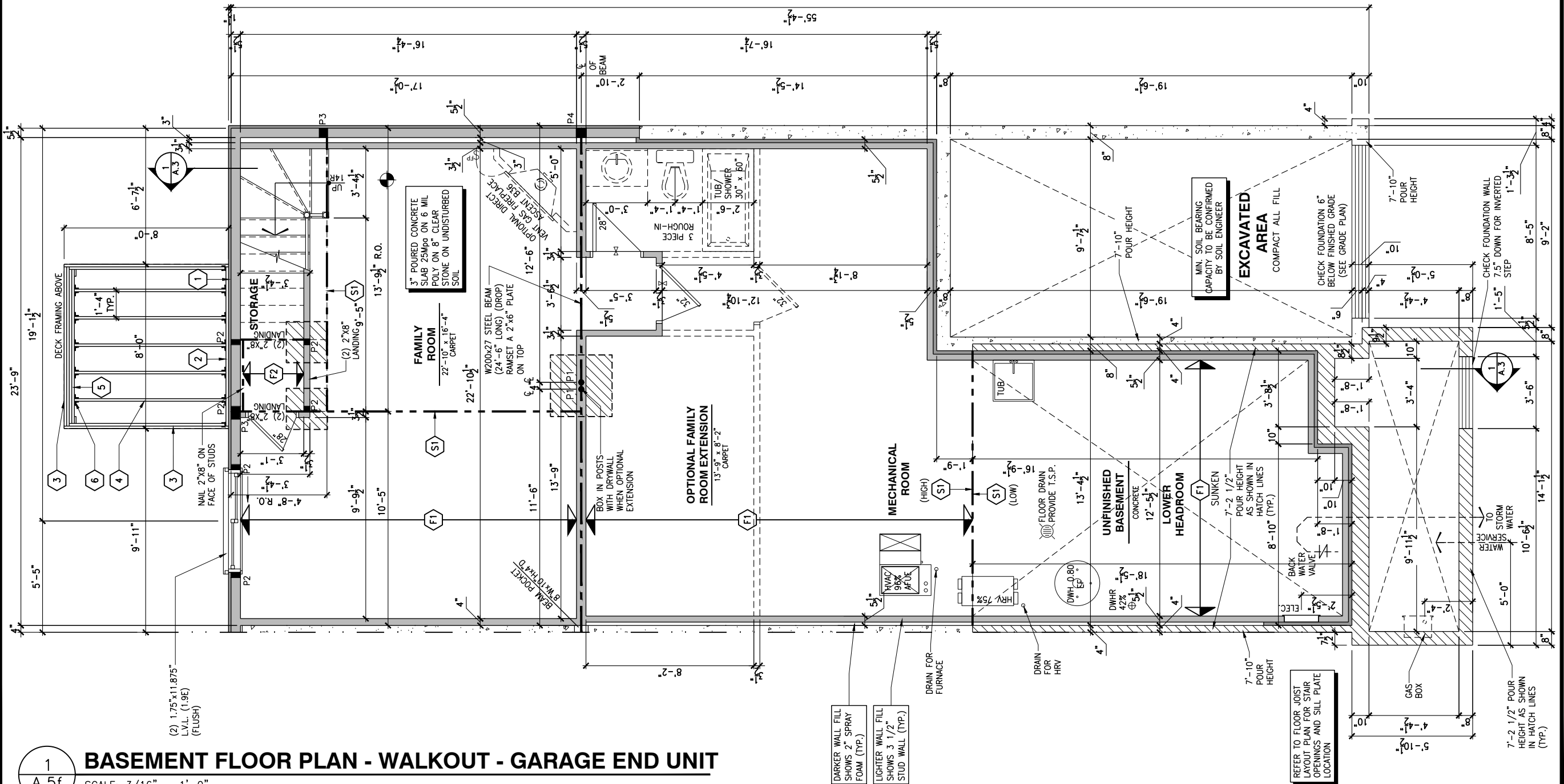
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN WALKOUT - GARAGE END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5f



1 BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

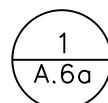
A.5f SCALE: 3/16" = 1'-0"



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SCALE: $3/16" = 1'-0"$

[illegible]

(STANDARD DRAWINGS)

A.6a



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DRAWING: **3 BEDROOM PLAN - FLOOR**
JOIST FRAMING - PORCH END

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
 (STANDARD DRAWINGS)

A.6b



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- TARIION REGISTRATION NUMBER #611

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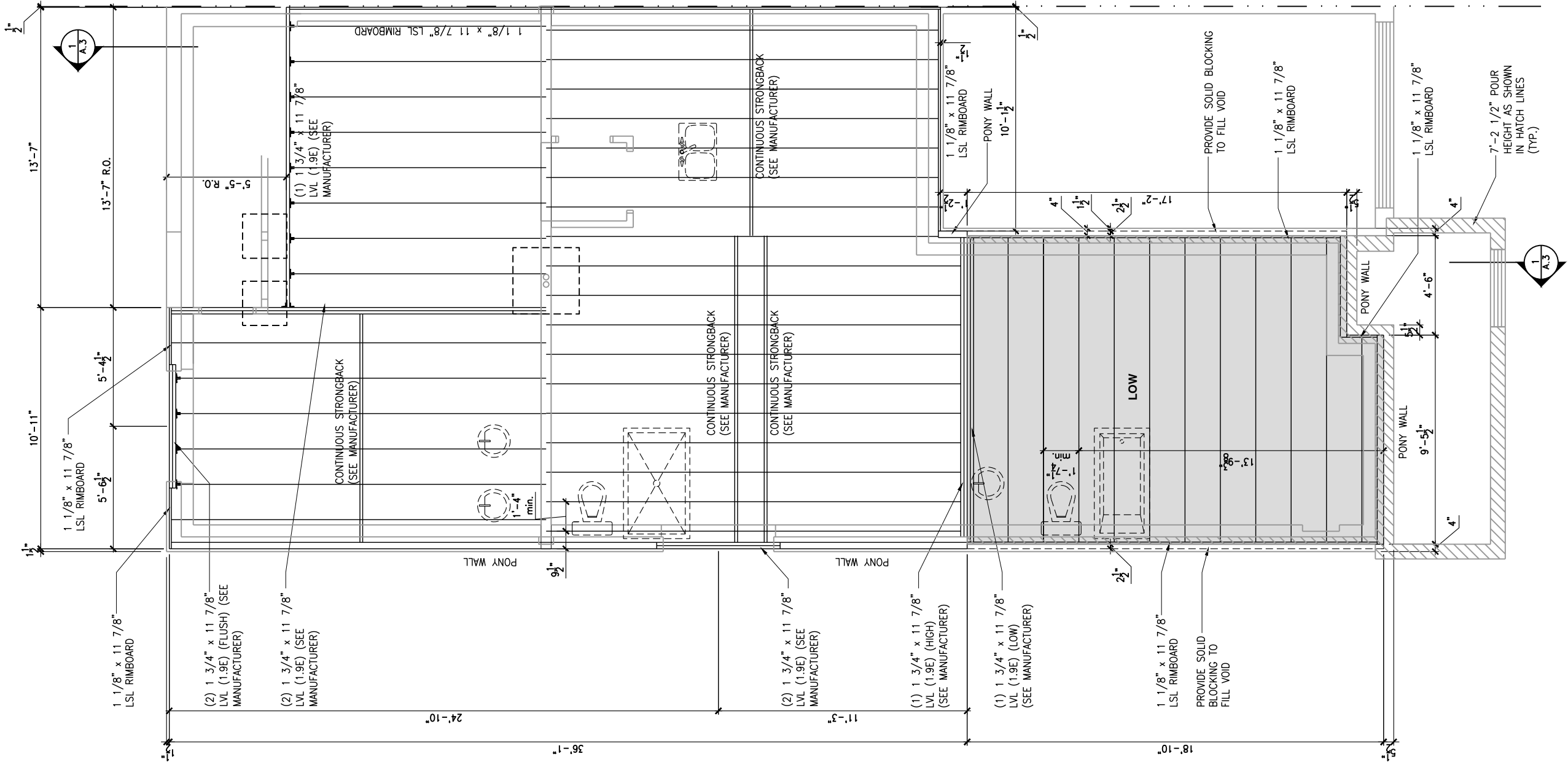
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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: 3 BEDROOM PLAN - FLOOR
JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



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[illegible]

DRAWING: **2 BEDROOM PLAN - FLOOR**
JOIST FRAMING - PORCH END

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6d



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2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	By

DRAWING: **2 BEDROOM PLAN - FLOOR**
JOIST FRAMING - PORCH END

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

A.6e



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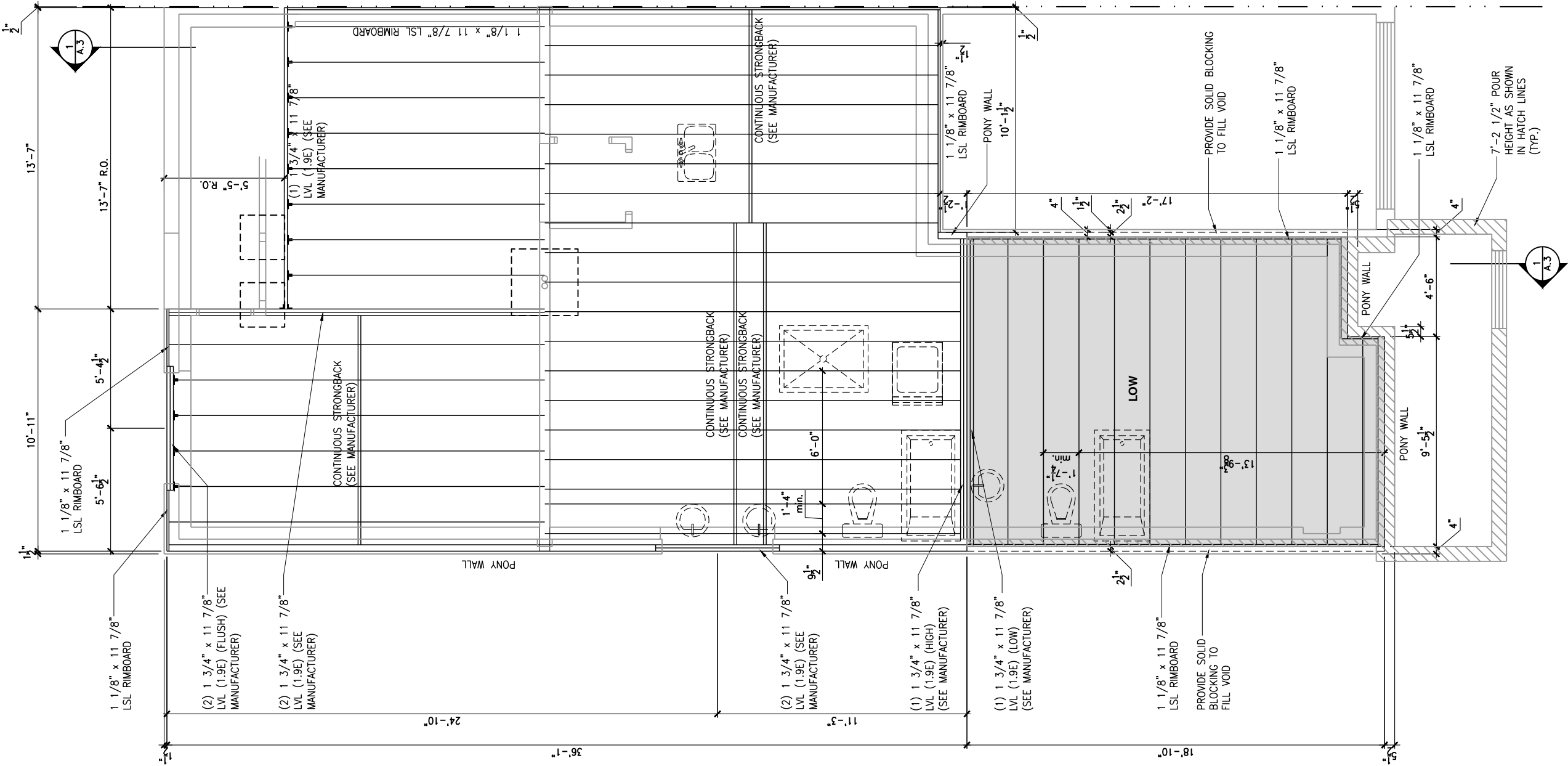
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REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

DRAWING: 2 BEDROOM PLAN - FLOOR
JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6f

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A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

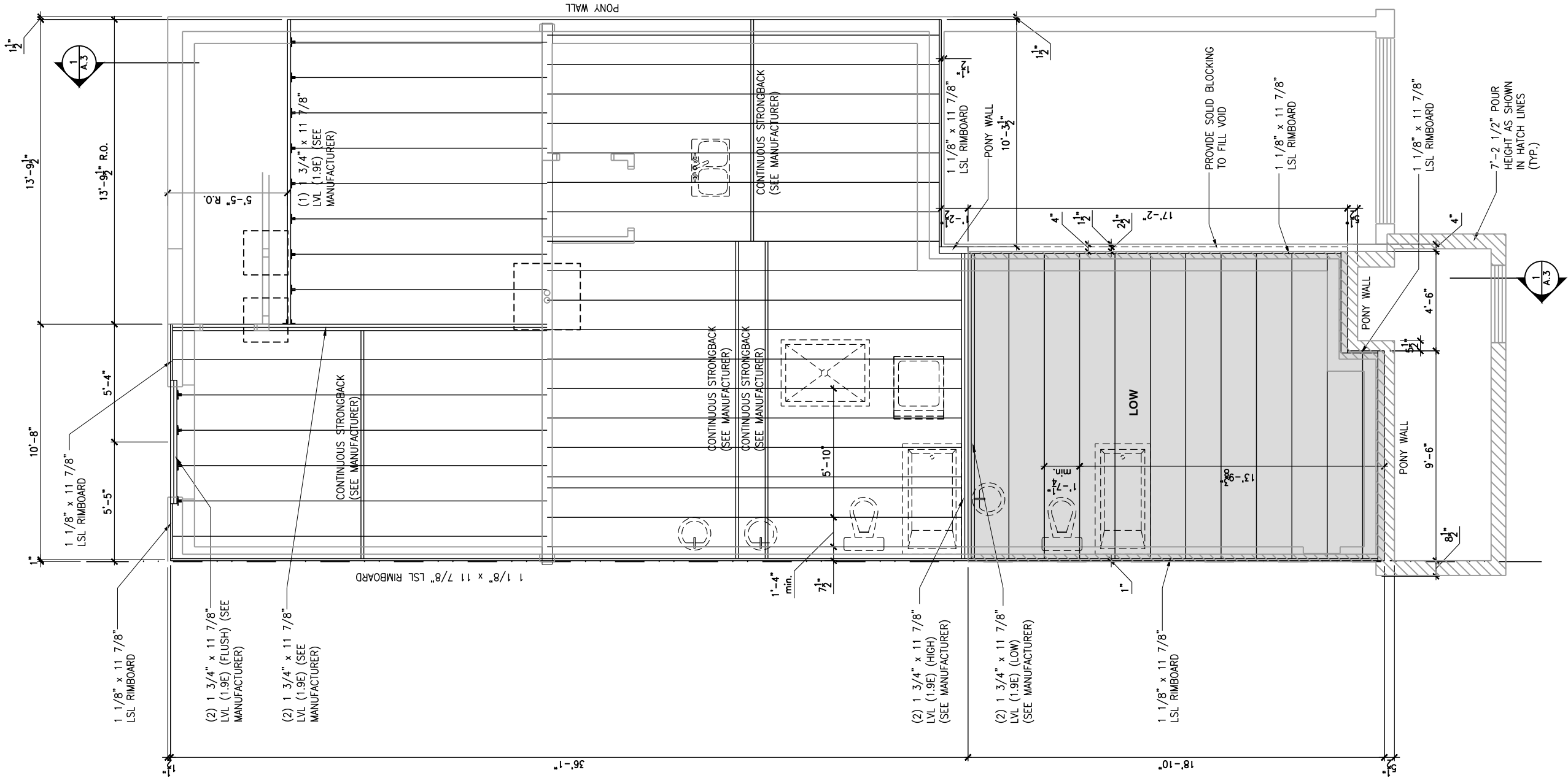
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: 2 BEDROOM PLAN - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS:	SCALE:	DATE:
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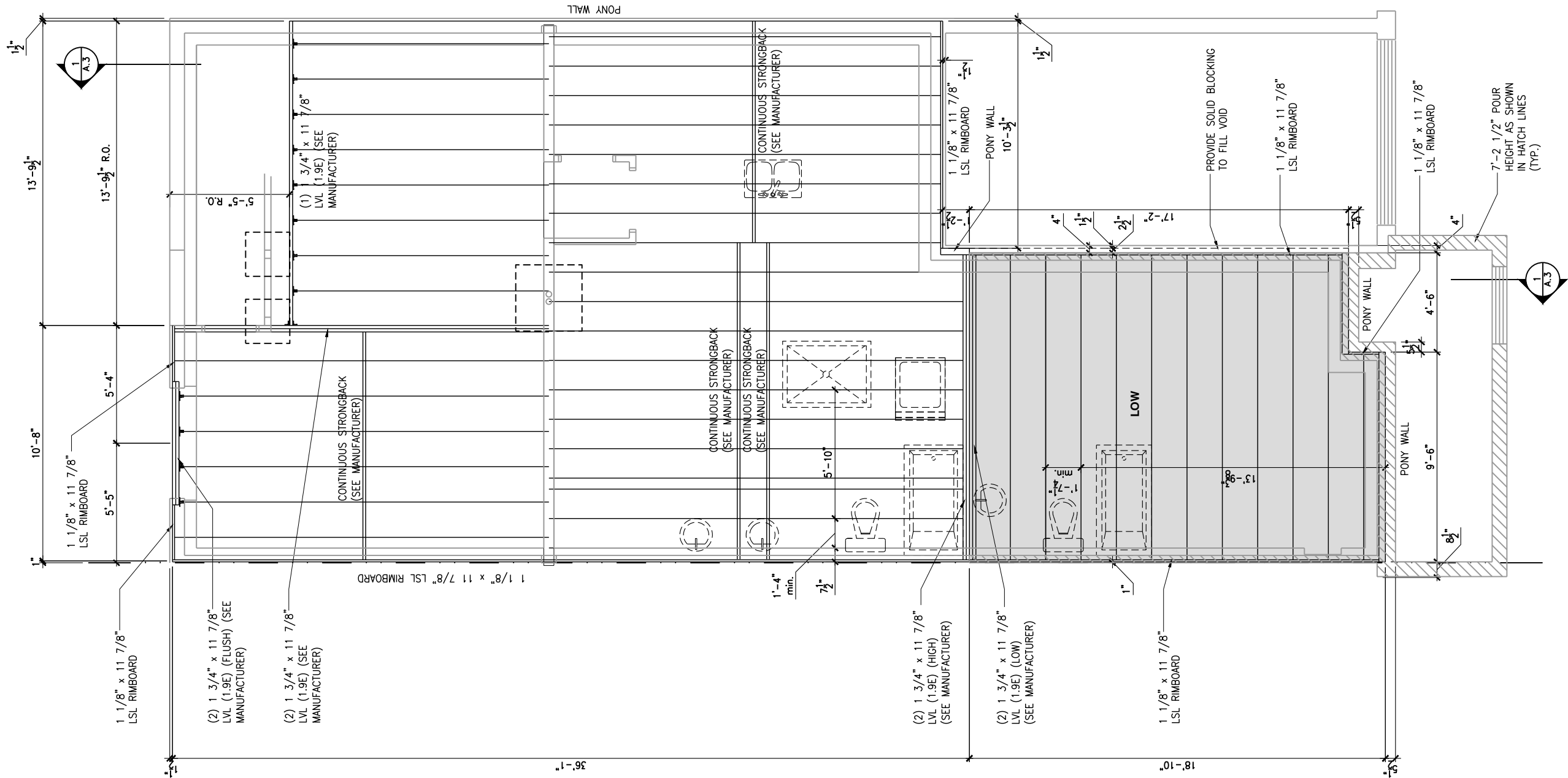
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: 2 BEDROOM PLAN - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
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SHEET:

A.6h



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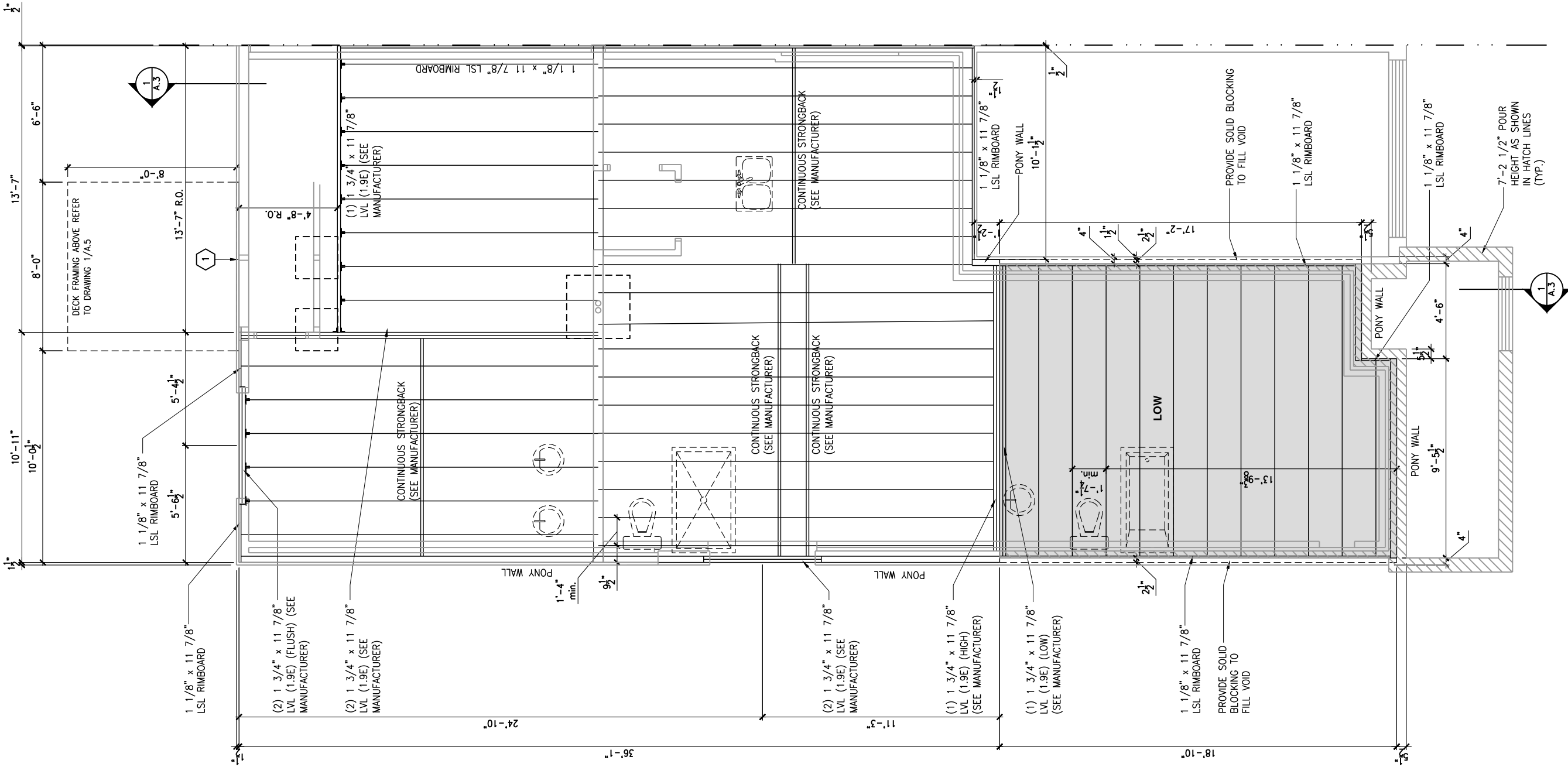
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DRAWING: **2 BEDROOM PLAN - FLOOR**
JOIST FRAMING - GARAGE END

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)


SHEET:
A.6i



1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX

DATE: XX/XX/XXXX



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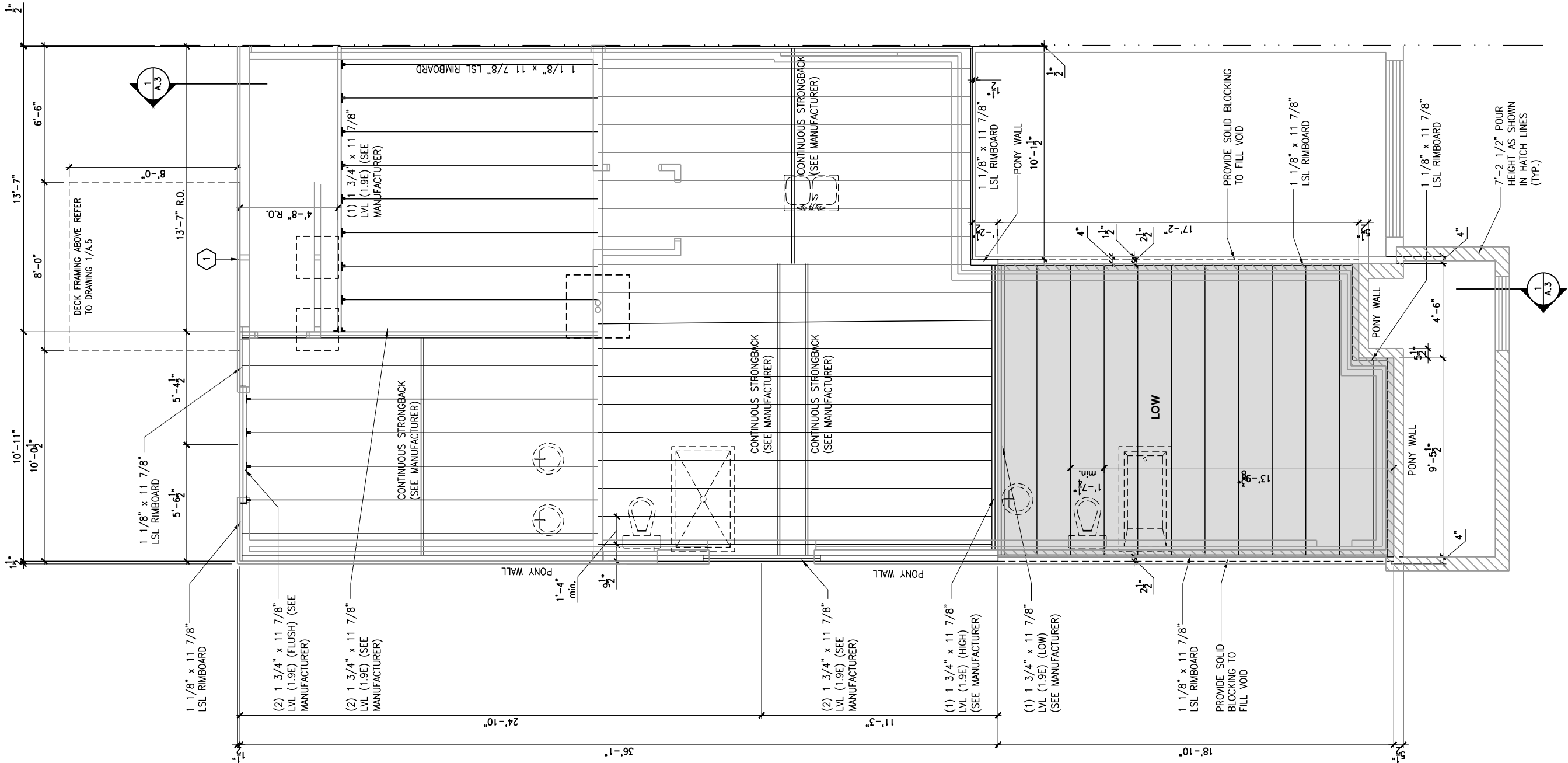
DRAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6j



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

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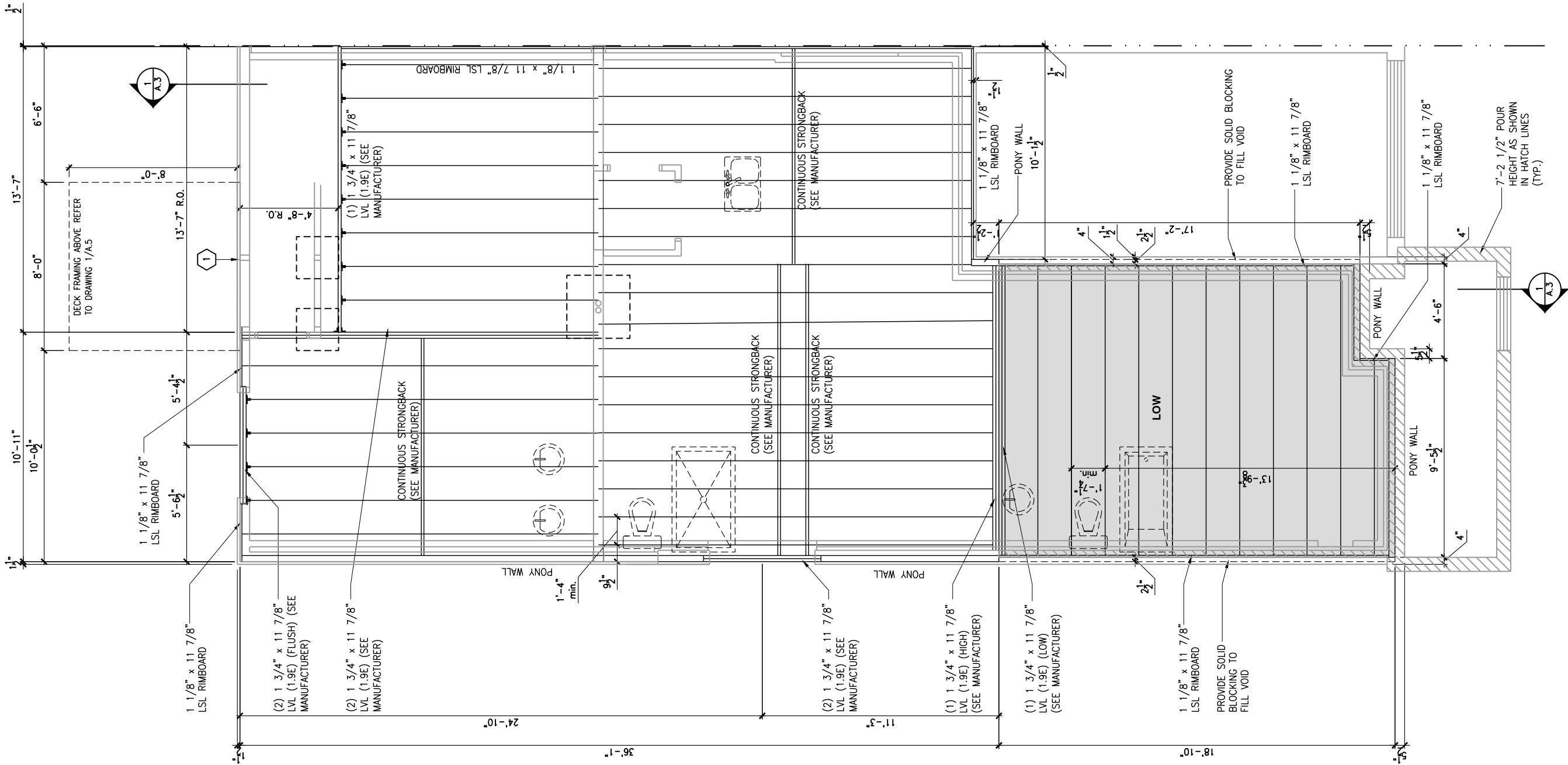
A.6k

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A.6k

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT


SCALE: 3/16" = 1'-0"



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LOT: XXXX

DATE: XX/XX/XXXX



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Homes (2019) Limited

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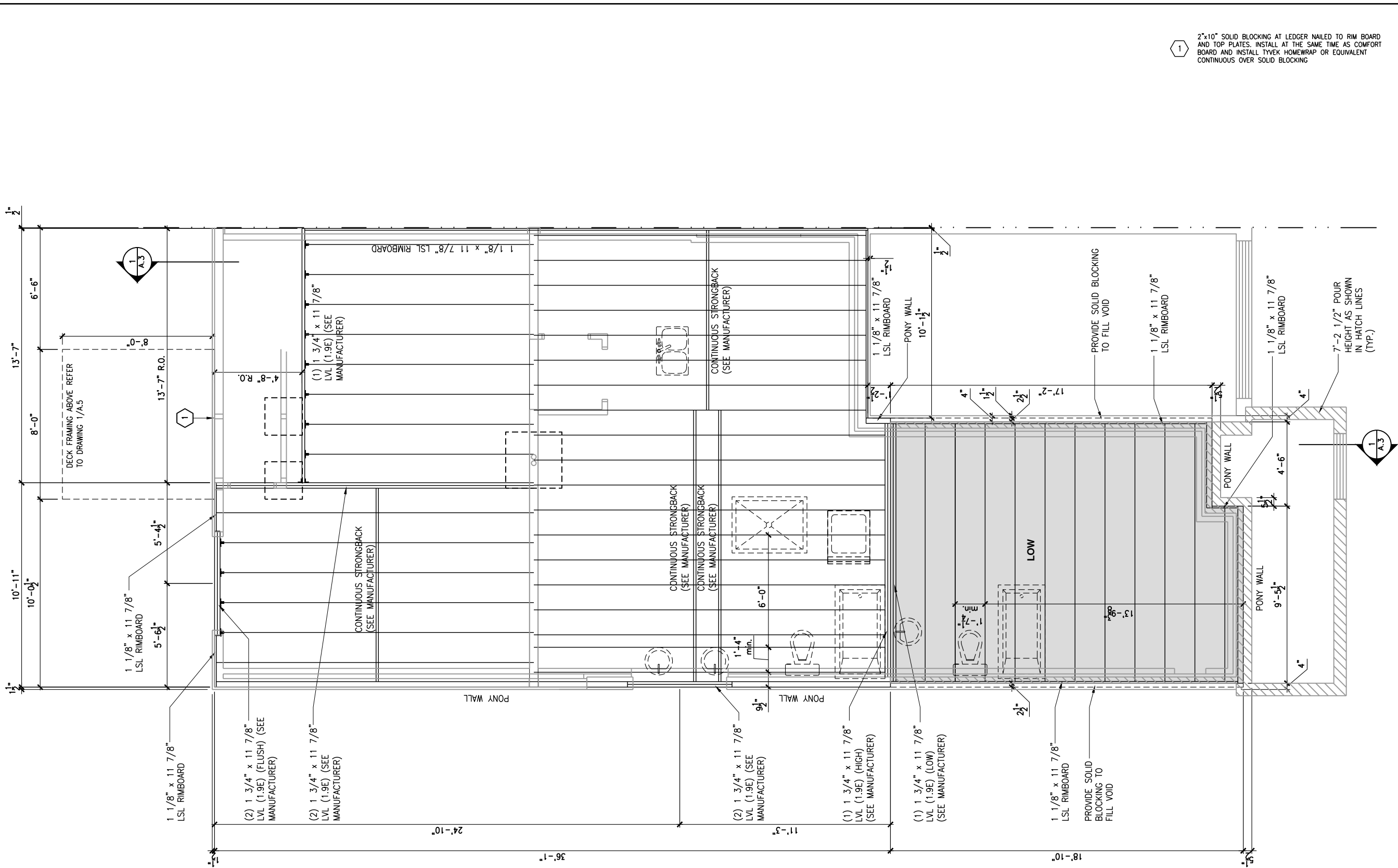
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DRAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS:	SCALE:	DATE:
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105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

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A.6m

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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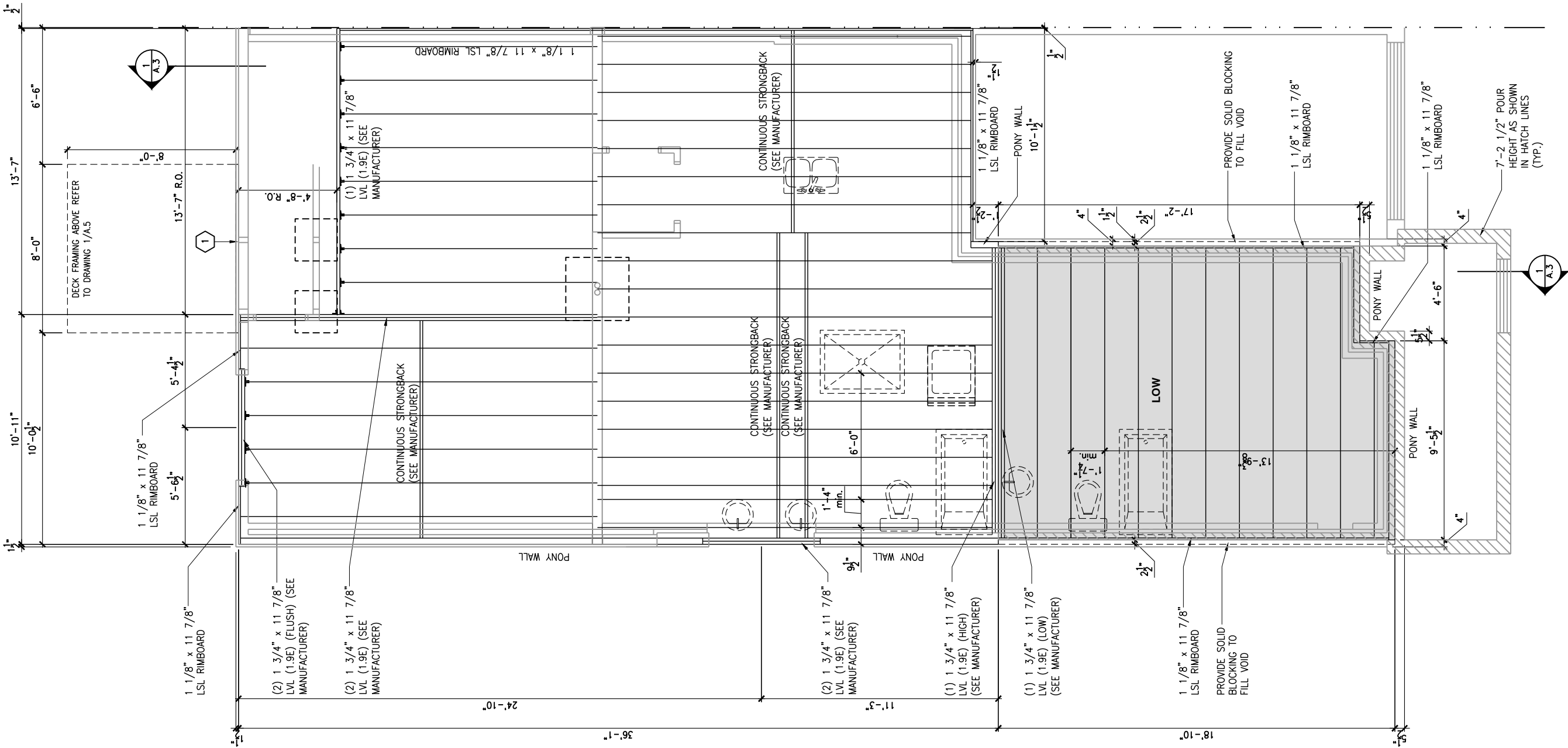
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105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A.6m**



1
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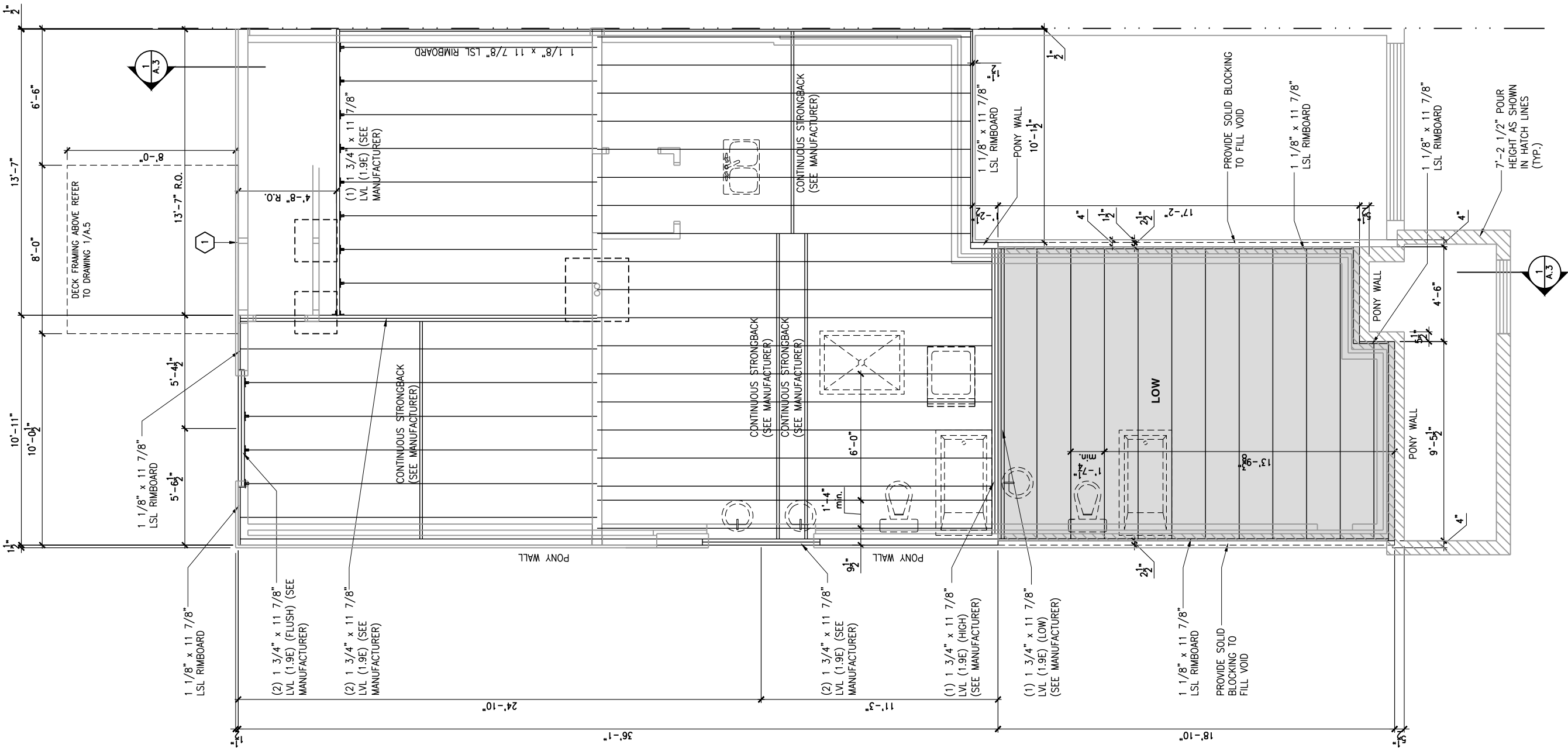
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105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6n



1
A.6o
GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT
SCALE: 3/16" = 1'-0"

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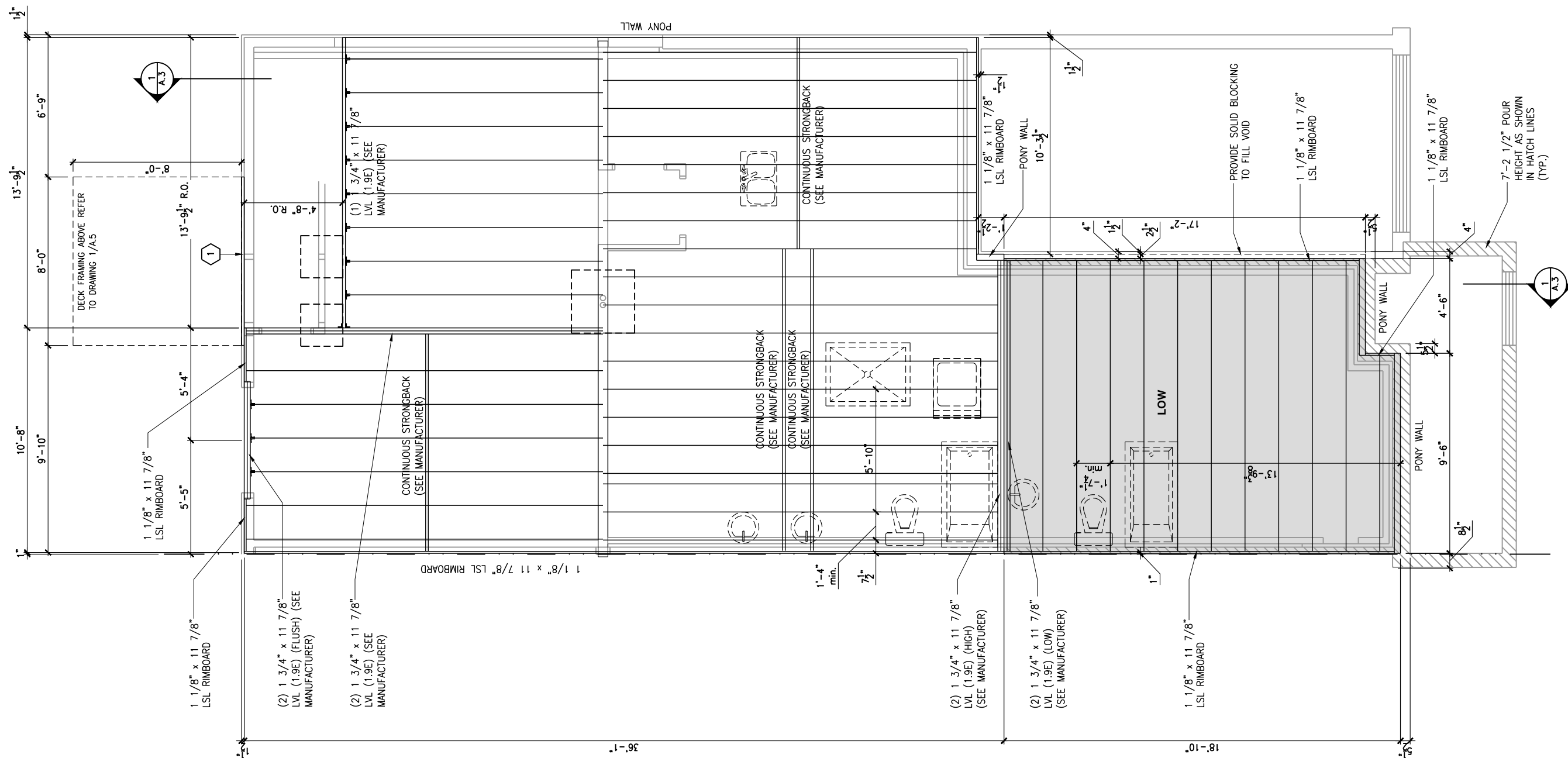
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105 - THE MANN
2022 FOOTPRINT
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SHEET:
A.6o



LOT:_____XXXX



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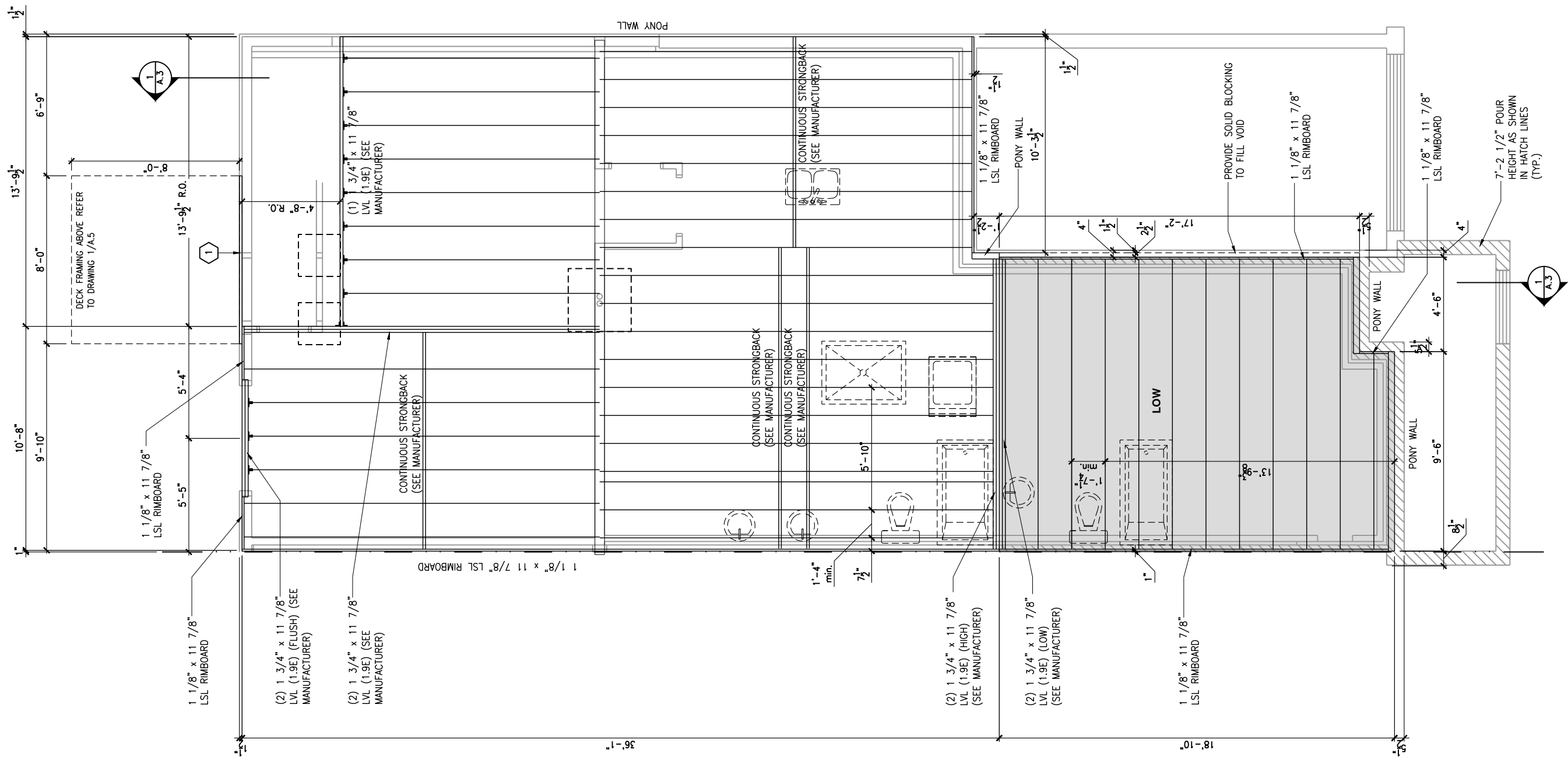
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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6q



Valecraft
Homes (2019) Limited

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SHEET:
A.6r

FLOOR FRAMING:

- F1 1 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

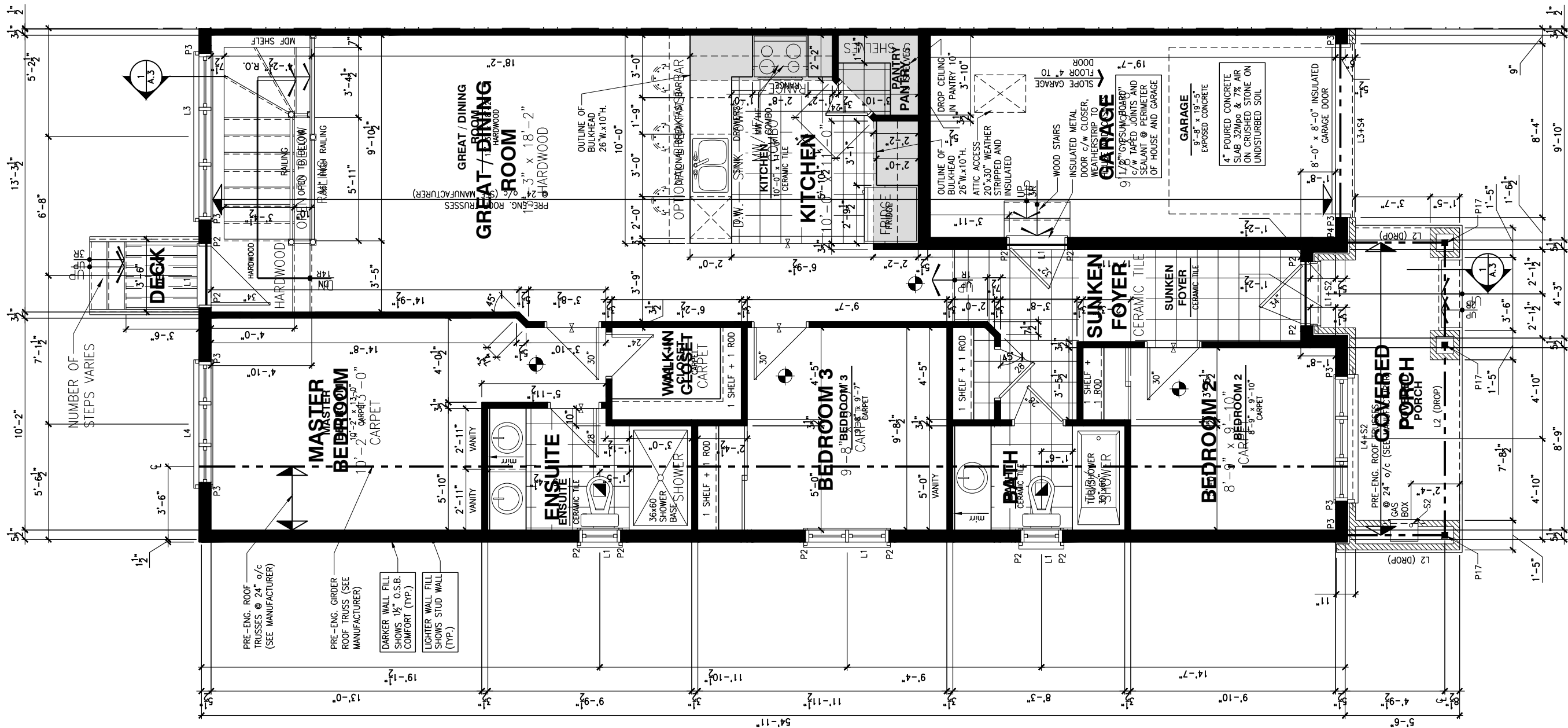
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION NM/DD/YYYY BY

DRAWING: GROUND FLOOR-3 BEDROOM
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7a

1 A.7a GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

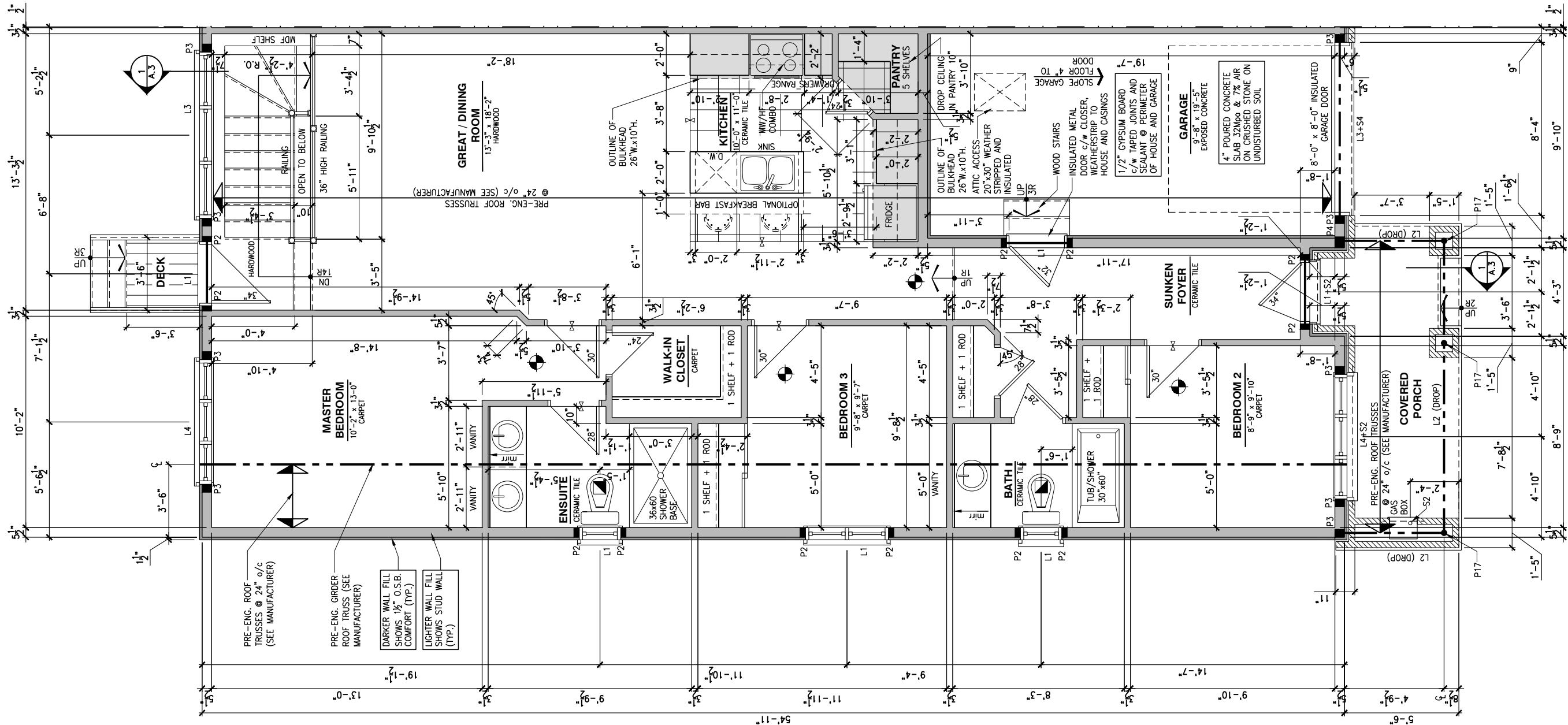
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR-3 BEDROOM
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7b

1 GROUND FLOOR - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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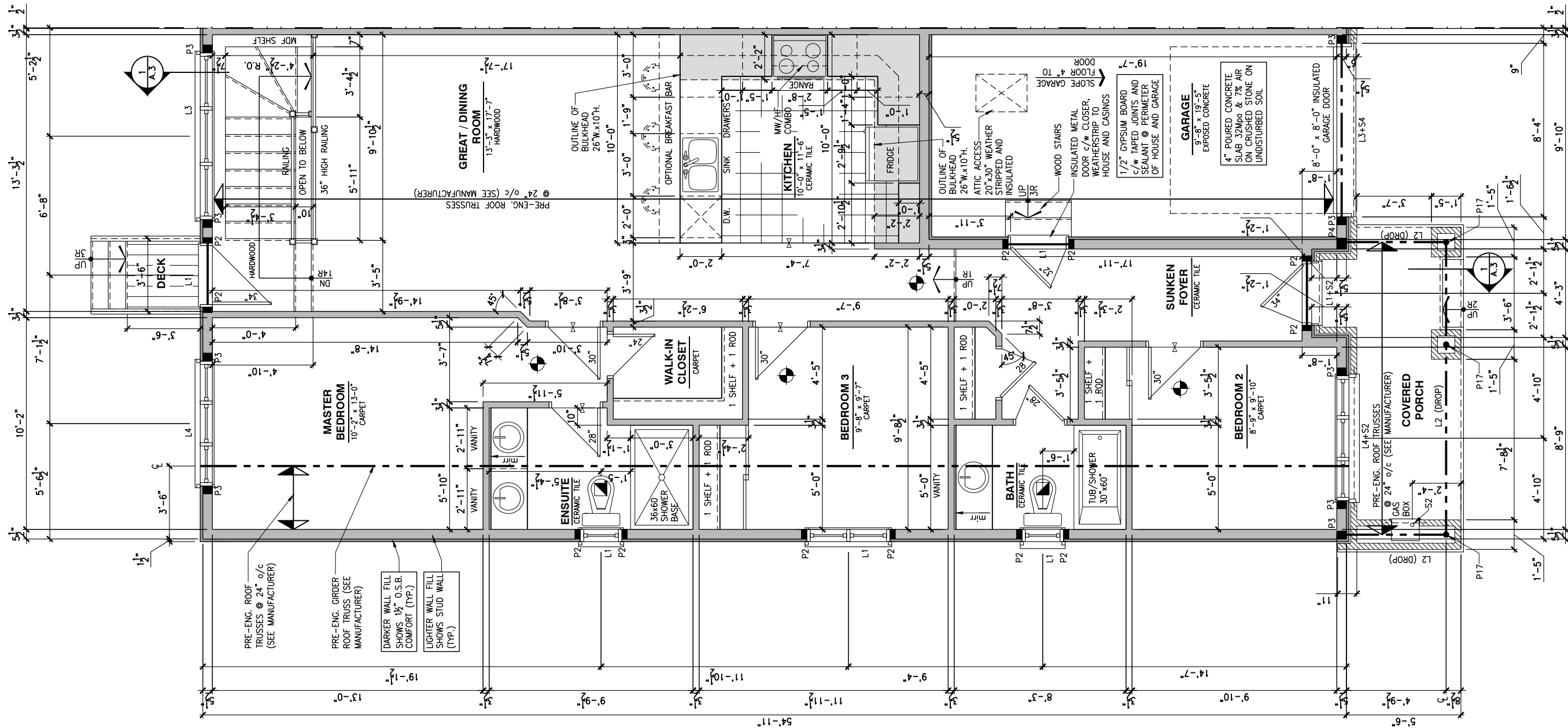
GENERAL NOTES:

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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
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LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR-3 BEDROOM
OPT. KITCHEN #1 - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7c

1

GROUND FLOOR - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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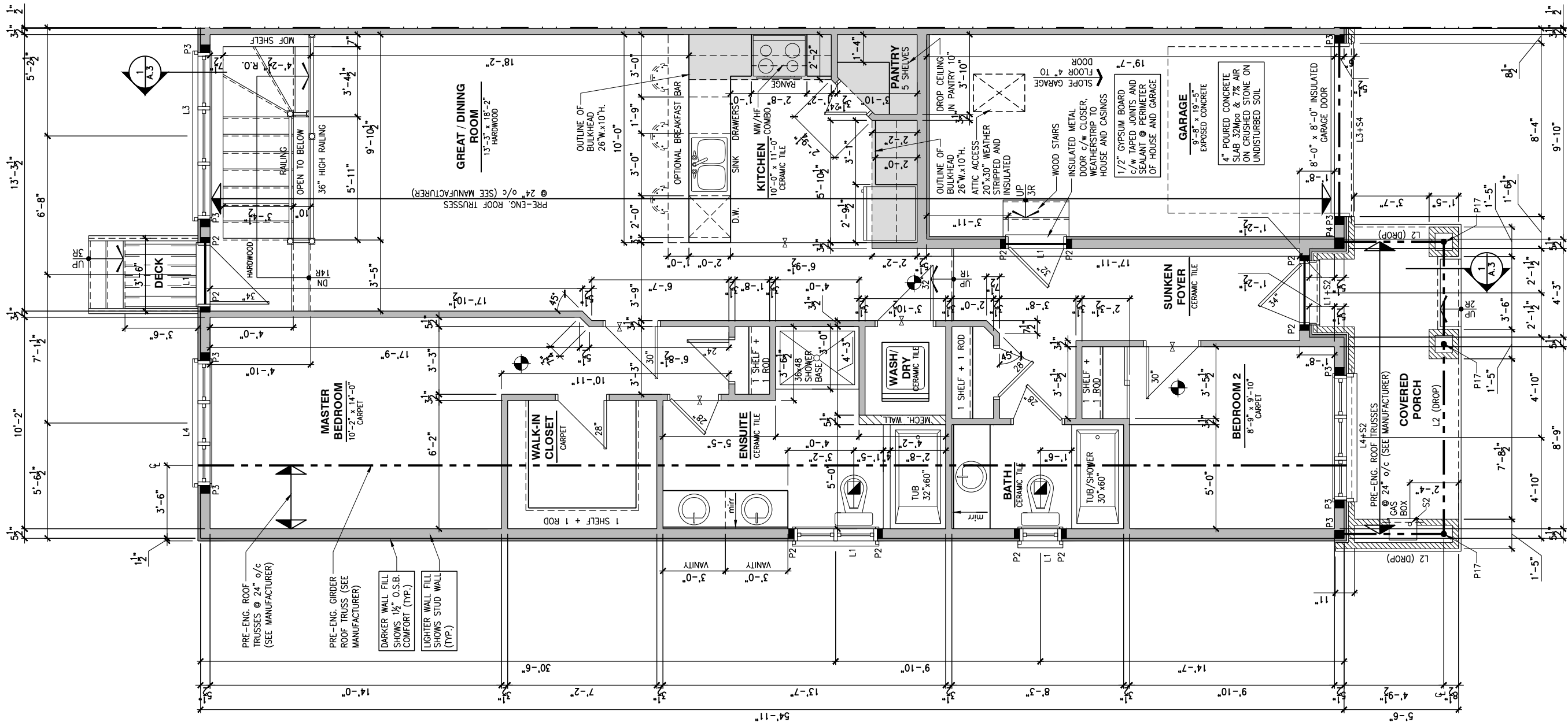
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LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR-2 BEDROOM
STANDARD KITCHEN - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**105 - THE MANN
2022 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A.7d

1 GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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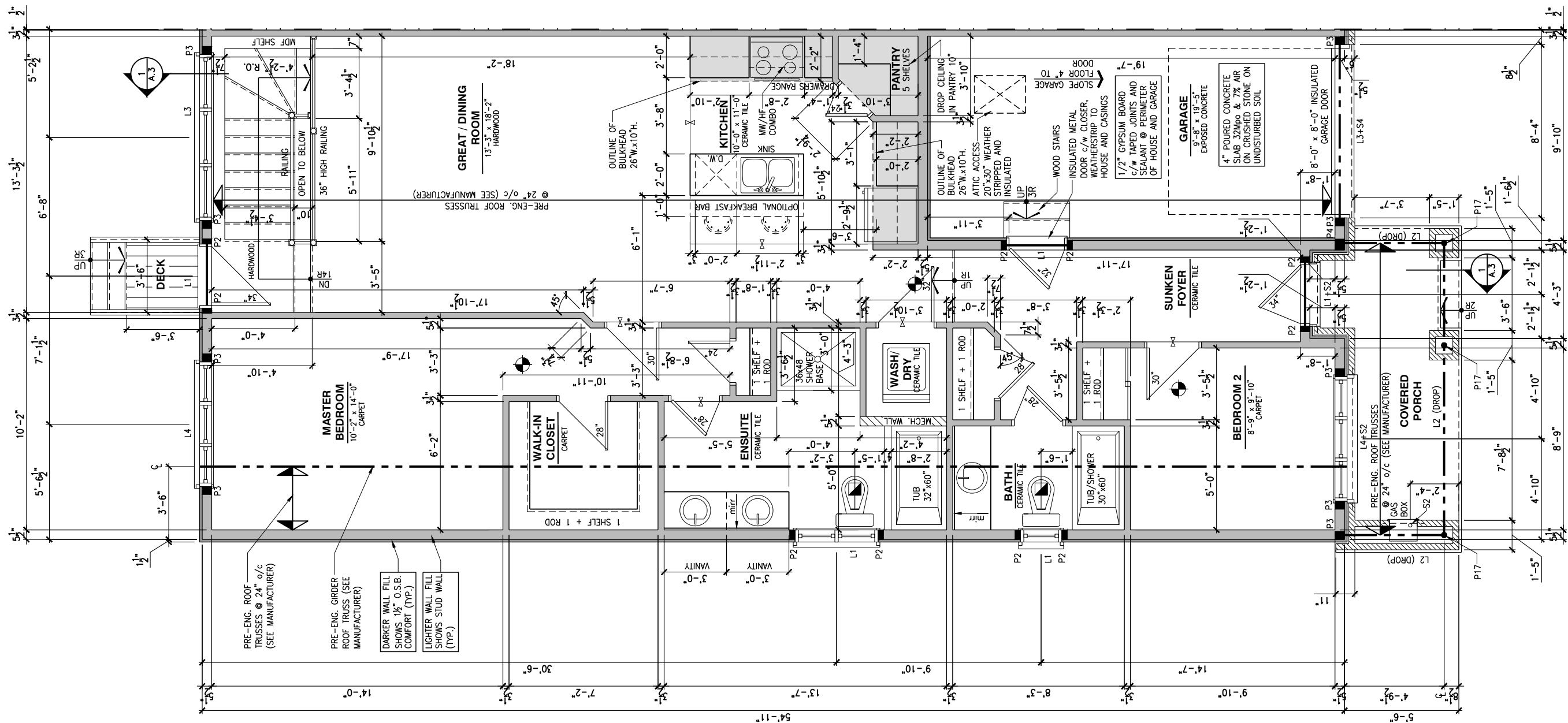
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR-2 BEDROOM
OPT. KITCHEN #1 - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7e

1

GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

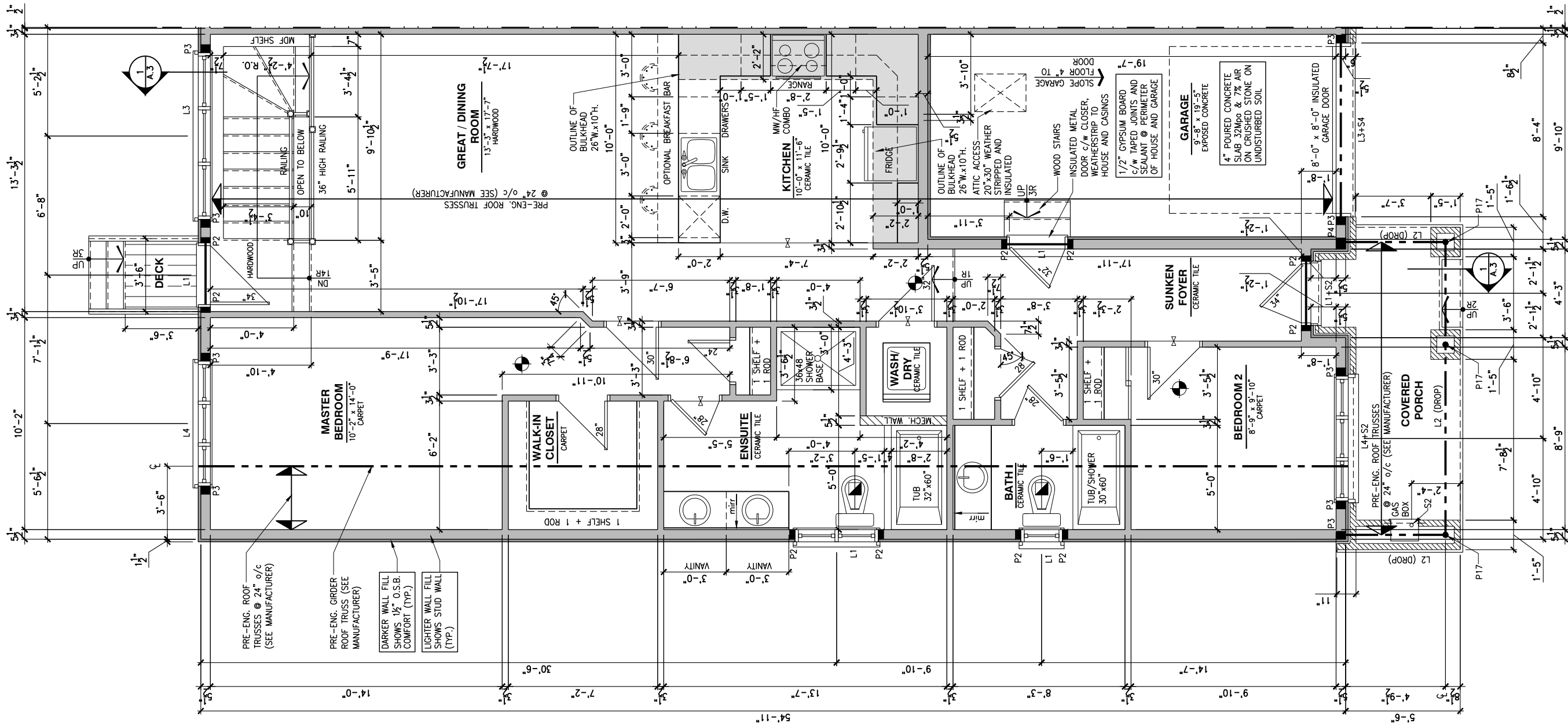
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
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ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
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ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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POST BY USP
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
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POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR-2 BEDROOM
OPT. KITCHEN #2 - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7f

1

A.7f

GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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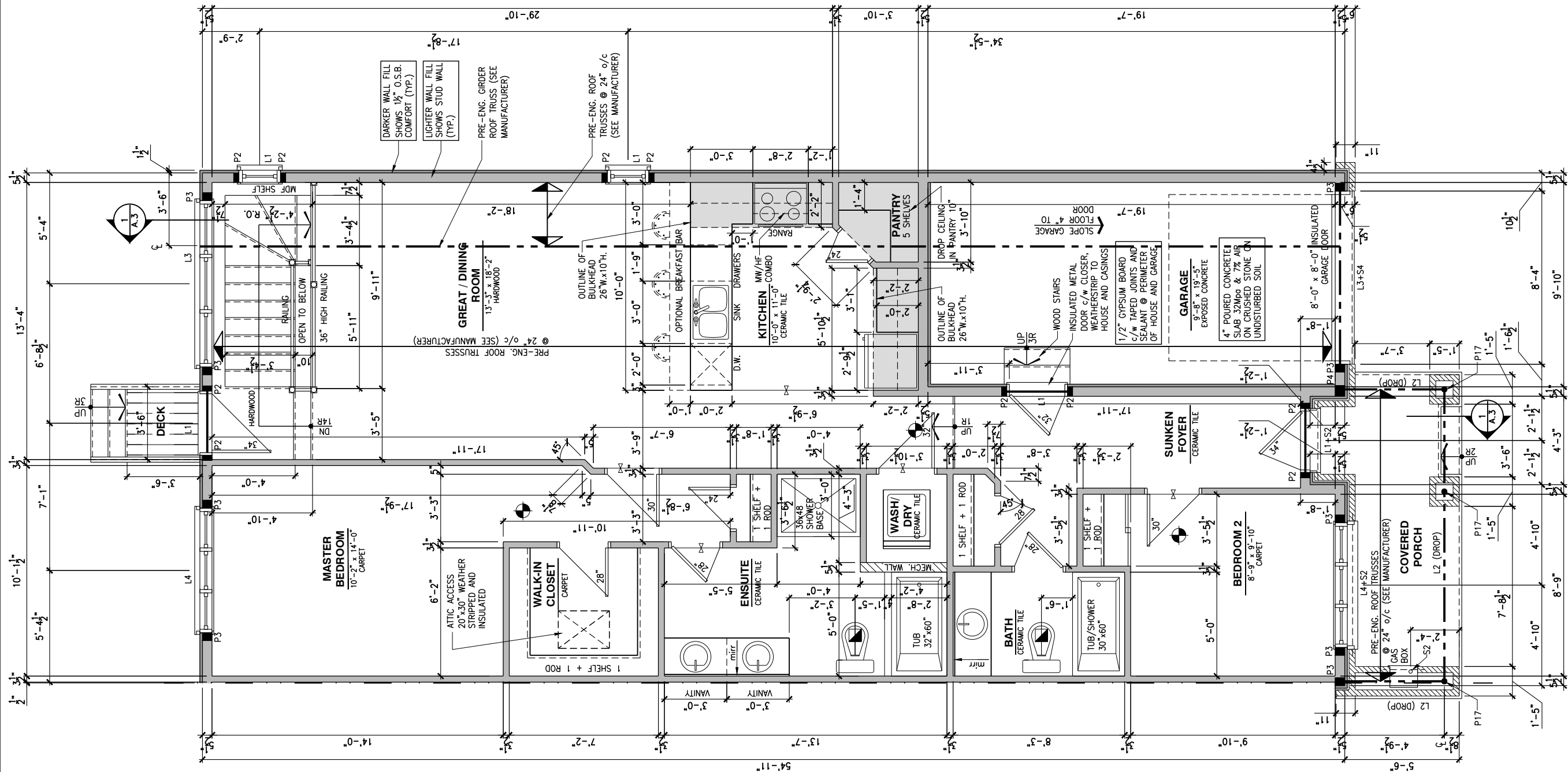
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
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WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR-2 BEDROOM
STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7g

1 GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 1 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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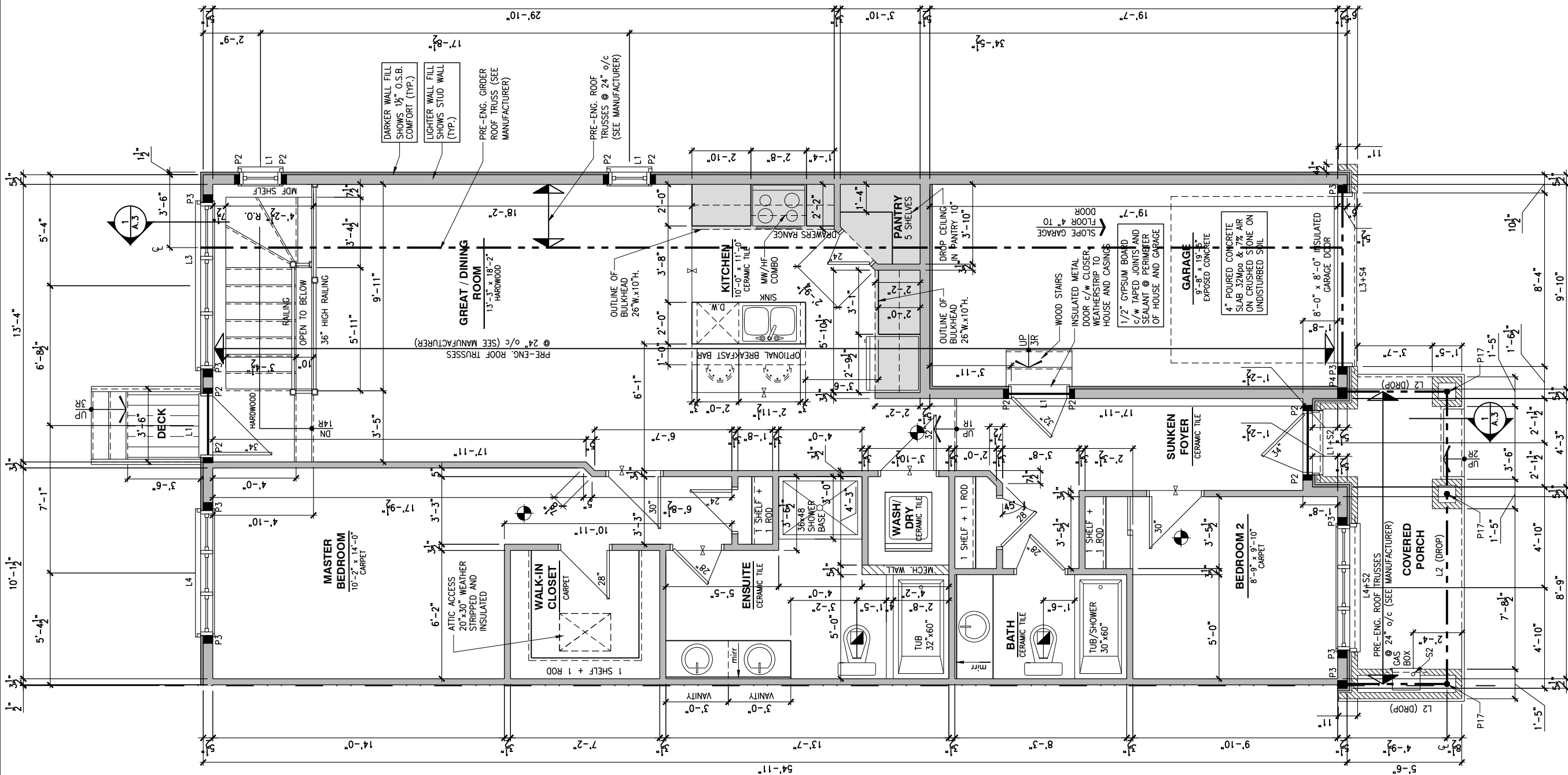
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LOT: XXXX

DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR-2 BEDROOM
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7h

1

A.7h

GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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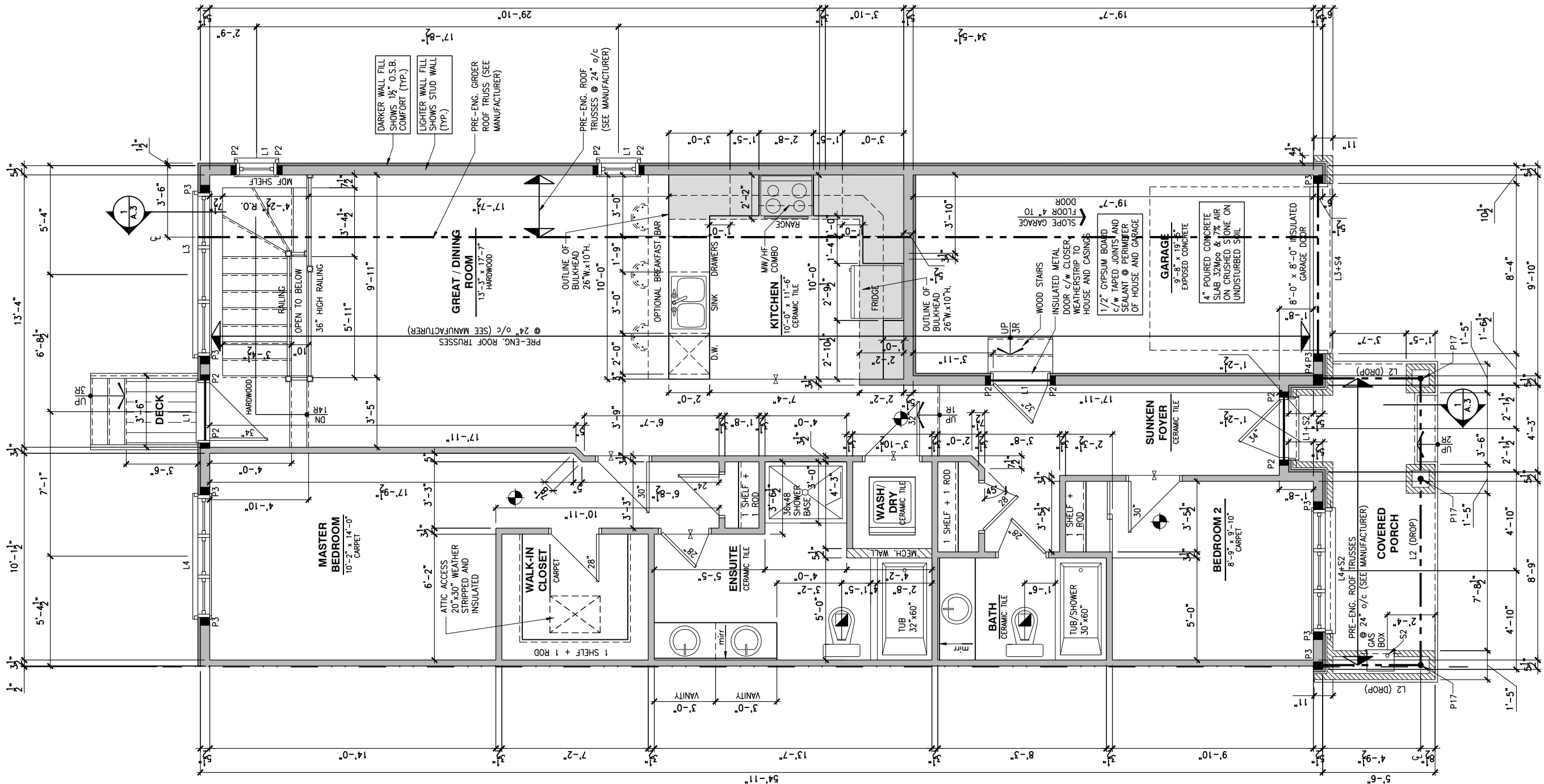
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LOT: XXXX

DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR-2 BEDROOM
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7i

1

GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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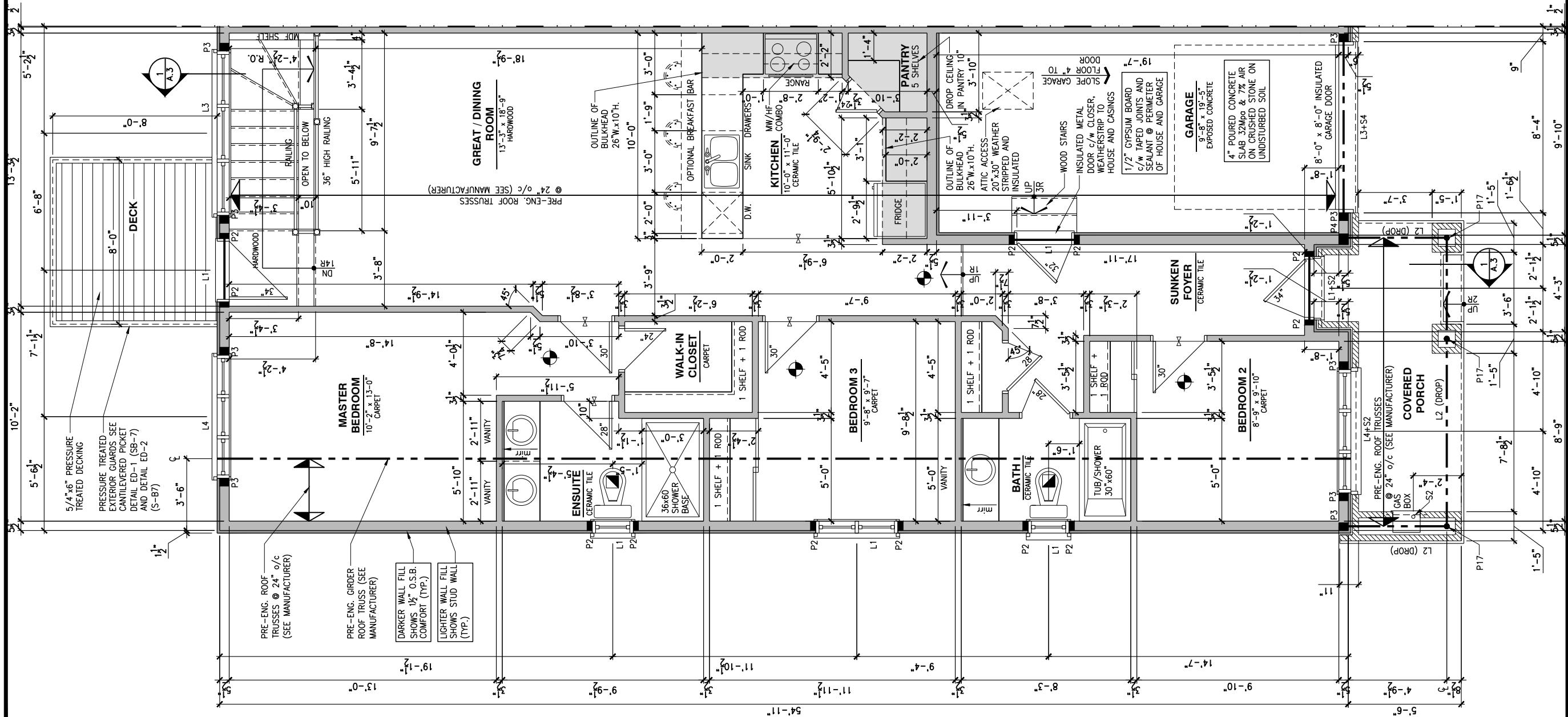
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft

Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN

P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

P2 = 2-2x4 OR 2-2x6

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P5 = 5-2x4 OR 5-2x6

P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

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= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

DOYON

NO.

DESCRIPTION

MM/DD/YYYY

BY

DRAWING: GROUND FLOOR - WALKOUT
STANDARD KITCHEN - PORCH END

ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.7j

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)

LOT: XXXX

DATE: XX/XX/XXXX



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LINTEL TABLE:

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7k

1

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
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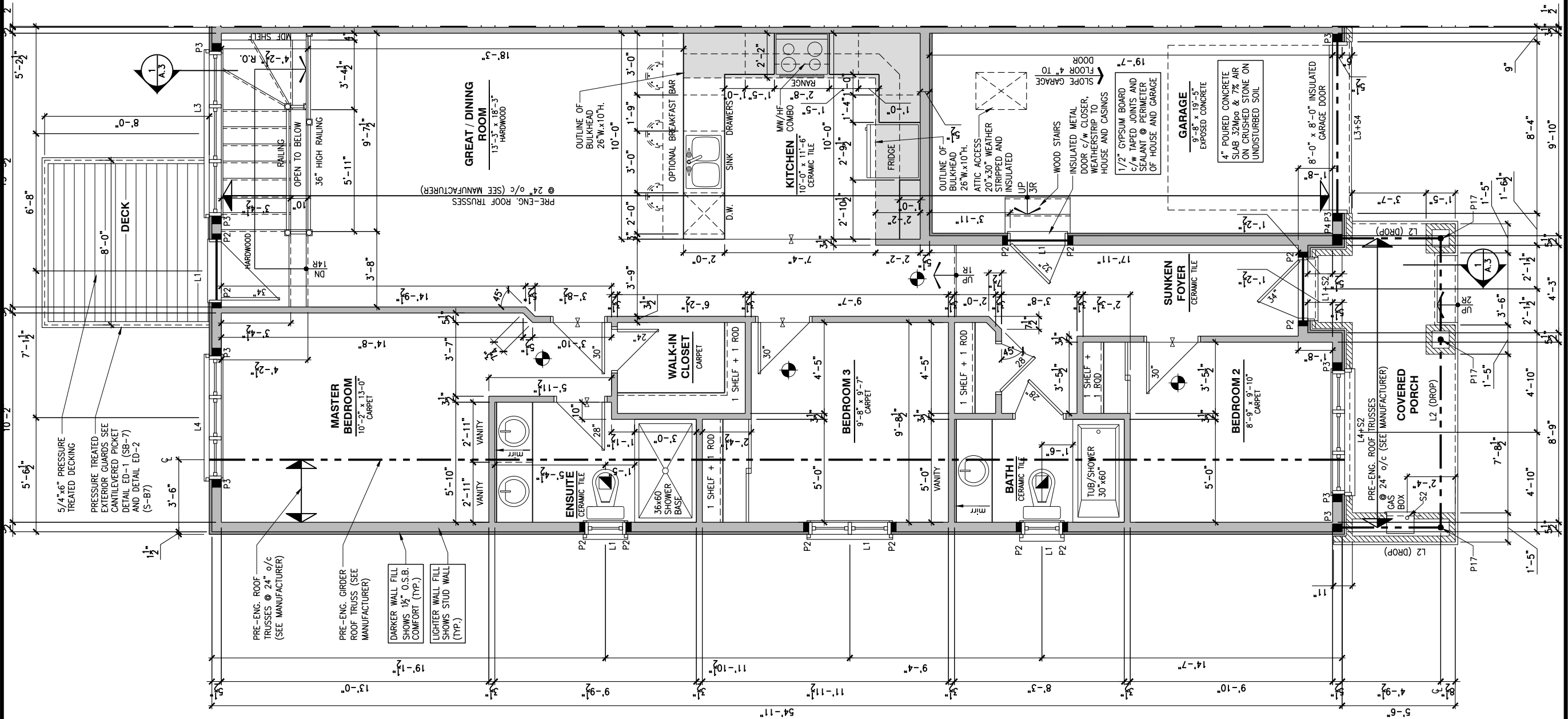
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PORCH CONSTRUCTION:

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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
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TO ALLOW BEAM TO SIT ON TOP OF WALL)



1

A.71

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

GROUND FLOOR - WALKOUT OPT. KITCHEN #2 -PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.71

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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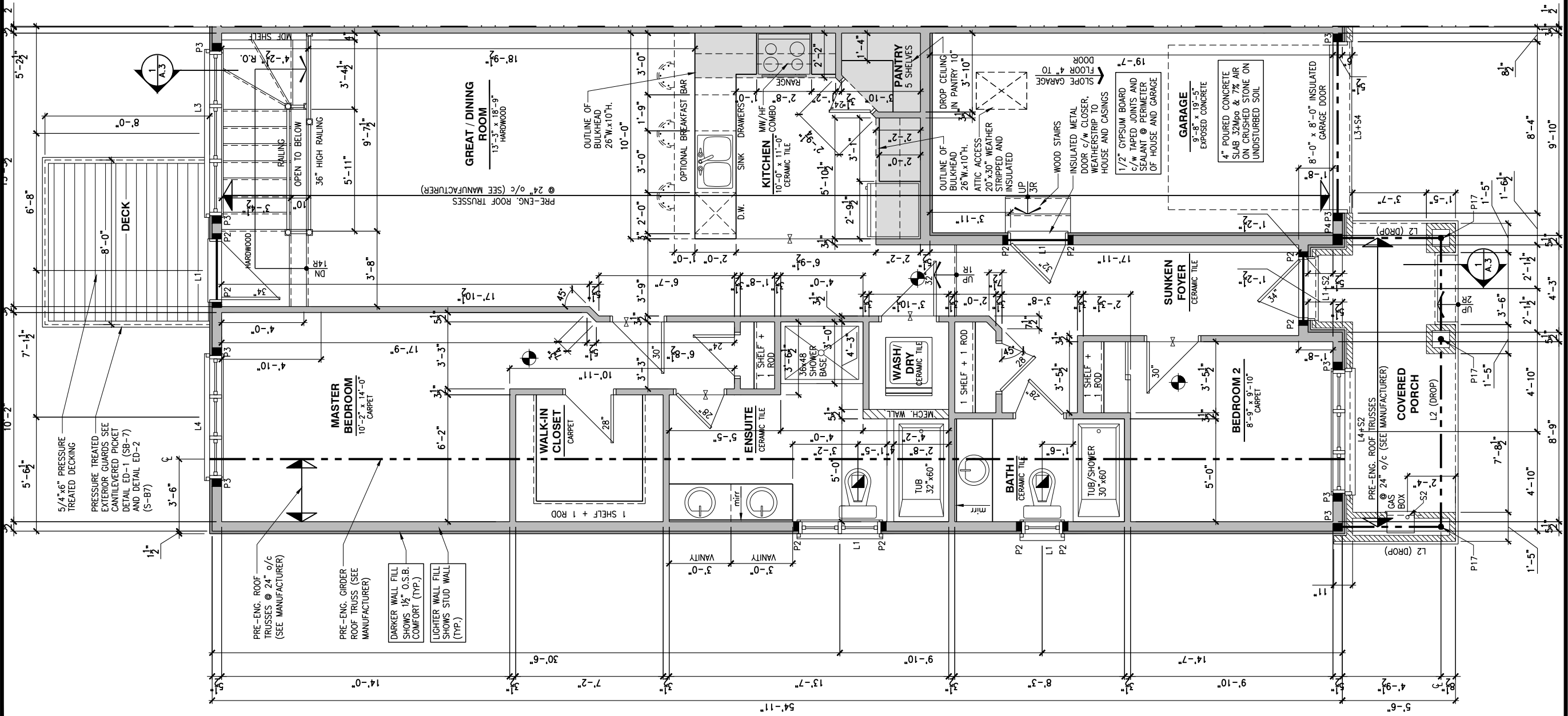
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LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
STANDARD KITCHEN - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7m

1

A.7m

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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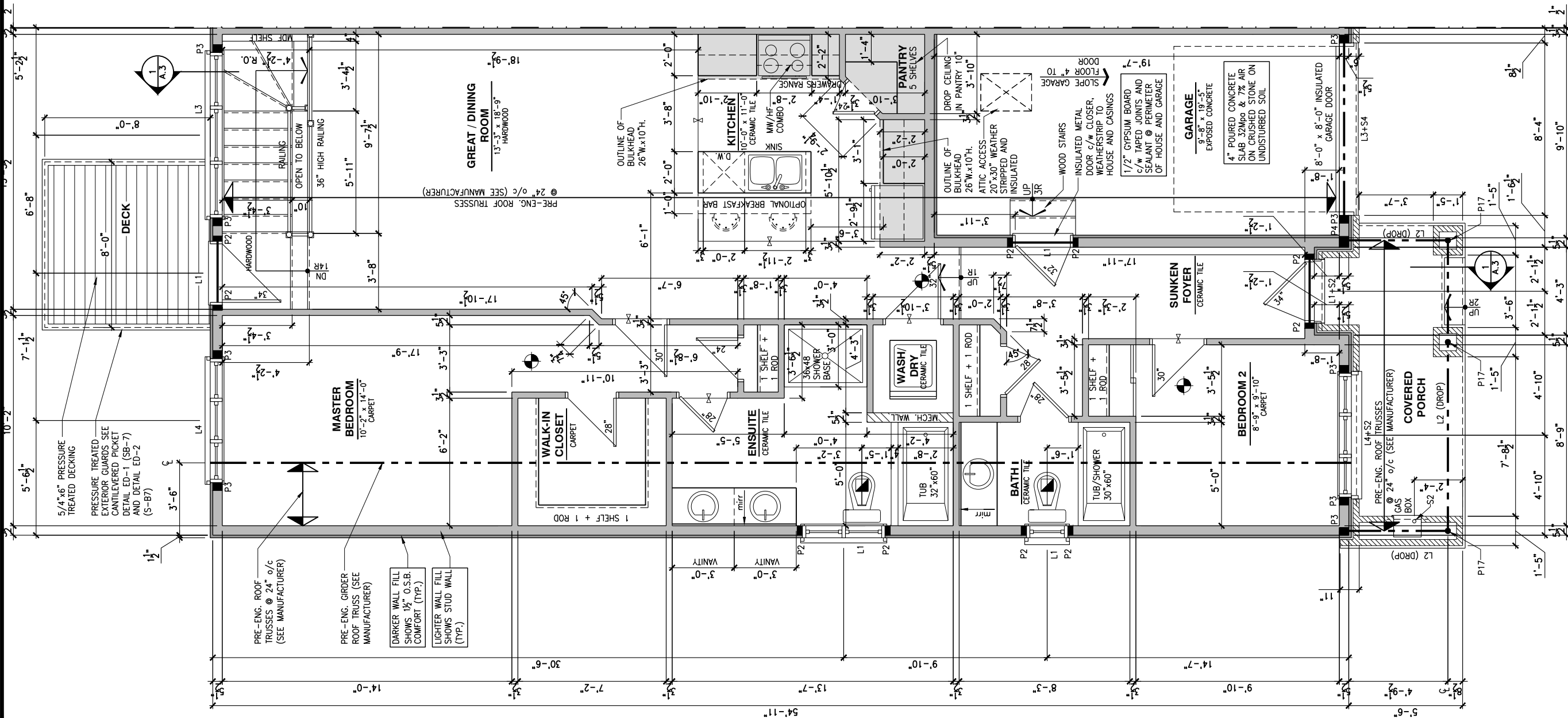
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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)
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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7n

1

A.7n

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 1 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
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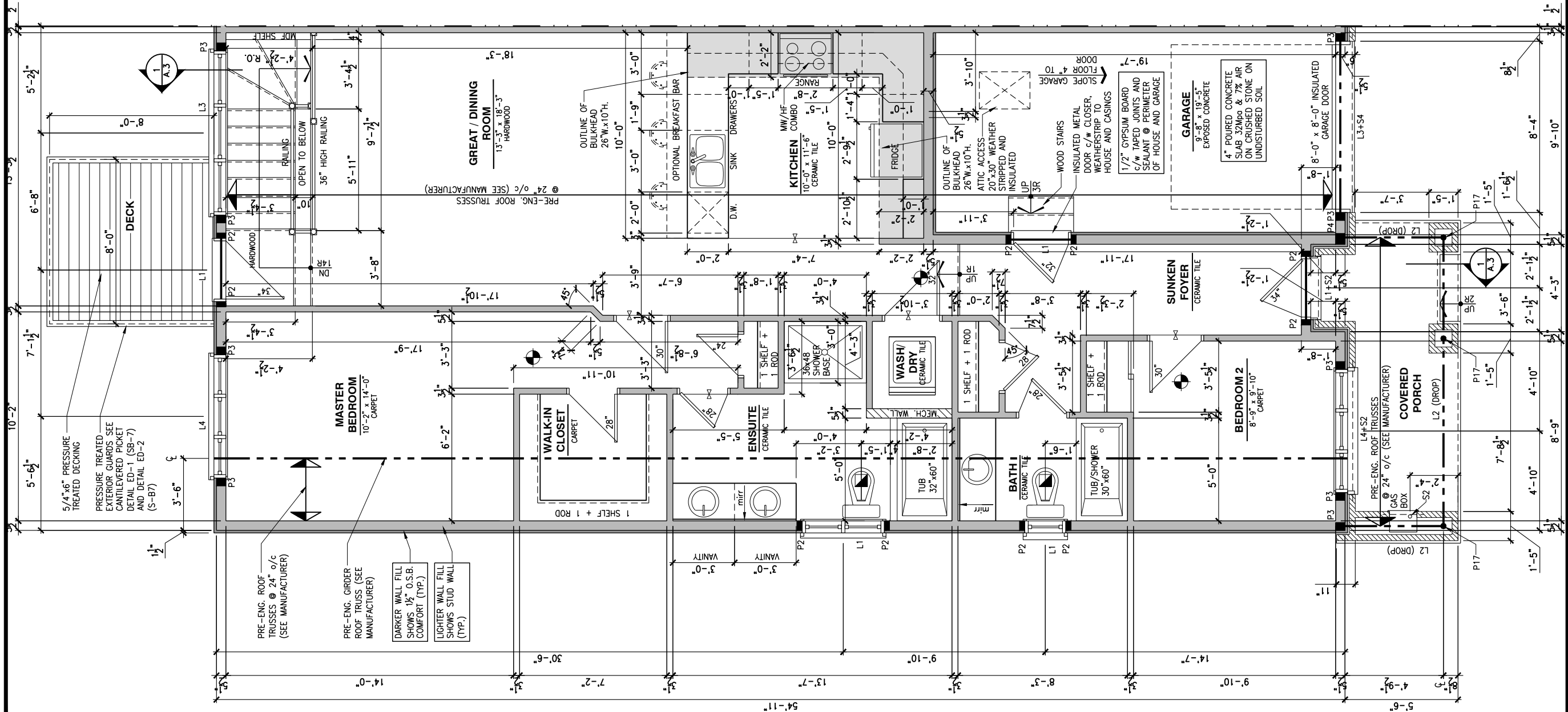
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

**DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 - PORCH END**

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

**105 - THE MANN
2022 FOOTPRINT**

(STANDARD DRAWINGS)

A.7o

1 A.7o GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

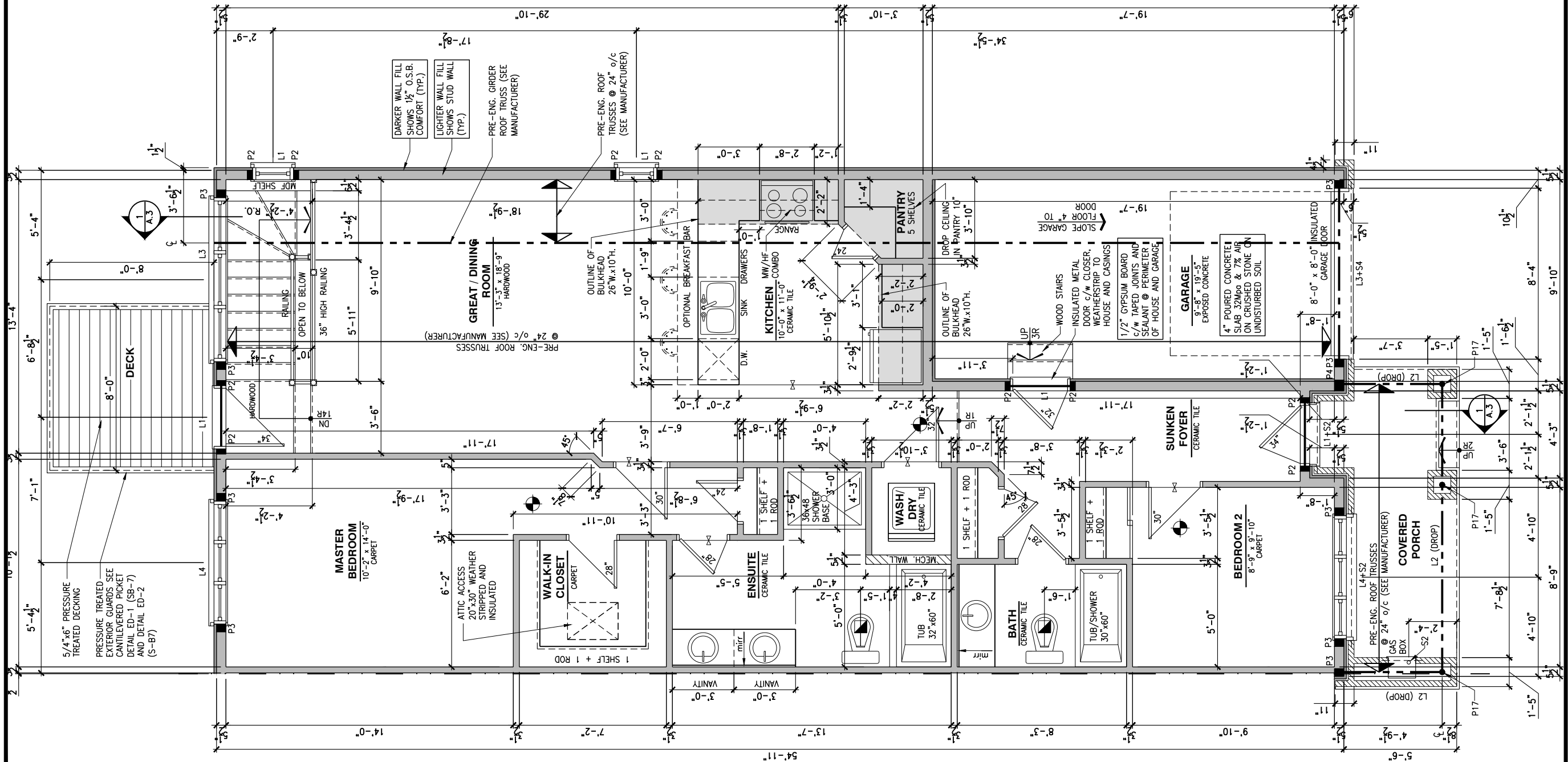
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LOT: XXXX
DATE: XX/XX/XXXX

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT STANDARD KITCHEN-GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A.7p**

1

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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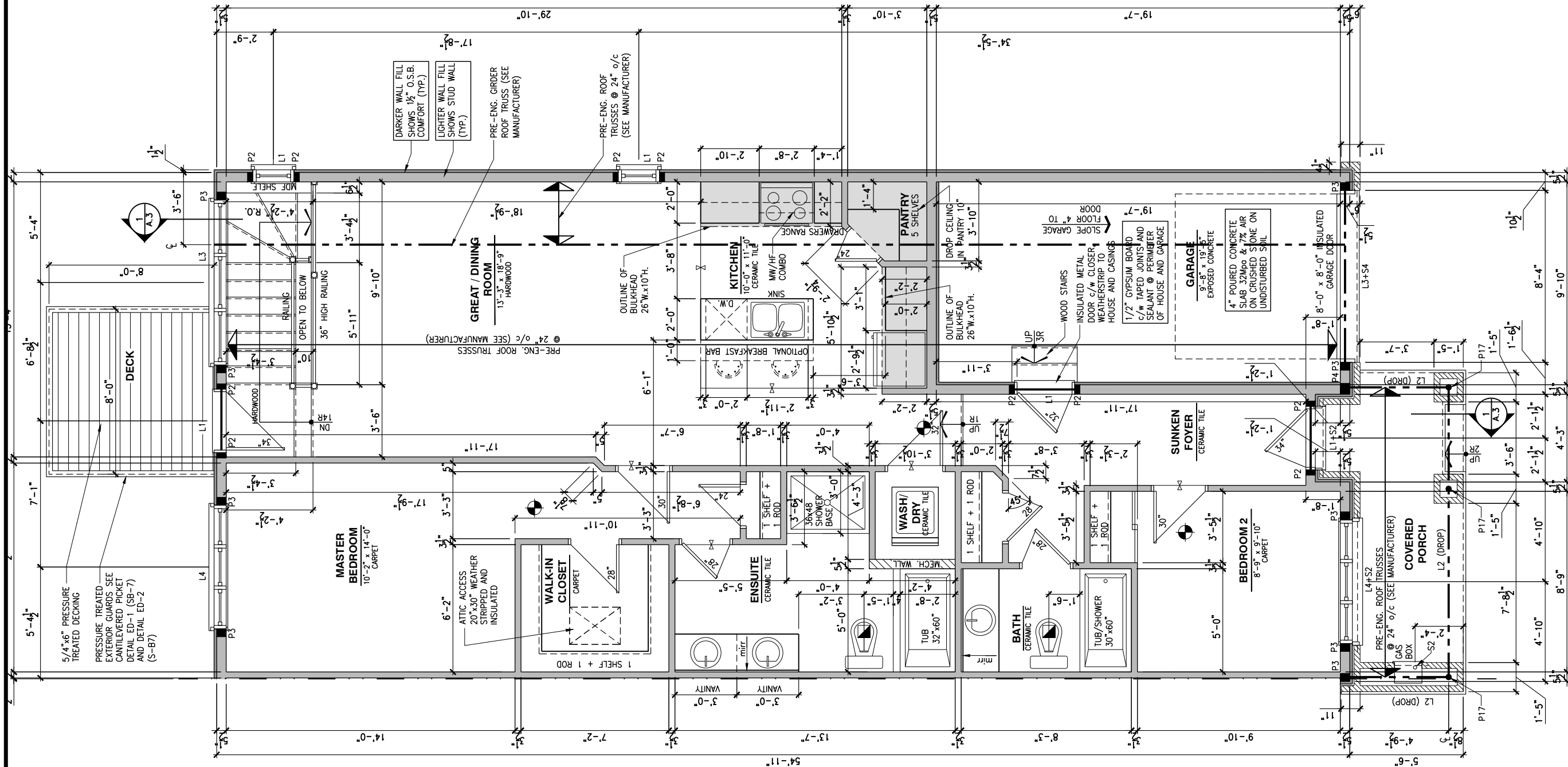
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LOT: XXXX

DATE: XX/XX/XXXX



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- TARION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7q

1

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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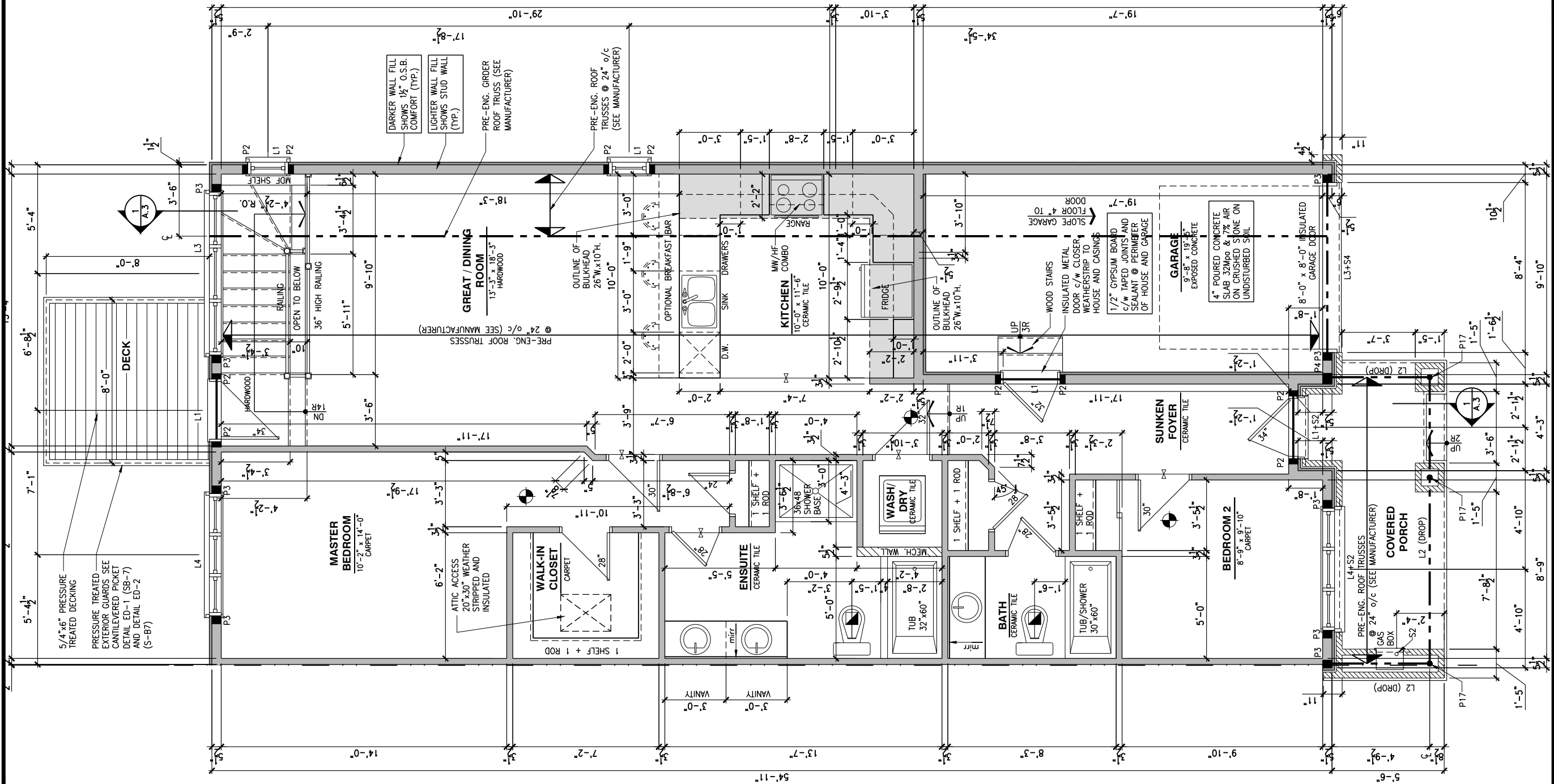
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
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 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7r

1

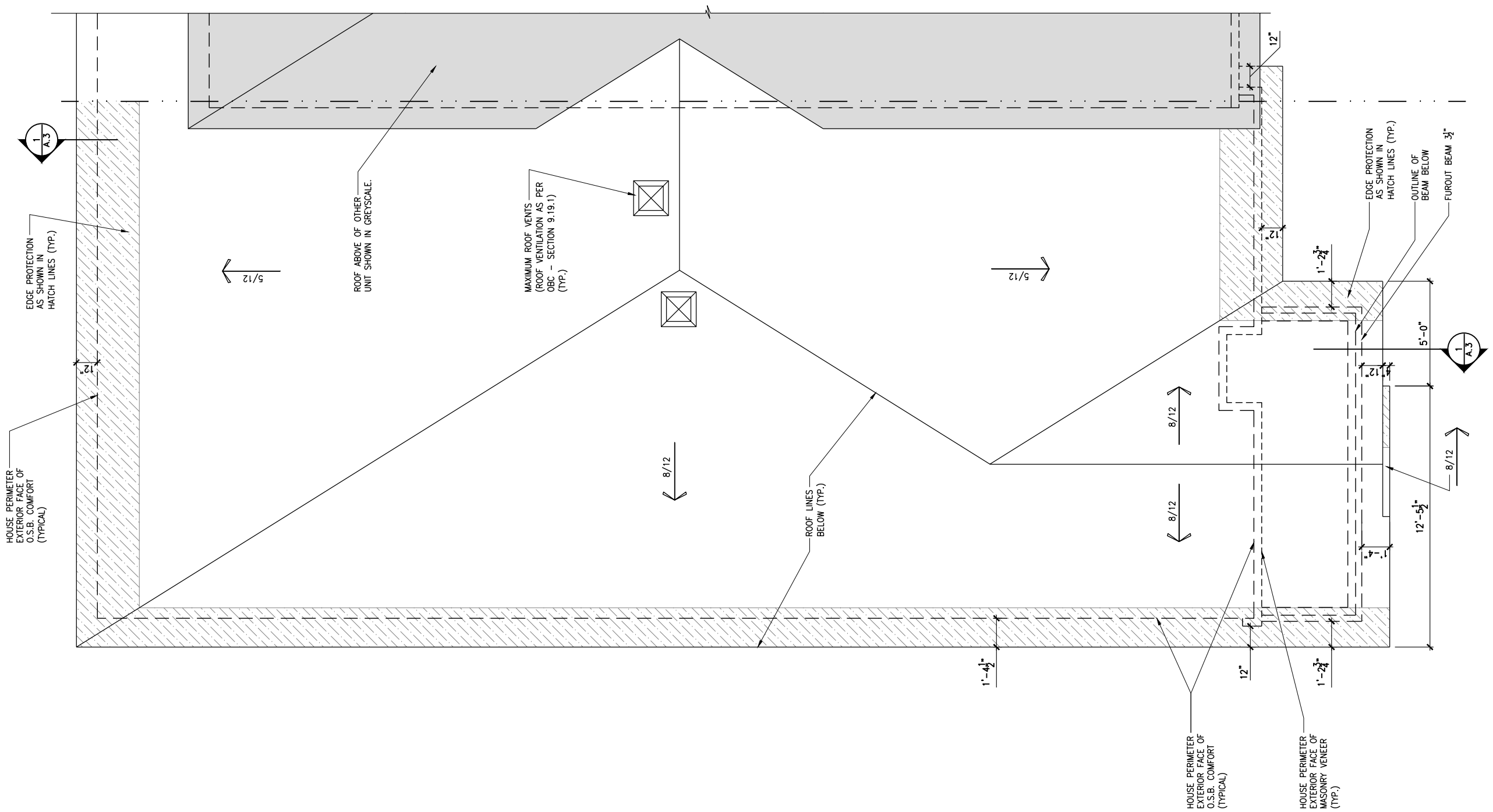
GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

1
A.8a

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8a

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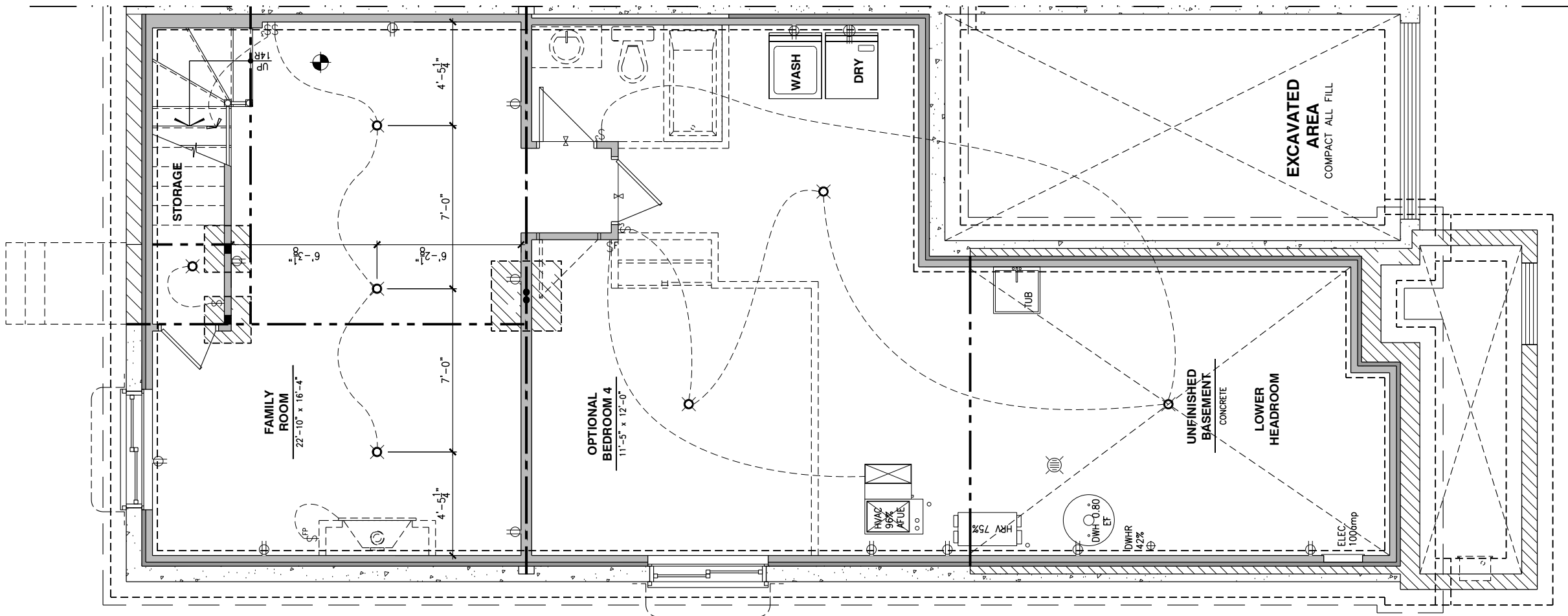
105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8b

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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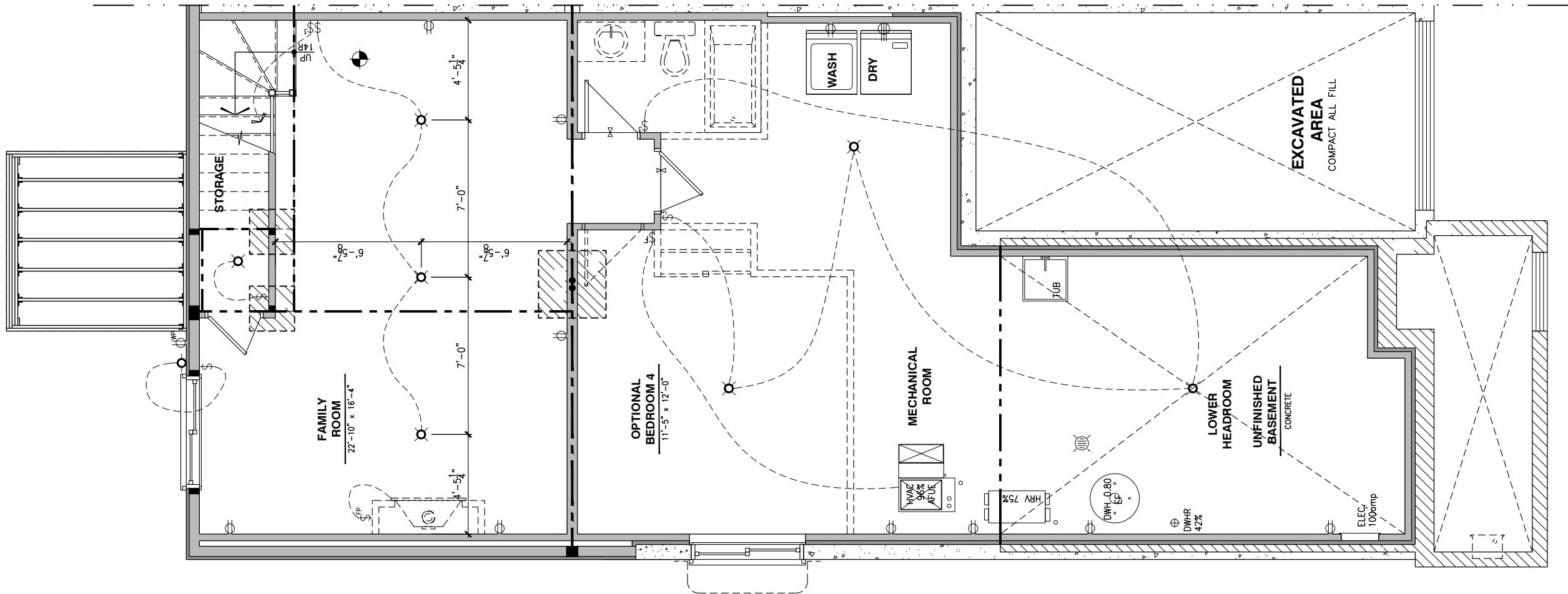
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- ⚡ SINGLE POLE SWITCH
- ⚡ 3 WAY SWITCH
- ⚡ 4 WAY SWITCH
- ⚡ FURNACE SWITCH
- ⚡ FP FIREPLACE SWITCH
- ⚡ DUPLEX OUTLET (12" HIGH)
- ⚡ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⚡ GFI GROUND FAULT INTERVOLT
- ⚡ WP WEATHER PROOF DUPLEX OUTLET
- ⚡ SPLIT OUTLET
- ⚡ 220 VOLT OUTLET
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ⚡ CEILING MOUNTED LIGHT FIXTURE
- ⚡ POT LIGHT
- ⚡ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⬜ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS			
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY
DRAWING: ELECTRICAL PLAN BASEMENT			
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX	
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)			SHEET: E.1a



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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
BASEMENT - WALKOUT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

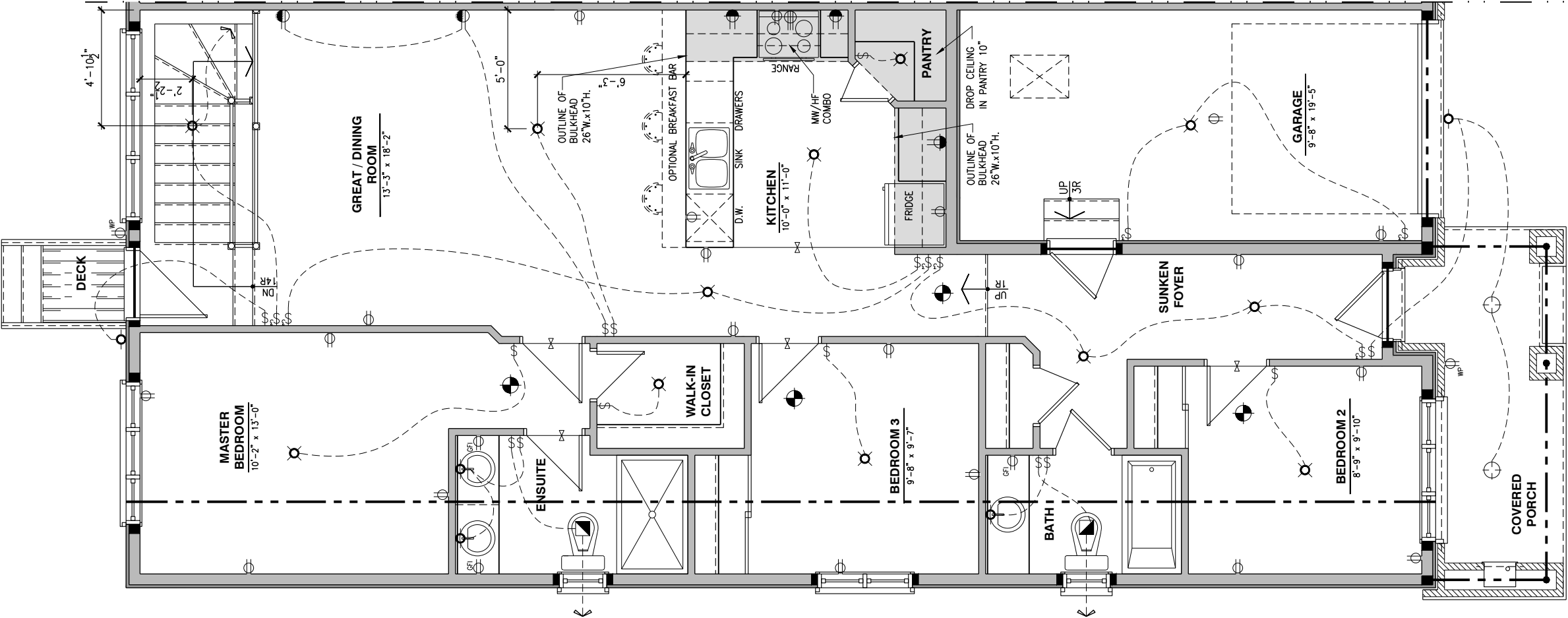
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- ⚡ SINGLE POLE SWITCH
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- ⚡ FURNACE SWITCH
- ⚡FP FIREPLACE SWITCH
- ⚡ DUPLEX OUTLET (12" HIGH)
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- ⚡ SPLIT OUTLET
- ⚡ 220 VOLT OUTLET
- ⚡ WALL MOUNTED LIGHT FIXTURE
- ⚡ CEILING MOUNTED LIGHT FIXTURE
- ⚡ POT LIGHT
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- ⬜ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2a

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

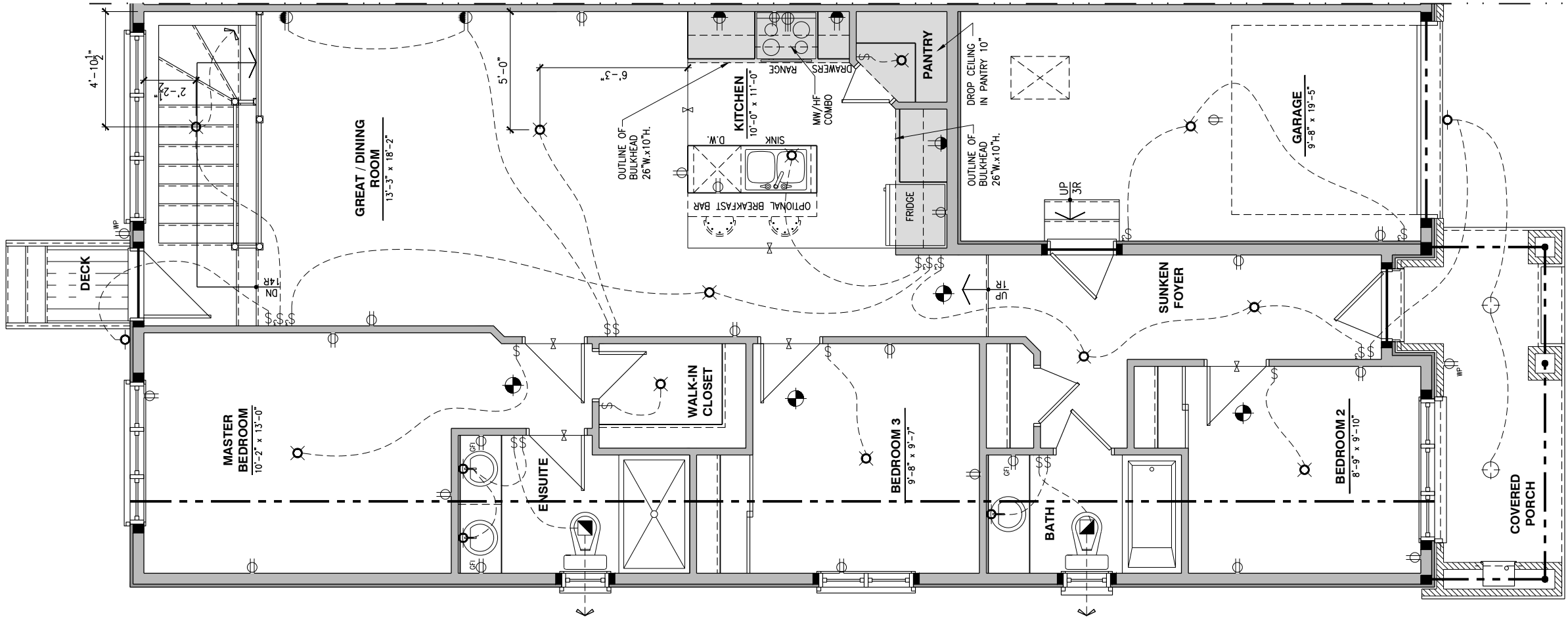
ELECTRICAL PLAN GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b



1 ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN

E.2b SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ DUPLEX OUTLET (12" HIGH)
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- \$GF1 GROUND FAULT INTERVOLT
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- \$ 220 VOLT OUTLET
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2012 O.B.C. DRAWINGS

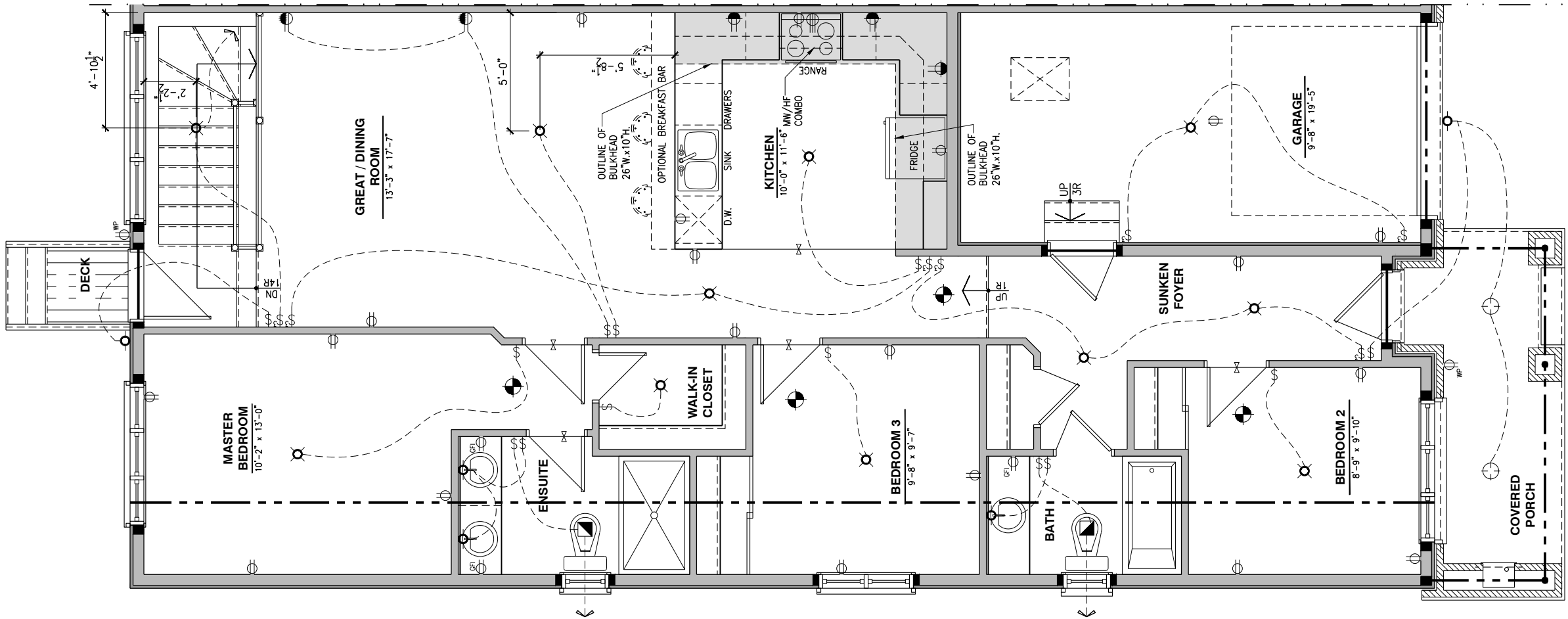
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2c



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

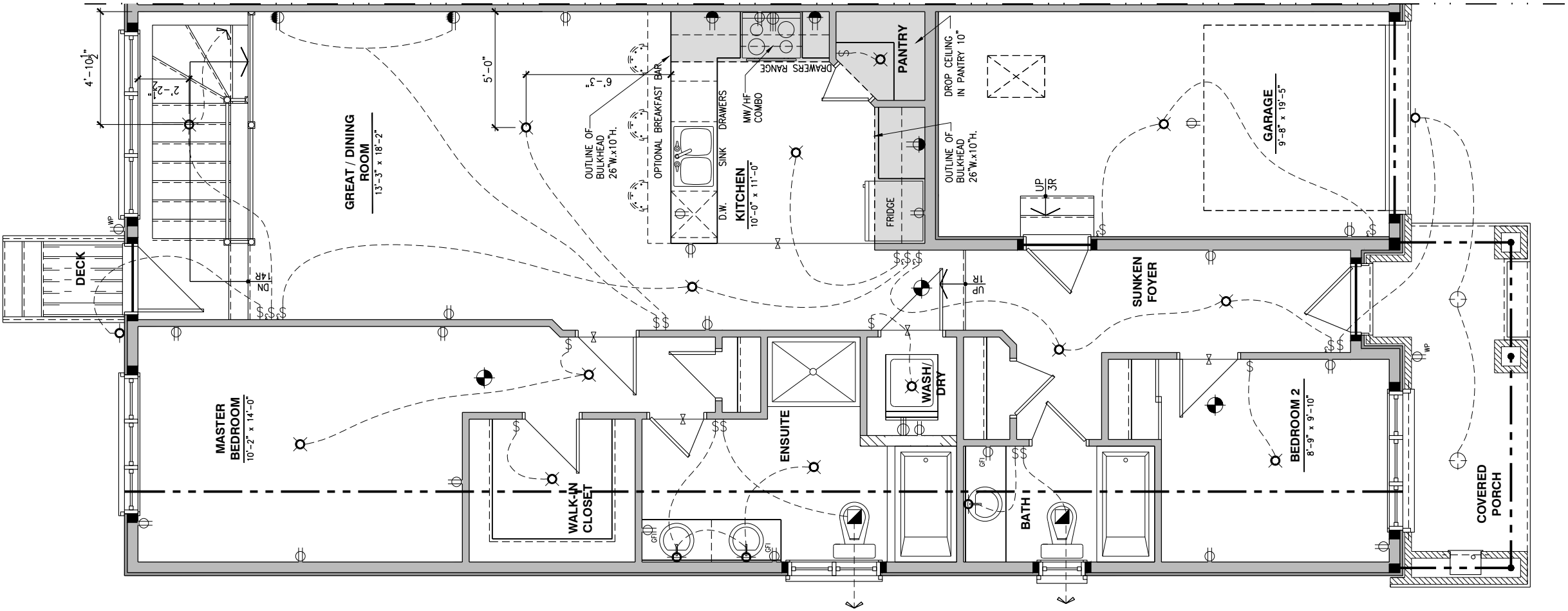
DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

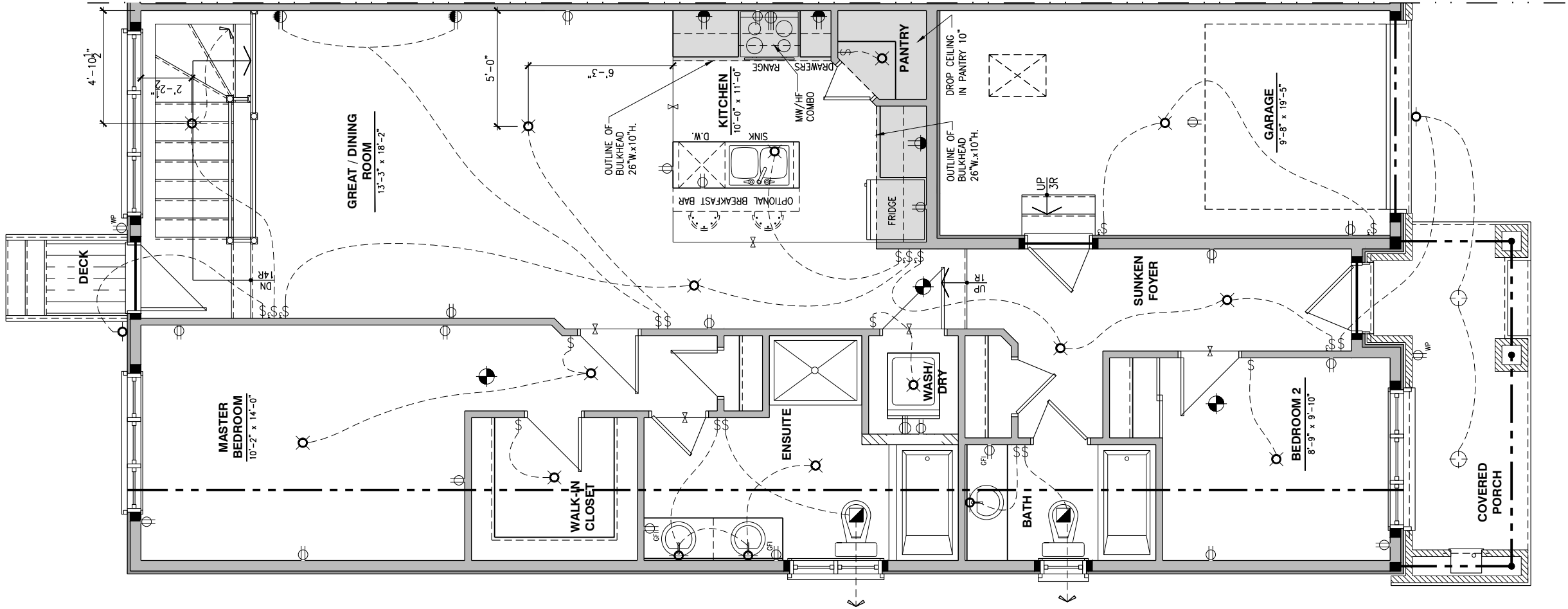
DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2e



LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611
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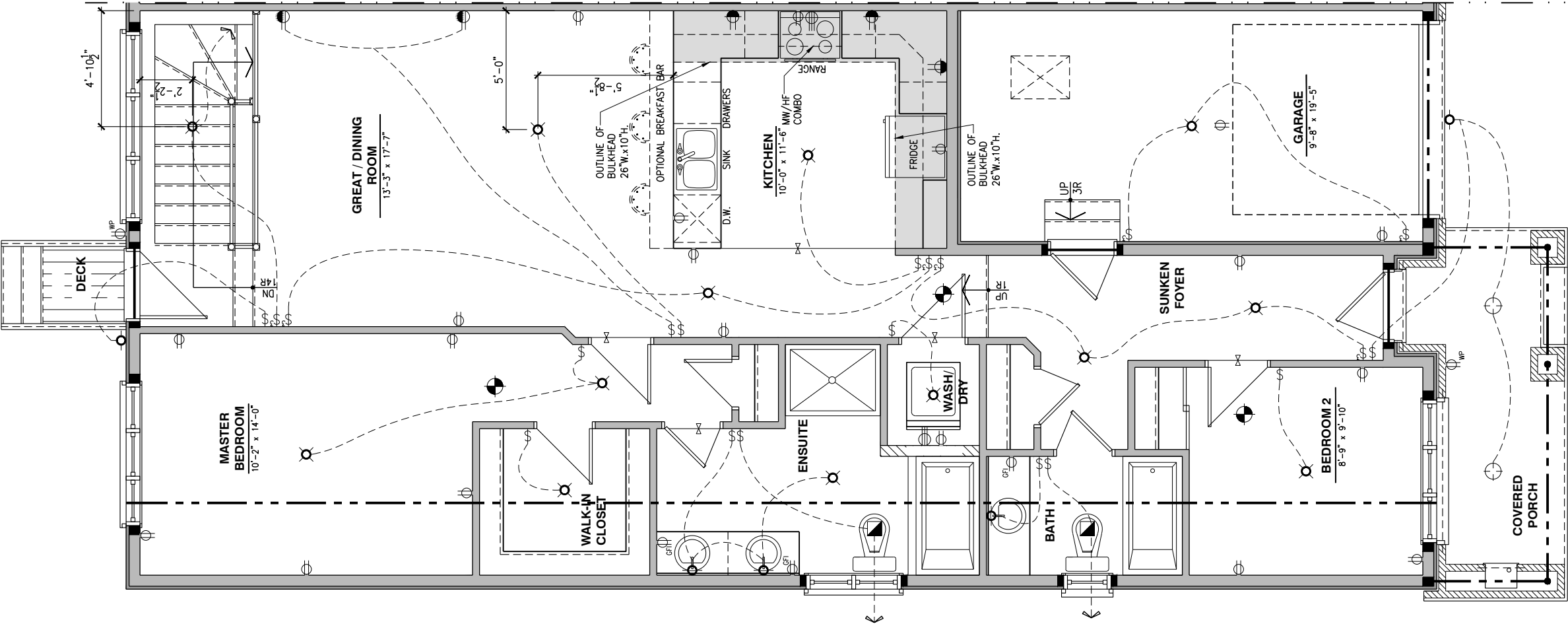
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- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚ FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GF1 GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
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- ⌚ POT LIGHT
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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON

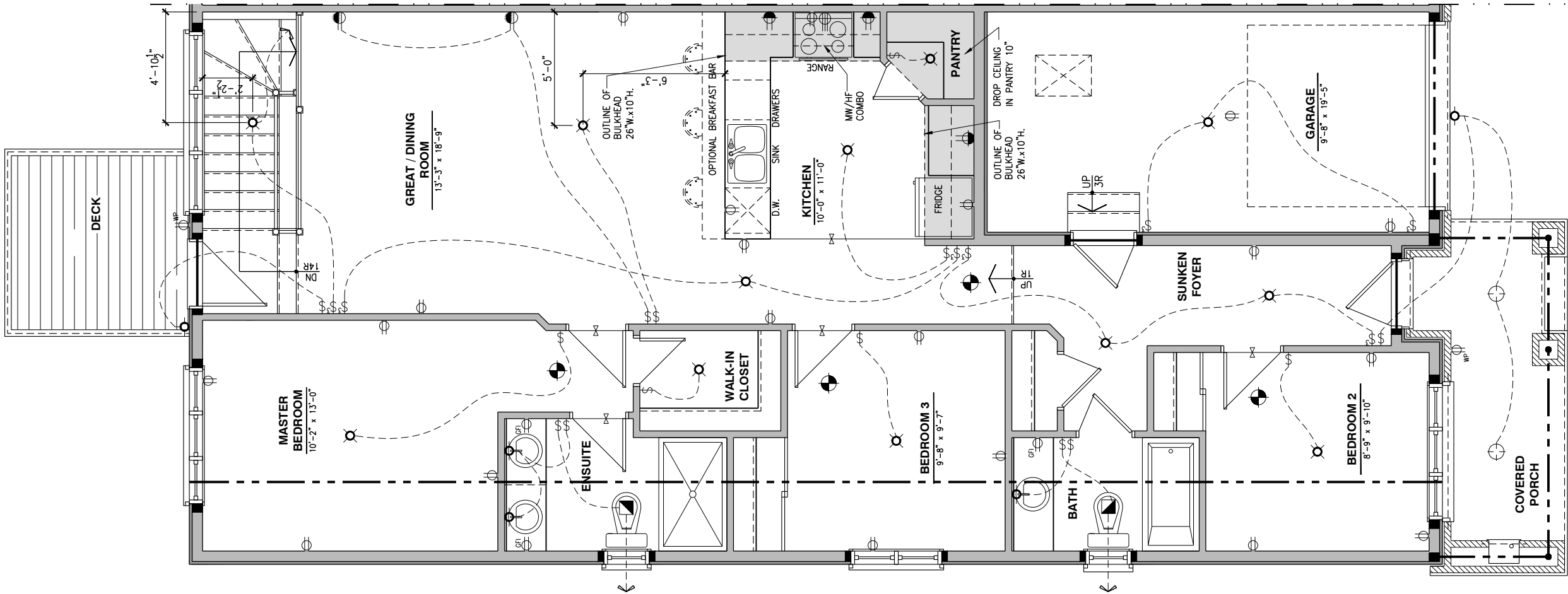
DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2f



- ⚡ SINGLE POLE SWITCH
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DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
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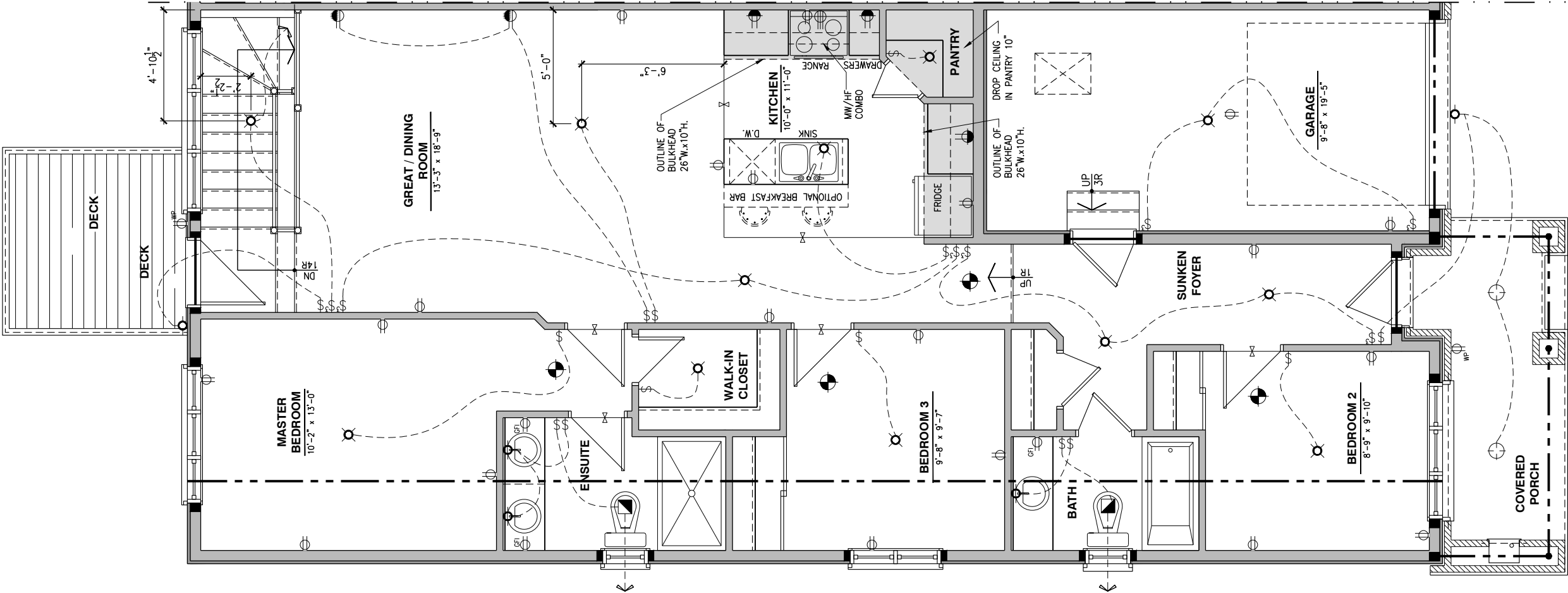
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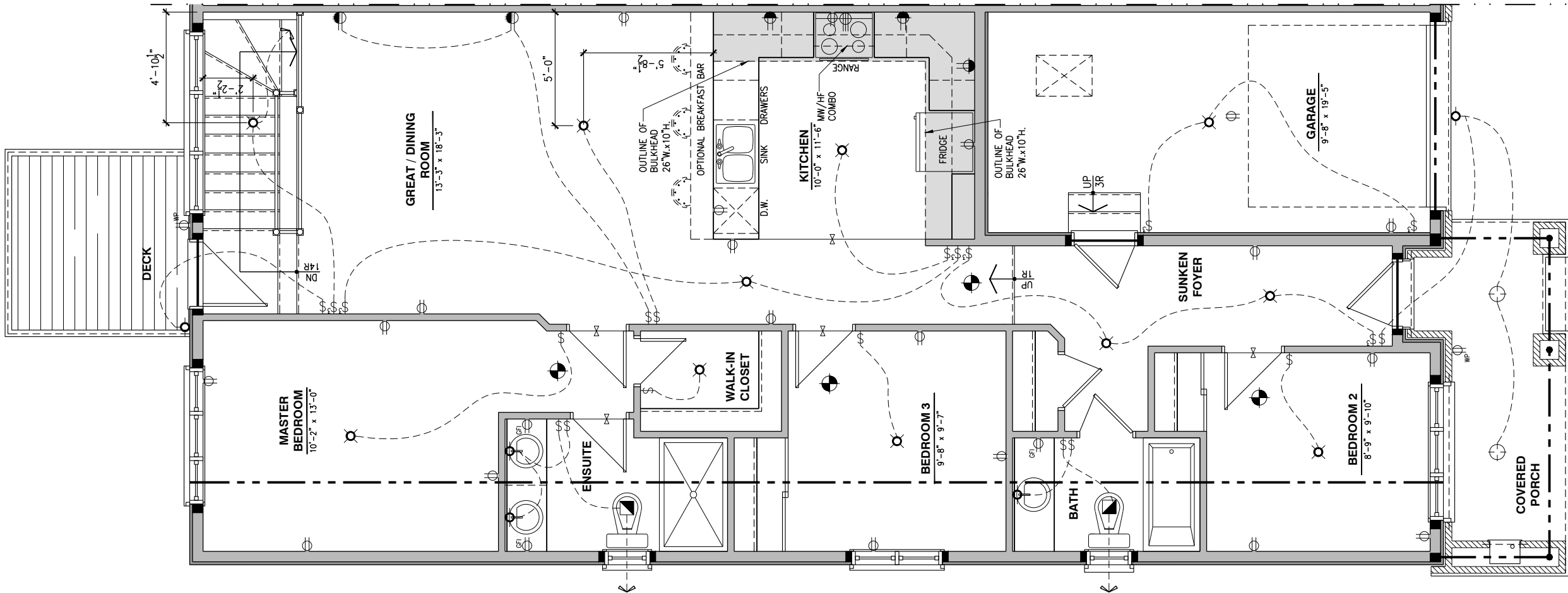
DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS:	SCALE:	DATE:
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105 - THE MANN
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SHEET: E.2h





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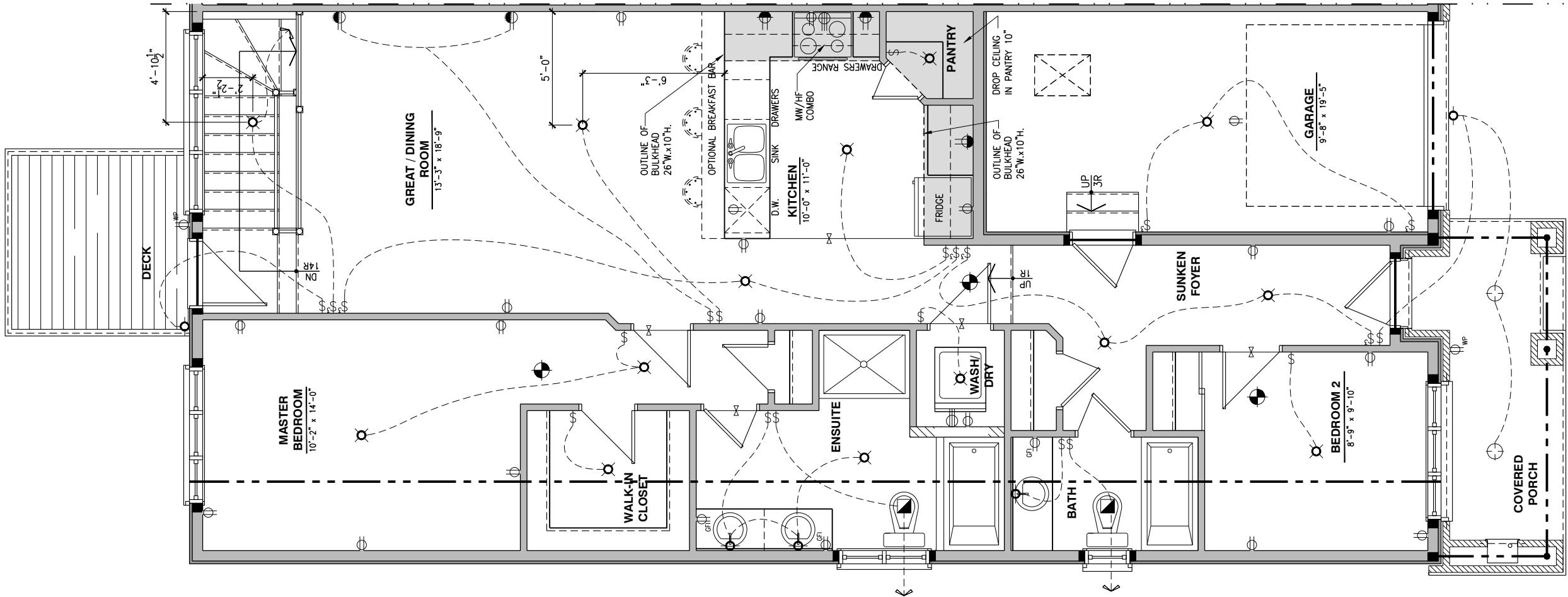
2012 O.B.C. DRAWINGS

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Valecraft

Homes (2019) Limited

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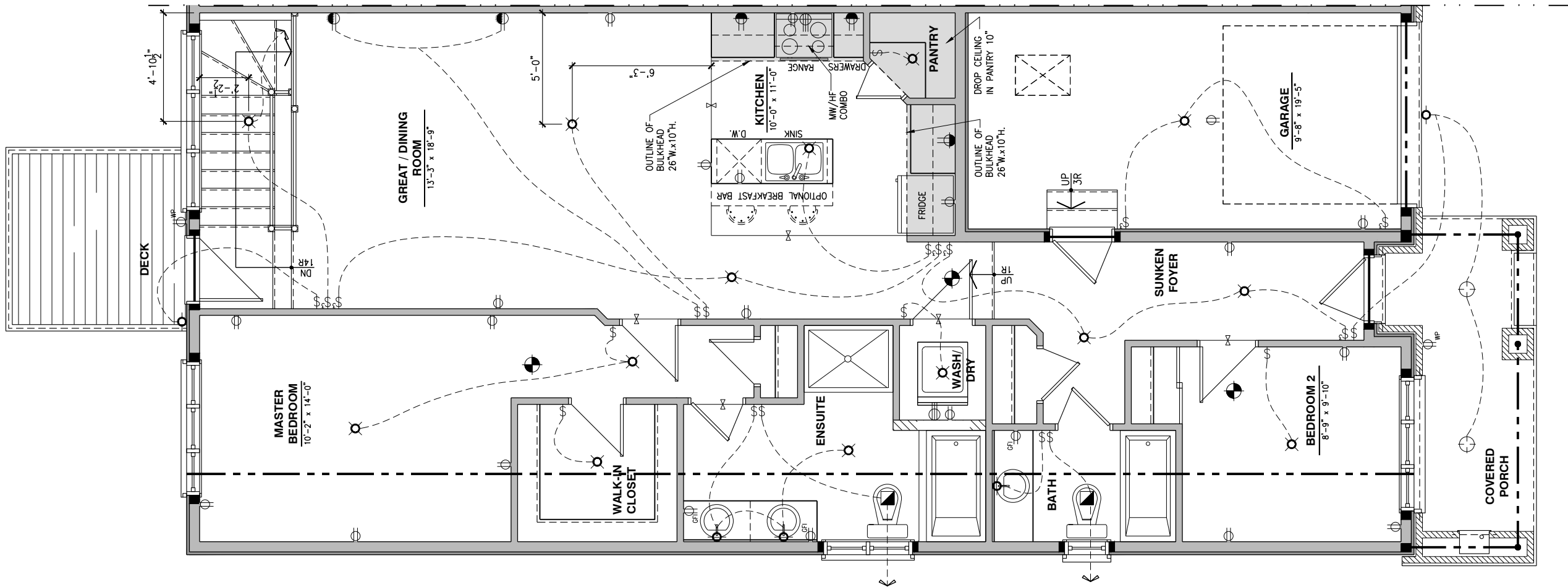
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105 - THE MANN		SHEET:	
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ELECTRICAL PLAN GROUND FLOOR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2k

1

E.2k

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - WALKOUT

SCALE: 3/16" = 1'-0"

